

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	124	Date:	01/14/2023
Job Location:	242 HARRIMAN RD	Parcel ID:	2.100-57-7
Property Owner:	Nancy Rosner	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Nancy Rosner	Rigo Lua
n/a	Delapaz Masonry
242 Harriman RoadIrvington NY 10533	137 Smith Street Portchester NY
9145224004	914-943-8524

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Contractor
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	25000.00	Property Class:	1 FAMILY RES

Description of Work

Per Site Plan Approval:

Rear Yard: The construction of a 260-sf wood deck, remove and replace existing timber stairs, removal and/or repairs to existing stone walls and installation of a 36" high dog enclosure fence.

Front Yard: Improve safety of vehicular maneuvering by creating a parking space closer to the house and away from Harriman Road. Removal and/or repairs to existing stone retaining walls and construction of new 12" high stone curb.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

***THE HARD COPY OF THE SIGNED AND NOTERIZED FORM HAS BEEN SUBMITTED WITH THE HARDCOPIES OF THE PLANS.

AFFIDAVIT OF APPLICANT

I **Nancy Rosner** being duly sworn, depose and says: That s/he does business as: **n/a** with offices at: **242 Harrlman Road Irvington NY 10533** and that s/he is:

- ☒ The owner of the property described herein.
☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
☐ The Lessee of the premises, duly authorized by the owner to make this application.
☐ The Architect of Engineer duly authorized by the owner to make this application.
☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I **Nancy Rosner** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 914-522-4004 Owner email address nancymarar@gmail.com

- ☒ **Nancy Rosner** I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds


Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) **Total** \$85

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

**VILLAGE OF IRVINGTON
PLANNING BOARD DECISION**

WHEREAS, in November 2022, Nancy Rosner applied for site development plan approval to make a number of improvements at her property at 242 Harriman Road, including constructing a 260 sf deck, removing and replacing timber stairs, removing and/or repairing stone walls, creating a parking space closer to the house, and constructing a stone curb; and

WHEREAS, the proposed improvements required variances from the Zoning Board of Appeals for coverage, rear yard setback, and parking in the front yard, which were all granted on November 22, 2022; and

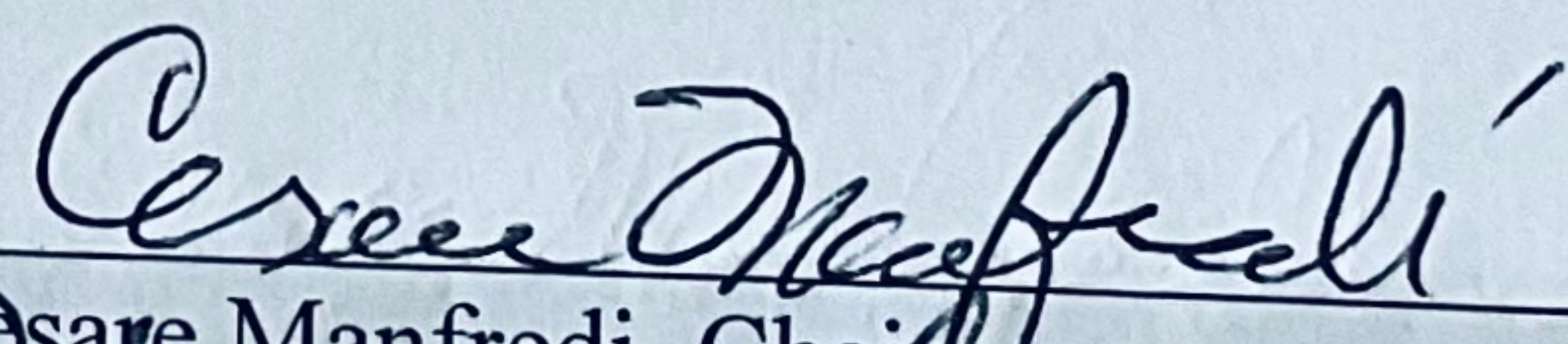
WHEREAS, James J. Hahn Engineering, P.C. ("Hahn") reviewed the plans and, in a Memorandum dated October 31, 2022, made a number of comments, all of which were addressed in a subsequent submission; and

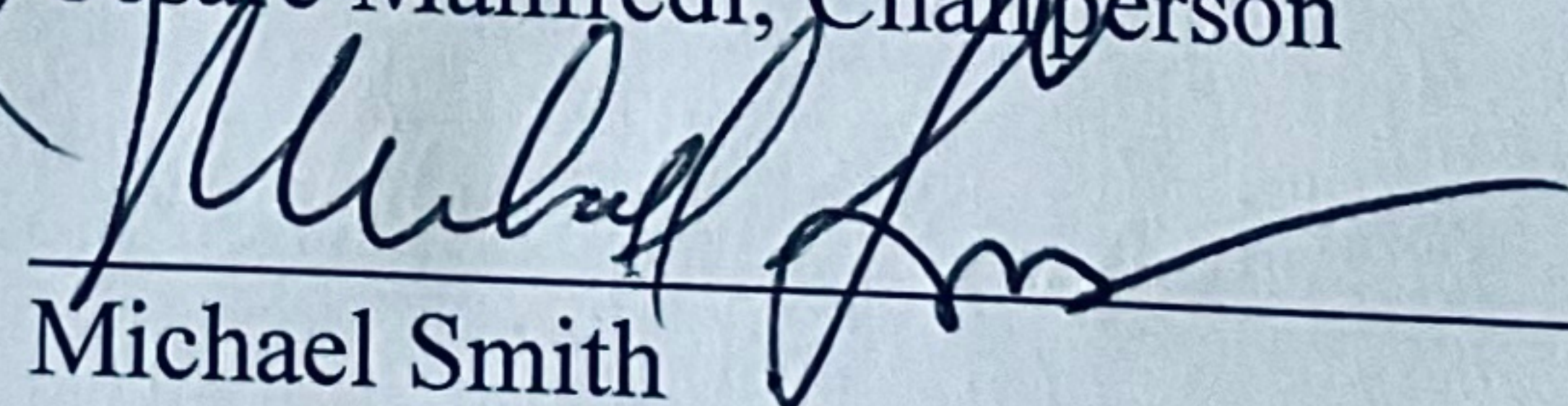
WHEREAS, Suzanne Nolan, the Village's landscape consultant, reviewed the plans and made several recommendations, which were addressed to her satisfaction; and

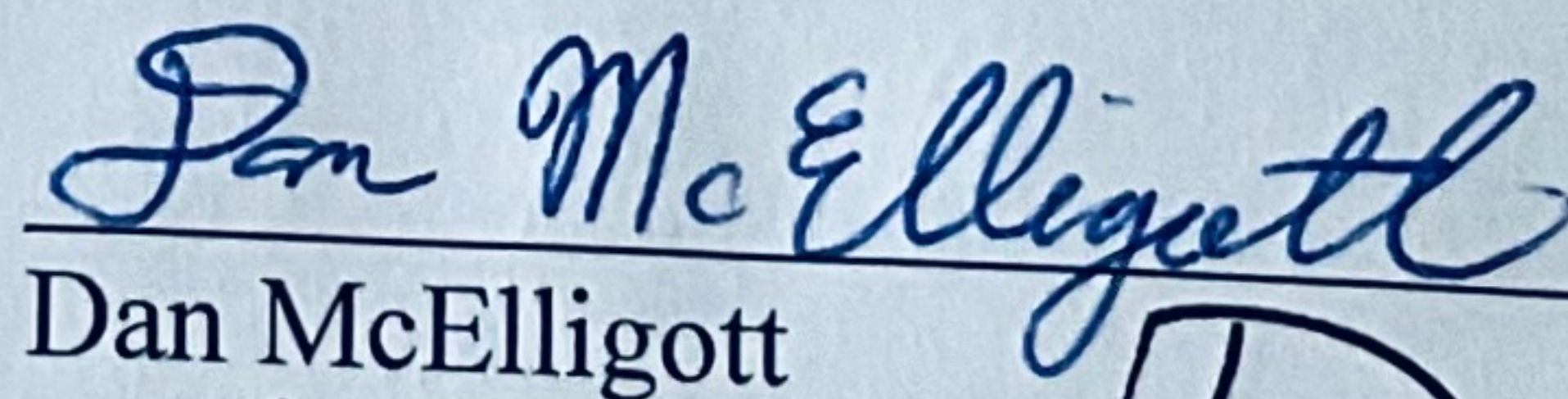
WHEREAS, the Planning Board held a public hearing on the application on November 2, 2022 and January 4, 2023; and

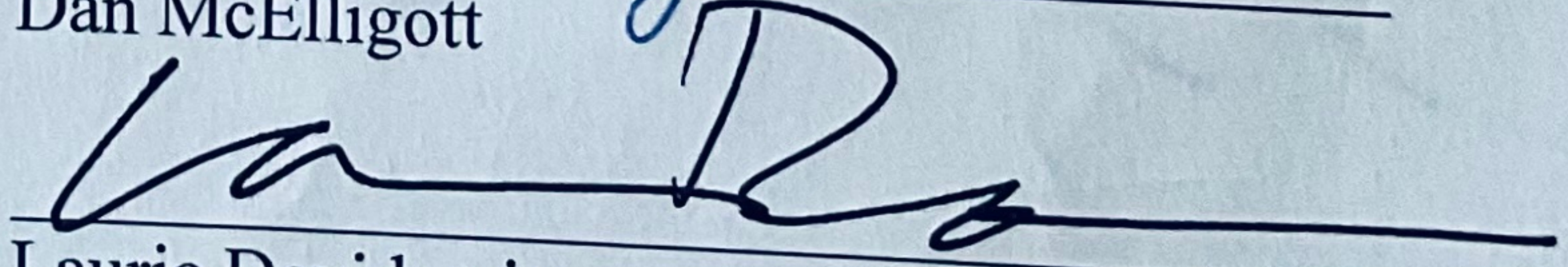
WHEREAS, the action is a Type II action under the State Environmental Quality Review Act and, therefore, requires no environmental review; now, therefore, be it:

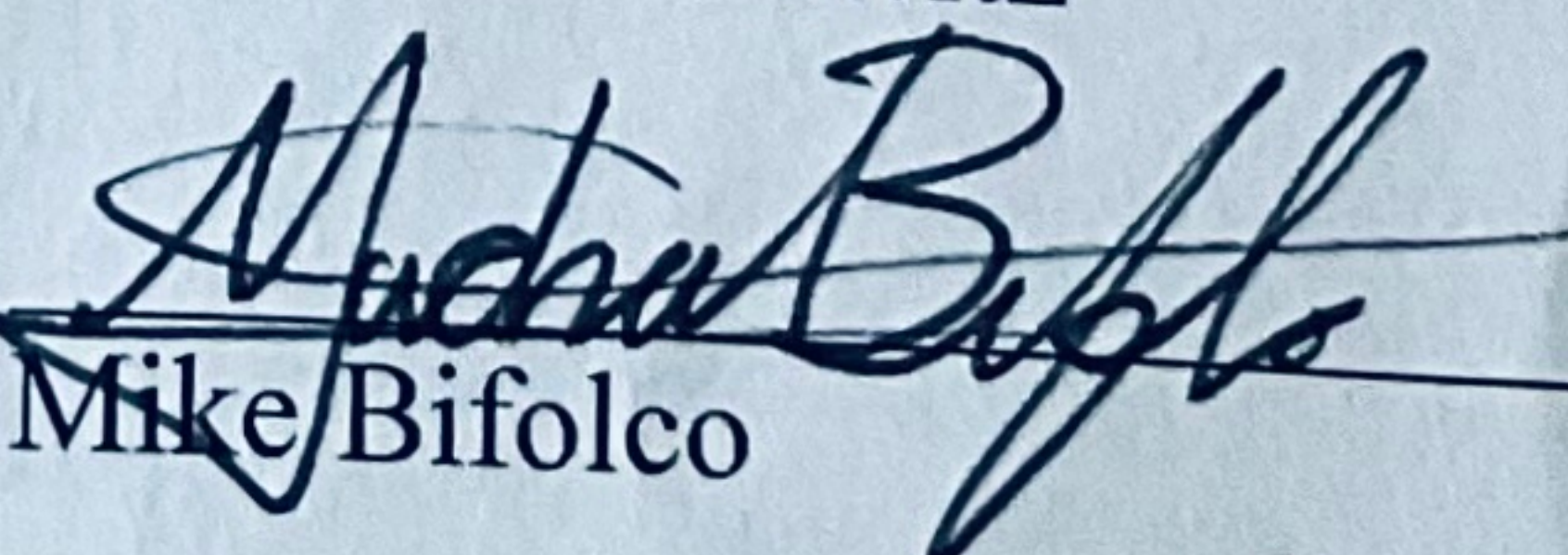
RESOLVED that the Planning Board grants the application for site development plan approval for the improvements reflected in the drawings entitled "Rosner Residence," prepared by Aspect 120 Landscape Architecture, P.C., Sheets L-0.0, L-0.1, L-1 and L-2, all last dated 12-21-22; L-3, L-4, L-5 and L-7, all dated 12-21-22; and L-6, dated 9-19-22.


Cesare Manfredi, Chairperson


Michael Smith


Dan McElligott


Laurie Davidowitz


Mike Bifulco

NB: This approval is not a substitute for a building permit. Construction may not commence until the Building Inspector issues a building permit.

SHEET NO.	TITLE
L-0.0	COVER SHEET, ZONING WORKSHEET, SITE PHOTOS
L-0.1	PROPERTY INFORMATION , COVERAGE DIAGRAMS AND COVERAGE CHART
L-1	REMOVALS PLAN
L-2	LAYOUT PLAN
L-3	GRADING PLAN, PLANTING PLAN
L-4	STRUCTURAL DETAILS: DECK, RAIL/FENCE
L-5	STRUCTURAL DETAILS: DECK, RAIL/FENCE
L-6	SITE DETAILS
L-7	NOTES: GENERAL, STRUCTURAL, PLANTING

EXISTING SITE IMAGES

VIEW OF BACK OF HOUSE FROM LOCATION OF PROPOSED DECK



VIEW OF FRONT OF HOUSE, LOOKING SOUTH WEST FROM HARRIMAN ROAD



ZONING WORK SHEET

SEE SETBACK DIAGRAM, SHEET L-0.1

Parameter	Existing	Proposed	Allowable
Zoning District	1F-40	1F-40	1F-40
Lot Area (SF)	17,424	17,424	40,000
Front Yard Setback (FT)	57.8	57.8	50
Side Yard Setback 1 (FT)	22.4	22.4	25
Side Yard Setback 2 (FT)	36.58	36.58	25
Rear Yard Setback (FT)	30.87	30.87	40
Lot Width (FT) *	200.7	200.7	150
Lot Depth (FT)*	150.2	150.2	150

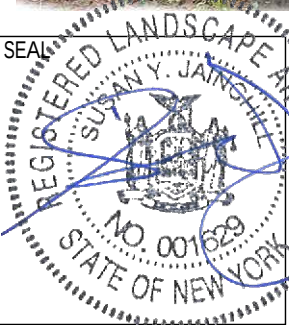
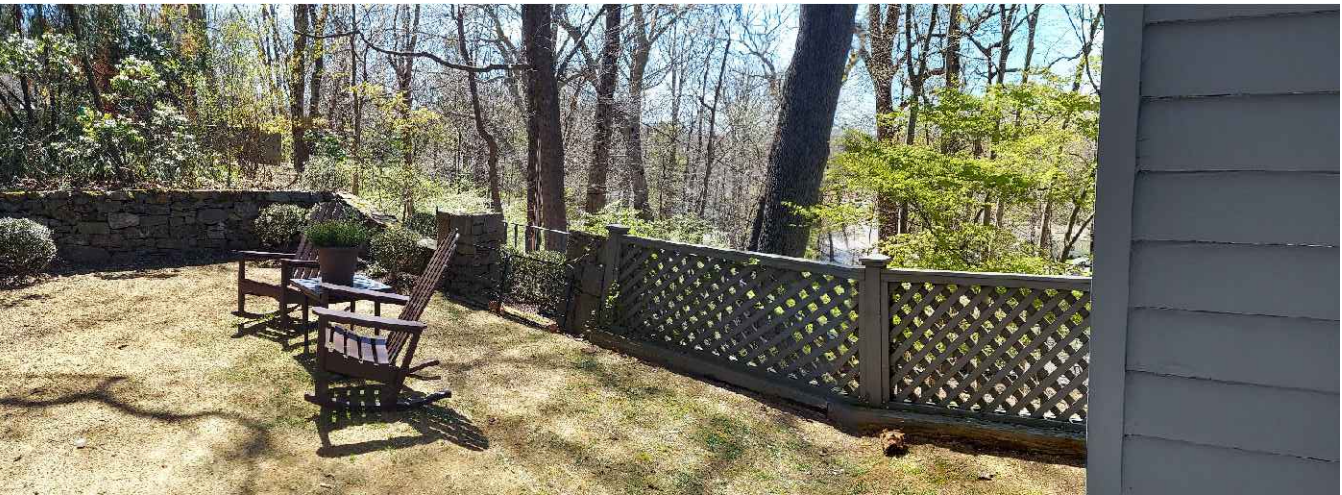
* measured at largest dimension

Buffers	Applicability	Existing	Proposed	Allowable	Reference
Old Croton Aqueduct	No			30	§224-50, All properties along OCA
Broadway "Existing" Lot ¹	No			50	§224-51 B, Properties along Broad
Broadway "New" Lot ¹	No			125	§224-51 B, Properties along Broad
Cyrus Field Road	No			75	§224-51 A

- *THERE IS NO CHANGE PROPOSED TO EXISTING HOUSE STRUCTURE, FOOTPRINT AND FAR.
- SEE SHEET L-0.1 FOR CONSTRUCTION SEQUENCING NOTES
- SEE SHEET L-7 FOR GENERAL, STRUCTURAL AND PLANTING NOTES

Zoning Reference Table							
2F	MF	1F-5	1F-10	1F-20	1F-40	1F-60	1F-80
5,000	10,000	5,000	10,000	20,000	40,000	60,000	80,000
30	30	30	30	35	50	60	75
10	15	10	15	15	25	30	50
10	15	10	15	15	25	30	50
30	30	30	30	35	40	60	75
50	85	50	85	100	150	200	250
100	100	100	100	125	150	200	200

VIEW TO LOCATION OF PROPOSED DECK FROM REAR DOOR



ASPECT 120 LANDSCAPE ARCHITECTURE P.C.
90 NORTH BROADWAY, SUITE 223
IRVINGTON, NY 10533
WWW.ASPECT 120.COM
PHONE: (914) 274-8544

PROJECT:
SITE IMPROVEMENTS FOR THE
ROSNER RESIDENCE
242 HARRIMAN ROAD
IRVINGTON, NY 10533

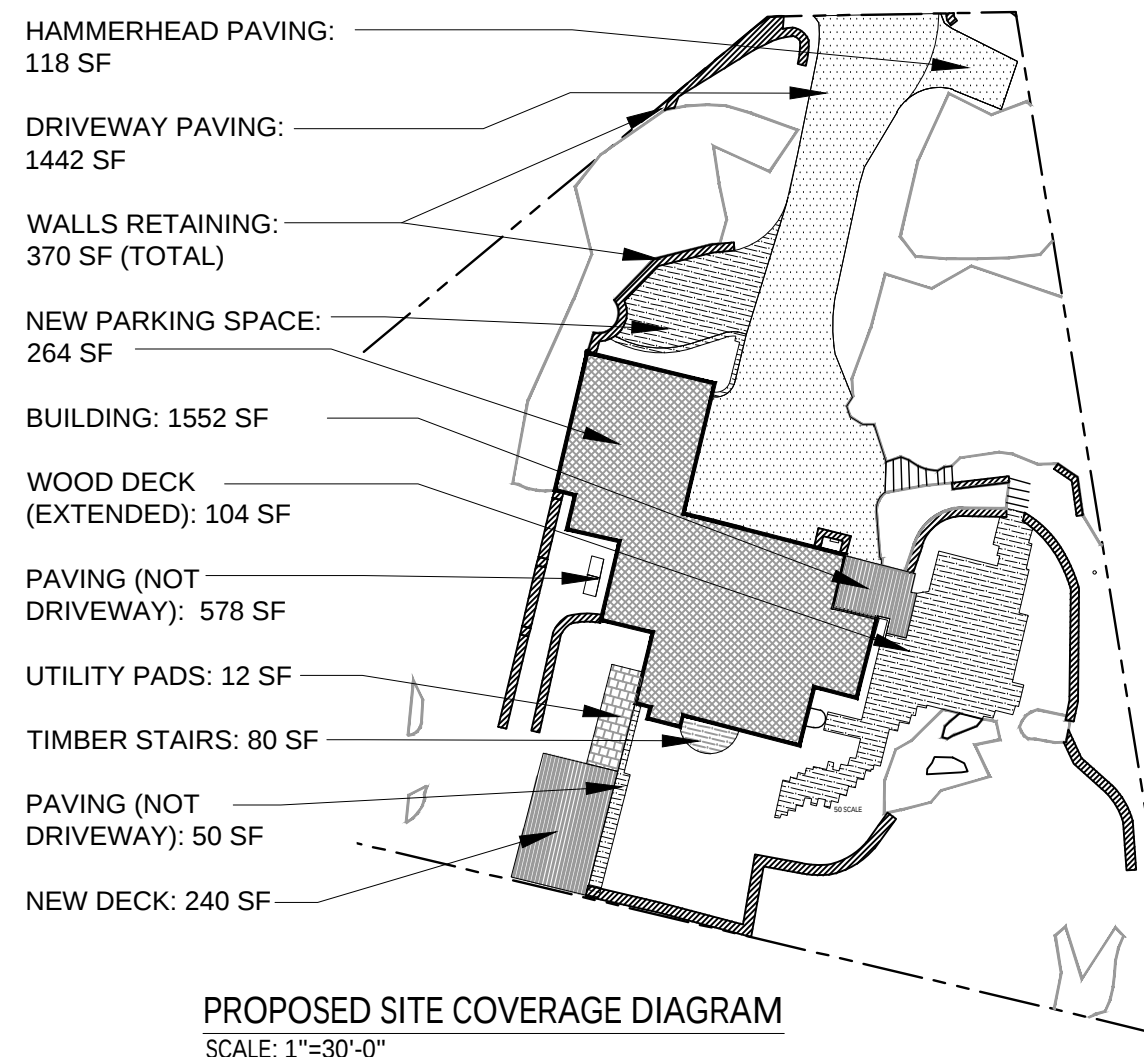
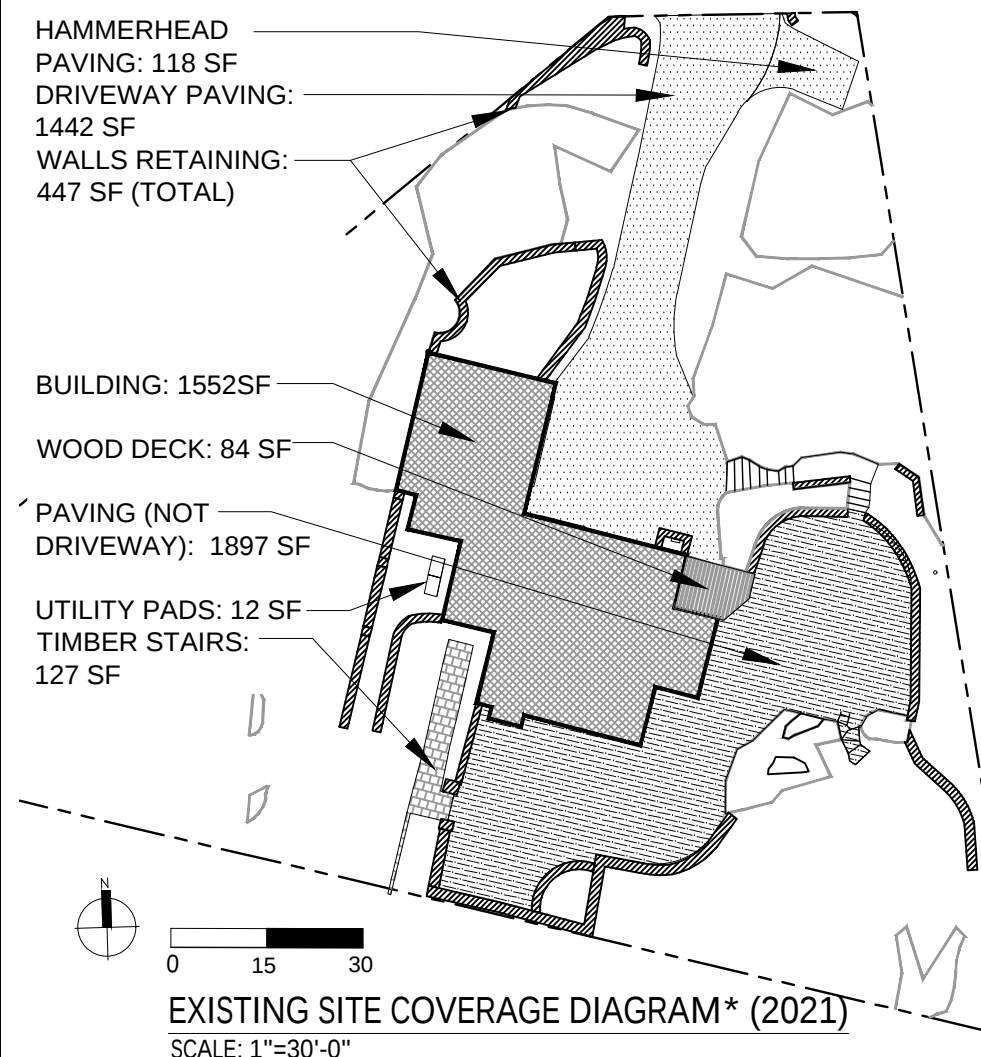
SECTION 2.100, BLOCK 57, LOT 7

DRAWING TITLE:
**COVER SHEET, ZONING
WORKSHEET, SITE PHOTOS**

REVISIONS:
12/21/2022: REVISED SITE PLAN SUBMISSION

SCALE: NA
DATE: 9/19/2022

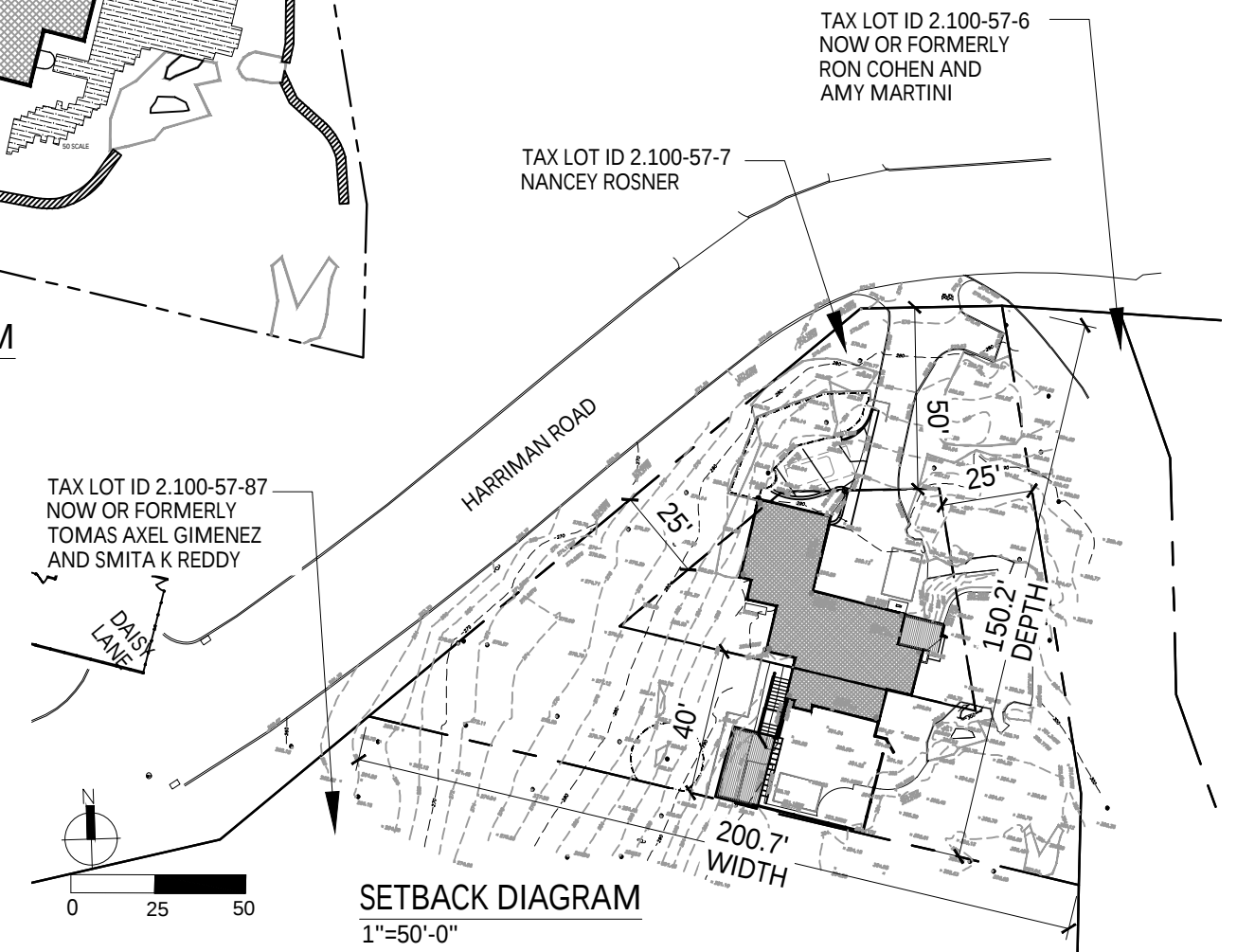
SHT #
L-0.0



- CONSTRUCTION SEQUENCE:**
- 1) INSTALL TREE PROTECTION AND EROSION CONTROL MEASURES.
 - 2) SAWCUT AND REMOVE EXISTING ASPHALT PAVING, REMOVE EXISTING STONE WALL AND STOCKPILE MATERIALS FOR REUSE ON SITE.
 - 3) RE-GRADE PARKING SPACE TO SUB-GRADE ELEVATIONS. EXCAVATE FOR DECK FOOTINGS
 - 4) CONSTRUCT CURB AND PARKING SPACE. CONSTRUCT DECK AND TIMBER STEPS, INSTALL FENCES AND RAILS
 - 5) REPAIR PAVERS WHERE DISTURBED.
 - 6) INSTALL PLANT MATERIAL.
 - 7) REMOVE TREE PROTECTION AND EROSION CONTROL MEASURES

Site Coverage Chart			
	EXISTING SITE COVERAGE* (SF)	PROPOSED SITE COVERAGE (SF)	PROPOSED CHANGE IN COVERAGE (SF)
Building	1552	1552	0
Wood Deck	84	344	260
Walls	447	370	-77
Paving (not driveway)	1897	892	-1005
Utility Pads	12	12	0
Timber stairs	127	80	-47
Total	4119	3250	-869
Driveway	1560	1560	0
Total Area Requiring Drainage	5679	4810	-869

* NOTE: "EXISTING SITE COVERAGE" REPRESENTS SITE CONDITIONS IN 2021 PRIOR TO REMOVAL OF A SIGNIFICANT AREA OF PATIO PAVING WHICH WAS REPLACED WITH LAWN AND PLANTINGS.



SEAL

ASPECT 120

LANDSCAPE ARCHITECTURE P.C.

90 NORTH BROADWAY, SUITE 223
IRVINGTON, NY 10533
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PROJECT:

SITE IMPROVEMENTS FOR THE
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242 HARRIMAN ROAD
IRVINGTON, NY 10533

SECTION 2.100, BLOCK 57, LOT 7

DRAWING TITLE:

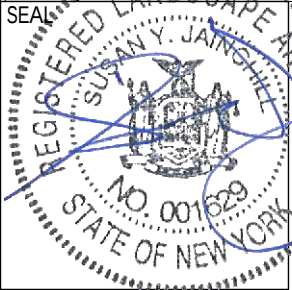
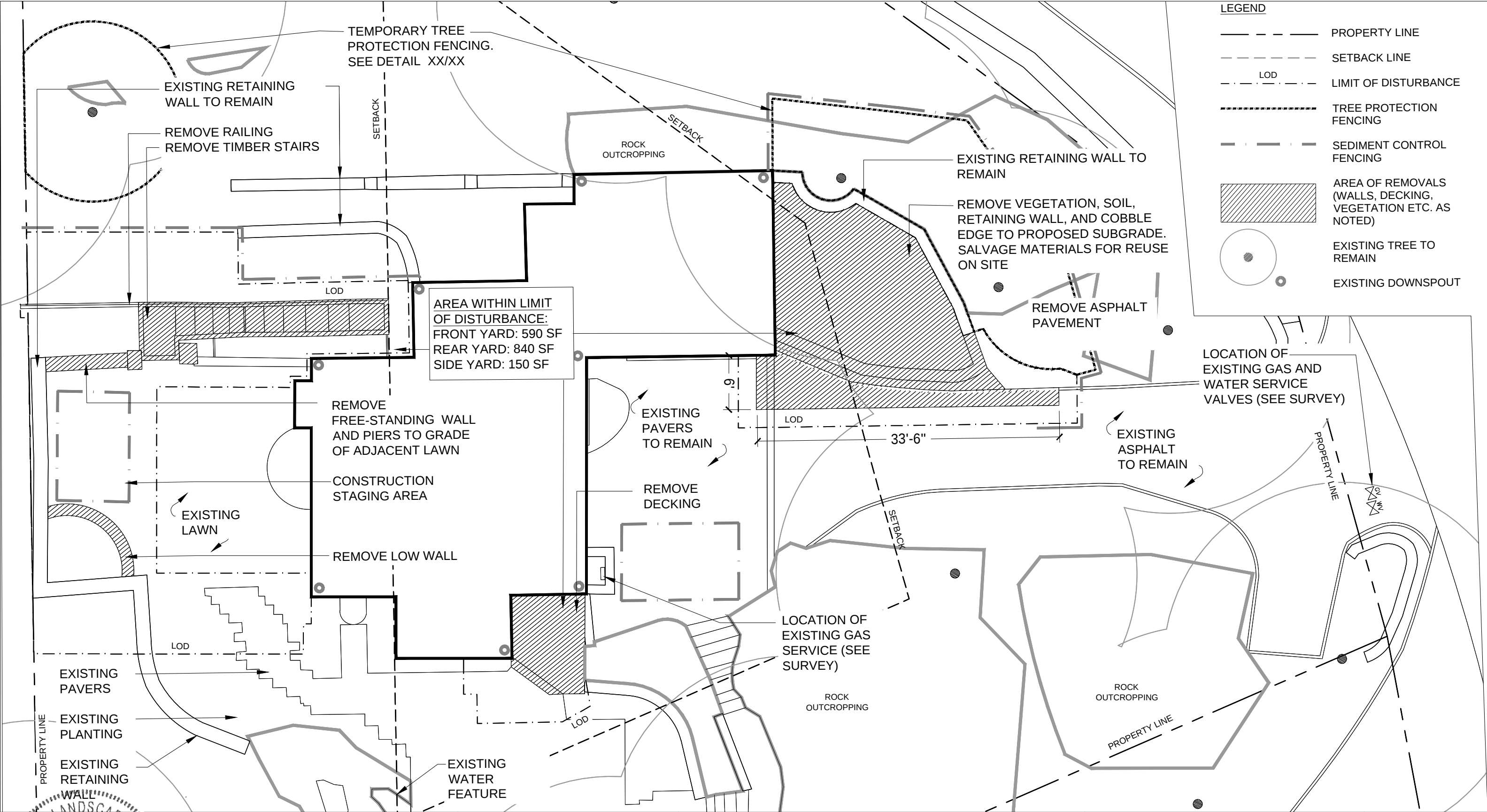
PROPERTY INFORMATION,
COVERAGE DIAGRAMS AND
COVERAGE CHART

REVISIONS:

11/03/2022 REVISED/ CLARIFY COVERAGE DIAGRAM
12/21/2022: REVISED SITE PLAN SUBMISSION

SCALE: AS NOTED
DATE: 9/19/2022

SHT #
L-0.1



ASPECT 120 LANDSCAPE ARCHITECTURE P.C.
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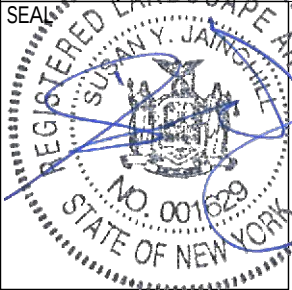
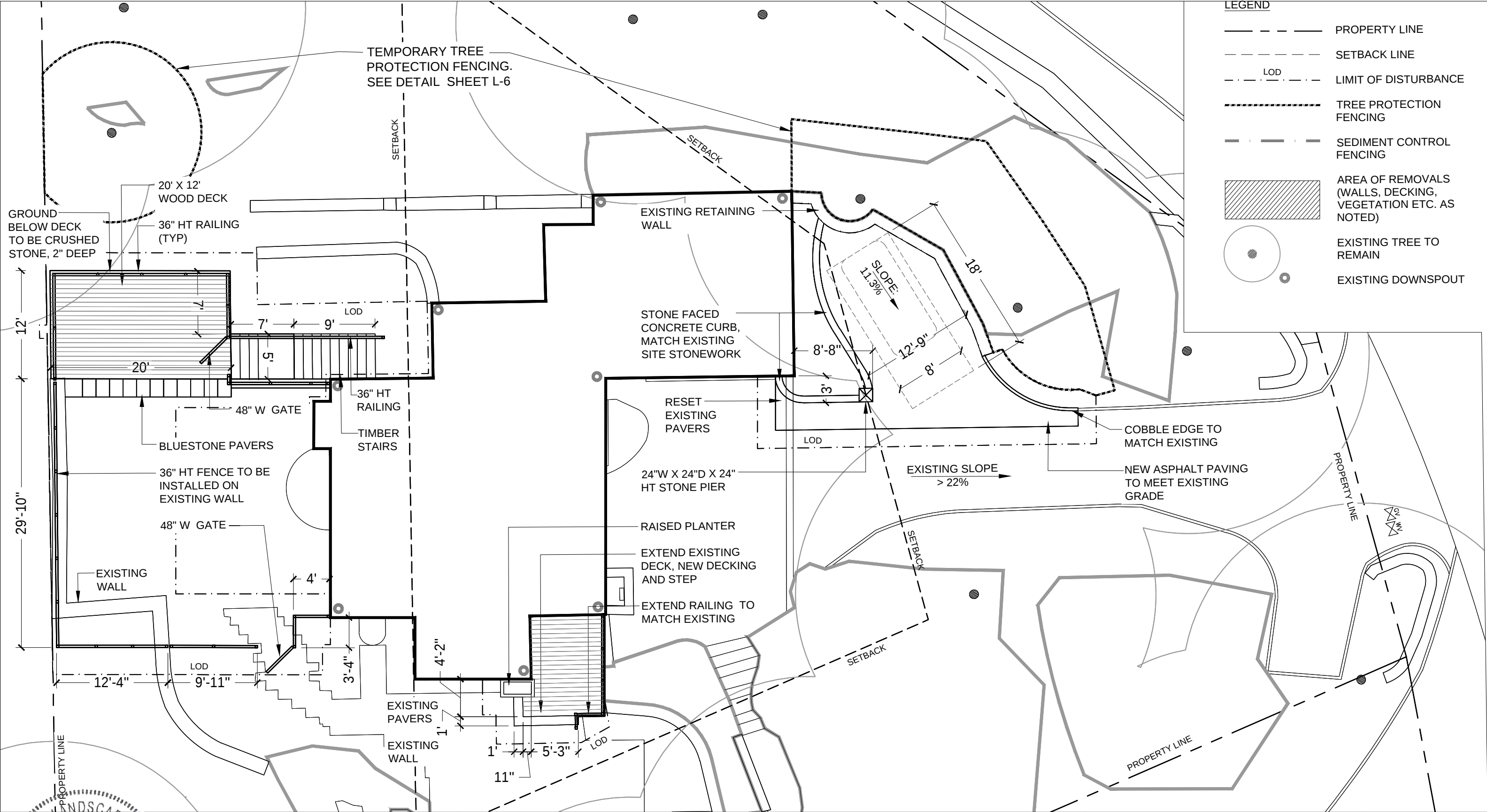
PROJECT:
SITE IMPROVEMENTS FOR THE
ROSNER RESIDENCE
242 HARRIMAN ROAD
IRVINGTON, NY 10533
SECTION 2.100, BLOCK 57, LOT 7

DRAWING TITLE:
REMOVALS PLAN

REVISIONS:
12/21/2022: REVISED SITE PLAN SUBMISSION

SCALE: 1" = 10'-0"
DATE: 9/19/2022

SHT #
L-1



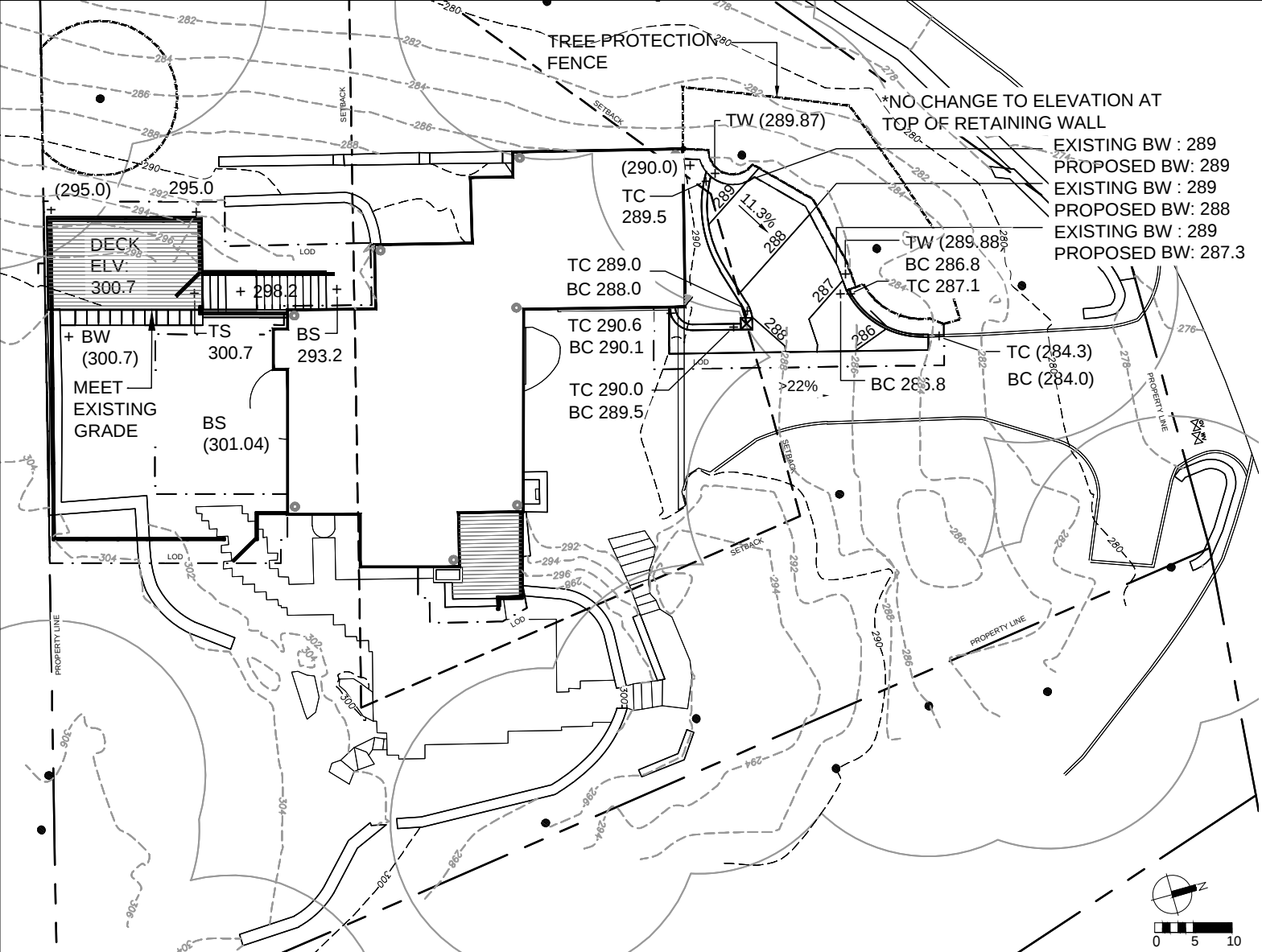
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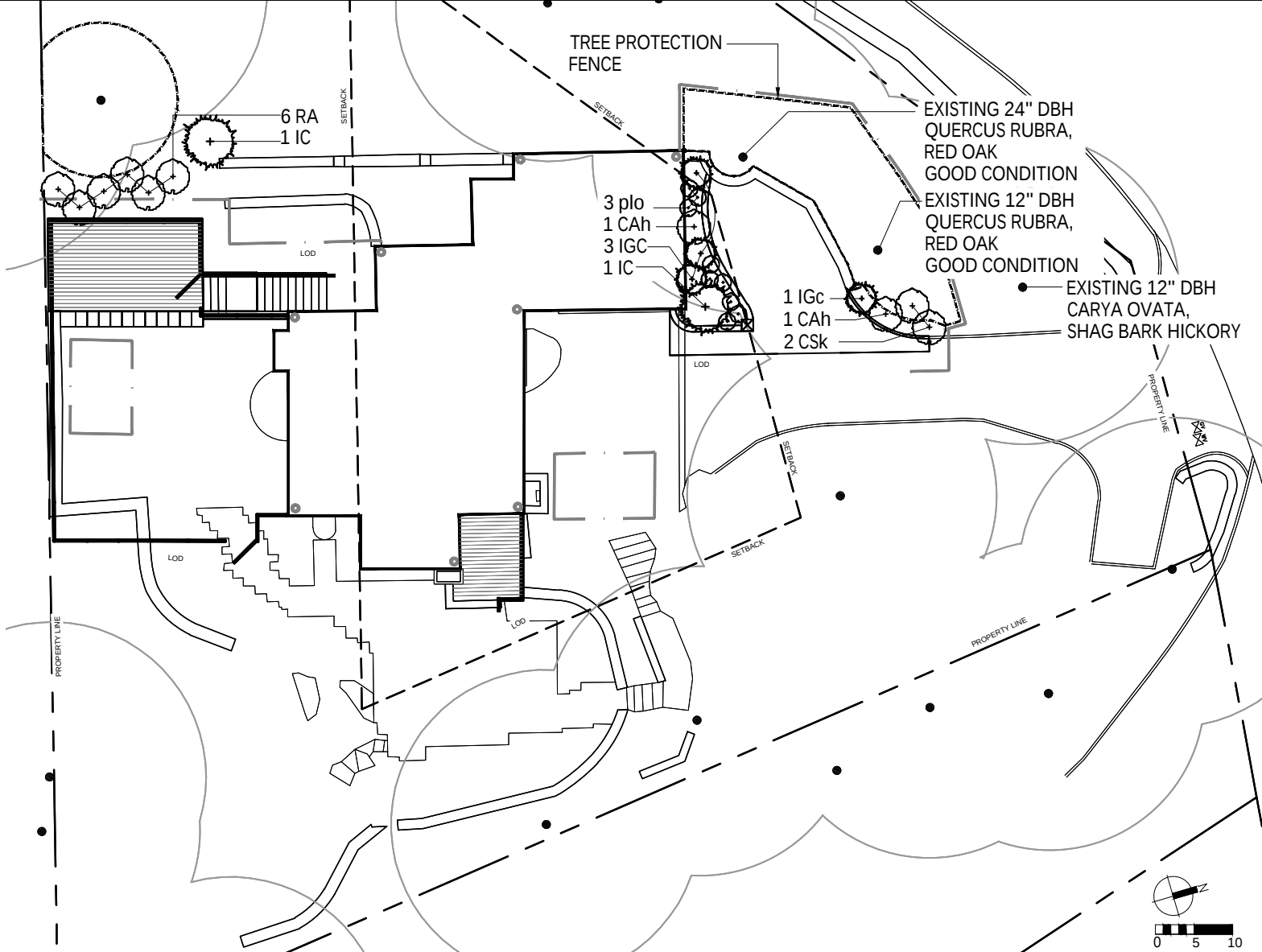
DRAWING TITLE:
LAYOUT PLAN

REVISIONS:
12/21/2022: REVISED SITE PLAN SUBMISSION

SCALE: 1" = 10' - 0"
DATE: 9/19/2022
SHT #
L-2



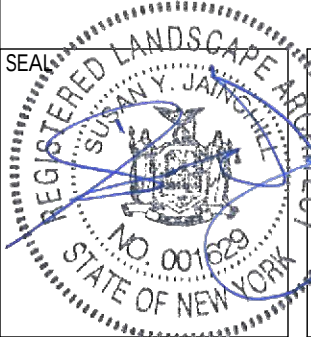
GRADING PLAN
SCALE: 1"=20'-0"



PLANTING PLAN
SCALE: 1"=20'-0"

PLANT LIST

QNT	KEY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
DECIDUOUS SHRUBS					
6	RA	RHUS AROMATICA 'GRO-LOW'	FRAGRANT SUMAC 'GRO-LOW'	3 GAL	AS SHOWN
2	CSk	CORNUS SERICEA 'KELSEYI'	'KELSEYI' REDOSIER DOGWOOD	5 GAL	AS SHOWN
2	CAh	CLEThERA ALNIFOLIA 'HUMMINGBIRD '	HUMMINGBIRD SWEET PEPPERBUSH	5 GAL	AS SHOWN
EVERGREEN SHRUBS					
4	IGc	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY HOLLY	5 GAL	AS SHOWN
2	IC	ILEX CRENATA 'STEEDS'	STEEDS UPRIGHT JAPANESE HOLLY	7 GAL	AS SHOWN
GROUND COVER					
9	phl	PHLOX STOLONIFERA	CREeping PHLOX 'SHERWOOD PURPLE'	1 GAL	1'- 0" O.C.



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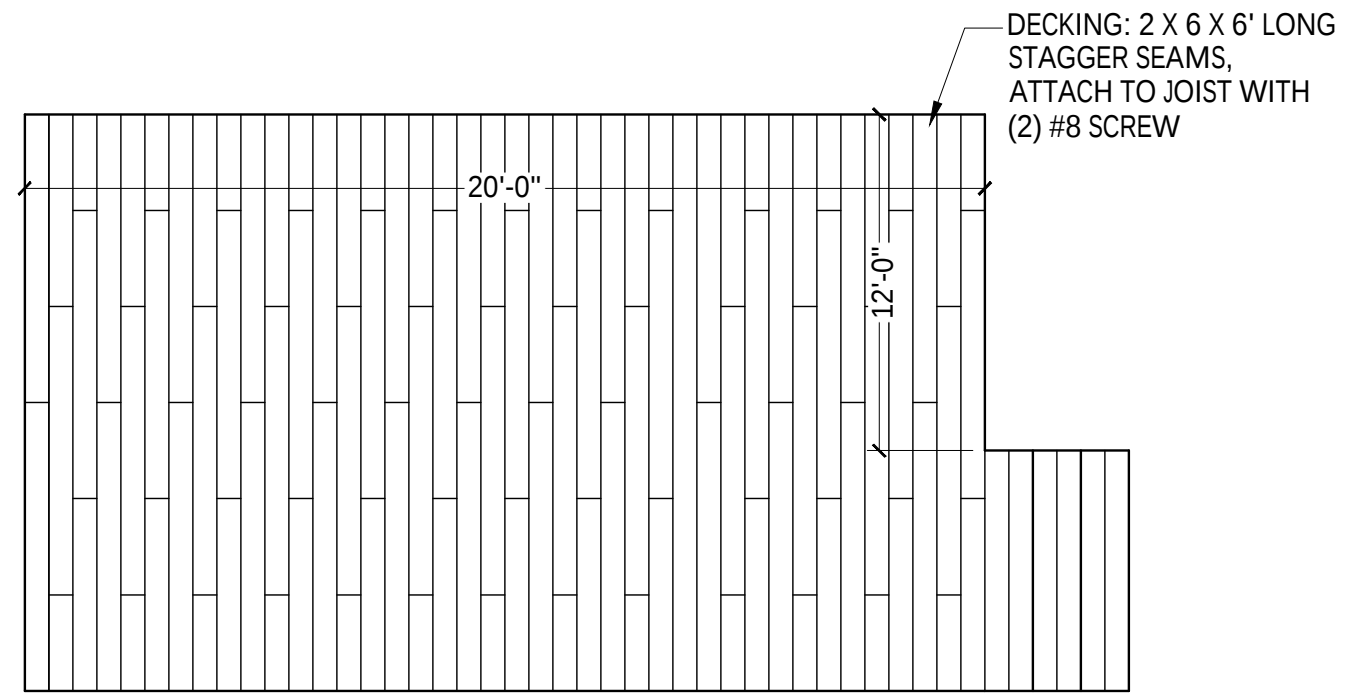
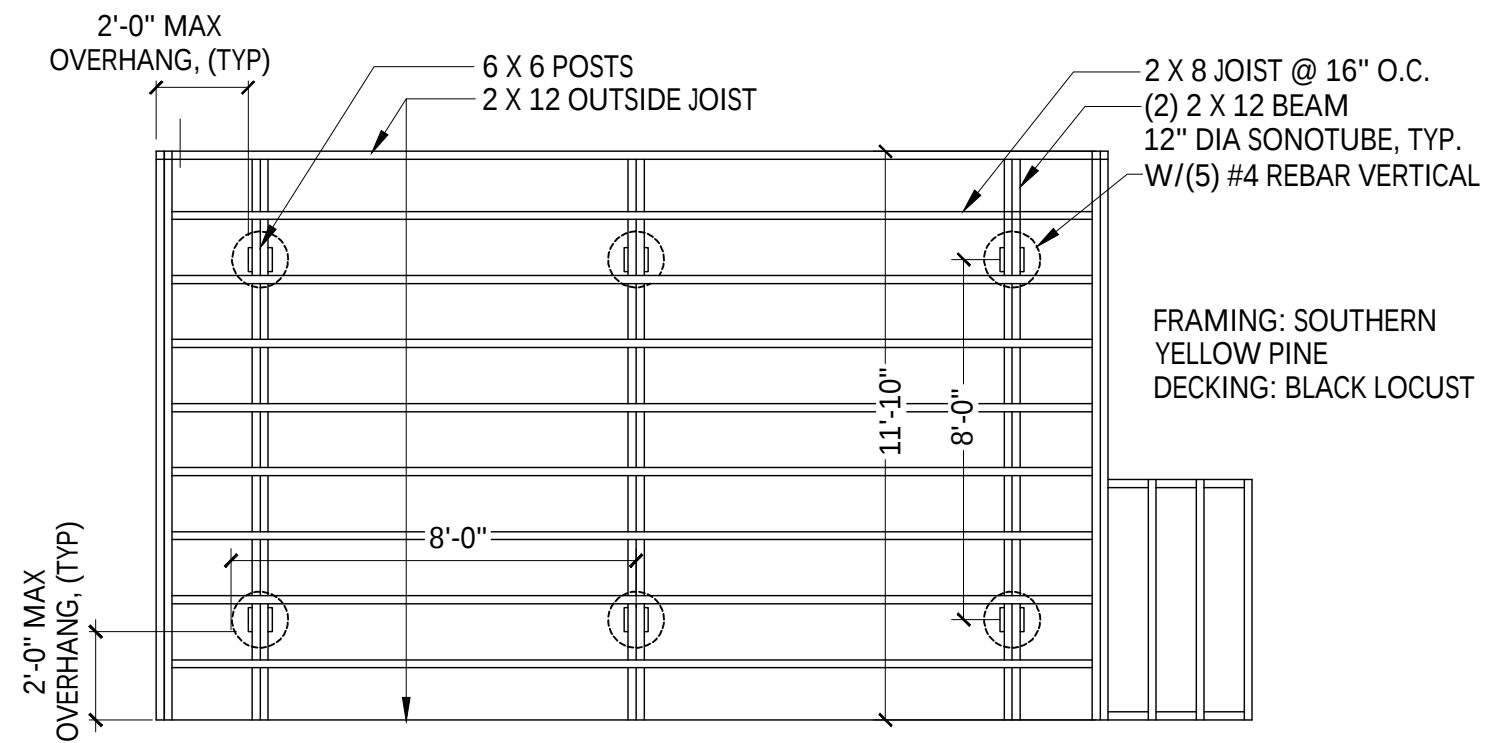
DRAWING TITLE:
GRADING PLAN, PLANTING PLAN

REVISIONS:

SCALE: 1" = 20'-0"
DATE:12/21/2022

SHT #

L-3



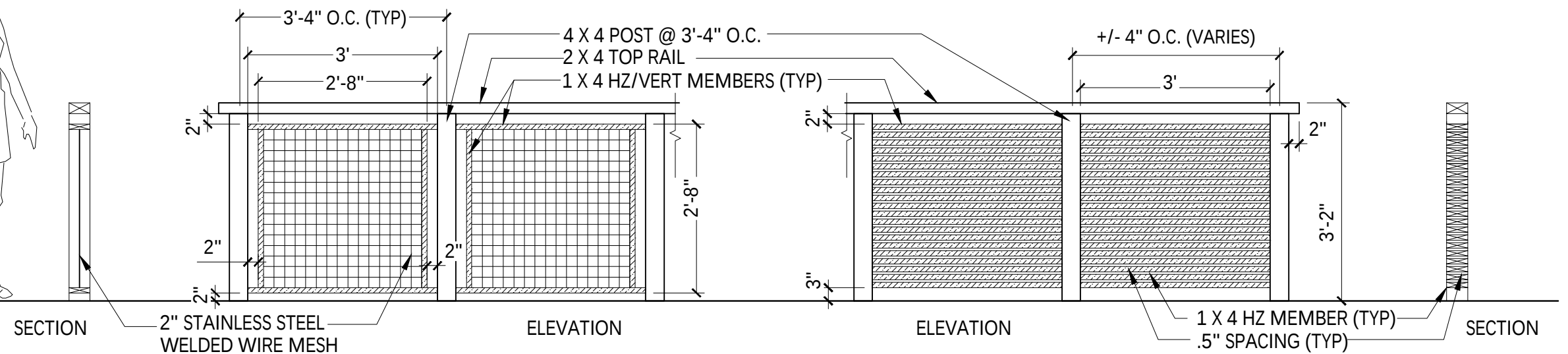
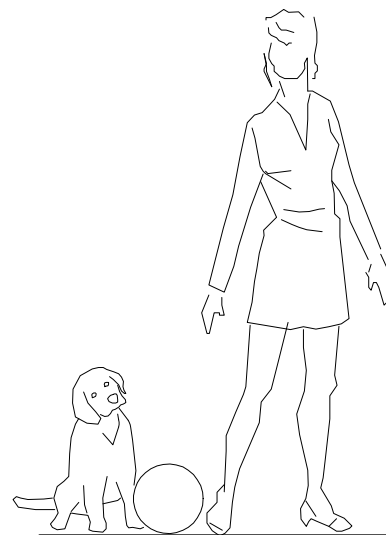
FRAMING PLAN

DECKING PLAN

1

DECK PLAN

SCALE: 1/4" = 1' - 0"



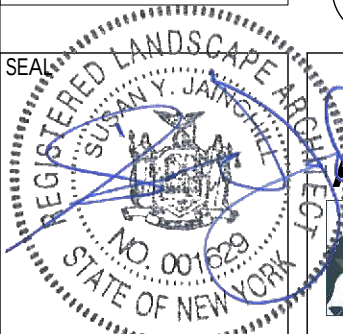
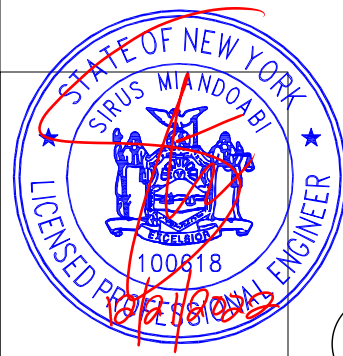
RAIL/FENCE TYPE 1: MESH PANEL

FENCE TYPE 2: HORIZONTAL BOARDS

2

RAIL/FENCE ELEVATIONS AND SECTIONS

SCALE: 1/2" = 1' - 0"



ASPECT 120

ECT 120 LANDSCAPE ARCHITECTURE P.C.

90 NORTH BROADWAY, SUITE 223

IRVINGTON, NY 10533

WWW.ASPECT 120.COM

PHONE: (914) 274-8544

PROJECT:

SITE IMPROVEMENTS FOR THE ROSNER RESIDENCE

242 HARRIMAN ROAD
IRVINGTON, NY 10533

SECTION 2.100, BLOCK 57, LOT 7

DRAWING TITLE:

STRUCTURAL DETAILS: DECK, RAIL/FENCE

REVISIONS:

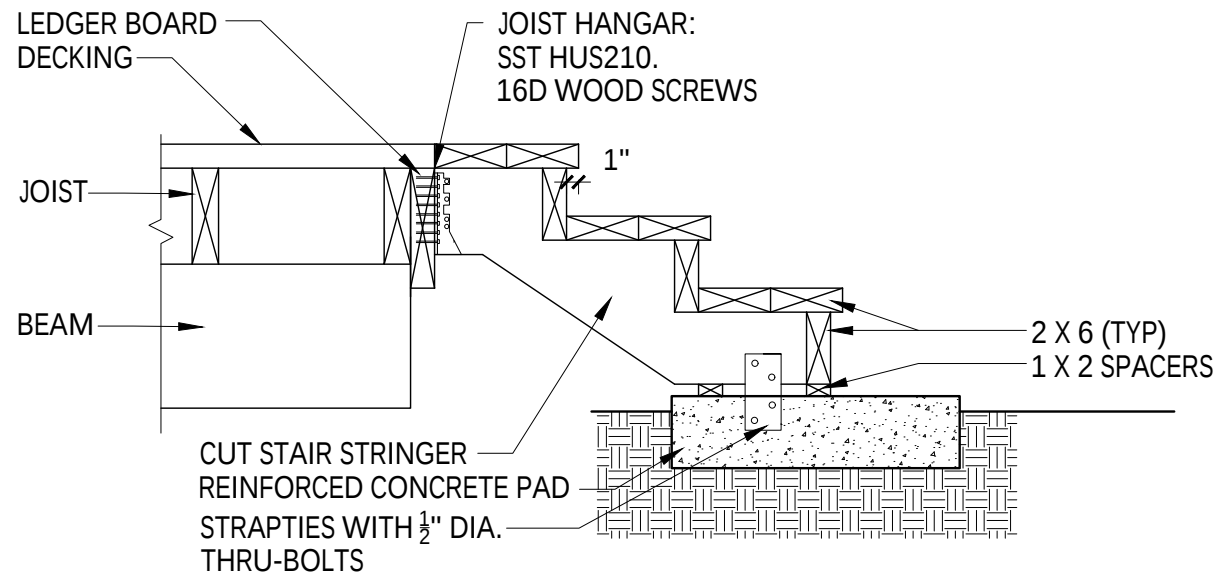
SCALE: AS SHOWN

DATE: 12/21/2022

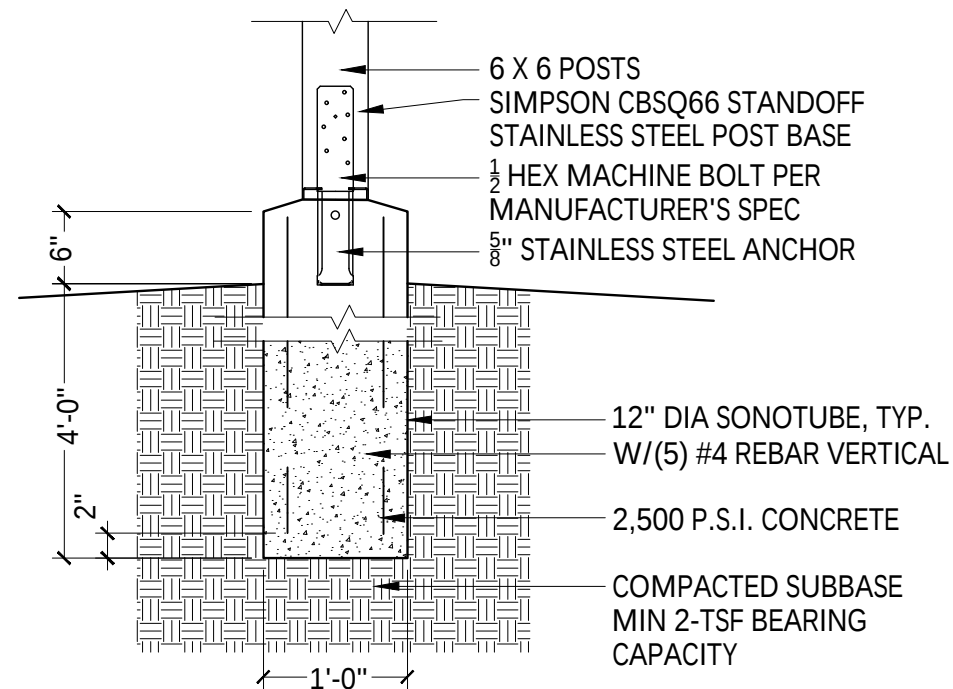
SHT #

-4

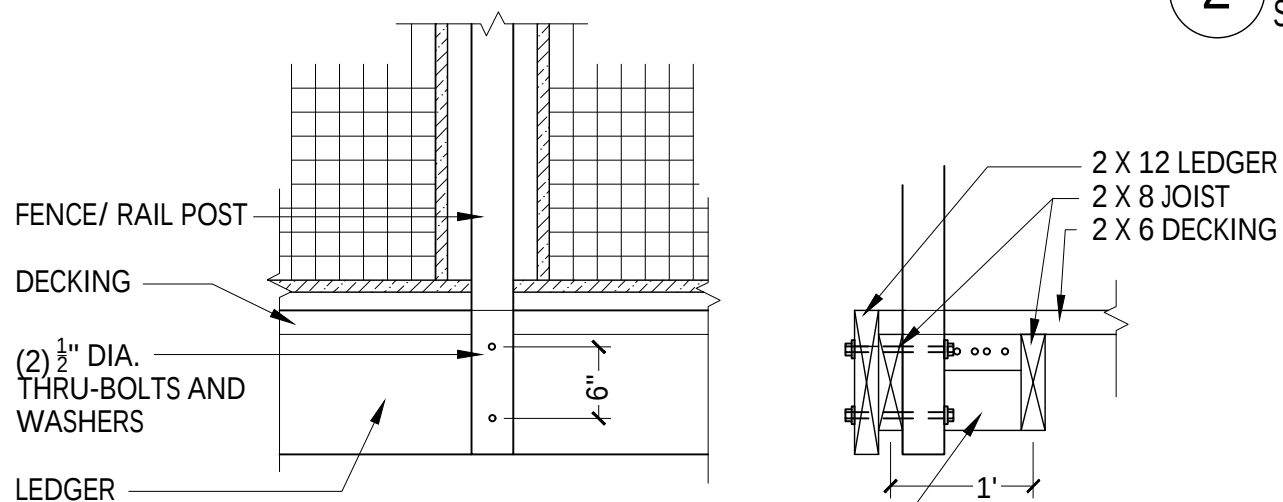
Warning: it is a violation of New York State Educator Law Article 145 §2/209 for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way.



1 DECK STAIRS SECTION
SCALE: 3/4" = 1' - 0"

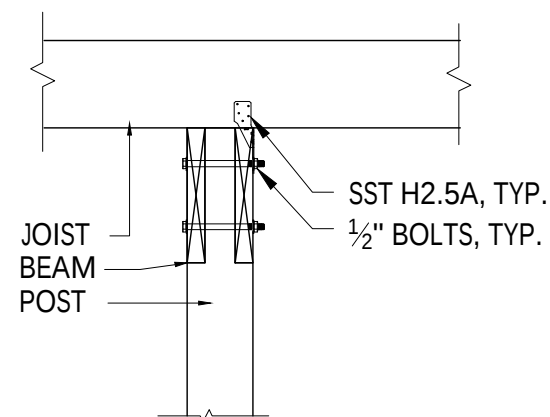


2 POST CONCRETE FOOTING
SCALE: 3/4" = 1'

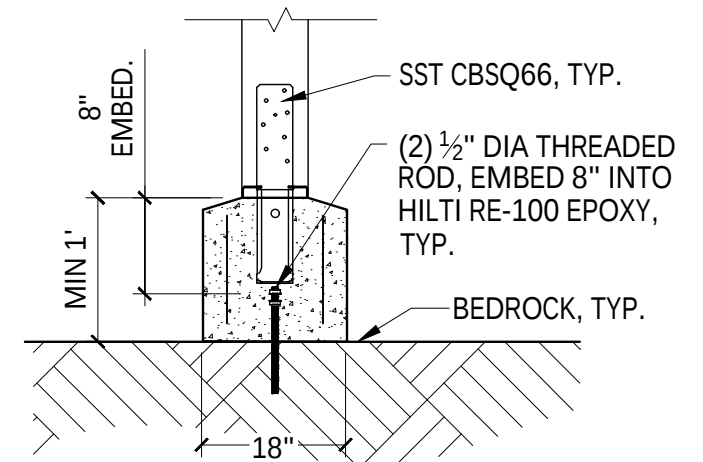


2"X8" BLOCKING
AT FIRST INTERIOR BAY AT GUARD POSTS WITH
HOLD-DOWN ANCHORS. ATTACH BLOCKING WITH 10D
COMMON NAILS TOP AND BOTTOM, EACH SIDE. FOR RIM
JOIST ATTACHMENT, INSTALL SAME HOLD-DOWN
ANCHORS TO ATTACH RIM JOIST TO 2 DECK JOISTS
ADJACENT TO EACH GUARD POST

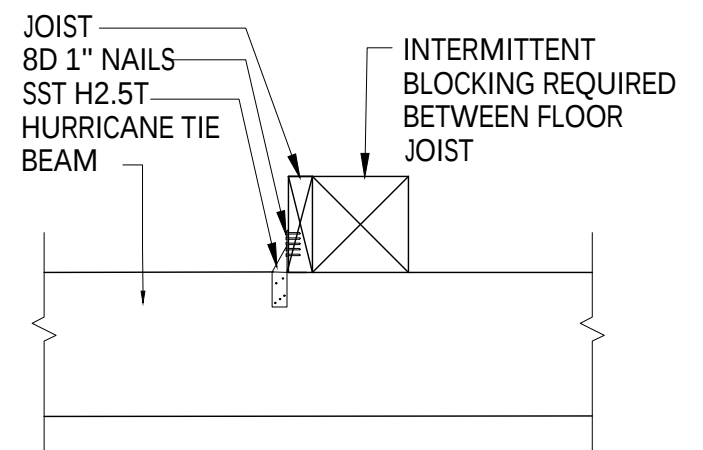
4 DECK RAIL ATTACHMENT
SCALE: 3/4" = 1' - 0"



5 BEAM TO POST ATTACHMENT
SCALE: 3/4" = 1' - 0"



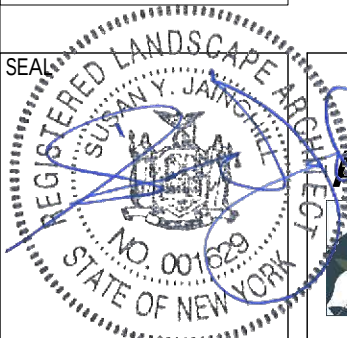
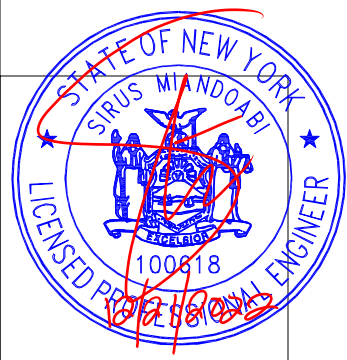
3 POST ANCHOR AT BEDROCK
SCALE: 3/4" = 1'



6 JOIST TO BEAM ATTACHMENT
SCALE: 3/4" = 1' - 0"



7 PLAN VIEW
ANCHOR JOIST, LEDGER, STAIR
SCALE: 3/4" = 1' - 0"



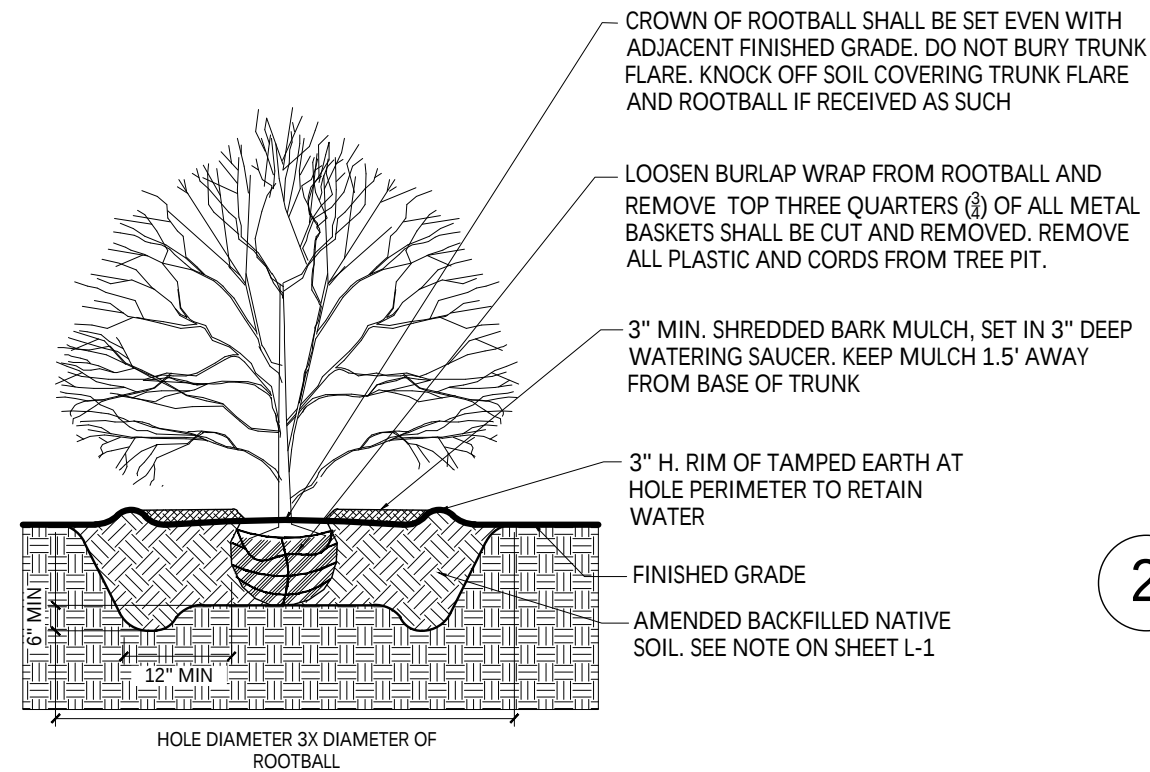
ASPECT 120 LANDSCAPE ARCHITECTURE P.C.
90 NORTH BROADWAY, SUITE 223
IRVINGTON, NY 10533
WWW.ASPECT 120.COM
PHONE: (914) 274-8544

PROJECT:
SITE IMPROVEMENTS FOR THE
ROSNER RESIDENCE
242 HARRIMAN ROAD
IRVINGTON, NY 10533
SECTION 2.100, BLOCK 57, LOT 7

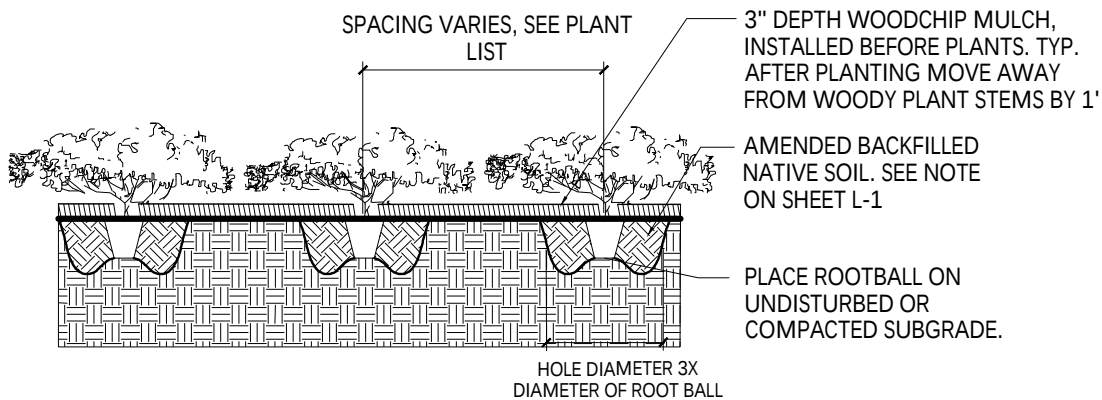
DRAWING TITLE:
**STRUCTURAL DETAILS:
DECK, RAIL/FENCE**

REVISIONS:

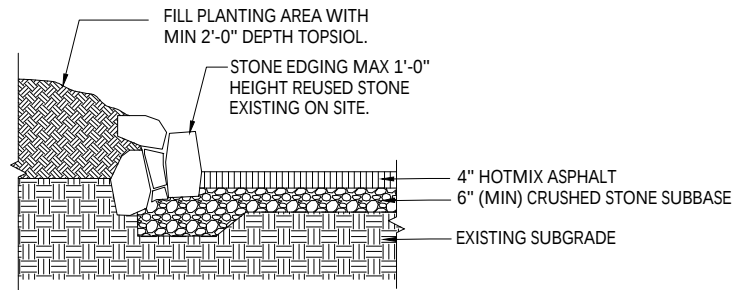
SCALE: AS NOTED
DATE: 12/21/2022
SHT #
L-5



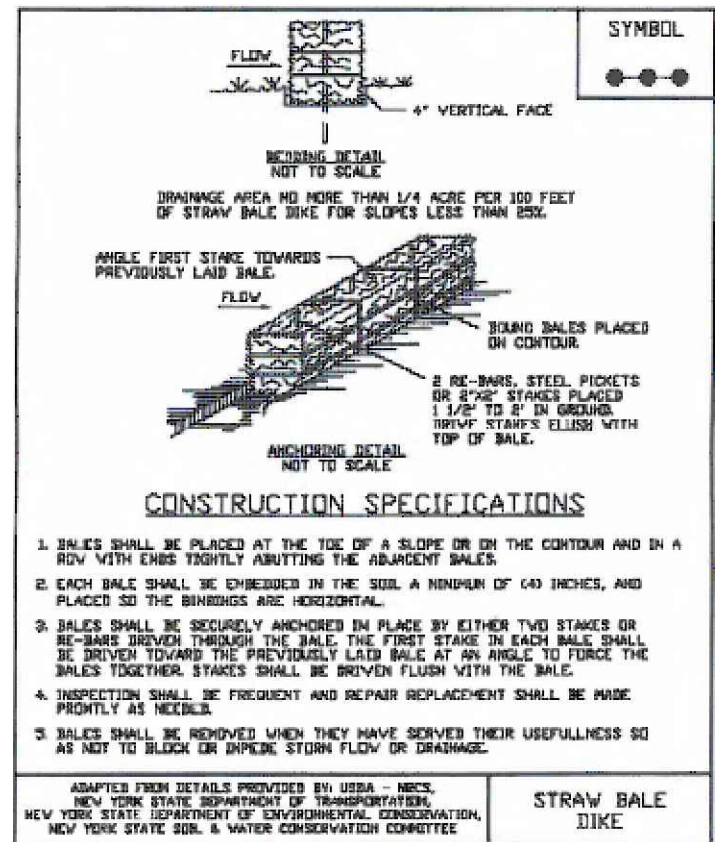
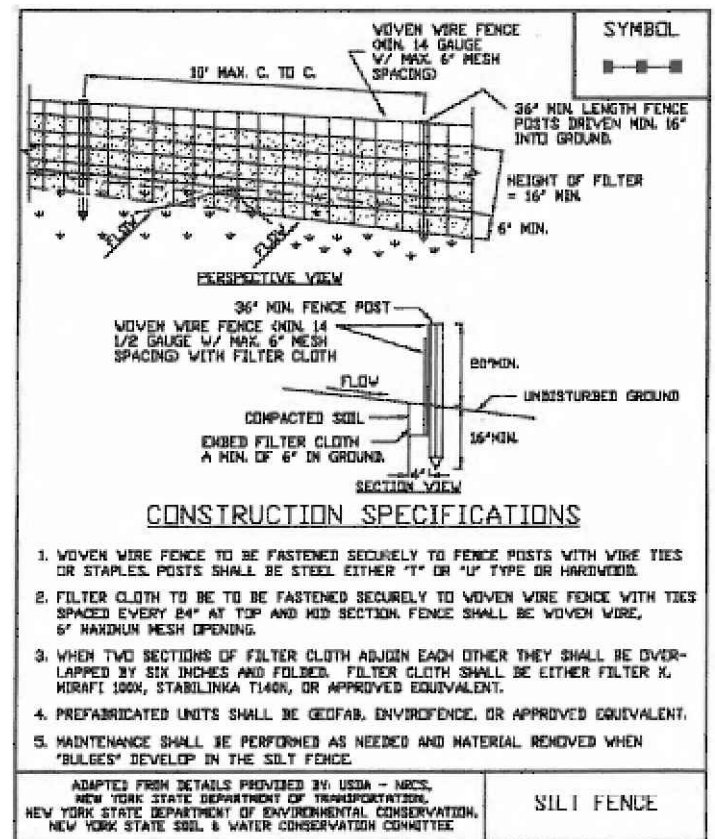
1 SHRUB PLANTING DETAIL
SCALE: NTS



3 GROUNDCOVER PLANTING DETAIL
SCALE: NTS



4 TREE PROTECTION DETAIL
SCALE: NTS



SEAL
REGISTERED LANDSCAPE ARCHITECT
SUSAN Y. JAINGHIL
NO. 001629
STATE OF NEW YORK
ASPECT 120 LANDSCAPE ARCHITECTURE P.C.
90 NORTH BROADWAY, SUITE 223
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PROJECT:
SITE IMPROVEMENTS FOR THE
ROSNER RESIDENCE
242 HARRIMAN ROAD
IRVINGTON, NY 10533
SECTION 2.100, BLOCK 57, LOT 7

DRAWING TITLE:
SITE DETAILS

REVISIONS:

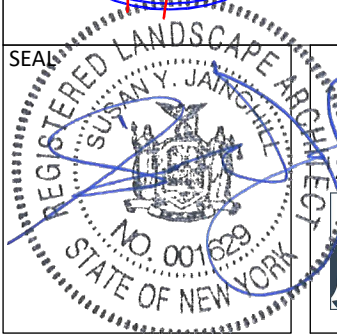
SCALE: AS NOTED
DATE: 9/19/2022
SHT #
L-6

GENERAL NOTES:

- 1) THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- 2) AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
- 3) PROPOSED SOIL SLOPES EXCEEDING 1:2 (V:H) SHALL BE RIP-RAPPED AND SHALL NOT EXCEED 1:1 (V:H).
- 4) CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE. IF REQUIRED DUE TO UNFORESEEN CIRCUMSTANCES, ALL IMPORTED FILL MUST BE CERTIFIED AND APPROVED BY THE VILLAGE BUILDING INSPECTOR OR ENGINEER.
- 5) DESIGN AND CONSTRUCTION DOCUMENTATION FOR THIS PROJECT IS BASED ON EXISTING INFORMATION PROVIDED BY TC MERRITS LAND SURVEYORS, 394 BEDFORD ROAD, PLEASANTVILLE, NY 10570. DRAWING TITLE: "TOPOGRAPHY OF PROPERTY PREPARED FOR NANCY ROSNER", SURVEYED JUNE 22,2022, MAP PREPARED JUNE 30, 2022.
- 6) NO CHANGES TO UTILITIES ARE PROPOSED AND NO UTILITIES WELL BE DISTURBED DURING CONSTRUCTION

STRUCTURAL NOTES (GENERAL):

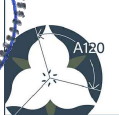
- 1) NOTES, TYPICAL DETAILS AND SCHEDULES APPLY TO ALL STRUCTURAL WORK UNLESS OTHERWISE NOTED. FOR CONDITIONS NOT SPECIFICALLY SHOWN, PROVIDE DETAILS OF A SIMILARLY NATURE, VERIFY APPLICABILITY BY SUBMITTING SHOP DRAWINGS FOR REVIEW.
- 2) STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS, AND LANDSCAPE ARCHITECTURAL DRAWINGS. IF THERE IS A DISCREPANCY BETWEEN DRAWINGS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ENGINEER PRIOR TO PERFORMING WORK.
- 3) DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONAL INFORMATION.
- 5) THESE DRAWINGS DO NOT DEFINE SCOPE OF CONTRACTS.
- 6) AT ALL TIMES THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONDITIONS OF THE JOBSITE, INCLUDING SAFETY OF PERSONS AND PROPERTY. THE ARCHITECT'S OR ENGINEER'S PRESENCE OR REVIEW OF WORK DOES NOT INCLUDE THE ADEQUACY OF THE CONTRACTOR'S MEANS OR METHODS OF CONSTRUCTION.
- 7) SHORING, BRACING AND PROTECTION OF EXISTING AND ADJACENT STRUCTURES DURING CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. PROTECT AND MAINTAIN THE INTEGRITY OF ADJACENT STREETS, BUILDINGS AND STRUCTURES.



ASPECT 120

LANDSCAPE ARCHITECTURE P.C.

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PROJECT:
SITE IMPROVEMENTS FOR THE
ROSNER RESIDENCE
242 HARRIMAN ROAD
IRVINGTON, NY 10533

SECTION 2.100, BLOCK 57, LOT 7

DRAWING TITLE:
**NOTES: GENERAL,
STRUCTURAL AND PLANTING**

REVISIONS:

SCALE: NA
DATE: 12/21/2022

SHT #
L-7

- 8) ALL EXISTING DIMENSIONS AND LOCATIONS OF EXISTING STRUCTURES ON DRAWINGS SHALL BE VERIFIED BY FIELD MEASUREMENTS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- 9) DRAWINGS HAVE BEEN PREPARED BASED ON AVAILABLE KNOWLEDGE OF EXISTING CONDITIONS. IF, DURING DEMOLITION, EXCAVATION, OR CONSTRUCTION ACTUAL CONDITIONS ARE DISCOVERED TO DIFFER FROM THOSE INDICATED ON DRAWINGS, ENGINEER SHALL BE NOTIFIED IMMEDIATELY.

FOUNDATION NOTES:

- 1) WALL FOOTINGS SHALL BEAR ON SOIL WITH A MINIMUM BEARING CAPACITY OF 1 TSF, SUBJECT FIELD VERIFICATION
- 2) FOOTINGS SHALL BEAR ON FIRM, UNDISTURBED SOIL AT A MINIMUM OF 3'-6" BELOW FINISHED GRADE. ALL FOOTINGS SHALL BE FORMED.
- 5) SLABS ON GRADE SHALL BE PLACED ON SELECT FILL COMPACTED TO 90 PERCENT MODIFIED PROCTOR MAXIMUM DRY DENSITY (ASTM D1557) AND HAVE A VAPOR BARRIER OF 6MIL POLYETHYLENE FILM WITH EDGES LAPPED 6" OVER A 4" GRAVEL BED.

CONCRETE NOTES:

- 1) CONCRETE WORK SHALL CONFORM TO ACI-318. IN CASE OF CONFLICT, THE NEW YORK STATE BUILDING CODE SHALL TAKE PRECEDENCE
- 2) ALL FOOTINGS FOUNDATION WALLS, FRAMED SLABS SHALL BE CONTROLLED AIR ENTRAINED CONCRETE HAVING A MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF 5000-PSI IN 28 DAYS, ASTM TYPE 1 WITH 4" SLUMP, AND HAVE PROPERTIES TO RESIST SEVER WEATHERING POTENTIAL.
- 3) ALL REINFORCING SHALL BE A MINIMUM OF GRADE 60
- 4) ALL DOWELS TO BE HOT-DIP GALVANIZED WITH NUT AND WASHER TO FIT ALONG TOP OF FOUNDATION WHERE SILL PLATES ARE TO BE ANCHORED, EXTEND 16" INTO CONCRETE BELOW, AND WITH HOOKS MINIMUM OF 4"
- 5) REINFORCING CONCRETE SHALL HAVE A MINIMUM CLEAR COVER AS FOLLOWS:
 - a. CONCRETE POURED AGAINST EARTH - 3"
 - b. CONCRETE EXPOSED TO EARTH OR WEATHER
 - i. #5 OR SMALLER - 1½"
 - ii. #6 OR LARGER - 2"
 - c. CLEAR COVER SHALL BE CLEARLY SHOWN ON ALL REBAR DETAIL DRAWINGS
- 6) ALL REINFORCING SHALL BE SECURELY HELD IN POSITION WHILE PLACING CONCRETE. IF NECESSARY, ADDITIONAL BARS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT
- 7) THE CONTRACTOR SHALL VERIFY THE DIMENSIONS AND LOCATIONS OF ALL OPENINGS, IF NECESSARY
- 8) COLD WEATHER CONCRETE CONSTRUCTION SHALL BE IN COMPLIANCE WITH ACI 318.

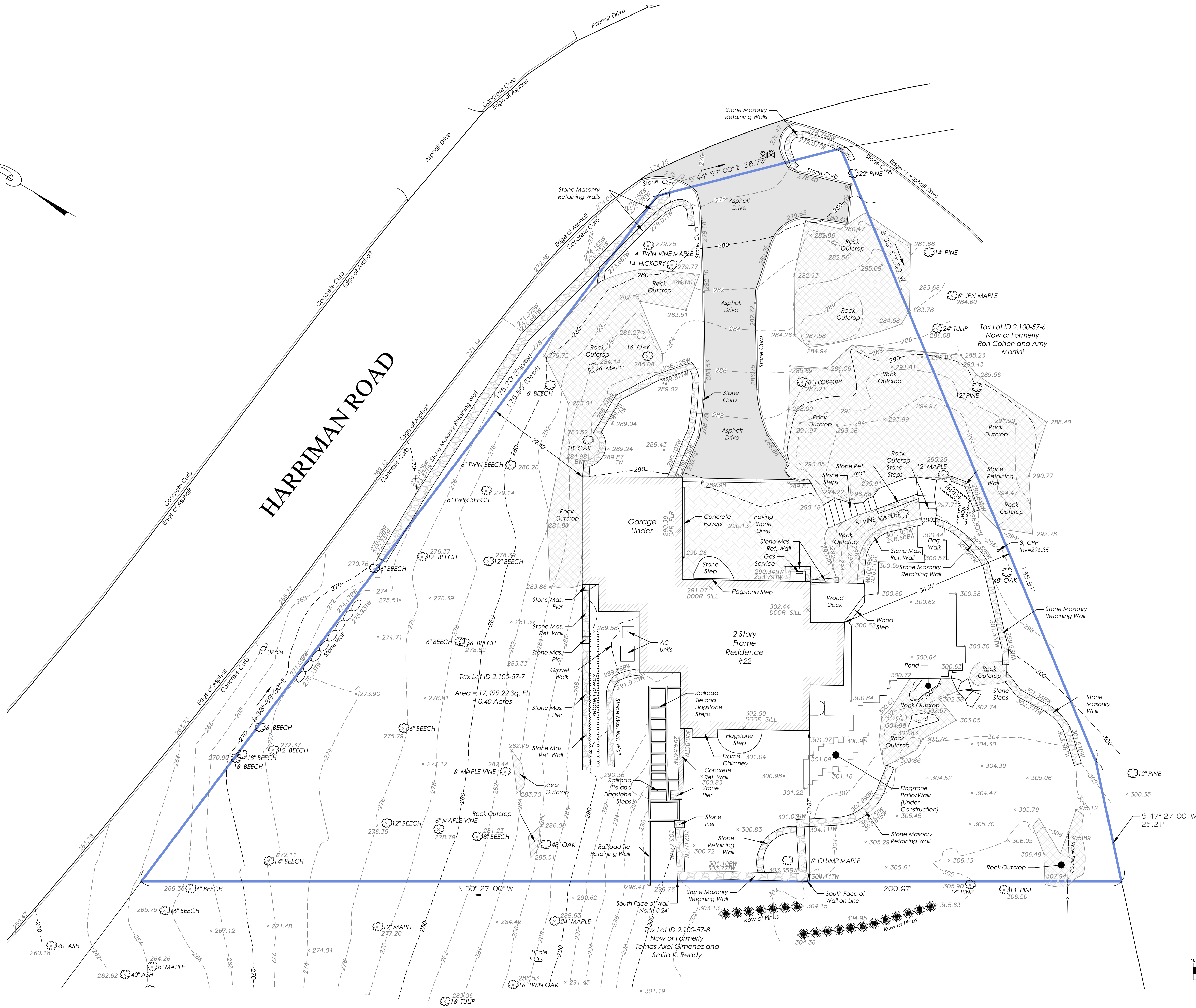
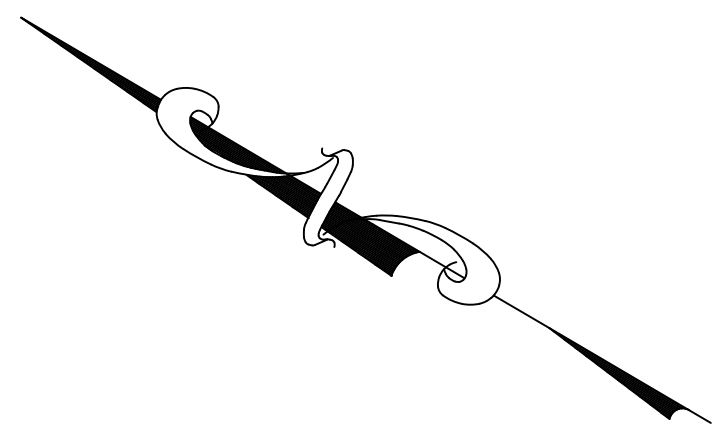
WOOD FRAMING NOTES:

- 1) ALL WOOD TO BE DF-L NO. 1 OR EQ/GREATER, U.O.N.
- 2) ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE 2020 NYS RESIDENTIAL BUILDING CODE

- 3) ALL CONNECTIONS TO BE MADE PER MANUFACTURER'S INSTRUCTIONS, RECOMMENDATIONS AND FASTENING REQUIREMENTS. ALL NEW EXPOSED EXTERIOR STEEL SHALL BE PROTECTED AGAINST CORROSION.
- 4) APPROPRIATE SIMPSON STRONG-TIE CONNECTORS TO BE INSTALLED AND USED FOR THEIR INTENDED PURPOSE
- 5) HURRICANE TIES TO BE MIN 18-GA LTS (SST H2.5A, H2.5ASS, OR EQUAL)
- 6) TOP FLANGE JOIST HANGERS JB/JBA TO BE USED FOR ALL ASYMMETRIC LOADED BEAMS, FACE MOUNTED JOIST HANGERS LU28/LUS28 TO BE USED FOR SYMMETRIC LOADED BEAMS ONLY.
- 7) ALL WOOD EXPOSED TO WEATHER SHALL BE PRESSURE TREATED KILN-DRIED AND PAINTED. IF WOOD IS NOT KILN-DRIED, ALLOW 2-4 MONTHS TO DRY AND THEN PAINT. PAINT SHALL BE EXTERIOR GRADE AND APPLIED WITH PRIMER OR PER MANUFACTURERES INSTRUCTIONS (MINIMUM 2 COATS)

PLANTING NOTES:

- 1) THE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO ANY LAWN WORK OR TREE AND SHRUB PLANTING AND SHALL IMMEDIATELY REPORT ANY CONFLICTS TO THE PROJECT SITE ENGINEER.
- 2) THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON THE DRAWING. NO PLANT OR CULTIVAR SUBSTITUTIONS WILL BE ACCEPTABLE WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT
- 3) OWNER'S REPRESENTATIVE SHALL INSPECT PLANT MATERIAL FOR ACCEPTANCE PRIOR TO PLANTING.
- 4) SPECIAL ATTENTION WILL BE GIVEN TO PROTECTION OF ROOT ZONES OF EXISTING TREES WHEN LOCATING NEW PLANT MATERIALS. LOCATION OF NEW PLANT MATERIAL SHALL BE STAKED OR SET OUT BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING. SPECIAL ATTENTION WILL BE GIVEN TO PROTECTION OF ROOT ZONES OF EXISTING TREES WHEN LOCATING NEW PLANT MATERIALS .
- 5) THE CONTRACTOR SHALL REMOVE ALL PLASTIC MATERIAL FROM AROUND THE ROOT BALLS OF THE PLANTS AFTER POSITIONING IN THE PLANT PITS. REMOVE BURLAP, ROPE, AND WIRE FROM AROUND THE TRUNK SUFFICIENTLY SO THAT NO BURLAP, ROPE OR WIRE WILL BE EXPOSED AFTER BACKFILLING.
- 6) CONTRACTOR SHALL EXERCISE EXTREME CARE IN WORKING IN AREA OF EXISTING TREES. EXISTING PLANTS TO REMAIN AND BE PROTECTED, WHICH ARE INJURED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR WITH PLANTS OF EQUAL SIZE AND SPECIES AT NO COST TO THE OWNER.
- 7) ALL AREAS THAT HAVE BEEN DISTURBED BY PLANTING ACTIVITY SHALL BE RESTORED TO A NEAT CONDITION. AREAS WITH BARE SOIL SHALL BE TOPSOILED AND SEEDED WITH NATIVE SPECIES SEED MIX
- 8) THE CONTRACTOR SHALL WATER TREES, SHRUBS AND GROUNDCOVER TWICE DURING THE FIRST 24 HOURS AND AS NEEDED THROUGHOUT THE FIRST GROWING SEASON.



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Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Control Number 533653041.

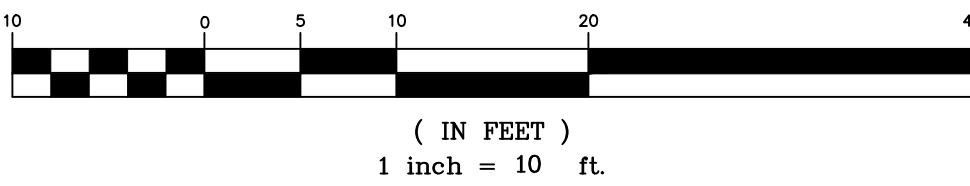
Premises shown hereon designated on the Town of Greenburgh Tax Maps as: Section 2.100, Block 57, Lot 7.

Property Address: 242 Harriman Road
Irving, NY 10533

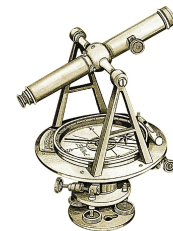
TOPOGRAPHY OF PROPERTY
PREPARED FOR
NANCY ROSNER
SITUATE IN THE
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 10'

GRAPHIC SCALE



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Surveyed: June 22, 2022
Map Prepared: June 30, 2022

By: *Daniel T. Merritt*
New York State Licensed Land Surveyor No. 050604

Project: 22-188	Reference: N/A
Field Survey By: CR/MM	Drawn By: B/C
Project Manager: B/C	Checked By: DM