

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	414	Date:	01/27/2023
Job Location:	15 JAFFRAY CT	Parcel ID:	2.90-44-56
Property Owner:	Sadre, Nader & Muir, Lauren	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Bill Witt	
William P Witt Architects PLLC	
268 Route 202 Somers NY 10589	
914-276-0225	

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	475000.00	Property Class:	1 FAMILY RES

Description of Work

***Build a one story addition and deck.
Renovate existing interior spaces***

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 15 JAFFRAY CT

Parcel Id: 2.90-44-56

AFFIDAVIT OF APPLICANT

I **Bill Witt** being duly sworn, depose and says: That s/he does business as: **William P Witt Architects PLLC** with offices at: **268 Route 202 Somers NY 10589** and that s/he is:

- The owner of the property described herein.
- The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- The Lessee of the premises, duly authorized by the owner to make this application.
- The Architect of Engineer duly authorized by the owner to make this application.
- The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 3 day of February of 2023

Maria Nieves
Notary Public / Commission of Deeds



[Signature]
Applicant's Signature

OWNER'S AUTHORIZATION

I **Sadre, Nader & Muir, Lauren** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- LAUREN SADRE I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 30th day of January of 2023

[Signature]
Notary Public / Commission of Deeds

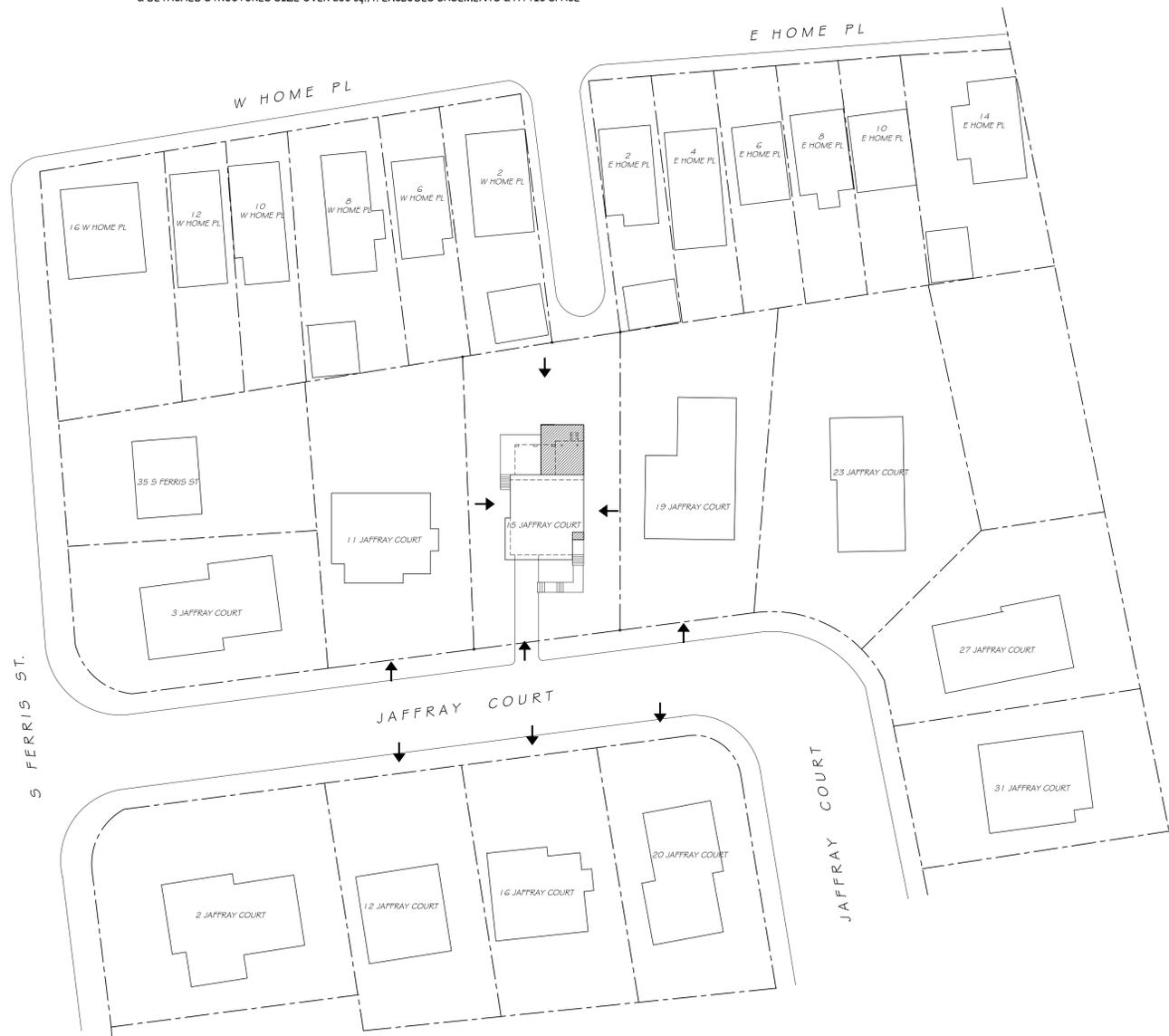
[Signature]
Applicant's Signature

LIM KIM A.
Notary Public, State of New York
No. 01L16144154
Qualified in Westchester County
Commission Expires Apr. 24, 2026

SCALE COMPARISON based on property card / public info.				House, detached structures and covered porches (w/o walks & uncovered patios)	
ADDRESS	LOT SIZE	FLOOR AREA	F.A.R.	LOT COVERAGE	% of LOT
15 JAFFRAY CT. Actual house size includes basement	0.165 AC. +/- 7,195 sq.ft. +/-	2,153.5 sq.ft. Existing 2,888.5 sq.ft. Proposed	.299 .401	1,525.5 sq.ft. Existing 1,798.5 sq.ft. Proposed	21.2% 24.9%
15 JAFFRAY CT. As per property card w/o basement or walkways	0.16 AC. +/- 6,970 sq.ft. +/-	1,427 sq.ft. Existing 1,920.5 sq.ft. Proposed	.204 .275	1,402 sq.ft. Existing 1,675 sq.ft. Proposed	20.1% 24.0%
19 JAFFRAY CT.	0.17 AC. +/- 7,405 sq. ft. +/-	1,862 sq.ft. House not including basement	.251	1,779 sq.ft.	24.0%
11 JAFFRAY CT.	0.16 AC. +/- 6,970 sq. ft. +/-	1,054 sq.ft. House not including basement	.151	1,054 sq.ft.	15.1%
12 JAFFRAY CT.	0.13 AC. +/- 5,663 sq. ft. +/-	2,004 sq.ft. House not including basement	.353	1,447 sq.ft.	25.5%
16 JAFFRAY CT.	0.13 AC. +/- 5,663 sq. ft. +/-	998 sq.ft. House not including basement	.176	1,180 sq.ft.	20.8%
20 JAFFRAY CT.	0.14 AC. +/- 6,093 sq. ft. +/-	1,492 sq.ft. House not including basement	.244	1,662 sq.ft.	27.2%
2 W. HOME PL.	0.07 AC. +/- 3,049 sq. ft. +/-	1,365 sq.ft. House not including det. gar.	.447	1,356 sq.ft.	44.4%
6 W. HOME PL.	0.06 AC. +/- 2,614 sq. ft. +/-	1,305 sq.ft. House not including attic	.499	1,001 sq.ft.	38.2%
8 W. HOME PL.	0.09 AC. +/- 3,920 sq. ft. +/-	1,058 sq.ft. House 400 sq.ft. Garage	.308	1,145 sq.ft.	29.2%
2 E. HOME PL.	0.06 AC. +/- 2,614 sq. ft. +/-	1,284 sq.ft. House 294 sq.ft. Garage	.508	1,086 sq.ft.	41.5%
4 E. HOME PL.	0.06 AC. +/- 2,614 sq. ft. +/-	2,560 sq.ft. House	.979	1,068 sq.ft.	40.8%

NOTES:

- ADJACENT HOUSE LOCATIONS & SIZES BASED ON THE FOLLOWING:
 - VILLAGE OF IRVINGTON WEBSITE AND G.I.S. MAPPING INFORMATION.
 - TOWN OF GREENBURGH WEBSITE AND GIS INFORMATION, INCLUDING PROPERTY CARD AND G.I.S. MAPPING
- LOT COVERAGE FOR ADJACENT PROPERTIES ONLY INCLUDES STRUCTURES AND ATTACHED PORCH FOOTPRINTS FROM AVAILABLE DATA. EXCLUDES WALKWAYS, STEPS, WALLS & EQUIP. PADS & SOME PATIOS
- FLOOR AREA AREA (F.A.R.) FOR ADJACENT PROPERTIES ONLY INCLUDES MAIN HOUSE & DETACHED STRUCTURES SIZE OVER 250 sq.ft. EXCLUDES BASEMENTS & ATTIC SPACE



FRONT



REAR



RIGHT SIDE



LEFT SIDE



19 JAFFRAY CT.



11 JAFFRAY CT.



12 JAFFRAY CT.



16 JAFFRAY CT.



20 JAFFRAY CT.



2 W. HOME PL.



6 W. HOME PL.



8 W. HOME PL.



2 E. HOME PL.



4 E. HOME PL.



AERIAL VIEW

WILLIAM P WITT ARCHITECT
 268 Route 202, Somers NY 10589
 914-276-0225 Bwittarch@gmail.com

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 THESE DOCUMENTS ARE INSUFFICIENT FOR CONSTRUCTION WITHOUT THE SEAL AND SIGNATURE OF THE ARCHITECT OF RECORD.

Project Title
Additions & Alterations
SADRE & MUIR
RESIDENCE
 15 JAFFRAY COURT
 Irvington, NY 10533

AERIAL VIEW,
PHOTOGRAPHS &
NEIGHBORHOOD
SCALE
COMPARISON

Scale NOT TO SCALE
 Drawing By A.O.



Date	10/17/22
Revised	

Drawing No.

PB-1

GENERAL SPECIFICATIONS

DIVISION I - GENERAL CONDITIONS

- Scope of Work: Provide all labor, materials and equipment required to complete all work shown on drawings and work required for a fully completed job. All materials and workmanship shall be of the best quality. The specs below and plans included are set up as general limits and minimum standards for the scope of work so that the form and structural requirements are clearly established.
- Code Compliance: All work and materials shall conform and comply with the current versions of the following authorities & codes: 2020 Residential Code of NYS 2020 Energy Conservation Construction Code of NYS w/ 2020 NYStretch Code as adopted. 2020 NYS Residential Plumbing Code 2020 Fire Code, 2020 Mechanical Code & 2020 Fuel Gas Code of NYS 2020 Existing Building Code of NYS National Electrical Code, NFPA 70 2017 EDITION Village of Irvington Municipal Code
- Work in Cold Weather: No work with materials containing water shall be carried out during unreasonably cold weather.

Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken:

- Water shall be heated and kept warm.
- Sand shall be heated and kept warm.
- An anti-freeze such as "Ecuo" made by Euclid Chemical Co. "Tri-Mix" by Sonnenborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
- Material shall be placed as soon as possible and shall not be permitted to get too cold.
- No material containing ice or frozen parts shall be used.

Furthermore, all work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted.

- Permits: The contractor is responsible for obtaining any and all permits including the general permit from the local building department. Construction trade shall be responsible for obtaining permits relevant to their respectable trades (i.e. UL electrical permits and inspections; plumbing permits and inspections if applicable), final payment shall be subject to the contractor providing the owner with a Certificate of Occupancy upon completion of the job.

DIVISION II - SITEWORK: EXCAVATION AND BACKFILL

- General: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work includes building (foundation) excavation, retaining walls, backfill and rough grading.
- Ordinances: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workpersonlike manner.
- At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or floor beams and joists are installed.
- Footing Trenches: Excavate for all footings and proper subgrades. Bottom of all footings shall be level and post tops of standing water at all times. All footings shall be excavated to minimum depths shown on drawings. All footings shall be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F.
- Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.
- Where rock is encountered, the contractor shall notify the architect immediately. The contractor shall expose all areas clearly for inspection. The architect and his structural consultant will advise the contractor of the measures for construction.
- Backfill is to be comprised of clean earth, free from any wood or debris.

- Backfill and subgrades below slabs shall be placed in 6" lifts and to be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted, to 95% of proctor density with power tamper. All other backfill to be placed in 12" lifts and compacted at every lift.
- Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.
- Finish grade is to slope away from the building on all sides and to follow grading plans if provided.
- Termite and pest control: Provide a continuous fiberglass seal in between p.t. sill plates and top of foundation walls.

DIVISION III - CONCRETE

- General: Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.
- Concrete: "Ready-Mix" product, proportioned to produce a min. 3,000 psi comp. strength concrete for use in found. walls, footings, grade beams and piers and interior floor slabs. Min. 3,500 psi comp. strength concrete shall be used for all horizontal surfaces exposed to the weather including porches, steps, walks and garage floor slabs, batched at a central plant; and transported dry to the site. Water for a four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes.
- Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with 6x6 #10 mesh reinforcing, steel trowel finish. (At the owners option, garage slabs shall be (5") thick with 6x6 #10 mesh reinforcing). Subgrades shall be maintained eight inches (8") below finish floor. Over entire area of subgrade, fill with minimum four inches (4") compacted bank run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.
- Steel Reinforcing: Provide reinforcement for all footings where indicated on drawings. Consult architect if soil bearing capacity does not have a minimum bearing capacity of 2,000 P.S.F., or if footings are set on fill and rock, for steel reinforcing requirements.

DIVISION IV - MASONRY

- General: The work required under this section consists of all masonry work related items necessary to complete the work indicated on drawings and specified herein and/or as required by job conditions.
- Concrete Block:
 - All concrete block at below grade conditions shall be standard 60% solid 8" high x 16" long units in widths indicated on drawings. Blocks shall extend from top of footings to 8" above finished grade, or as indicated on sections and details.
 - Provide square finished end blocks at all ends of block walls above grade.
 - All block shall be laid in running bond, reinforced every second course with 9GA galvanized wire "Dur-O-Wall" reinforcing.
- Provide a raked joint at all exposed concrete block.

DIVISION V - METALS

- General: Steel construction shall conform to AISC Manual of Steel Construction, 9th Edition.
- Material: All structural steel shall conform to ASTM A-36. Columns shall be 3" I.D. tube columns with sizes and locations indicated.
- Anchor bolts: shall be A36 or A307 steel, placed in all foundation walls, set up high to attach the sillplates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates. If masonry is used, fill top of all block walls solid. The top of all foundation walls shall receive 1/2" round x 12" long anchor bolts, in concrete and 16" long in masonry, 4'-0" O.C., maximum 1'-0" from corners and a minimum of two bolts in each plate. Minimum anchor bolt embedment into concrete shall be 7" as per R403.1.6
- All structural steel shall be shop painted with gray zinc chromatic primer 2.0 mils thick.
- Provide shop drawings for all structural steel to architect for approval prior to ordering steel.

DIVISION VI - WOOD

- Rough Carpentry
 - Materials:
 - Framing Lumber: All first floor sill plates shall be construction grade, "S.Y.P." pressure treated minimum Fb=1550 psi. All other framing shall be construction grade "Doug. Fir," No. 2 and better, with a minimum Fb of 1000 psi and a maximum moisture content of 19%
 - Cross bridging: "Doug. Fir" No. 2 and better construction grade, 5/4 x 3, 8' x 0" maximum O.C. in all floor and roof framing.
 - Subfloor sheathing shall be one layer 3/4" T&G CD interior plywood glued and screwed to floor joists as per manufacturers specs.
 - Roof sheathing shall be 5/8" CDX; wall sheathing shall be 5/8" CDX plywood.
 - All sheathing shall have a panel span rating of 32/16. Panel grades shall be APA rated "Sturd-I-Floor" for subfloors.
 - Face grain of plywood to be perpendicular to joists and studding, with staggered joints. Provide clips where necessary.
 - Wall studs: shall be 2x6 16" O.C. for exterior walls and 2x4 16" O.C. for interior partitions, or as noted otherwise.
 - Rafters and floor joists shall be sizes, spans and locations as indicated on framing plans.
 - All LVL beams indicated on framing plans shall be as manufactured by "Weyerhaeuser"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.
 - All engineered framing members indicated on framing plans shall be as manufactured by "Weyerhaeuser"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.

Workmanship and Construction:

- All partitions to have single shoe and double cap plates, double studding around all openings, at corners and property trussed across all openings. Corners for all rooms to be framed solid for interior finish. Wood cats shall be placed between studs in all bearing partitions and those over 8' high.
- Beams and girders: Three-inches (3") minimum bearing over all supports. All headers and tail beams not supported by wood ledgers shall rest on metal hangers, "Teco" or equal. Splice over supports.
- Provide solid post or solid studding below all beams and girders at bearing points. Provide single jack studs at all openings to support headers.
- Set all beams, girders, joists and rafters with natural crown up.
- All wood plates and sills in contact with concrete shall be pressure teated, S.Y.P.
- Nailing: All perimeter (exterior) walls and interior bearing walls studs, jack studs and posts, shall be toe-nailed to sole and cap plates with three 16 penny nails, one nail on one side and two on opposite. Double end nailing is permitted to set partitions and can remain on non-bearing interior walls only.

6.2 Finish Carpentry

MATERIALS

- Exterior siding shall be "Hardie panel" vertical siding with 8" +/- exposure & "Hardie Plank" clapboard siding. Color as selected by owner. Provide owner w/ samples prior to installation. Remove existing siding and install new as per elevations.
 - Exterior non-sided areas (panels, soffits, underside of cantilevered projections) shall be 1/2" Hardie panels.
 - Exterior trim, bases and fascias shall be 1x & 5/4x Hardie trim or as noted on drawings.
 - Interior trim around doors, windows and base shall be as indicated on drawings and general notes. 2 1/2" Sanitary Casing & 3 1/2" Sanitary base
 - Wood strip flooring shall be wide plank engineered wood as selected by owner. Laid in all areas of first floor except bathrooms or as noted on drawings. Install as per manufacturers specifications.
- Workmanship:
- Work shall be accurately and neatly done, properly plumbed, squared or leveled with tight joints.
 - Exterior hardware and all exterior nails shall be galvanized or of non-ferrous rust-resistant metal. Countersink nails and set nails in putty where face nailing is required. All nailing shall be blind wherever possible.

6.3 Wood Decks:

Materials: All lumber for deck framing shall be decay resistant, pressure treated Southern Yellow Pine or equal, with a minimum of 1550 psi stress grade. All rails shall be as indicated on drawings. All decking shall be 5/4" X 6" Trex transcend decking. All components of railing & deck to be finished in color as selected by owner.

Workmanship and Construction:

- All framing not resting on wood leaders shall rest on metal hangers, "Teco" or equal.
- Decking members shall be installed with a "Finish-Nail" thickness separation to allow drainage of water and shrinkage.
- Deck railings shall have a minimum height of 3'-0". Spacing between railing members shall not exceed 3.9".
- No framing or finished wood shall be within 8" of finished grade.

DIVISION VII - THERMAL AND MOISTURE PROTECTION

- Dampproofing: All foundation walls below grade shall be treated "Tuff N Dri" spray-on membrane by Owens/Corning. Follow manufacturer's instructions strictly for application. Provide a 1" thick protection board between membrane and earth. Material shall not extend above finished grade, and shall extend down to bottom of footing.
- Insulation: Shall be fiberglass batt-foil in the following thickness: Closed cell spray foam of matching R values may be substituted.
 - Exterior walls: Fiberglass Batt (R-15) @ existing 2x4 walls & (R-21) @ new 2x6 walls. or spray foam equiv. at R-6.5 per inch closed cell
 - Roof / Clg: (R-49) spray foam equiv. at R-6.5 per inch closed cell at new construction.
 - Floor: Fiberglass Batt 9" thick (R-30).
 - Slab edge: rigid board, 24" long with a minimum R-10 rating.
- Roofing: Shall be GAF Lifetime shingles as selected by owner. Roof shingles shall be set above 15# felt building paper. Also install "GAF Weatherwatch" waterproof underlayment along all eaves, valleys and crickets for a distance of 6'-0" from lowest edge up sloping portion of roof. Install in accordance with manufacturers instructions.

- Flashing: Flash all hips, valleys, projections through roof, intersections of roof and vertical surfaces, including drip and rake edges, and any other conditions shown on the drawings or requiring flashing. Finished surfaces shall be copper to match existing finish or as otherwise indicated on drawings.

(All flashing, i.e., drip and rake edges, counter flashing, etc., shall be aluminum or copper as called out on drawings. All seams shall be soldered and shall have a minimum overlap of 6". All flashing along drip and rake edges shall be secured to roof cross framing & shall extend a minimum of 18" under the roof shingles. All exposed drip and rakes shall have a maximum of 1 1/4" exposure along the fascias.)

- Sealants: Provide sealant around all doors, windows and other openings for a water-tight condition. Sealant shall be gun grade gum consistency. Color to be selected by architect.
- Air Infiltration Barrier: All exterior walls shall be wrapped with "Tyvek" air infiltration barrier as manufactured by "Dupont". Follow manufacturer's instructions for installation.
- Ridgevents shall be "Cor-Vent" corrugated plastic installed in strict accordance with manufacturers directions ready to receive capshingles or equal. Vents shall run continuous across ridges to within 6" of ends.
- All soffit vents shall be material as noted on drawings or to match existing.

- Install white aluminum k style gutters and leaders at whole house. leader to extend to new drywells and existing piping.

DIVISION VIII - DOORS AND WINDOWS

- Interior Doors: The contractor may have doors pre-hung if he coordinates each door type. Doors shall be (1) panel prehung 1 5/8" thick solid composite or to match existing in sizes as indicated on plans. Standard hardware as provided by owner. Provide 1 1/2 pair butts on each door.
- Windows : Sizes and types as shown on the drawings. All glazing shall be low-e insulated glass, units shall be equipped with screens and hardware for locking and operation. Units shall be in sizes and models as indicated on plans. Wood / clad units shall be as manufactured by "Andersen", and shall be finished as selected by owner.
- All doors and windows with glazing less than 18" AFF shall be tempered glass.
- French Doors: Shall be glazed with tempered, insulated glass complete with locks Wood / clad units shall be as manufactured by "Andersen", and shall be finished as selected by owner.

DIVISION IX - FINISHES

- Gypsum Board: Gypsum board shall be 1/2" gypsum board, tapered edge. Provide "Dur-O-Rock" behind any ceramic tile in wet areas.
 - Provide a three coat compound and sanding finish over all gypsum board areas in preparation for paint and/or other finish.
 - Provide 5/8" firecode "C" Gypsum board in areas where fire-rating as required, in thickness of one layer for one hour wall and two layers for two hour walls.
- Ceramic Tile: Install owner supplied ceramic tile at areas indicated on plans. Tile shall be in sizes as selected by Owner, and installed over 1/2" plywood underlayment laid over 3/4" plywood subfloor. Set tile in a setting bed and grout according to manufacturer's installation instructions. A one-part mildew-resistant silicone sealant shall be applied over tile in non-traffic areas. A multi-part pourable urethane sealant shall be used in high-traffic areas. Contractor may elect to install tile over reinforced cement mud job as an alternate.
- Marble Thresholds: Shall be ASTM C 503 and as follows: Color to be white with a honed finish. Classification to be "Group A" as per the M.I.A. soundness classification.
- Painting and Staining: (if included)

Materials: Unless otherwise specified, exterior stain or paint shall be manufactured by "Benjamin Moore". Stain or paint of all exterior surfaces, including trim, doors, windows, fascias, soffits, columns, railings shall be selected by the owner.

Workmanship and Construction: Contractor shall furnish and lay drop cloths in all areas where painting is done and shall protect floors and other work from damage during the process of this work. Oily rags and waste must be removed from the building at the end of each work day. Upon completion of work, the painter shall clean off all paint spots from glass, hardware and other items not to be painted, and clean the windows thoroughly.

Painting contractor is responsible for all putty work and finish sanding.

a. Interior: It is the intention of this specification to require two (2) coats of paint or stain to all unfinished surfaces inside the building, the taping of all sheetrock surfaces, and painting of the same as indicated. Interior trim around doors and windows, and base trim shall receive (2) coats of semi-gloss latex paint.

Interior Flooring and Stairs: Interior wood finish flooring shall receive (1) coat of stain under (1) coat of sealer under (2) coat of polyurethane. Interior stairs and handrail will receive (1) coat of stain (in color to match finish flooring if present, or as selected by Owner) under (2) coats of polyurethane.

DESIGN LOADS (for areas of new construction)	
GROUND SNOW LOAD	30 psf.
LOWER FLOOR LIVE / DEAD LOAD	40 / 12 psf.
UPPER FLOOR BED. LIVE / DEAD	30 / 12 psf.
UPPER FLOOR OTHER LIVE / DEAD	40 / 12 psf.
ROOF LIVE / SNOW LOAD	30 / 15 psf.

DIVISION X - SPECIALTIES

- Mirrors: Shall be supplied by owner and installed in areas shown and in sizes as indicated by plans. Material shall be 1/4" thick polished plate with polished edges and properly glued to surface.
- Accessories: Install owner supplied bathroom accessories. at locations verified in field.

DIVISION XI - MECHANICAL

- Plumbing: It is the intention of this specification to require conection to the existing water supply and waste water evacuation system. The contractor shall supply and install the equipment, fixtures and fittings as selected by the owner and located on the drawings in full conformance with the applicable local and national plumbing codes. Contractors shall supply certificates of inspection and compliance to the owner upon completion. All new plumbing fixtures to be located in compliance w/ section R307 of the Residential Code of NYS.
- Heating: (see suplimental instruction to bidders for detailed HVAC requirements. Provide heating to all new finished area's to comply with section R303.8 of the Residential Building Code of the State of New York.

HVAC NOTE:
All mechanical / HVAC work to be filed separately by mechanical sub contractor. (Verify submission req ts.)

DIVISION XII - ELECTRICAL

- It is the intention of this specification to require connection to the existing electrical system as per the fire Prevention and Building Code or any agency having authority. The systems and each of its components shall conform to all applicable codes. All equipment and fixtures shall be selected by the owner. The contractor shall supply the owner with certificates of inspection and compliance upon completion. All required panels and subpanels are assumed to be included.

ENERGY STATEMENT

To the best of my knowledge, belief and professional judgement, such plans and specifications are in compliance with the current version of the 2020 Energy Conservation Construction Code of NYS w/ prescriptive energy requirements of the 2020 NYStretch Code as adopted.

GENERAL NOTE

Not all portions of this specification may be applicable to the proposed project. Contractors to verify any and all discrepancies with Architect prior to submitting conctruction proposal.

SMOKE / CARBON MONOXIDE DETECTORS

Provide & install hard wired, interconnected smoke detectors and carbon monoxide detectors to all portions of the residence as required by current version of the New York State Residential Building Code or any other applicable code.

ARC-FAULT PROTECTION:
Arc-Fault circuit-interrupter protection shall be provided as per E3902.16 of the 2020 Residential Code of NYS

OCCUPANCY & CONSTRUCTION TYPE:
Occupancy classification: R-3 existing & proposed
Construction Type: 5b existing & proposed

DRAWING LIST

SHEET	TITLE
A-100	SPECIFICATIONS & GENERAL NOTES
A-101	SITE PLAN, NOTES & ZONING DATA
A-102	PROPOSED FLOOR PLANS
A-201	PROPOSED EXTERIOR ELEVATIONS
A-301	SECTIONS, DETAILS & WINDOW SCHEDULE
A-401	PLAN DETAILS & INTERIOR ELEVATIONS
E-101	ELECTRICAL PLANS
F-101	FRAMING PLANS
X-101	EXISTING FLOOR PLANS
X-201	EXISTING EXTERIOR ELEVATIONS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA	
GROUND SNOW LOAD	30 psf
WIND DESIGN	
WIND SPEED	115-120 mph
TOPOGRAPHIC EFFECTS	NO
SPECIAL WIND REGION	YES
WIND-BORN DEBRIS ZONE	NO
SEISMIC DESIGN CATAGORY	C
SUBJECT TO DAMAGE	
WEATHERING	SEVERE
FROST DEPTH	42"
TERMITE	MODERATE/HEAVY
WINTER DESIGN TEMPERATURE	0°- 10°
ICE BARRIER UNDERLAYMENT REQUIREMENT	YES
FLOOD HAZARDS MAP # 36119C0261F	NO
AIR FREEZING INDEX	2000
MEAN ANNUAL TEMPERATURE	51.6 °F

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Project Title
SADRE & MUIR RESIDENCE
 15 JAFFRAY COURT
 Irvington, NY 10533

PROJECT SPECIFICATIONS

Scale AS NOTED
Drawing By A.O.



Date 1/20/23
Revised

Drawing No.

A-100

PROPOSED EXTERIOR MATERIALS & COLOR SCHEME

ITEM	NAME	TYPE	COLOR
SIDING-1	HARDIE PLANK	CLAPBOARD SIDING W/ 6" EXPOSURE	LIGHT GRAY
SIDING-2	HARDIE PANEL	VERTICAL SIDING W/ 8" EXPOSURE	LIGHT GRAY
WINDOWS	ANDERSEN	WOOD CLAD CASEMENT	BLACK
TRIM	HARDIE TRIM	1 x () & 5/4 x () AS PER ELEV.	WHITE
DOORS	FRONT DOOR	THERMATRU OR EQUIV.	DARK GRAY
ROOFING	GAF	ASPHALT ROOF SHINGLES	CHARCOAL BLEND
GARAGE DR.	CLOPAY	COACHMAN SERIES	WHITE
GUTTERS	ALUMINUM	K STYLE	WHITE

EXTERIOR NOTES:

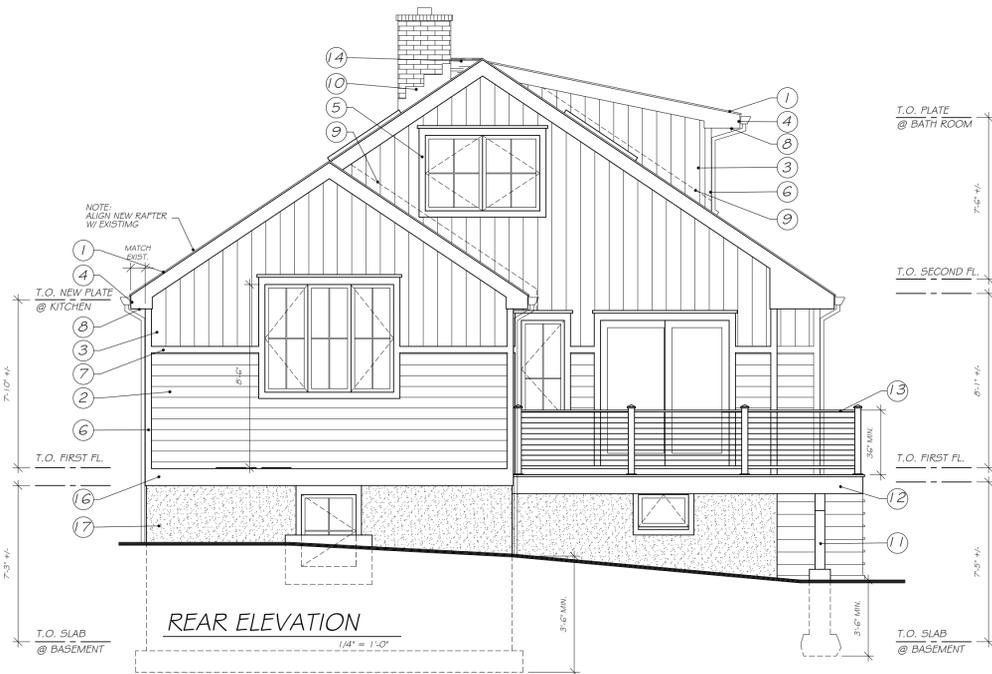
1. ALL EXISTING EXTERIOR FINISH MATERIALS TO BE REMOVED AND REPLACED. PREP FOR NEW SIDING, ROOFING, WINDOWS, DOORS & EXTERIOR TRIM BOARDS AS PER ELEVATIONS.
2. ALL "HARDIE PANEL & PLANK" SIDING TO BE SUPPLIED IN COLOR AS SELECTED BY OWNER.
3. ALL EXTERIOR TRIM BOARDS TO BE HARDIE TRIM IN COLOR & TEXTURE AS SELECTED BY OWNER.
4. PROVIDE OWNER W/ SAMPLES OF ROOF SHINGLE, AND SIDING COLOR, PRIOR TO PURCHASE & INSTALLATION.
5. SEE SEPARATE DRAWINGS FOR DETAILS, MATERIALS, AND NOTES.



FRONT ELEVATION
1/4" = 1'-0"



RIGHT ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"



LEFT ELEVATION
1/4" = 1'-0"

LEGEND :

1. GAF "LIFETIME" ARCH. ROOF SHINGLES OVER 15 LB. BUILD FELT W/ ICE & WATER SHIELD 6" UP FROM ALL EAVES & AT ALL HIPS AND VALLEYS.
2. "HARDIE PLANK" CLAPBOARD SIDING W/ 6" +/- EXPOSURE. IN COLOR AS INDICATED OR AS SELECTED BY OWNER INSTALL AS PER MFR. SPECIFICATIONS.
3. "HARDIE PANEL" VERTICAL SIDING W/ 8" +/- EXPOSURE IN COLOR AS INDICATED OR AS SELECTED BY OWNER INSTALL AS PER MFR. SPECIFICATIONS.
4. 1 x 8 HARDIE TRIM FASCIA AND RAKES W/ WHITE ALUM DRIP EDGE.
5. 3 1/2" HARDIE TRIM WINDOW AND DOOR TRIM AS PER ELEVATIONS AND DETAIL SHEET A-301
6. 3 1/2" "HARDIE TRIM" CORNER BOARDS
7. 5/4" x 4" HARDIE TRIM W/ WHITE METAL DRIP EDGE
8. HARDIE PANEL SOFFITS.
9. METAL FLASHING AS REQUIRED
10. COPPER STEP FLASHING AT CHIMNEY.
11. 6 x 6 P.T. POST OVER 1 0" DIA. CONC. PIER & 1 8" SLUMP FTG. (TYP. @ NEW DECK PLATFORM & STEPS).
12. PRESSURE TREATED DECK FRAMING W/ "TREX" DECKING W/ WHITE PERIMETER FASCIA BOARD & RISERS AS PER PLAN & NOTES.
13. "RAILING WORKS" STAINLESS STEEL CABLE RAIL SYSTEM W/ ALUM. POSTS AS PER DETAIL SHEET A-301 AS PER MFR. SPECIFICATIONS AND AS REQD. BY CODE.
14. ROOF CRICKET AS REQUIRED.
15. HARDI BEAD BOARD AT COVERED PORCH CEILINGS
16. 5/4" x 1 0" HARDI BASE BOARD TRIM W/ DRIP EDGE FLASHING.
17. CEMENT PARGING @ AREA OF NEW WORK

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Project Title
SAJRE & MUJR RESIDENCE
15 JAFFRAY COURT
Irvington, NY 10533

PROPOSED ELEVATIONS

Scale 1/4" = 1'-0"
Drawing By A.O.



Date	10/20/22
Revised	01/20/23

Drawing No.
A-201

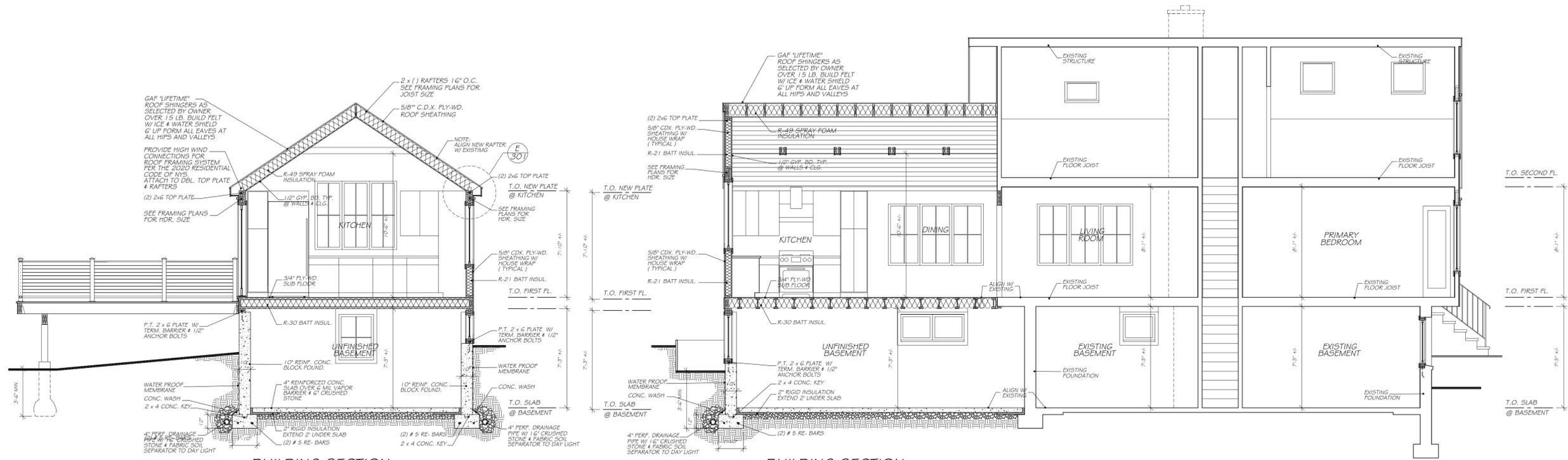


Date	10/17/22
Revised	01/20/23

Drawing No.

A-301

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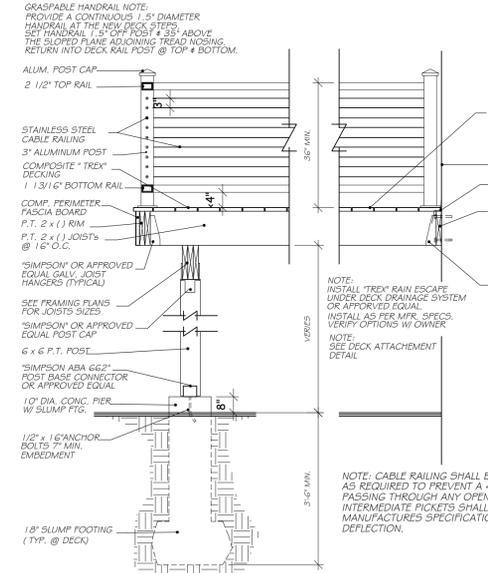


A BUILDING SECTION
 1/4" = 1'-0"

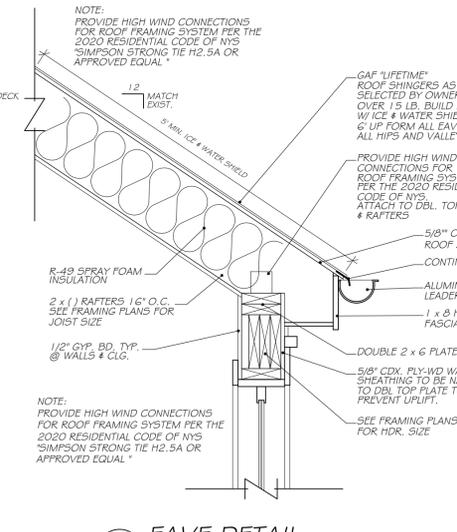
B BUILDING SECTION
 1/4" = 1'-0"

WIN.	QNTY.	MFR.	TYPE	MODEL	U VALUE	SHGC VALUE	ROUGH OPENING	DIVIDED LIGHTS	LOCATION	REMARKS
A	1	CLOPAY	GARAGE DOOR	COACHMAN DESIGN 12 W REC 1.3 UPPER			9'-0" x 6'-6" UN IT SIZE	SEE ELEVATIONS	SEE PLANS	REPLACE EXISTING, VERIFY EXIST. ROUGH OPENING PRIOR TO ORDERING
B	1	ANDERSEN	CASE	CX235	0.25	0.28	5'-3 1/4" x 3'-5 3/8"			MEET EGRESS REQUIREMENTS, VERIFY EXIST. ROUGH OPENING PRIOR TO ORDERING
C	0		NOT USED							
D	1		AWNG.	A2251	0.25	0.30	4'-9" x 2'-0 5/8"			MEET EGRESS REQUIREMENTS
E	1		CASE	CX135	0.25	0.28	2'-8" x 3'-5 3/8"			
F	0		NOT USED							
G	1	THERMATRU	ENTRY DOOR	BENCHMARK CRAFTSMAN W SIM. DIV. LITE			3'-0" x 6'-8" UNIT SIZE			PRE HUNG, DBL. BORE, PRIMED FOR PAINT
H	2	ANDERSEN	CASE	CX15	0.25	0.28	2'-8" x 5'-0 3/8"			MEET EGRESS REQUIREMENTS, VERIFY EXIST. ROUGH OPENING PRIOR TO ORDERING
I	1		CASE	CW13	0.25	0.28	2'-4 7/8" x 3'-0 1/2"			TEMPERED SAFETY GLASS
J	1		CASE	CW235	0.25	0.28	4'-9" x 3'-5 3/8"			
K	1		CASE	CW245	0.25	0.28	4'-9" x 4'-5 3/8"			
L	1		PATIO DOOR	FWG5061/LL	0.27	0.22	6'-0" x 6'-11"			
M	1		CASE	C145	0.25	0.28	2'-0 5/8" x 4'-5 3/8"			
N	1		PATIO DOOR	FWG12061/1	0.27	0.22	11'-9 3/4" x 6'-11"			
O	1		CASE	C35	0.25	0.28	6'-0 3/8" x 5'-0 3/8"			
P	2		CASE	CW345	0.25	0.28	7'-1 1/8" x 4'-5 3/8"			
Q	1		CASE	CW24	0.25	0.28	4'-9" x 4'-0 1/2"			
R	2		CASE	CX14	0.25	0.28	2'-8" x 4'-0 1/2"			
S	1		AWNG.	A31	0.25	0.28	3'-0" 1/2" x 2'-0 5/8"			MEET EGRESS REQUIREMENTS, VERIFY EXIST. ROUGH OPENING PRIOR TO ORDERING
T	1		CASE	CX235	0.25	0.28	5'-3 1/4" x 3'-5 3/8"			MEET EGRESS REQUIREMENTS
U	1		FIX. CASE	CX15	0.25	0.28	2'-8" x 5'-0 3/8"			
V	1		FIX. CASE	CX14	0.25	0.28	2'-8" x 4'-0 1/2"			

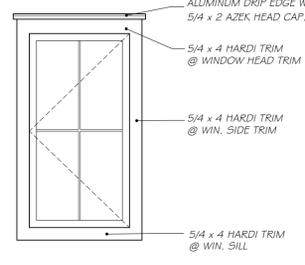
- WINDOW & EXTERIOR DOOR NOTES:**
- ALL NEW WINDOWS & EXTERIOR FRENCH DOORS TO BE AS MFRD. BY "ANDERSEN" (WOOD UNITS) SUPPLY AND INSTALL SCREENS (WHITE) ON ALL NEW OPERABLE UNITS. 7/8" SIM. DIVIDED LITES AS PER ELEVATIONS
 - ANY NEW WINDOW OR DOOR EXTENDING LESS THAN 18" ABOVE FINISHED FLOOR MUST BE TEMPERED.
 - ALL NEW WINDOWS TO BE SUPPLIED W/ HARDWARE AS REQUIRED. VERIFY TYPE & FINISH W/ OWNER PRIOR TO ORDERING.
 - ALL NEW EXTERIOR FRENCH DOORS TO BE SUPPLIED W/ OIL RUBBED BRONZE HARDWARE OR AS SELECTED BY OWNER.
 - ALL EXTERIOR GLASS DOORS SHALL BE TEMPERED GLASS. VERIFY WEATHER ADDITIONAL UNITS SHOULD BE TEMPERED.
 - SEE ELEVATIONS FOR SWING ACTION OF ALL OPERABLE UNITS
 - VERIFY ALL WINDOW AND EXTERIOR DOOR OPTIONS W/ OWNER PRIOR TO ORDERING. (COLOR, GRILLS, SCREENS, AND HARDWARE TYPE & COLOR)
 - CONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS OF ALL EXISTING WINDOWS TO BE REPLACED PRIOR TO ORDERING. NOTIFY ARCHITECT IF ASSUMED HEADERS ARE NOT PRESENT, UNDERSIZED OR DAMAGED.
- GARAGE DOOR NOTE:**
 COACHMAN SERIES, DESIGN 12 W REC 1.3 UPPER WINDOWS DECORATIVE HARDWARE AS PER ELEVATIONS. PROVIDE (1) 3/4" H.P. CHAMBERLAIN BELT DRIVEN WISPERDRIVE GARAGE DR. OPENER OR APPROVED EQUAL.



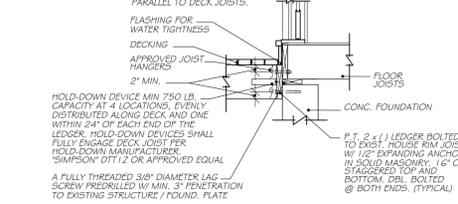
C DECK DETAIL
 1/2" = 1'-0"



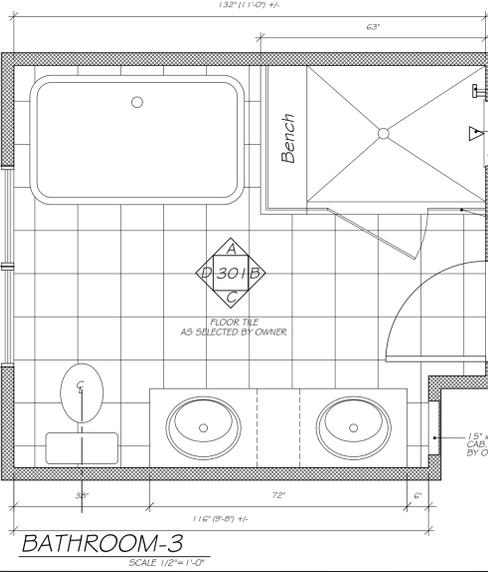
E EAVE DETAIL
 1" = 1'-0"



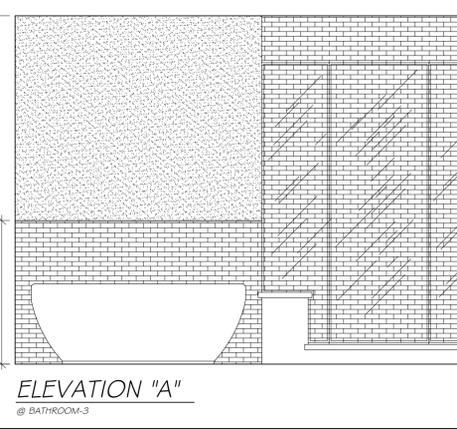
F TRIM DETAIL
 1/2" = 1'-0"



D DECK ATTACHMENT DETAIL
 1/2" = 1'-0"



BATHROOM-3
 SCALE 1/2" = 1'-0"



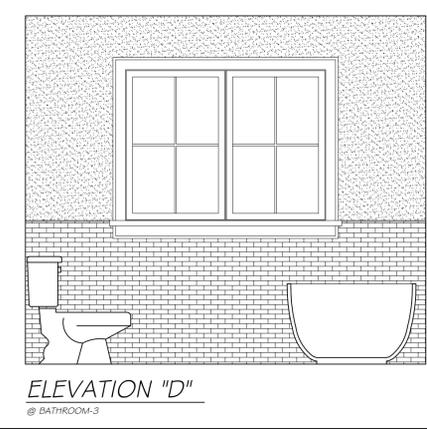
ELEVATION "A"
 @ BATHROOM-3



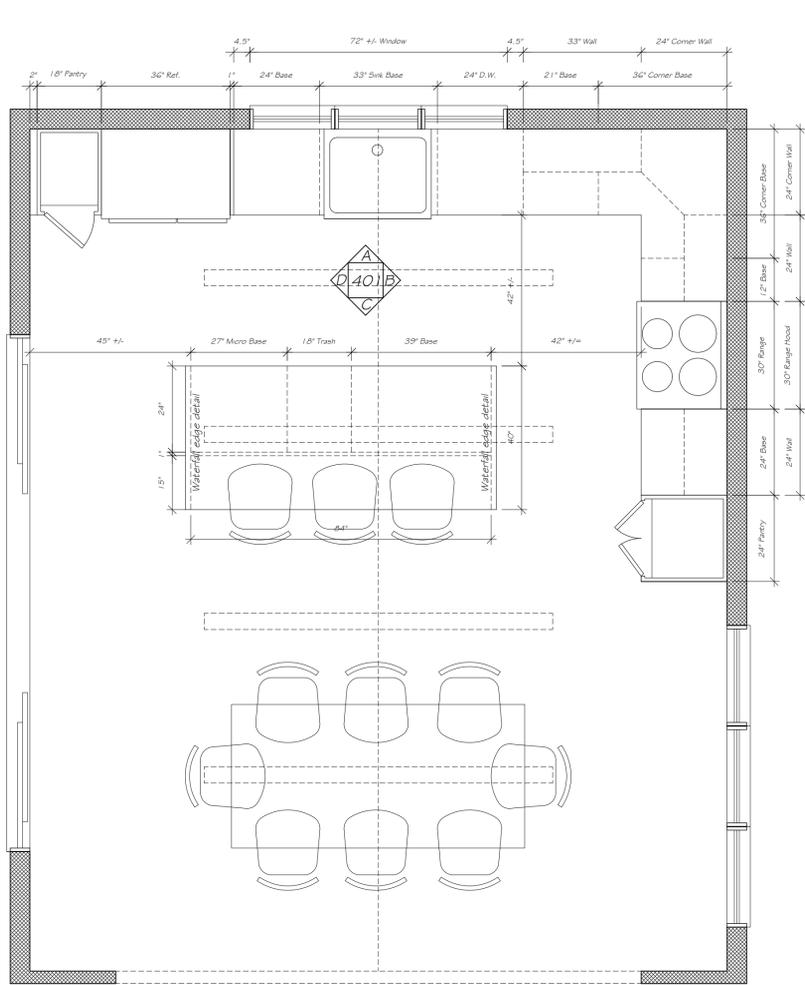
ELEVATION "B"
 @ BATHROOM-3



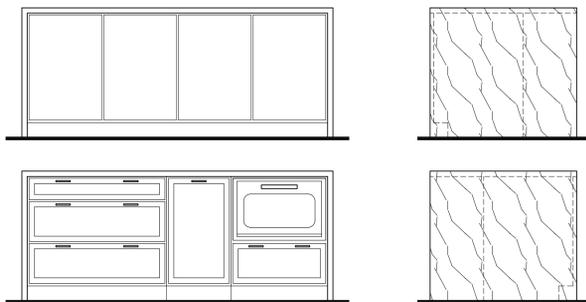
ELEVATION "C"
 @ BATHROOM-3



ELEVATION "D"
 @ BATHROOM-3

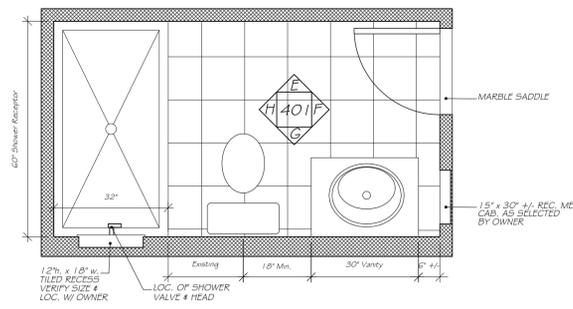


KITCHEN CABINET LAYOUT
SCALE 1/2" = 1'-0"



KITCHEN ISLAND LAYOUT
SCALE 1/2" = 1'-0"

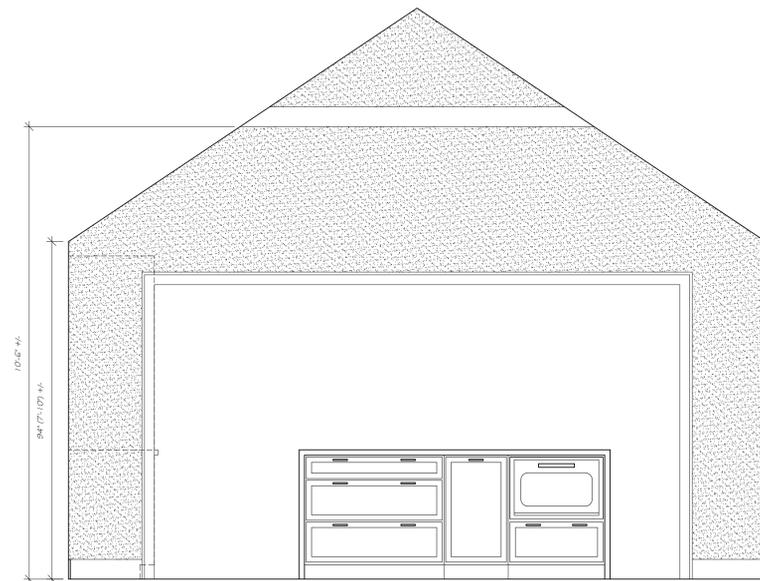
- KITCHEN NOTES:**
1. VERIFY FINAL KITCHEN LAYOUT, APPLIANCES AND PLUMBING FIXTURE LOCATIONS W/ OWNER PRIOR TO ROUGH IN.
 2. CABINET MFR., COUNTER TOP MATERIAL, AND TILE BACK SPLASH TO BE DET. VERIFY W/ OWNER.
 3. INTERIOR TRIM TO BE AS INDICATED OR AS DETAILED ON DRAWINGS.
 4. VENT EXHAUST FROM RANGE HOOD THROUGH CEILING OR WALL TO EXTERIOR AS REQD.
 5. KITCHEN FLOOR MATERIAL TO BE WOOD STRIP FLOORING AS SELECTED BY OWNER.
 6. ALL BASE AND WALL CABINETS WITH EXPOSED SIDES TO BE SUPPLIED WITH FINISHED END PANELS (DOORS).
 7. KITCHEN CABINETS MANUFACTURER TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH CONTRACTOR PRIOR TO PLACING CABINET ORDER.
 8. PROVIDE ELECTRICAL, WATER, DRAINS AND GAS AS REQUIRED VERIFY SPECS W/ OWNER & MFR.



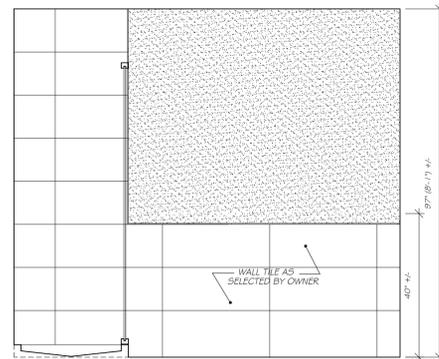
BATHROOM-1
SCALE 1/2" = 1'-0"



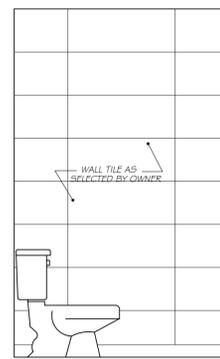
ELEVATION "A"
@ KITCHEN



ELEVATION "C"
@ KITCHEN



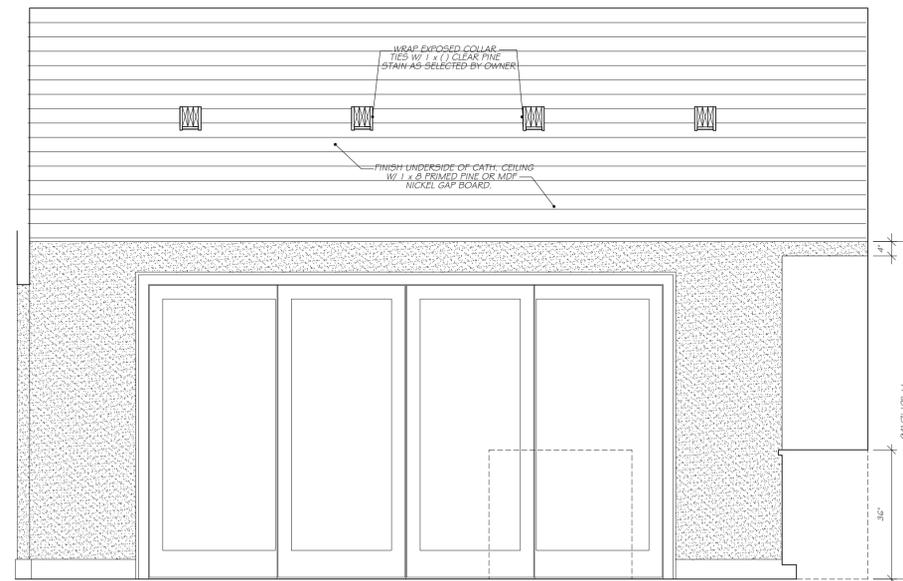
ELEVATION "E"
@ BATHROOM-1



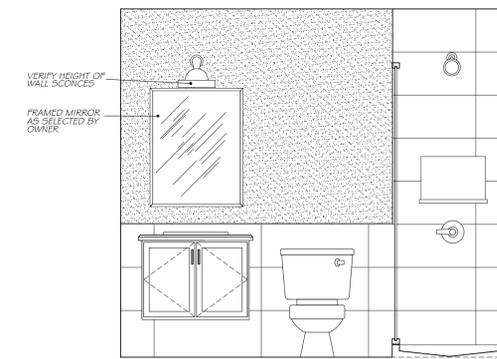
ELEVATION "F"
@ BATHROOM-1



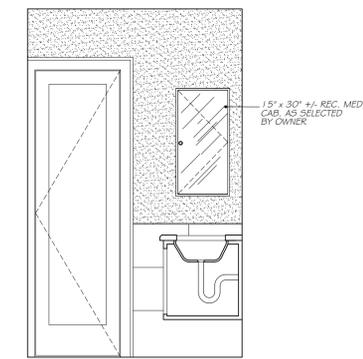
ELEVATION "B"
@ KITCHEN



ELEVATION "D"
@ KITCHEN



ELEVATION "G"
@ BATHROOM-1



ELEVATION "H"
@ BATHROOM-1

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Additions & Alterations
SADRE & MUJR
RESIDENCE
15 JAFFRAY COURT
Irvington, NY 10533

INTERIOR
ELEVATIONS

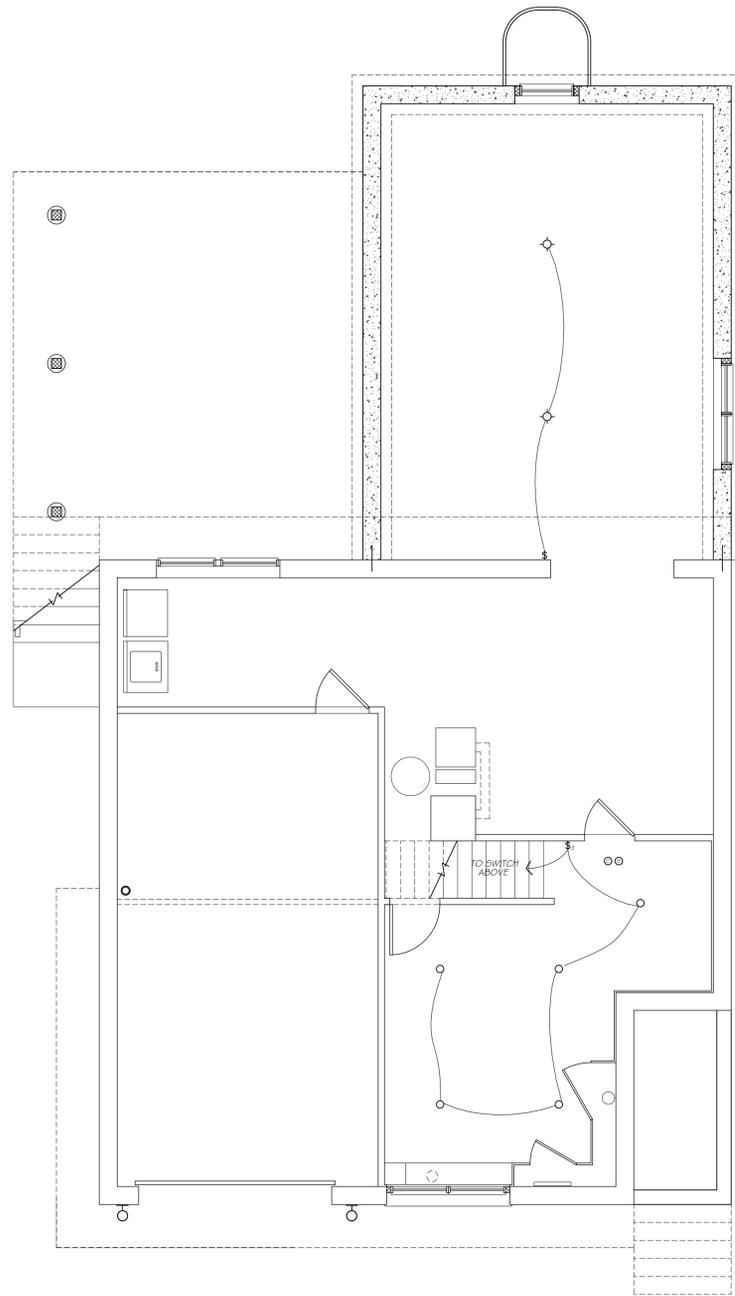
Scale 1/2" = 1'-0"
Drawing By A.O.



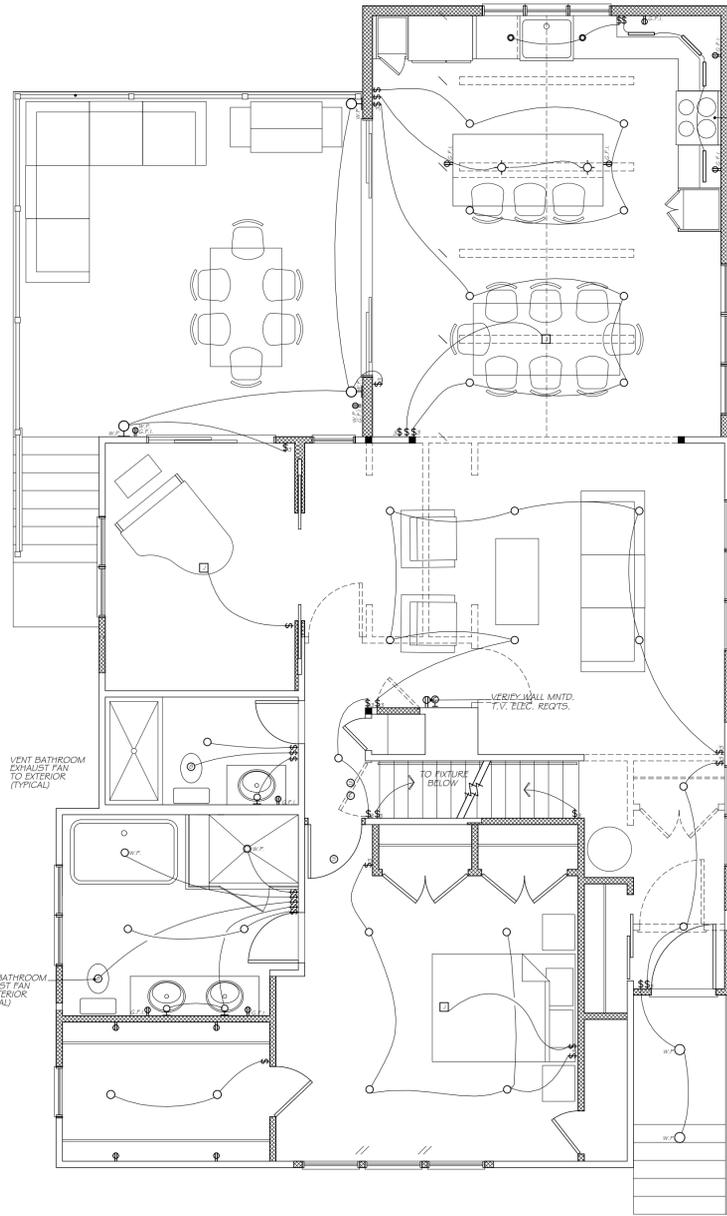
Date 10/17/22
Revised 01/20/23

Drawing No.

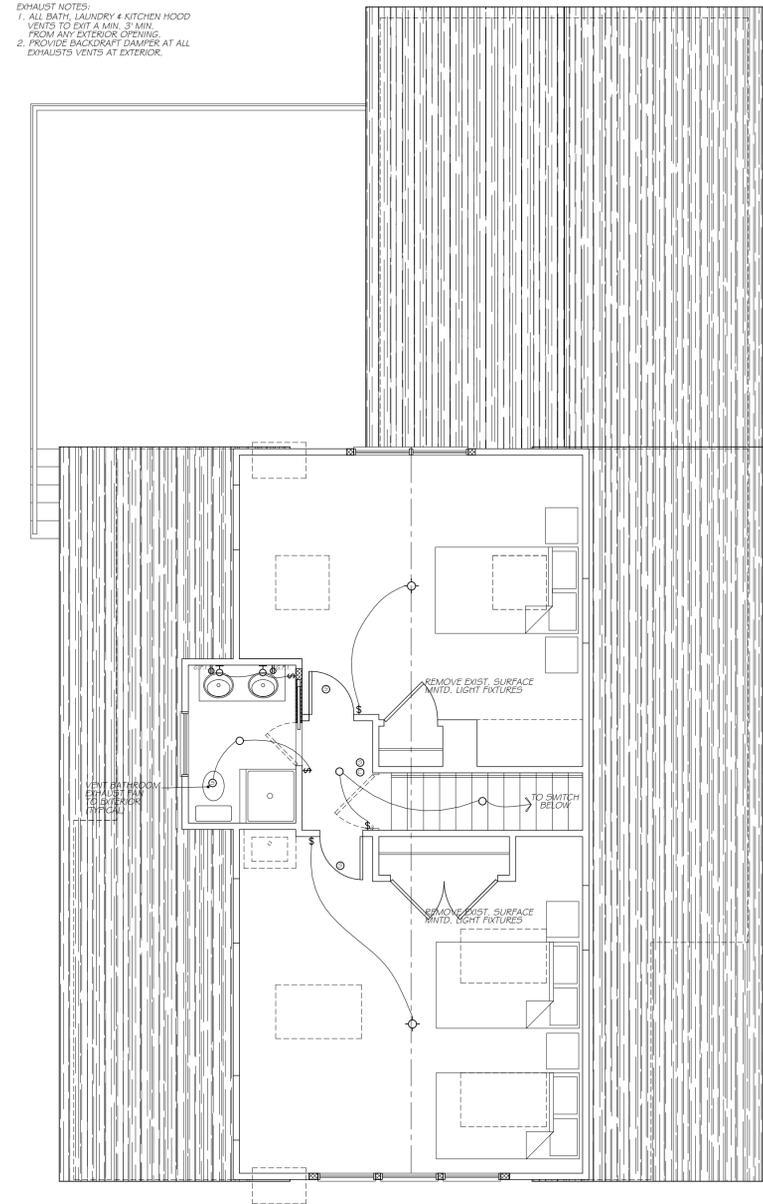
A-401



BASEMENT PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

EXHAUST NOTES:
1. ALL BATH, LAUNDRY & KITCHEN HOOD VENTS TO EXIT A MIN. 3' MIN. FROM ANY EXTERIOR OPENING.
2. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS AT EXTERIOR.

ELECTRIC SYMBOLS	
⊕	DUPLEX OUTLET
⊕ _{WP}	WATER PROOF RECEPTICAL
⊕ _{G.F.I.}	G.F.I. RECEPTICAL
⊕ ₂₂₀	220 VOLT RECEPTICAL
⊕	FLOOR OUTLET
⊕ _{CEILING}	CEILING OUTLET
⊕	CABLE TV. OUTLET (RGG QUAD) HOME RUN
⊕	TELEPHONE OUTLET (CAT 5E) HOME RUN
⊕	SURFACE MOUNTED LIGHT FIXTURE
⊕	3" RECESSED LIGHT W/ LED BULB & TRIM
⊕	3" RECESSED LIGHT W/ LED BULB & TRIM
⊕	WALL MOUNTED LIGHT FIXTURE
⊕	UNDERCOUNTER LIGHTING
⊕	CEILING FAN JUNCTION BOX
⊕	CARBON MONOXIDE DET. (INSTALL AS REQ'D.)
⊕	EXHAUST FAN
⊕	HEAT DETECTOR (INSTALL AS REQ'D. BY CODE)
⊕	SMOKE ALARM (INTERCONNECTED)
⊕	SINGLE POLE SWITCH
⊕	THREE POLE SWITCH
⊕	DIMMER SWITCH

ELECTRICAL NOTES:
1. WALL OUTLETS AT AREAS OF NEW WORK BY ELECTRICIAN AS REQ'D. BY CODE UNLESS OTHERWISE NOTED ON DRAWING.
2. INSTALL HARDWIRED, INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP LOCATE AS REQ'D. BY CURRENT CODE.
3. PROVIDE HARDWIRED, CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATE AS REQ'D. BY CURRENT CODE.
4. VERIFY APPLIANCE & NEW MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENTS W/ OWNER PRIOR TO ROUGH IN.
5. PROVIDE OWNER W/ \$500 ALLOWANCE FOR THE SELECTION & INSTALLATION OF DIMMER SWITCHES. VERIFY LOCATIONS.
6. PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMPS PER THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
7. ALL BATH, LAUNDRY & KITCHEN EXHAUST VENTS TO EXIT A MIN. OF 3' FROM ANY EXTERIOR OPENING. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS.
8. ALL RECESSED LIGHTS IN CONTACT W/ ROOF OR FLOOR INSULATION TO BE BOTH IC & UL RATED.
9. ALL BATH VENTS TO EXTERIOR A 3' MIN. FROM ANY EXTERIOR OPENING.
10. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS AT EXTERIOR.

KITCHEN ELECTRICAL NOTES:
1. KITCHEN REQUIREMENTS:
* RANGE
* DISHWASHER
* EXHAUST HOOD
* REFRIG.
* MICROWAVE OVEN
* UNDER CAB. LIGHTS
* G.F.C.I. WALL OUTLETS
* DISPOSAL
2. VERIFY CENTER OF KITCHEN ISLAND PRIOR TO ROUGHING IN. CLG. FIXTURES.
3. SEE FINAL KITCHEN PLAN BY OTHERS AND VERIFY APPLIANCE REQUIREMENTS PRIOR TO ROUGH.
4. VERIFY KITCHEN COUNTER ELECTRICAL OUTLET LOCATIONS W/ KITCHEN SUPPLIER.

LIGHTING NOTE:
PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMPS PER 404 OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
EXHAUST NOTES:
1. ALL BATH, LAUNDRY & KITCHEN HOOD VENTS TO EXIT A MIN. 3' MIN. FROM ANY EXTERIOR OPENING.
2. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS AT EXTERIOR.

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Project Title
**ADDITIONS & ALTERATIONS
SADRE & MUIR
RESIDENCE**
15 JAFFRAY COURT
Irvington, NY 10533

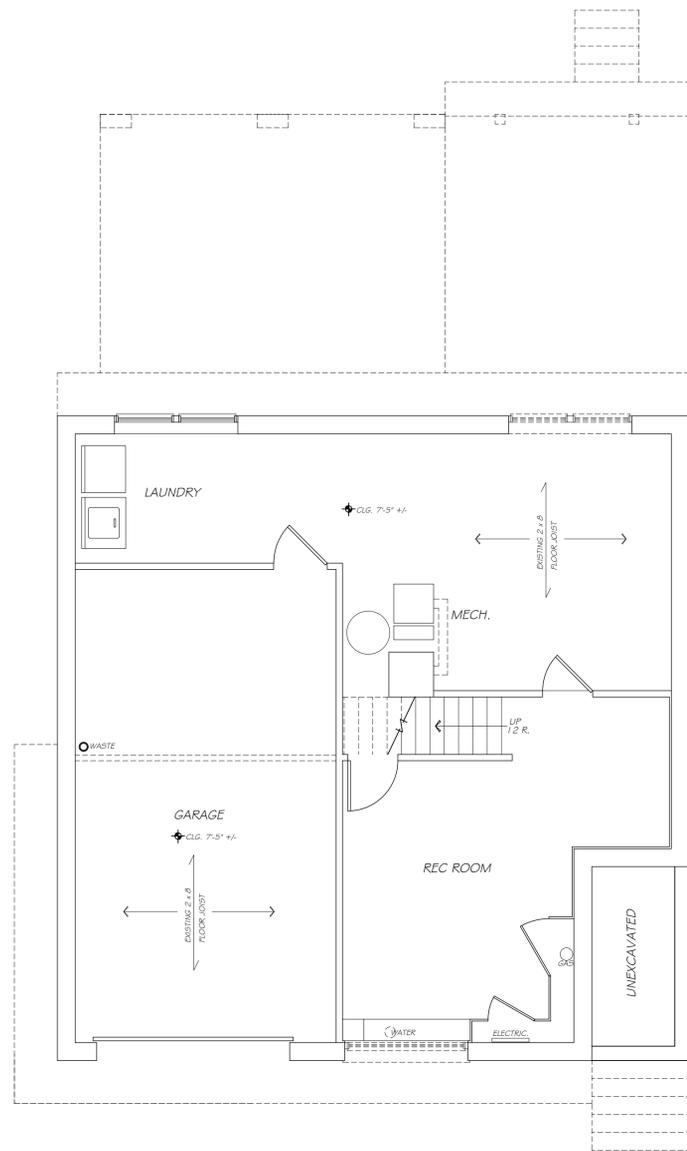
**PROPOSED
ELECTRICAL PLANS**

Scale 1/4" = 1'-0"
Drawing By A.O.

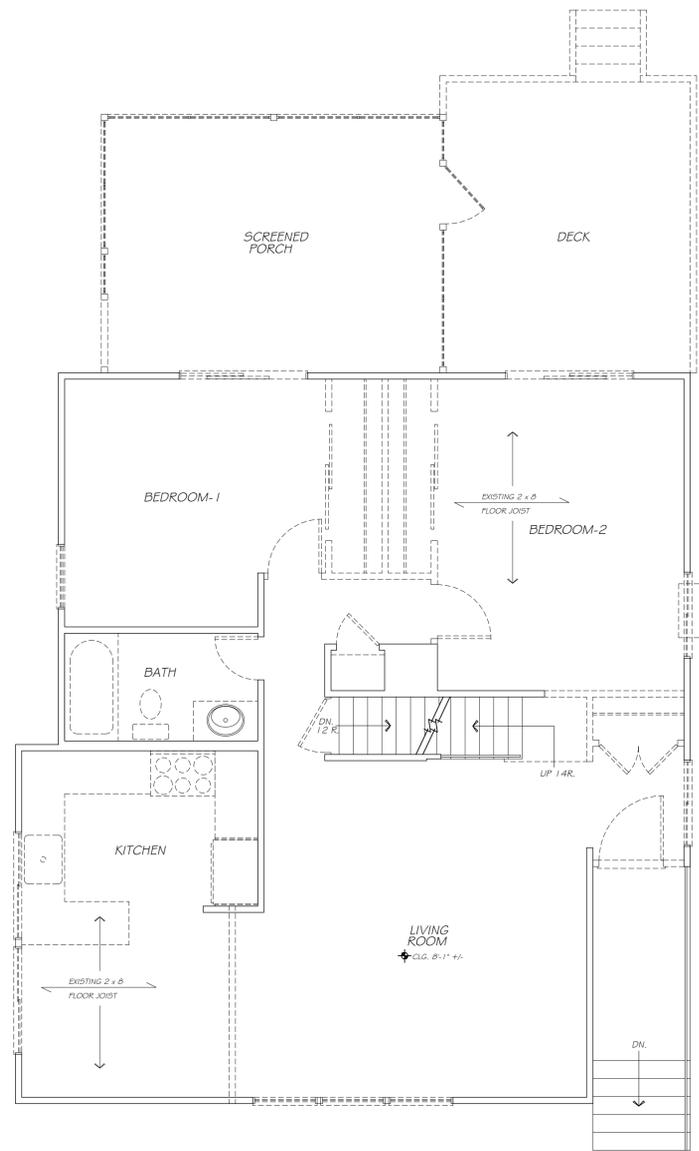


Date	10/20/22
Revised	12/15/22
	01/20/23

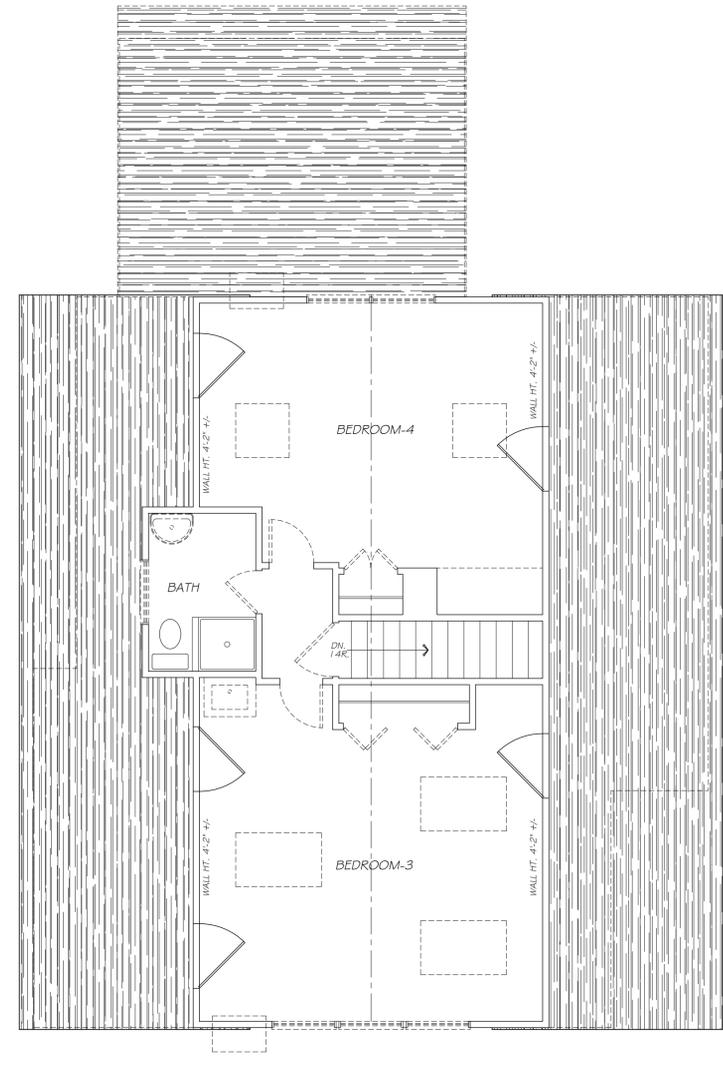
Drawing No.
E-101



BASEMENT PLAN
1/4" = 1'-0"



FIRST FLOOR PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"

- LEGEND**
- EXIST. CONC. FOUNDATION WALL TO REMAIN
 - EXIST. CONC. FOUNDATION WALL TO BE REMOVED
 - EXIST. FRAME WALL TO REMAIN
 - EXIST. FRAME WALL TO BE REMOVED

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**EXISTING
FLOOR PLANS &
DEMO PLAN**

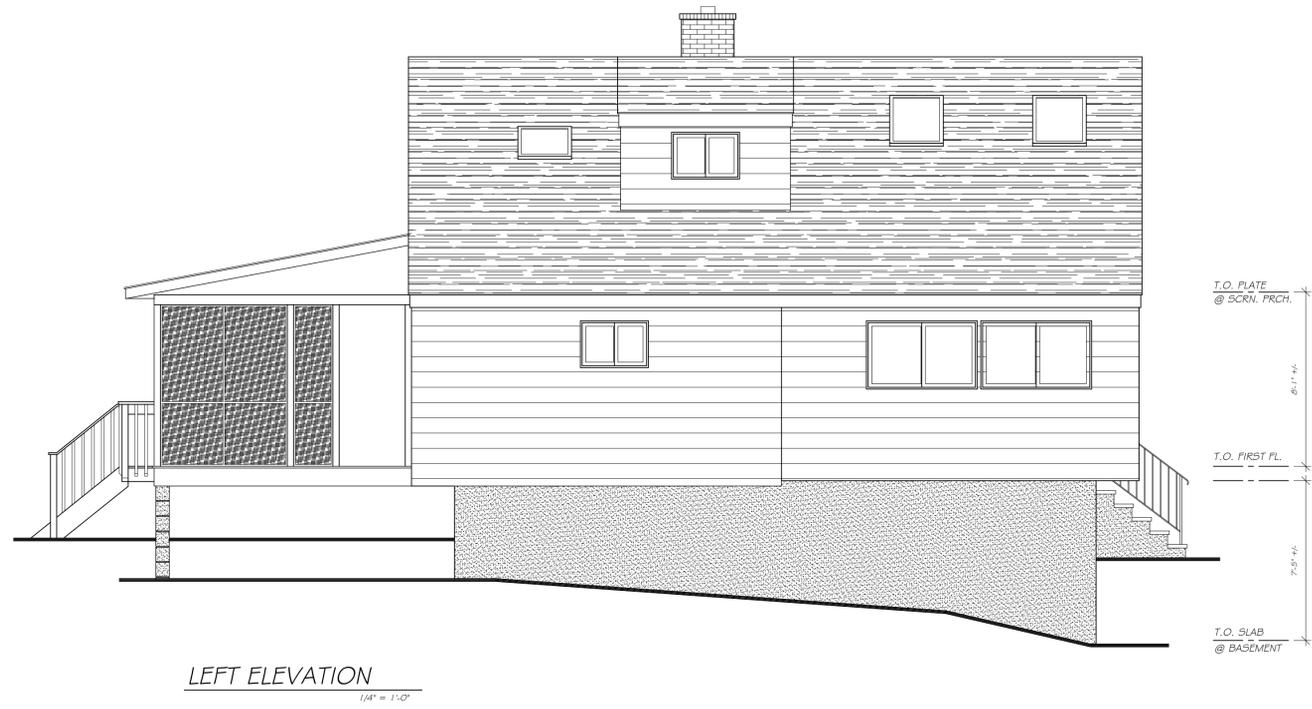
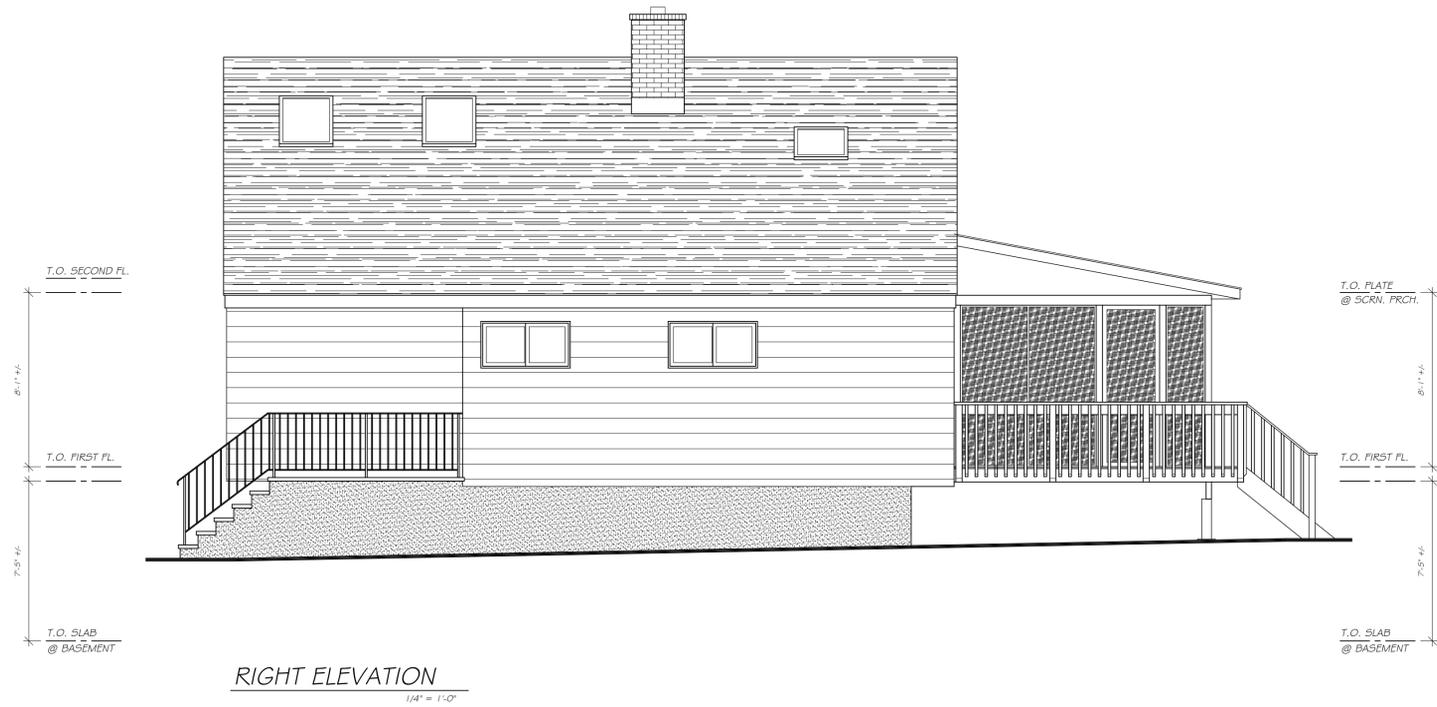
Scale 1/4" = 1'-0"
Drawing By A.O.



Date	09/14/22
Revised	

Drawing No.

X-101



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Irvington, NY 10533

EXISTING ELEVATIONS

Scale 1/4" = 1'-0"
Drawing By A.O.



Date	09/14/22
Revised	

Drawing No.
X-201