

12 Spring Street
Hastings-on-Hudson
New York 10706
914.478.0799

christinagriffinarchitect.com



February 21, 2023

Irvington Architectural Review Board
85 Main Street
Irvington, NY 10533

Re: 11 Hancock Pl
Parcel No. 2.160-72-8

Dear Members of the Board:

We have made an amendment to permit #BP2022-0054. The changes include replacement of the existing front entry columns, replacement and repair of the existing terrace over the garage and terrace over the solarium. There will be no increase in coverage. Please find enclosed drawings dated 02-21-2023, the sheets with changes have been labeled with a triangle and revision bubble.

On behalf of Darren & Sukaina Klein we submit the enclosed for Architectural Review Board approval.

Sincerely,

Lizette Garcia-Elias
Project Designer
CGA Studio Architects

R E N O V A T I O N S T O T H E
K L E I N R E S I D E N C E
 11 HANCOCK PLACE, IRVINGTON, NEW YORK
 C H R I S T I N A G R I F F I N A R C H I T E C T P C
 1 2 S p r i n g S t r e e t , H a s t i n g s - o n - H u d s o n , N Y 1 0 7 0 6



▲ THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.



ARCHITECTURAL REVIEW BOARD 02-21-2023

GENERAL NOTES

- These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.
- All construction shall comply fully with the 2020 Residential code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.
- Approved stamped set of building plans must be present on site for all inspections.
- A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.
- General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.
- Licensed electrician to file separate electrical permit.
- Licensed plumber to file separate plumbing permit.
- All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.
- The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.
- Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.
- The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for Owner's use.
- All indicated Survey material is for general reference only. The Architect assumes no responsibility for the accuracy or the correctness of the indicated material.
- Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.
- All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.
- General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.
- The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.
- Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- Drawings may be rough scaled for estimating & general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.
- All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor before ordering any material or doing any work.
- Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.
- The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.
- Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.
- The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.
- Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.
- The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.
- The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.
- Contractor shall maintain a sealed enclosure between work area and other areas of the residence. In addition, the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.
- The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.

- New & existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling & priming.
 - All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by Architect.
 - If blown or sprayed insulation used, installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building Departments records.
 - All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.
 - Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order for fabrication and / or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions , piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.
 - All work shall be installed so all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.
 - Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.
 - Complete sweeping of all areas, and removal of all rubbish and debris, except that caused by the owner or others doing N.I.C. work.
 - Removal of all labels from glass, fixtures, and equipment, etc. and spray cleaning of glass and mirrors.
 - Removal of stains, and paint from glass, hardware, finished flooring, cabinets, etc.
 - Final cleaning of all chrome and aluminum metal work.
 - Restoration of property by returning shrubs to original locations, filling of all ruts and raked topsoil and repairs to damaged blacktop.
 - Finish materials and paint colors shall be reviewed and approved by the homeowner.
 - The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.
 - All new insulation to comply with the 2020 Building Code of New York State.
- Energy Notes R-Values & U-Factors**
 2020 NY ECC AMENDED BY NY STRETCH ENERGY CODE Climate Zone 4A
- | | Required | Proposed |
|------------------|-----------------|-----------------------|
| Roof | R-53 or R-33 ci | R-53 min (see A-501) |
| Frame Wall | R-13 + 4.5 ci | R-13min + 4.5 ci min. |
| Mass Wall | R-13.3 ci | R-13.3 ci (see A-500) |
| Fixed Glazing | 0.36 U value | 0.29 U value |
| Operable Glazing | 0.43 U value | 0.29 U value |
| Floor | R-30 | R-30 |
- Design Criteria:
 5750 Degree Days
 15% Maximum Glazing

Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2020 Building Code of New York State.

INSULATION & FENESTRATION

REQUIRED BY 2020 NY ECC AMENDED BY NY STRETCH ENERGY CODE CLIMATE ZONE 4

OPAQUE THERMAL ENVELOPE INSULATION COMPONENT MIN. REQUIREMENTS, R-VALUE METHOD (NY STRETCH TABLE CB 102.2) ^{a, h}				FENESTRATION MAX. U-FACTOR & SHGC RQMENTS (TABLE C402.4)	
ROOF INSULATION ABOVE ROOF DECK	WALLS ABOVE GRADE MASS ¹	WALLS BELOW GRADE MASS ²	SLAB-ON GRADE FLOOR UNHEATED	FIXED FENESTRATION	OPERABLE FENESTRATION
R-33 ci	R-13.3 ci	R-10 ci	R-15 for 24" BELOW	U = 0.36	U = 0.43
ROOF ATTIC & OTHER	WALLS ABOVE GRADE WOOD FRAMED	FLOORS ABOVE GRADE WOOD JOIST / FRAMING	OPAQUE DOORS NON-SWINGING	ENTRANCE DOORS	SKYLIGHTS
R-53	R-13+4.5 ^{cont.} or R-19+1.5 ^{cont.}	R-30 ⁶	R-4.75	U = 0.77	U=0.48; SHGC=0.38

- a. ASSEMBLY DESCRIPTIONS CAN BE FOUND IN ANSI/ASHRAE/IESNA APPENDIX A.
- b. WHERE USING R-VALUE COMPLIANCE METHOD, A THERMAL SPACER BLOCK SHALL BE PROVIDED. OTHERWISE USE THE U-FACTOR COMPLIANCE METHOD IN TABLE C402.1.4.
- c. WHERE HEATED SLABS ARE BELOW GRADE, BELOW-GRADE WALLS SHALL COMPLY WITH THE EXTERIOR INSULATION REQUIREMENTS FOR HEATED SLABS.
- d. "MASS FLOORS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.3.
- e. STEEL FLOOR JOIST SYSTEMS SHALL BE INSULATED TO R-38.
- f. "MASS WALLS" SHALL BE IN ACCORDANCE WITH SECTION C402.2.2.
- g. THE FIRST VALUE IS FOR PERIMETER INSULATION AND THE SECOND VALUE IS FOR SLAB INSULATION. PERIMETER INSULATION IS NOT REQUIRED TO EXTEND BELOW THE BOTTOM OF THE SLAB.
- h. NOT APPLICABLE TO GARAGE DOORS. SEE TABLE C402.1.4.

DESIGN REQUIREMENTS

FOR 2020 BUILDING CODE OF NEW YORK STATE CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND DESIGN					SUBJECT TO DAMAGE FROM						
	SPEED (MPH)	TOPO EFFECTS	SPECIAL REGION	WIND BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	ICE SHIELD UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30 PSF	115-125 MPH	NO	YES	NO	B	SEVERE	42"	MODERATE TO HEAVY	YES	N/A	2000	51.6

DATES

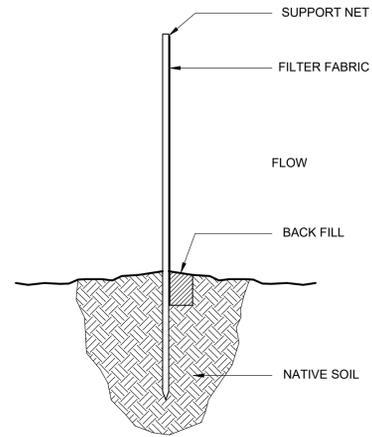
PLANNING BOARD SUBMISSION	12-22-21
REVISED PLANNING BOARD SUBMISSION	01-13-22
ARCHITECTURAL REVIEW BOARD SUB.	03-07-22
BUILDING PERMIT SUB.	04-11-22
REV. BUILDING PERMIT SUB.	02-15-23
ARCHITECTURAL REVIEW BOARD SUB.	02-21-23

LIST of DRAWINGS

TITLE SHEET	GENERAL NOTES, ZONING DATA, CLIMATIC & GEOGRAPHIC CRITERIA, LIST OF DRAWINGS, DATES
S-1	SITE PLAN
S-2	SITE DETAILS
A-1	PATIO FLOOR PLAN, PARTIAL SECOND FLOOR PLAN, TERRACE DETAIL
A-2	ATTIC FLOOR PLAN & ELEVATIONS
A-3 - A-5	EXTERIOR ELEVATIONS & DETAILS
A-6 - A-7	PHOTOS OF EXISTING HOUSE & NEIGHBORING PROPERTIES

A SILT FENCE

SCALE: 1/2" = 1'-0"



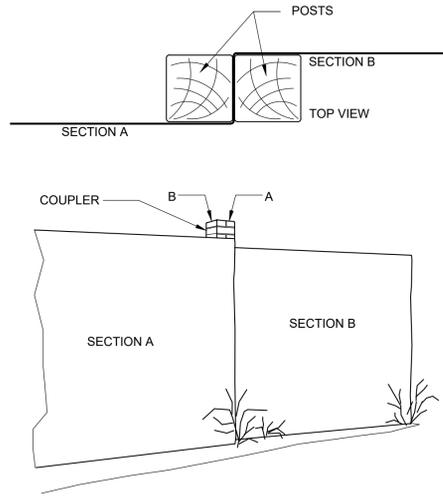
TOE-IN METHOD

INSTALLATION NOTES

- EXCAVATE A 4" X 4" TRENCH ALONG LOWER PERIMETER OF THE SITE
- UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW)
- DRIVE THE POST INTO GROUND UNTIL THE NETTING IS APPROXIMATELY 2" FROM THE TRENCH BOTTOM
- LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH; BACKFILL THE TRENCH AND TAMP THE SOIL; STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH
- JOIN SECTION AS SHOWN ABOVE

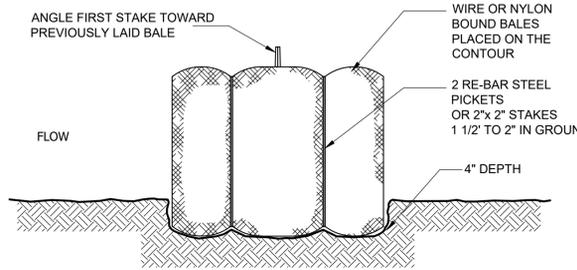
B SILT FENCE JOINING SECTION

SCALE: 1/2" = 1'-0"



C HAY BALE

SCALE: 1/2" = 1'-0"

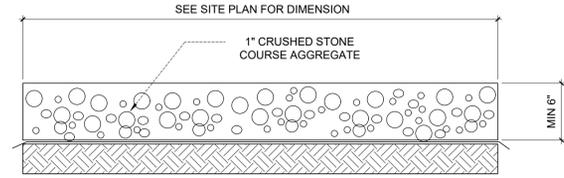


EMBEDDING DETAIL
INSTALLATION NOTES

- BALES SHALL BE PLACED IN ROWS WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES
- EACH BALE BE EMBEDDED IN THE SOIL A MINIMUM 4"
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR RE-BAR DRIVEN THROUGH BALES; THE FIRST STAKE IN EACH BALE SHALL BE ANGLED TOWARD PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE

D STABILIZED CONSTRUCTION ENTRANCE

SCALE: 1/2" = 1'-0"

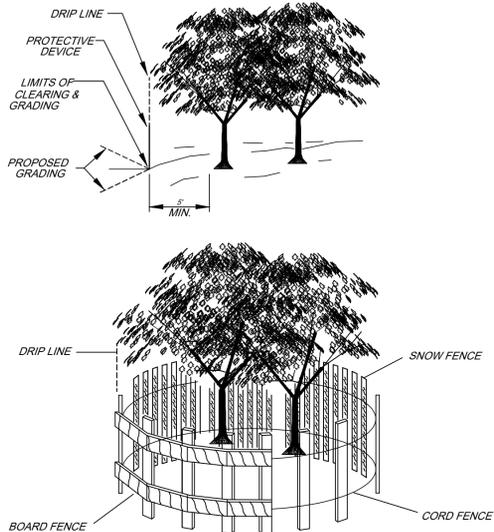


STABILIZED CONSTRUCTION ENTRANCE

- STONE - MAXIMUM 3" GRAVEL STONE OR RECLAIMED CONCRETE EQUIVALENT.
- DIMENSION - 30' MINIMUM LENGTH FOR RESIDENTIAL LOTS, 50' MINIMUM FOR COMMERCIAL SITES; 25' MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH WHERE INGRESS & EGRESS OCCUR; DEPTH - MINIMUM 6".
- FILTER FABRIC - LAY FILTER FABRIC BEFORE APPLYING GRAVEL.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM, WITH 5:1 SLOPES, WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

E TREE PROTECTION

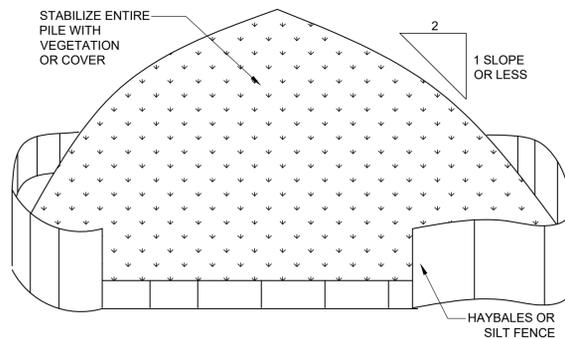
SCALE: N.T.S.



CORRECT METHODS OF TREE FENCING FOR USE WHERE A TREE IS DESIRED TO BE PRESERVED

F SOIL STOCKPILE

SCALE: 1/2" = 1'-0"

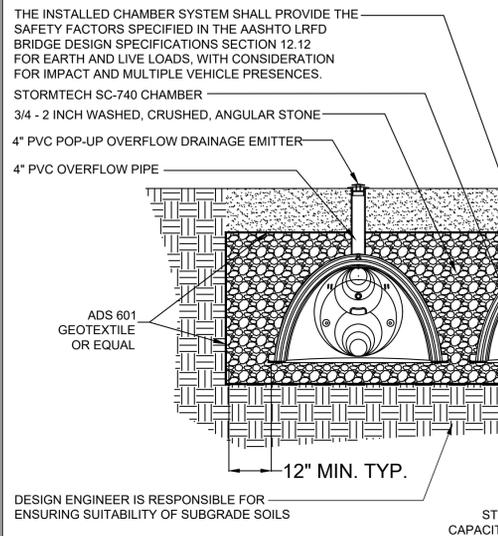


INSTALLATION NOTES

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50 - 75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAYBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
- STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUND BY SILT FENCE.

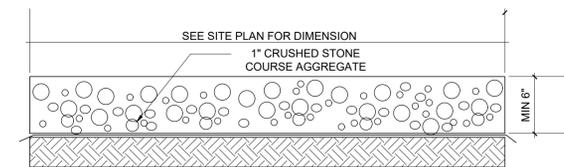
G STORM CHAMBER

SCALE: 1/2" = 1'-0"



H STONE RETAINING WALL

SCALE: 1/2" = 1'-0"



STABILIZED CONSTRUCTION ENTRANCE

- STONE - MAXIMUM 3" GRAVEL STONE OR RECLAIMED CONCRETE EQUIVALENT.
- DIMENSION - 30' MINIMUM LENGTH FOR RESIDENTIAL LOTS, 50' MINIMUM FOR COMMERCIAL SITES; 25' MINIMUM WIDTH, BUT NOT LESS THAN FULL WIDTH WHERE INGRESS & EGRESS OCCUR; DEPTH - MINIMUM 6".
- FILTER FABRIC - LAY FILTER FABRIC BEFORE APPLYING GRAVEL.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM, WITH 5:1 SLOPES, WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT THE TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO A PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
- WASHING - VEHICLE WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

SITE DETAILS

SCALE: 1/2" = 1'-0"

RENOVATIONS TO THE

KLEIN RESIDENCE

11 HANCOCK PLACE, IRVINGTON, NY 10533

PC

CHRISTINA GRIFFIN ARCHITECT

12 Spring Street
Hastings-on-Hudson, NY 10706
914.478.0799 tel
www.christinagriffinarchitect.com

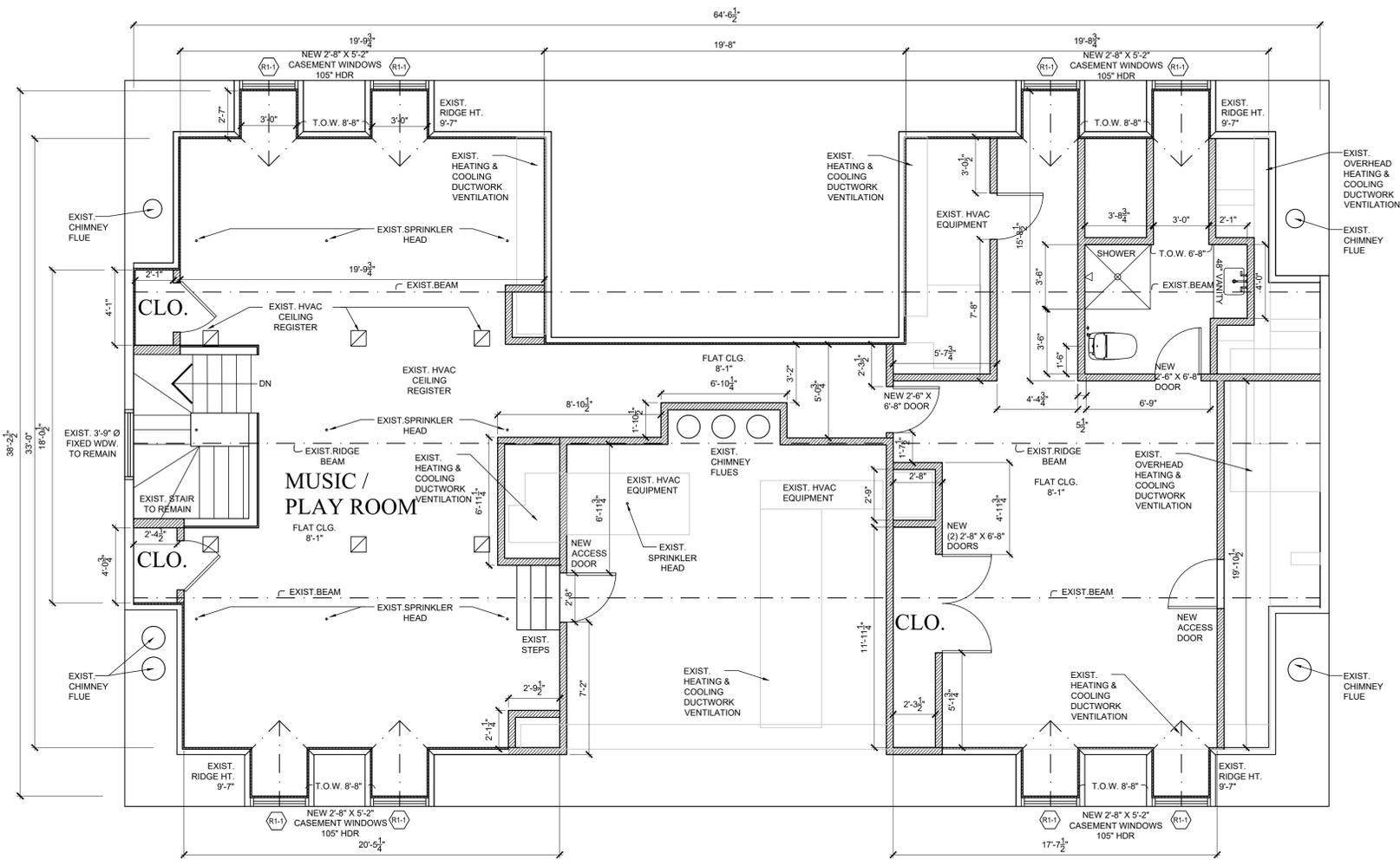
DATE: PLANNING BOARD SUBMISSION 12-22-2021
REVISED PLANNING BOARD SUBMISSION 01-13-2022
ZONING BOARD SUBMISSION 02-07-2022
ARCHITECTURAL REVIEW BOARD 03-07-2022
BUILDING PERMIT DRAWINGS 04-11-2022
REV. BUILDING PERMIT DRAWINGS 02-15-2023
ARCHITECTURAL REVIEW BOARD 02-21-2023

Drawing Title: SITE DETAILS

Scale: AS SHOWN

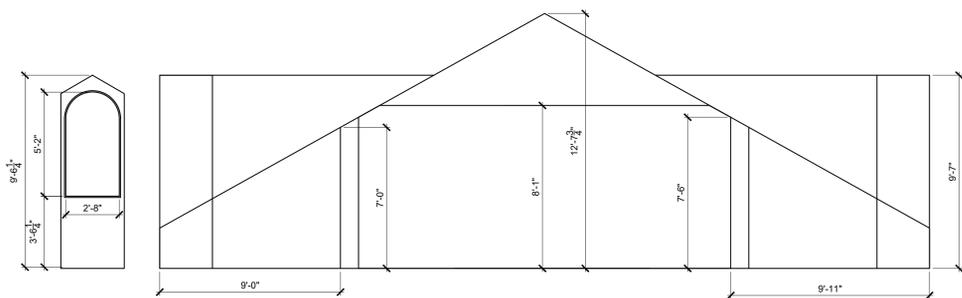


S-2



ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING ATTIC ELEVATION

SCALE: 1/4" = 1'-0"

LEGEND

- EXIST. EXTERIOR WALL:
Exist. stud wall w/ new 2" Gypsum bd.
Add furring & R-21 Rockwool Comfort Batt.
insulation at exterior wall
 - EXIST. INTERIOR WALL:
Exist. stud wall w/ new 2" Gypsum bd.
Add furring & Rockwool safe 'n' sound
insulation.
 - NEW INTERIOR WALL:
New 5/8" gypsum board ea. side
of exist. 2"x4"s @ 16" o.c.
 - INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2"x4"s @ 16" o.c.
Rockwool safe 'n' sound insulation.
 - 3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2"x4"s @ 16" o.c.
 - EXTERIOR WALL:
Existing sitcco on wood sheathing
2"x4" studs 16" o.c. New 2" furring
R-21 Rockwool Comfort Batt. insulation,
2" gyp. bd.
 - ELEVATION
NO. SHEET NO.
 - SECTION DETAIL
NO. SHEET NO.
 - DOOR TYPE
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE
 - WINDOW TYPE
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE
 - WALL REGISTER
- ENGINEERED LUMBER AND/OR TRUSS CONSTRUCTION MUST BE PLACARDED AS PER NYS DOCS

GENERAL STRUCTURAL NOTES

1. DESIGN LOADS:

LOCATION	LIVE LOAD	DEAD LOAD	TOTAL
1ST FL	40	15	55PSF
2ND FL	40	15	55PSF
ROOF	40	15	55PSF
DECK	50	15	65PSF
2. DESIGN STRESSES: SOIL PRESSURE(assumed)= 2 TONS(4 kips)PSF
 F'C = 3,500 PSI (min. compression strength of concrete)
 F'S = 24,000 PSI (tensile unit stress of steel)ASTM-A-36
3. THE FRAMING CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE STRUCTURAL STEEL WORK AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.
4. FRAMED BEAM CONNECTIONS ASTM A-325 HIGH STRENGTH BOLTS(3/4") UNLESS OTHERWISE NOTED.
5. WELDING SHALL CONFORM TO AWS CODE FOR GAS & ARC WELDING IN BUILDING CONSTRUCTION. THE EXISTING FLOORS AND ROOF CONSTRUCTED OF WOOD AND SPECIAL PROTECTION MUST BE PROVIDED TO PREVENT FIRE DAMAGE AS A RESULT OF THE FIELD WELDING.
6. FURNISH AND DELIVER FOR INSTALLATION BY OTHERS, ANCHOR BOLTS, BEARING PLATES AND LOOSE LINTELS WITH INSTRUCTIONS AND TEMPLATES TO FACILITATE INSTALLATION.
7. SHOP PAINT ALL STRUCTURAL STEEL WITH AN APPROVED PRIMER AND TOUCH UP PAINTING.
8. FABRICATOR MUST PROVIDE SHOP DRAWINGS PREPARED BY TECHNICAL PERSONNEL UNDER THE SUPERVISION OF A QUALIFIED ENGINEER LICENSED BY THE STATE OF NEW YORK.
9. FOOTINGS SHALL BE REINFORCED AS SHOWN AND DOWELED TO RECEIVE THE PIER. ANCHOR BOLTS ARE TO BE SET ACCORDING TO THE ANCHOR BOLT PLAN SUBMITTED BY THE STEEL FABRICATOR AND SECURED IN PLACE BY MEANS OF A TEMPLATE.
10. ALL DIMENSIONS SHALL BE FIELD MEASURED AND VERIFIED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION & PRIOR TO FABRICATION OF STRUCTURAL STEEL MEMBERS
11. CONTRACTOR TO SUBMIT SHOP DRAWINGS PREPARED BY AN ENGINEER FOR ALL STRUCTURAL STEEL PRIOR TO FABRICATION, FOR REVIEW & APPROVAL BY THE PROJECT ENGINEER.
12. INSTALL SOLID 2" THICK BLOCKING THE DEPTH OF FL. JOISTS MAX. 8 FT. O.C.
13. ALL PARALLAM BEAMS TO BE 2.0E PSL BY TRUS JOIST.
14. ALL PARALLAM POSTS TP BE 1.8 E PSL BY TRUS JOIST.
15. FRAMING DETAILS SHALL BE IN ACCORDANCE WITH IRC TABLE R602
16. WINDOW HEADER, SILLS AND GLAZING DETAILS TO BE IN IN ACCORDANCE WITH IRC R.
17. RE-BAR CHAIRS TO BE INSTALLED TO SUPPORT RE-BAR AT FOOTINGS AND FOUNDATION, NO STIRRUPS REQUIRED.
18. ALL FOUNDATIONS TO BE IN ACCORDANCE WITH IRS CH. 403.

RENOVATIONS TO THE
KLEIN RESIDENCE
 11 HANCOCK PLACE, IRVINGTON, NY 10533

CHRISTINA GRIFFIN ARCHITECT
 PC
 12 Spring Street
 Hastings-on-Hudson, NY 10706
 914.478.0799 tel
 www.christinagriffinarchitect.com

Date: PLANNING BOARD SUBMISSION 12-22-2021
 ARCHITECTURAL REVIEW BOARD 03-07-2022
 REVIEWING PERMITTING OFFICE 03-15-2023
 ARCHITECTURAL REVIEW BOARD 02-21-2023
 Drawing Title: FLOOR PLAN
 Scale: AS SHOWN



A-2



WEST ELEVATION
SCALE: 1/4" = 1'-0"

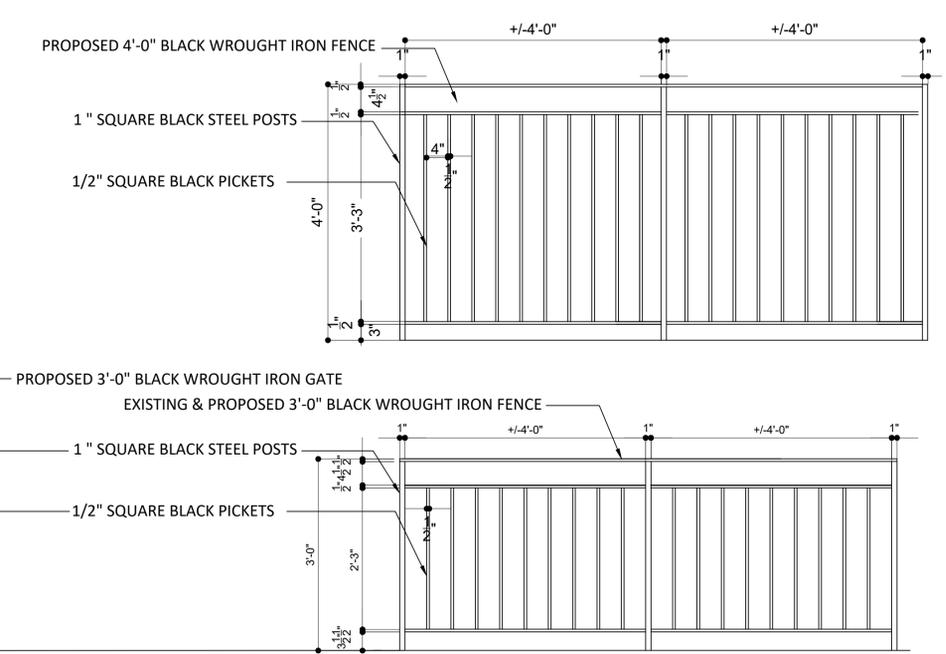


PHOTO of EXISTING
WROUGHT IRON FENCE
SCALE: N.T.S.



RENOVATIONS TO THE
KLEIN RESIDENCE
11 HANCOCK PLACE, IRVINGTON, NY 10533

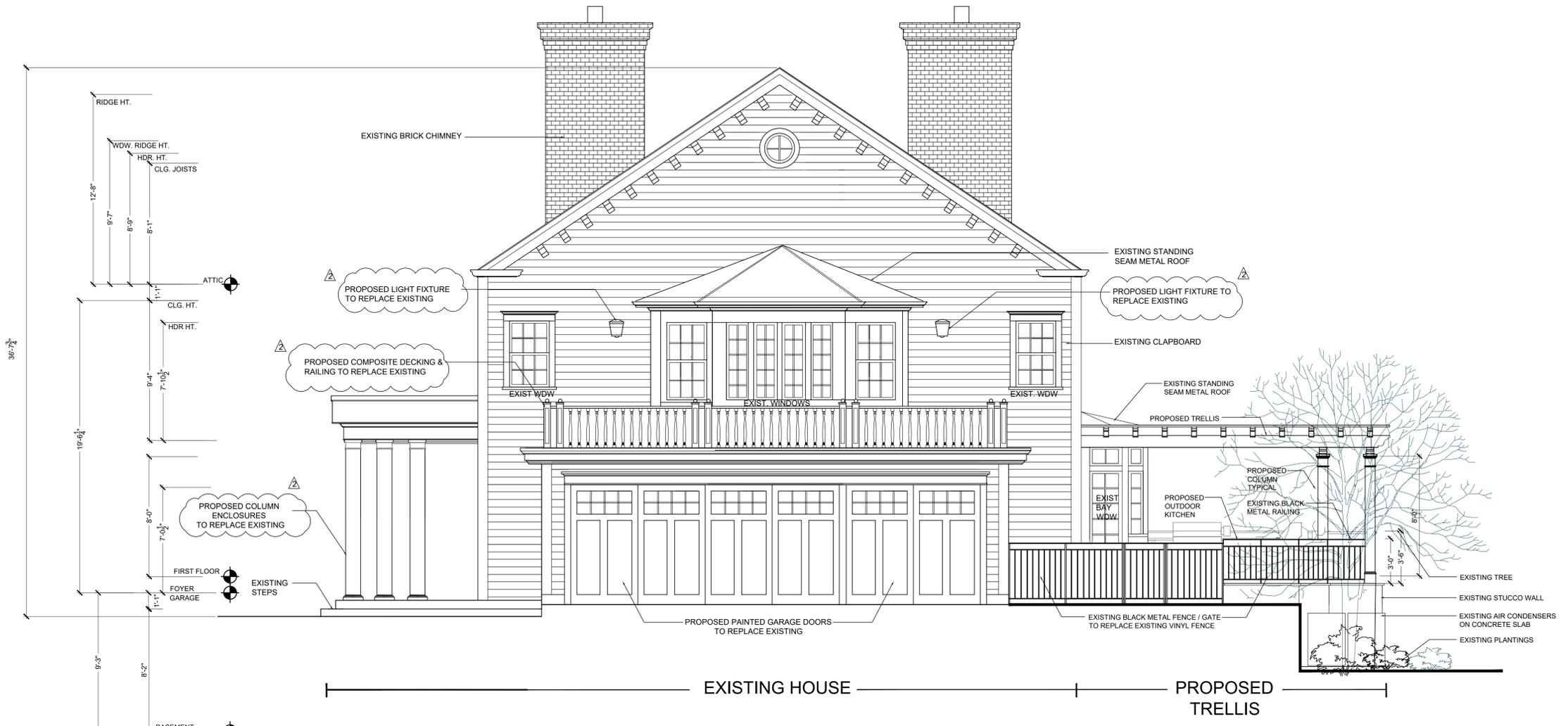
CHRISTINA GRIFFIN ARCHITECT
12 Spring Street
Hastings-on-Hudson, NY 10706
914.478.0799 tel
www.christinagriffinarchitect.com

Date: _____
ARCHITECTURAL REVIEW BOARD SUBMISSION 06-07-21
REVISED PLANNING BOARD SUBMISSION 01-13-2022
ARCHITECTURAL REVIEW BOARD 03-30-2022
REV BUILDING PERMIT DRAWINGS 02-15-2023
ARCHITECTURAL REVIEW BOARD 02-21-2023

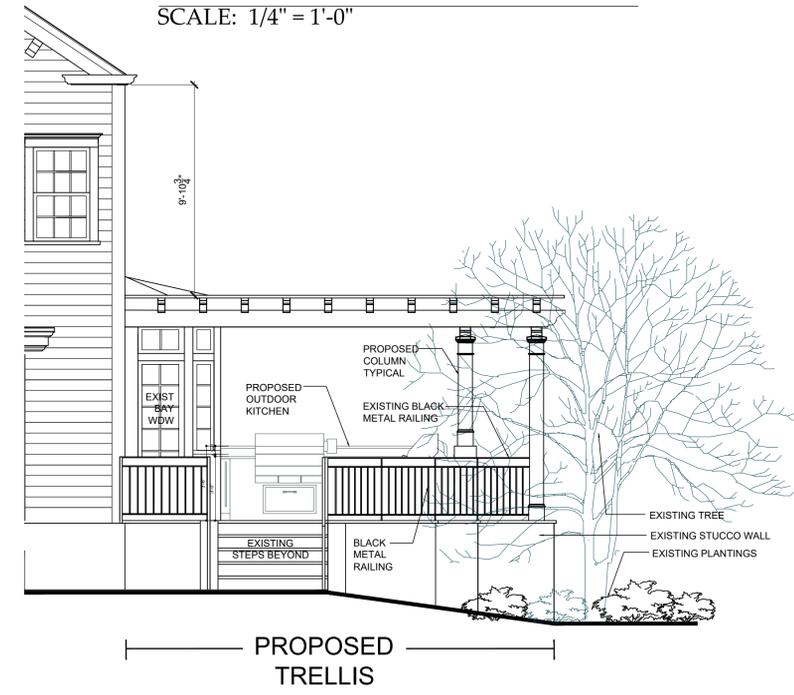
Drawing Title:
WEST
ELEVATION

Scale:
AS SHOWN

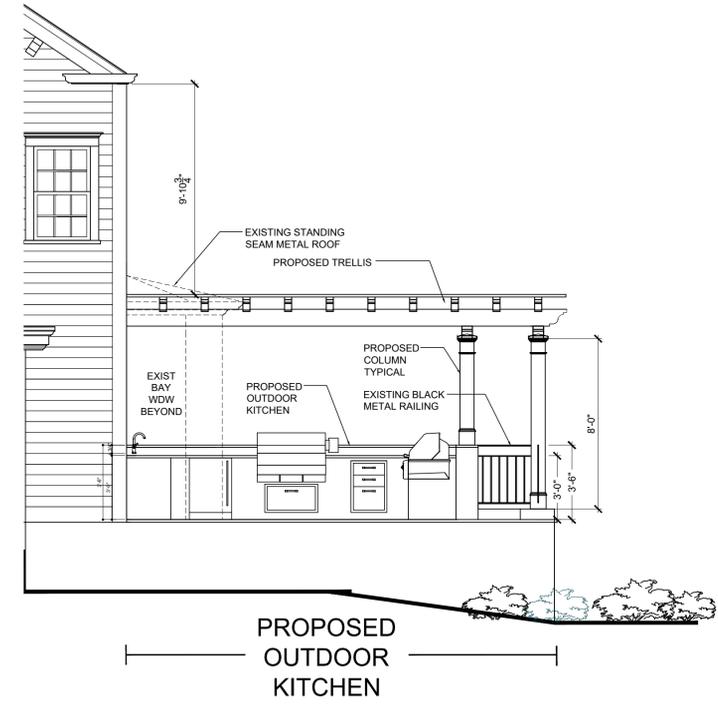
A-3



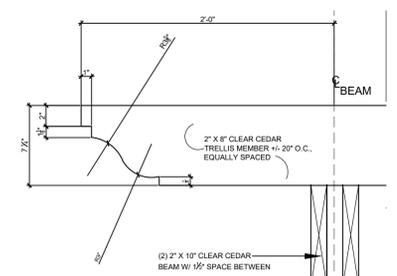
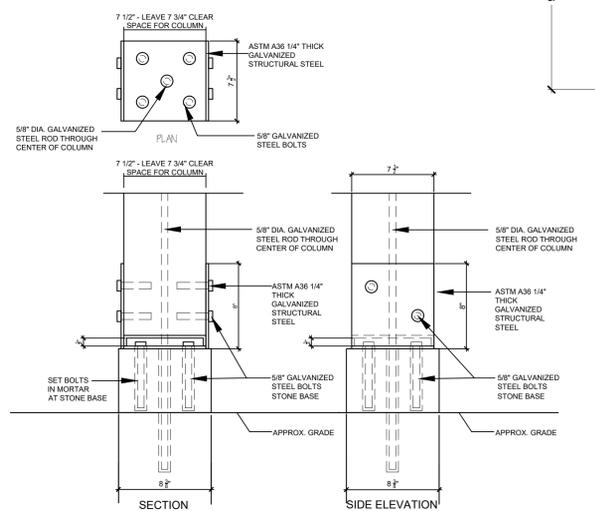
VIEW FROM DRIVEWAY
NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



VIEW FROM LOWER PATIO
NORTH ELEVATION
 SCALE: 1/4" = 1'-0"



VIEW FROM UPPER PATIO
NORTH ELEVATION
 SCALE: 1/4" = 1'-0"





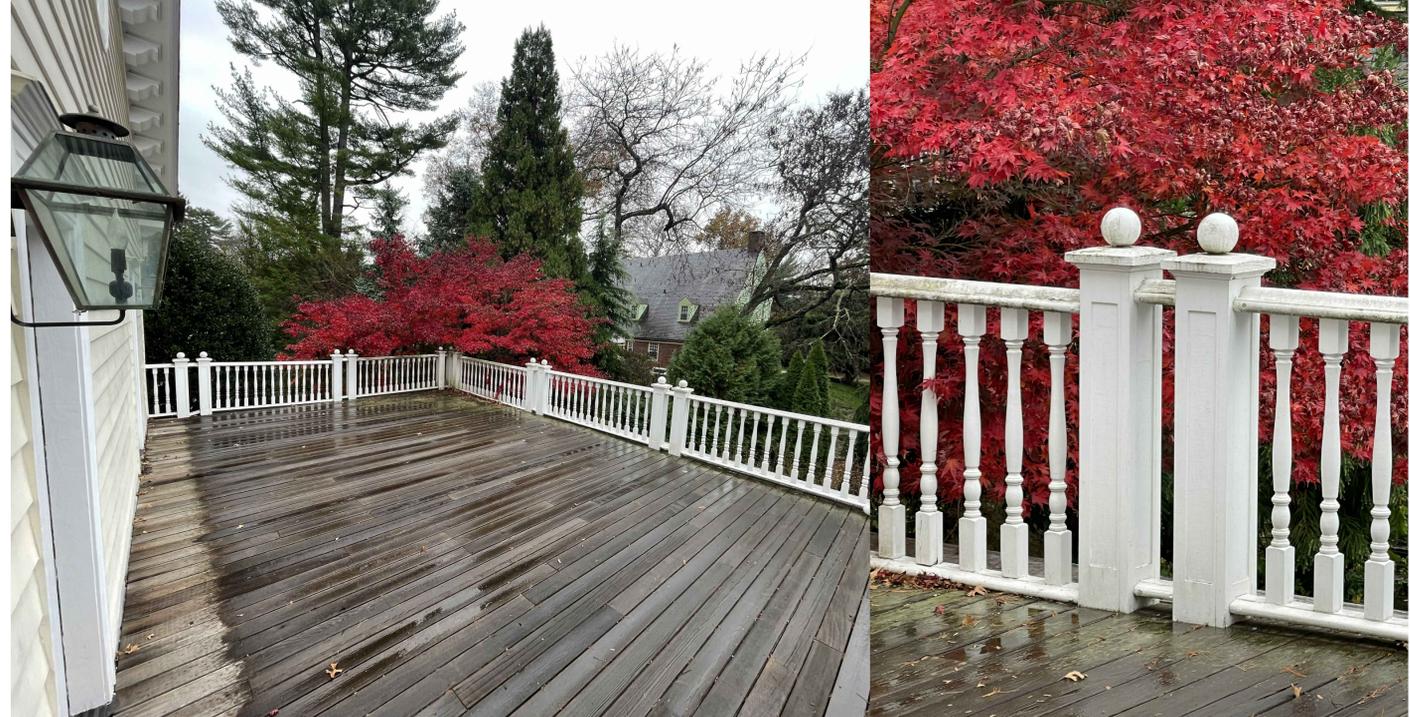
EXISTING HOUSE | PROPOSED TRELLIS & OUTDOOR KITCHEN BEYOND | EXISTING HOUSE

VIEW FROM YARD
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



VIEW FROM LOWER PATIO
SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"





PHOTOGRAPHS of EXISTING HOUSE

RENOVATIONS TO THE
KLEIN RESIDENCE
 11 HANCOCK PLACE, IRVINGTON, NY 10533

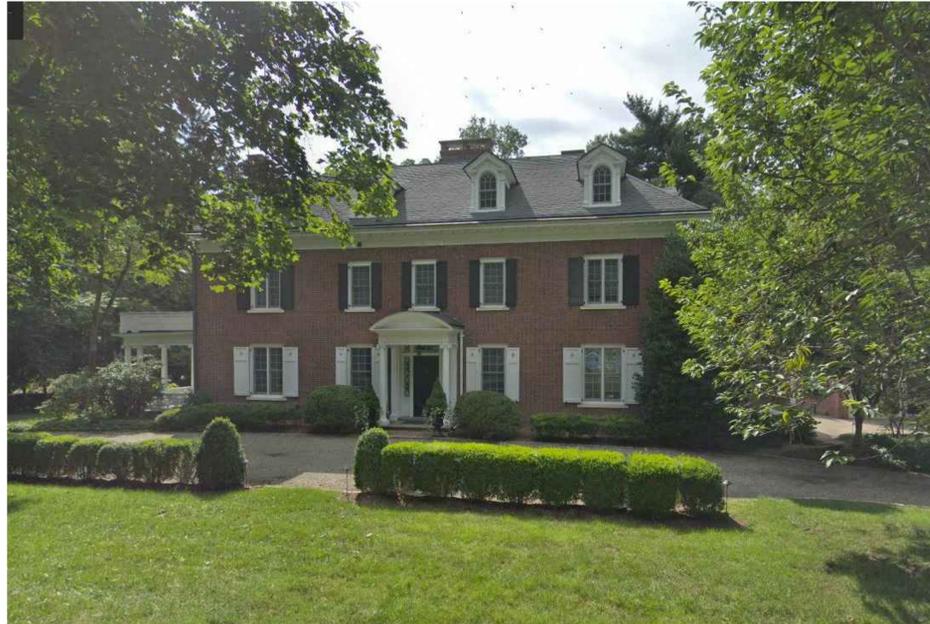
CHRISTINA GRIFFIN ARCHITECT PC
 12 Spring Street
 Hastings-on-Hudson, NY 10706
 914.478.0799 tel
 www.christinagriffinarchitect.com

Date: _____
 ARCHITECTURAL REVIEW BOARD 02-21-2023
 Drawing Title: PHOTOS OF EXISTING
 Scale: AS SHOWN





10 HANCOCK PL



9 HANCOCK PL



8 HANCOCK PL



2 HANCOCK PL



1 HANCOCK PL



3 HUDSON RD. W

PHOTOGRAPHS of NEIGHBORING PROPERTIES

RENOVATIONS TO THE
KLEIN RESIDENCE
11 HANCOCK PLACE, IRVINGTON, NY 10533

PC
CHRISTINA GRIFFIN ARCHITECT
12 Spring Street
Hastings-on-Hudson, NY 10706
914.478.0799 tel
www.christinagriffinarchitect.com

Date: _____
ARCHITECTURAL REVIEW BOARD 02-21-2023

Drawings Title: NEIGHBOR PHOTOS
Scale: AS SHOWN



A-7