

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	630	Date:	06/23/2021
Job Location:	196 RIVERVIEW RD	Parcel ID:	2.60-25-15
Property Owner:	Ariella and Jeremy Toeman	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Samuel F. Vieira	
Samuel F. Vieira Architect, PC	
140 Valley StreetSleepy Hollow NY 10591	
914 659 4894	

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	15000.00	Property Class:	1 FAMILY RES

Description of Work

Replace/repair damaged front wall on ground floor next to entry door. Replace windows on front wall. Construct new cantilever roof over entry door. Replace vertical siding on second floor with horizontal wood siding above repaired ground floor wall.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 196 RIVERVIEW RD

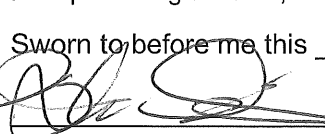
Parcel Id: 2.60-25-15

AFFIDAVIT OF APPLICANT

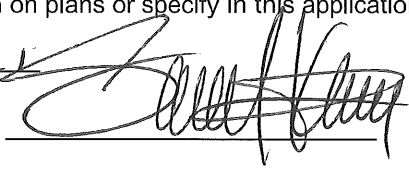
I **Samuel F. Vieira** being duly sworn, depose and says: That s/he does business as: **Samuel F. Vieira Architect, PC** with offices at: **140 Valley Street Sleepy Hollow NY 10591** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 23rd day of June of 2021

Notary Public, State of New York
Registration no. 01SA6310209
Qualified in Westchester County
Commission Expires August 25, 2022

Notary Public / Commission of Deeds


Applicant's Signature

OWNER'S AUTHORIZATION

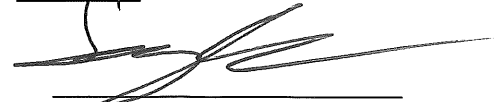
I **Ariella and Jeremy Toeman** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 415 407 8268 Owner email address ariella@cococodesigns.com

- ☐ JEREMY TOEMAN I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 26 day of JUNE of 2021


Notary Public / Commission of Deeds


Applicant's Signature

BARBARA LEVY
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01LE6392102
Qualified in Westchester County
Commission Expires May 20, 2023

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
255

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections 150

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

25

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

515

(To be collected at time of submission of application)Total

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)



196





196

PROPOSED EXTERIOR RENOVATION TO: TOEMAN RESIDENCE

195 RIVERVIEW ROAD
IRVINGTON, NY. 10591

General notes:

- The Architect is not contracted for supervision and so is not responsible for methods of construction or materials used.
- Contractor shall verify all existing conditions in the field and shall notify the Architect of any discrepancies before starting work.
- Contractor shall obtain all permits, certificates, inspections, etc., required by law or code. Owner shall pay for same.
- All work is to be done in accordance with all applicable codes. In the absence of other standards, the 2020 Residential Code of New York State, Uniform Fire Prevention and 2020 Energy Conservation Code of New York State shall govern.
- Drawings have been completed to conform to the 2020 Energy Conservation Code of New York State, Chapter 3, Table C301.1 using Climate Zone 4A (Westchester County) Criteria.
- Contractor shall maintain Workman's Compensation and liability insurance in adequate amounts to render the owner harmless in case of an accident to person or property involved in this project.
- Contractor shall perform all work required for the total completion of the project, weather or not indicated on the drawings. The intention of the drawings is to produce a complete and proper functioning project.
- Contractor shall remove all existing material and construction interfering with the proposed new work whether or not shown on the drawings.
- In some cases, the existing structure has been assumed in so far as the directions of framing, size etc. New structure has been designed based on this assumption. During demolition or any other phase of work, if there is any discrepancies in the assumed condition, which is actually in place, notify the Architect at once.
- All sections and details shall be considered typical and apply for the same, and similar conditions, unless otherwise specifically noted.
- Contractor shall furnish and be solely responsible for all temporary bracing and shoring required to maintain stability of the structure during construction.
- Any required shop drawings shall be submitted to Architect for approval prior to fabrication.
- All surfaces, new existing areas disturbed by construction to be prepared for proper finishing.
- Substitutions of material and/or methods of construction shall be approved by Architect and owner prior to signing construction contract.
- All work shall be guaranteed for one year.
- Construction not to commence pending approval of plans.
- General notes to be strictly adhered to unless otherwise noted on drawings.

Demolition:

- All electrical disconnects and removals must be done by a Electrical Contractor licensed in Westchester County.
- Remove all debris from site to a legal disposal facility. Contractor shall pay for all necessary dumpsters and carting fee's.

Wood Framing:

- All lumber to have min. stress grade of 850 PSI. Lumber exposed to exterior shall be pressure treated.
- Min. Bearing of all framing members to be 3 1/2".
- All framing to be erected plumb, level and true.
- All joists to receive solid bridging at mid span, 8'-0" max. spacing.
- Use double jack studs at all openings grater than 5'-0" and at all corners.
- Use metal joist hangers at all discontinuous or flush framing. Joist hangers shall be installed as per manufacturers instructions and guide lines specifically for what type/size of nails need to be used and where.
- All headers to be 2-2X10's unless otherwise noted.
- All exterior metal fasteners shall be galvanized.
- Connections:
 - Wall Assembly
 - Top plate to top plate connection 2-16d commons per foot
 - Top plate intersection connection 4 - 16d commons each side joint
 - Stud to stud connection 2 - 16d commons 24" o.c.
 - Header to header connection 16d commons 16" o.c. - edges
 - Choose top or bottom plate to stud connection 2-16d commons per 2 x 4 stud
 - Wall Assembly to Floor Assembly
 - Solid Bridging to Floor Joist 2-8d Commons each end
 - Blocking to Floor Joist Connection 2-8d Commons each end
 - Band Joist to Floor Joist Connection 3-16d Commons per Joist
 - Floor Assembly to Wall Assembly
 - Floor joist to Top Plate Connection 4-8d Commons per Joist
 - Blocking to Sill or Top Plate Connection 2-61d Commons per foot

Roofing:

- Provide Rubber (ice shield) flashing as required.
- Provide drip edge as required.
- Roofing Membrane.

Window and Exterior Doors:

- Windows and exterior doors to be installed as per details and specs. on window schedule, plans and elevations.
- All units shall have code compliant insulation and air infiltration requirements.
- Maximum U-Value for Glazing shall be .35 and Maximum SHGC shall be .40

Insulation:

- The following minimum insulation requirements shall apply.
 - Maximum U-Value for glazing - .35
 - Maximum SHGC for glazing - .40
 - Minimum R Values:
 - Ceiling - R 49
 - Walls - R 20
 - Floor - R 19
- Compliance using computer software can be used as substitute.

Electrical:

- All electrical work shall be performed by a licensed electrician.
- All work shall conform to all codes and requirements of authorities having jurisdiction.
- Contractor is responsible for procurement of all inspection certificates.
- Electrical plans reflect minimum electrical and lighting requirements. Client shall field locate all fixtures and electrical requirements as desired.
- All smoke, heat and carbon monoxide detectors shall be hardwired and interconnected.
- Smoke Detecting alarms are to be installed in each sleeping space, outside each sleeping area and on each floor as per section R314 of the 2020 Residential Code of New York State. N.F.P.A. # 72 and all other applicable codes and requirements having jurisdiction.
 - As per the 2020 Residential Code of New York State Section R314.2.2 Where Alterations, repairs or additions requiring a permit occur or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with Smoke Alarms located as required for new dwelling
- Carbon Monoxide Detectors are to be installed as required by 2020 Residential Code of New York State Section R315 and local codes and ordinances. Carbon Monoxide Alarms shall be provided in the following locations:
 - As per the 2020 Residential Code of New York State Section R314.2.2 Where Alterations, repairs or additions requiring a permit occur or where one or more sleeping rooms are added or created in existing dwellings, the individual dwelling unit shall be equipped with Smoke Alarms located as required for new dwelling.
 - Within each dwelling unit, on each story containing a sleeping area.
 - Within 15 feet of any sleeping area, more than one Carbon Monoxide alarm shall be provided where necessary to assure that no sleeping area on a story is more than 15 feet away from a Carbon Monoxide Alarm.
 - On any story of a dwelling unit that contains a Carbon Monoxide source.
- As per 2020 Residential Code of New York State. Owner must install hardwired interconnected smoke detectors on each floor as required for a new residence.

Exterior Finishes:

- ProvideTyvec house wrap, or approved equal, on all exterior walls.
- Provide flashing and water proofing entire exterior as required.
- Trim to be PVC composite.
- All fasteners, nails, screws etc. shall be coated to prevent rusting.
- Exterior Siding to match existing. Where noted as such.

Interior Finishes:

- New and renovated areas to receive 1/2" Gyp. Board throughout. Unless noted otherwise.
- Gyp. board to receive min. two coats taping compound, sanded smooth to receive paint or wall covering.
- Walls to receive one coat primer and two coats finish paint min. Ensure proper coverage.
- All trim shall match existing.

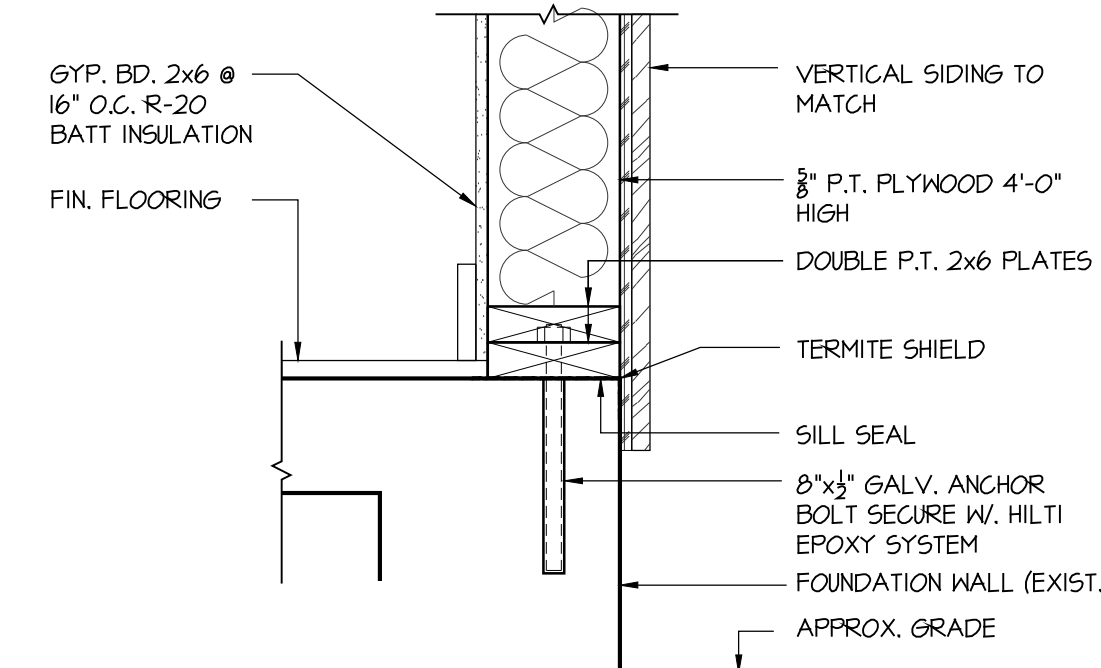
Energy Code Certification Statement:

To the best of my knowledge and belief, these drawings and specifications are prepared in conformance with the 2020 Energy Conservation Code of New York State requirements for Climate Zone 4A (Westchester County) Criteria.

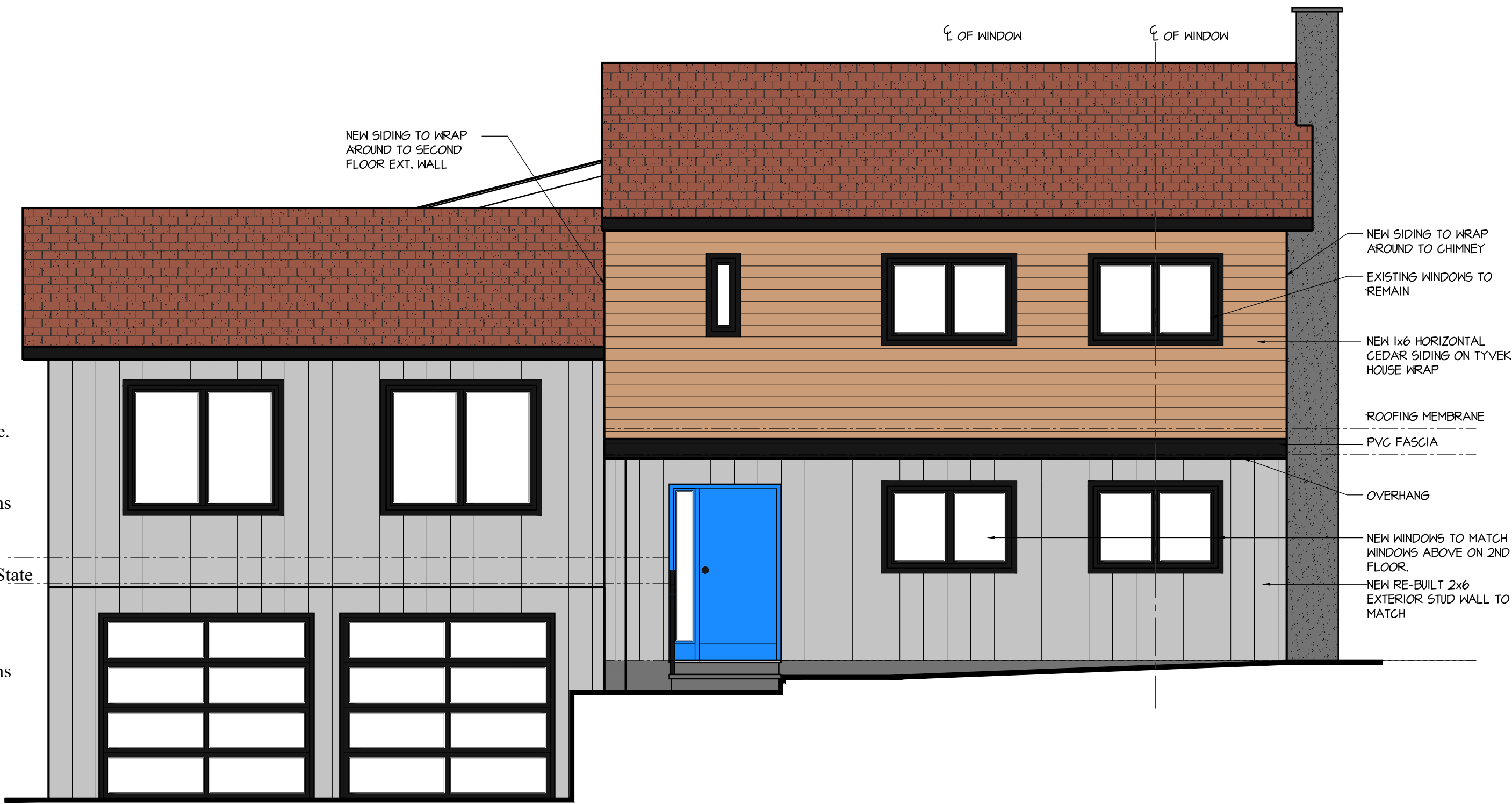
Samuel F. Vieira, R.A.

Applicable Codes:

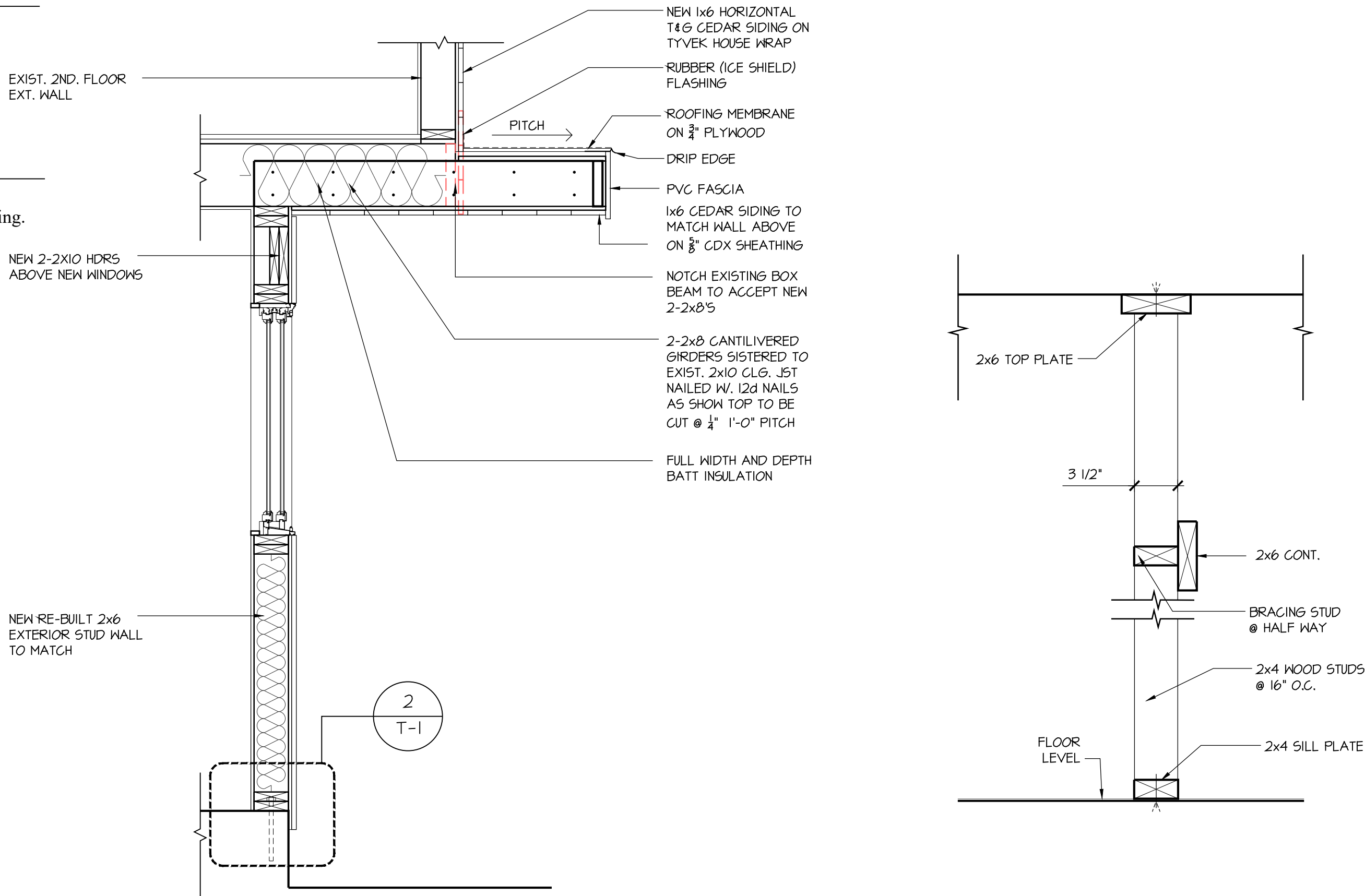
2020 Residential Code of New York State - Appendix "J"
2020 Energy Conservation Code of New York State
Local Irvington Zoning Code



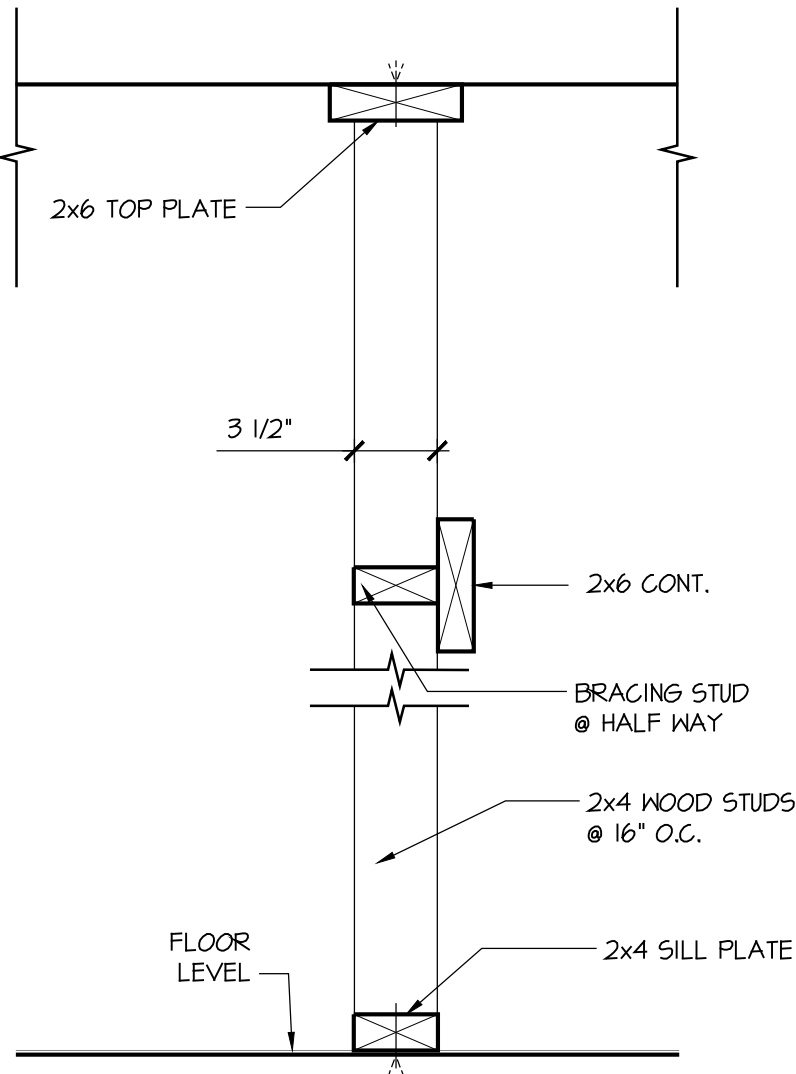
2 FOUNDATION DETAIL 1 1/2" = 1'-0"



1 PROPOSED FRONT ELEVATION 1/4" = 1'-0"



3 WALL SECTION DETAIL 3/4" = 1'-0"



4 TEMPORARY SUPPORT 1 1/2" = 1'-0"

Samuel F. Vieira, Architect P.C.
140 VALLEY ST. SLEEPY HOLLOW, NY 10591
PHONE 914 524 9054 FAX 914 524 9472
E-MAIL SAM@SFVDESIGN.COM

IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, TO PREPARE OR SIGN ANY DRAWING OR SPECIFICATION FOR THE DESIGN OF A BUILDING OR STRUCTURE, OR THE SIGNING BY AN ARCHITECT SHALL AFFIX TO THIS ITEM THE SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS/HER SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

REVISIONS:

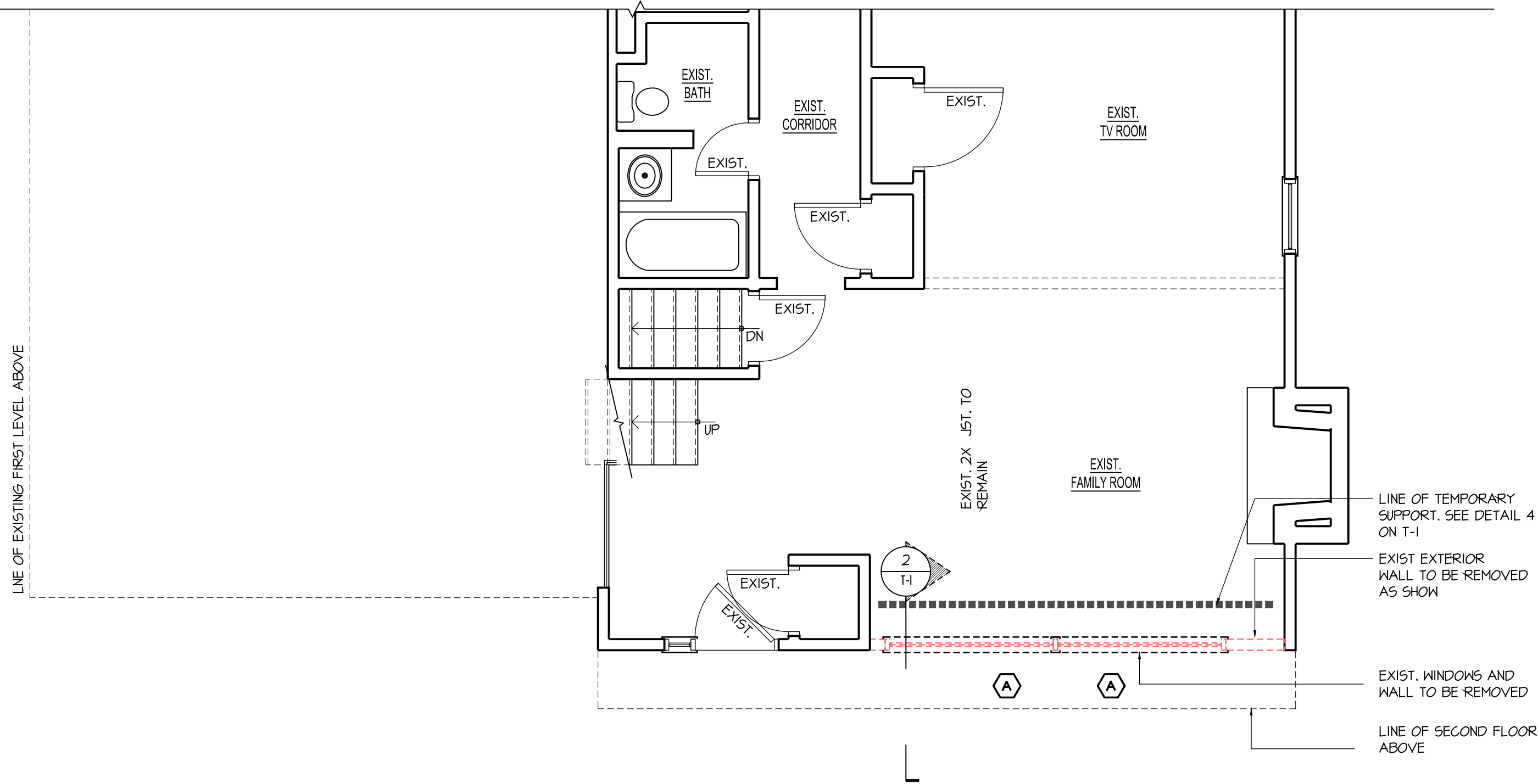
DRAWING TITLE:	TITLE SHEET GENERAL NOTES, SPECIFICATIONS, PERMIT ELEVATION, WALL SECTION AND DETAIL
DRAWING DATE:	06-15-2021
DRAWING SCALE:	AS NOTE
PROJECT NO	19001-13
DRAWN BY:	SPV, RFA

PROPOSED EXTERIOR ELEVATION
RENOVATION TO:
TOEMAN RESIDENCE
195 RIVERVIEW ROAD
IRVINGTON, NY.

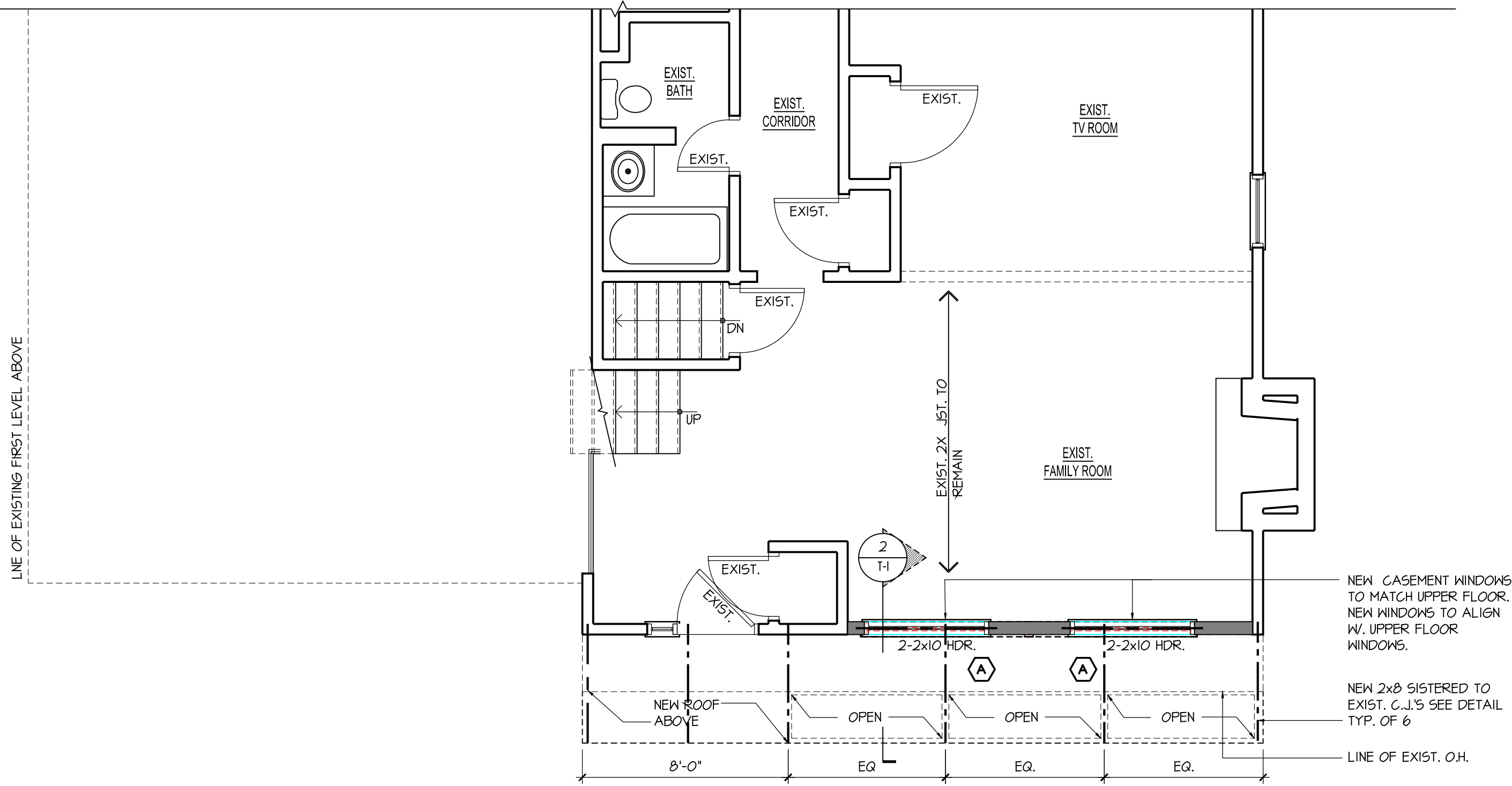


SHEET NO.

T-1



1 PARTIAL DEMOTILITION FIRST FLOOR PLAN 1/4" = 1'-0"



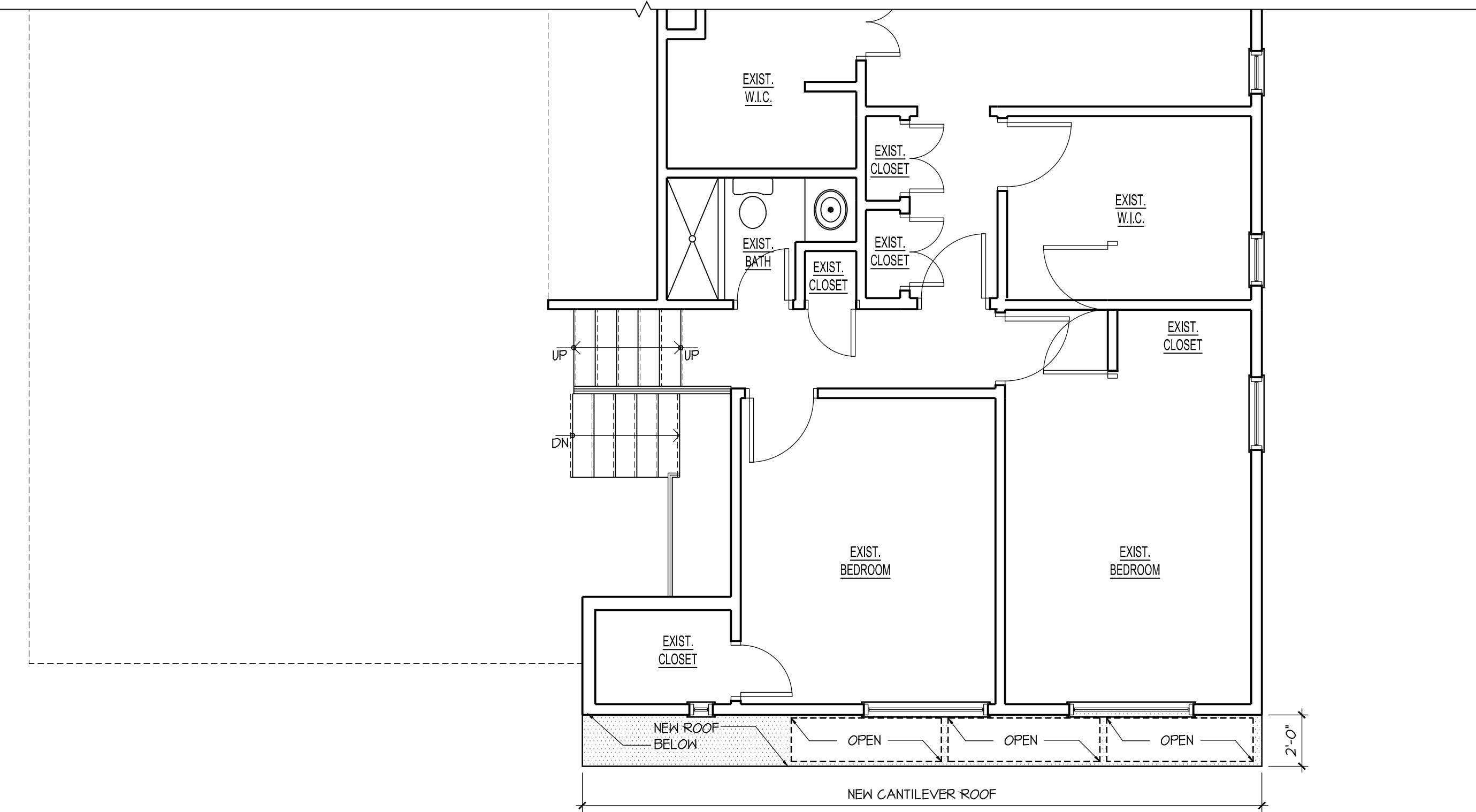
2 PARTIAL FIRST FLOOR CONSTRUCTION PLAN 1/4" = 1'-0"

CONSTRUCTION LEGEND:			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	EXISTING WALL TO REMAIN		WINDOW WINDOW TYPE
	EXISTING CONSTRUCTION TO BE REMOVED		DOOR INDICATES SIZE OR EXISTING
	TEMPORARY BRACING WALL AS REQUIRED		INDICATES THE DIRECTION OF FRAMING
	NEW 2x6 @ 16" O.C. R-20 BATT INSULATION		

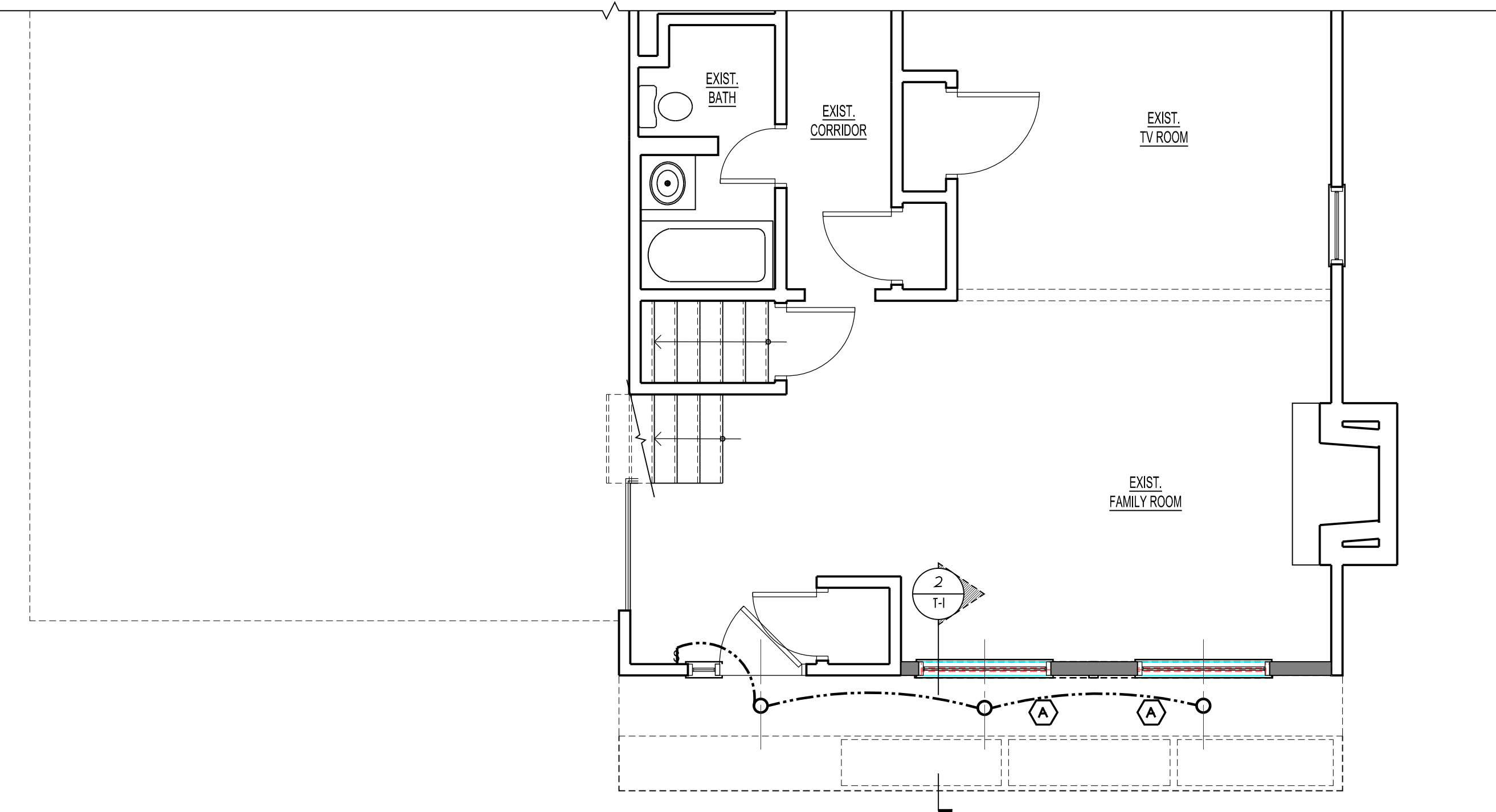
ELECTRICAL LEGEND:	
SYMBOL	DESCRIPTION
	NEW SWITCH
	NEW RECESSED LED LIGHT FIXTURE AS SELECTED BY OWNER IN EXISTING O.H.

ELECTRICAL NOTES:

- ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACK-UP.
- ALL LIGHT FIXTURE TYPES AND SIZES SHALL BE VERIFIED W/ OWNER BEFORE INSTALLATION.
- DRAWING SHOWS POSSIBLE LOCATIONS OF ELECTRICAL FIXTURE AND EQUIPMENT LAYOUT.
- CENTER LIGHT FIXTURE ON DOOR AND WINDOWS



3 PARTIAL SECOND FLOOR AND AND ROOF PLAN ENTRY 1/4" = 1'-0"



4 PARTIAL FIRST FLOOR ELECTRICAL PLAN 1/4" = 1'-0"

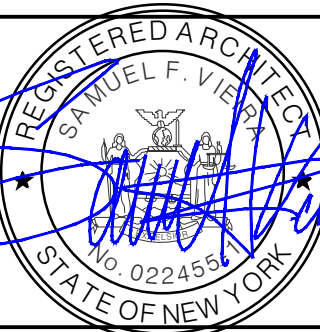
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REVISIONS:

DRAWING TITLE:	PARTIAL DEMOLITION, CONSTRUCTION, ELECTRICAL AND ROOF PLANS
DRAWING DATE:	06-15-2021
DRAWING SCALE:	AS NOTE
PROJECT NO.	19001-13
DRAWN BY:	SFV, RFA

PROPOSED EXTERIOR ELEVATION
RENOVATION TO:
TOEMAN RESIDENCE
196 RIVERVIEW ROAD
IRVINGTON, NY.



SHEET NO.

A-1