

STEPHEN TILLY, Architect

Project: Villa Lewaro
67 North Broadway, Irvington,
New York 10533
Application Number: 433
Parcel ID: 2.50-17-6

To: Architectural Review Board,
Village of Irvington, New York

Date: June 28, 2021

The proposed work is a reconstruction of Madam CJ Walker's 1917/18 Pergola located on the West/rear side of Villa Lewaro, adjacent to the Croton Aqueduct. The original Pergola measured approximately 65'-3" wide and 11'-4" deep, following the footprint of the masonry wall.

Our design is based on thorough background research into the original pergola and the subsequent versions constructed since the 1980s. The following picture from 1921 and a postcard from the *Annie E. Poth Home* era were our main visuals where we were able to see the original structure.



Figure 1- A still from the 1921 movie "The Secret Sorrow"



Figure 2- A 1931 postcard from the Annie E. Poth Home (property owners from 1932-1986)

The proposed pergola is designed to be sturdy with a new concrete slab, cast-stone structural columns, and a steel beam, supporting wooden rafters and copper roofs to the north and south.

The work involves removing the existing fiberglass balusters and columns from the previous, iteration of the pergola, removing the existing bluestone pavers, and minimal portion of the existing masonry wall to lay down a new concrete mat foundation to support the new cast-stone columns, rafters, and roofs above.

All original removed materials, mainly the bluestone pavers and masonry from the retaining wall, are to be salvaged and reused.

22 Elm Street
Dobbs Ferry, NY 10522
914.693.8898 / 914.693.4235 fax
stillyarchitect.com

The proposed material for the roofing is as follows:

Roof

1. Flat-Seamed, 20 Ounce, Soldered, Copper Roof, Natural Finish



Figure 3 Flat-seamed, soldered copper roofing with natural finish



Figure 4 Photomontage of the proposed pergola

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	433	Date:	04/23/2021
Job Location:	67 N BROADWAY	Parcel ID:	2.50-17-6
Property Owner:	Villa Lewaro, LLC c/o Erica Seaborne at Polsinelli	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:	VILLA LEWARO		

Applicant	Contractor
Stephen Tilly	
Stephen Tilly, Architect	
22 Elm StreetDobbs Ferry New York 10522	
914 693 8898	

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	180000.00	Property Class:	1 FAMILY RES

Description of Work

The work involves removing existing fiberglass pergola components and selective demolition of retaining wall for the construction of a historically consistent pergola with a new mat foundation, cast-stone structural columns, and a steel beam, supporting wooden rafters and copper roofs to the north and south.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 67 N BROADWAY

Parcel Id: 2.50-17-6

AFFIDAVIT OF APPLICANT

I **Stephen Tilly** being duly sworn, depose and says: That s/he does business as: **Stephen Tilly, Architect** with offices at: **22 Elm Street Dobbs Ferry New York 10522** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 29th day of April of 2021


Notary Public / Commission of Deeds

DANIA M. DAVEY
Notary Public - State of New York
No. 01DA6410868
Qualified in Westchester County
My Commission Expires 11/02/2024


Applicant's Signature

OWNER'S AUTHORIZATION (SEE ATTACHED PROXY)

I **Villa Lewaro, LLC c/o Erica Seaborne at Polsinelli** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- ☐ _____ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

VILLAGE OF IRVINGTON
BUILDING DEPARTMENT
85 MAIN STREET
IRVINGTON, NEW YORK 10533
TEL: (914) 591-8335 • FAX: (914) 591-5870
WWW.IRVINGTONNY.GOV



Proxy Statement

Villa Lewaro, LLC is the owner of the property
located at 67 North Broadway, Irvington, NY (Residence) and has authorized
Stephen Tilly, Architect to make the attached building permit
application for Construction of Pergola, including work at foundation/retaining wall.

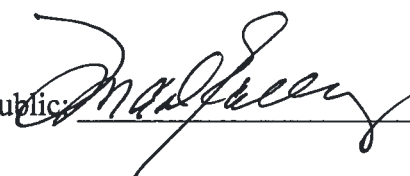
 William James, as Administrative Manager

Signature of Owner

NOTARY:

Sworn to before me

this 3rd day of March 2021

Notary Public: 

LISA EALLEY
NOTARY PUBLIC DISTRICT OF COLUMBIA
My Commission Expires September 14, 2025



INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--------------------------------------------------|--------------------------------------------------------------|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

VILLAGE OF IRVINGTON

BUILDING DEPARTMENT

85 MAIN STREET

IRVINGTON, NEW YORK 10533

TEL: (914) 591-8335 • FAX: (914) 591-5870

WWW.IRVINGTONNY.GOV

Pergola Reconstruction



BUILDING DEPARTMENT

FEE SCHEDULE

Local Law #13-11

FEES ASSOCIATED WITH BUILDING PERMITS:

BUILDING PERMIT

- Application Fee: (Non-Refundable) **\$85.00** (Includes records management fee)

\$180,000 est. (180 X 17=\$3060)

- Permit Fee: **\$3,060.00** \$17.00 per thousand estimated cost (rounded to the next thousand)

- Applications for Undocumented Work or Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500

Permit Extensions

- Permit renewals prior to expiring (less than 12 months) from approval
(plus inspection and CO fees) **\$50.00**

- Permit renewals requested after one year (more than 12 months) of approval
(plus inspection and CO fees) **\$100.00**

Inspection Fees (as applicable)

- | | | |
|-------------------------------------------------------------------------------------------------------------------------------------|----------------|------------|
| • Sediment and erosion control (prior to any excavation) | \$50.00 | |
| • Footing | | \$50.00 |
| • Preparation for concrete slabs and walls | \$50.00 | |
| • Foundation damp/waterproof and drainage | \$50.00 | |
| • Framing | \$50.00 | |
| • Building systems, including underground and rough-in | \$50.00 | electrical |
| • Fire resistant construction and penetrations | \$50.00 | |
| • Insulation | \$50.00 | |
| • Solid Fuel | \$50.00 | |
| • Energy Code compliance | \$50.00 | |
| • Final Inspection for Certificate of Occupancy | \$50.00 | |
| • Re-inspection fee for work not ready at time of inspection or not in compliance with all State and local laws (per re-inspection) | \$50.00 | |

Certificate Of Occupancy

- CO Fee: (\$1.00 per thousand dollars of estimated cost at time of permit application)

- Minimum Fee

\$25.00

The applicant must furnish the Building Inspector with a statement of final construction costs in order that appropriate fees may be calculated prior to the issuance of a Certificate of Occupancy.

- | | |
|-------------------------------------------------------------------------------------------|-----------------|
| - Copy of Certificate of Occupancy | \$35.00 |
| - Letter In Lieu of Certificate of Occupancy: (See policy statement for Pre Date letters) | \$100.00 |

Note: pursuant to 224-54A all permits are valid for one (1) year from date

TOTAL Permit Fee for Pergola Reconstruction = \$85 + \$3060 + \$200 + \$25 = \$3,370

VILLAGE OF IRVINGTON - APPLICATION DATA SHEET

www.irvingtonny.gov

Owner <u>Villa Lewaro, LLC c/o Erica Seaborne at Polsinelli</u>	Owner Address <u>600 Third Avenue, NY, NY 10016</u>	Date <u>04/23/2021</u>
Tax Account Number (*) <u>2129150</u>	Sheet <u>2.50</u> Block <u>2.5</u> Lot <u>17</u>	Parcel <u>6</u>
Property Address <u>67 North Broadway</u>	Phone # <u>Erica Seaborne (212)413-2859 / Architect (914)693-8898</u>	Fax # <u></u>

Architect or Engineer <u>Stephen Tilly, Architect 22 Elm Street, Dobbs Ferry, NY 10522</u>	Email Address <u>office@stillyarchitect.com</u>
Phone # <u>(914) 693 - 8898</u> Cell # <u></u> Fax # <u></u>	N Y S Lic. # <u>014100</u>

Ref.	Existing	Proposed		Two Family 1F-5	Multi Family 1F-10	1F-20	1F-40	1F-60	1F-80	Coverage Information	
224-4	Zoning District	1F-20	n/a							Structures	8,219 no change
224-10	Square feet of lot	72,614.52	n/a	5,000	10,000	20,000	40,000	60,000	80,000	Decks	262 no change
224-11	Front yard setback	120.5	no change	30	30	35	50	60	75	Patios, walks	2,214 no change
224-11	Side yard setback 1	65.0	no change	10	15	15	25	30	50	Porches	0 no change
224-11	Side yard setback 2	100.9	no change	10	15	15	25	30	50	Floor overhangs	0 no change
224-11	Rear yard setback	76.45	no change	30	30	35	40	60	75	Swimming pools	0 no change
224-10	Lot width	262.30	no change	50	85	100	150	200	250	Other	495 no change
224-10	Lot depth	261.30	no change	100	100	125	150	200	200	Total (in Sq Ft)	11,210 no change
224-13	Lot coverage	11,210.0	no change	24%	20%	16%	12%	8.33%	6.75%	Provide floor plan showing dimensions and Sq Ft	
				upto 5000 sqft	upto 10000sqft	upto 20000sqft	upto 40000sqft	upto 60000sqft	upto 80000sqft		
				over 5000 sqft	over 10000sqft	over 20000sqft	over 40000sqft	over 60000sqft	over 80000sqft		
224-13	Coverage Bonus over minimum lot size			15' from street line and 4 feet from all other property lines							
224-11	Patios, sidewalks and other impervious surfaces	2,361	no change	Additional information required (**) Survey showing all existing conditions All easements and restrictions Site plan showing all proposed improvements Location of all trees in affected areas							
224-149	View Preservation Overlay										
224-50	Aqueduct buffer	-1.2 ft.	no change								
224-51 B	Broadway buffer	115.7 ft.	no change								
224-51 A	Cyrus Field Rd buffer		n/a								
				Applicable	Setback						
				x yes	no	All properties west of Broadway					
				x yes	no	30' All properties along Aqueduct					
				x yes	no	50' Existing properties along Broadway					
				yes	x no	75' All properties along Cyrus Field Rd					
224-134	Floor Area Ratio	Existing 0.166 / 12,060.96	Proposed no change	(in sq ft - see Zoning Ordinance for definitions and exclusions)							

Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)
< 5,000	0.43	varies	21,000	0.198	4,158	38,000	0.164	6,232	55,000	0.1325	7,288	72,000	0.125	9,000
5,000	0.43	2,150	22,000	0.196	4,312	39,000	0.162	6,318	56,000	0.1305	7,308	73,000	0.125	9,125
6,000	0.39	2,340	23,000	0.194	4,462	40,000	0.1625	6,500	57,000	0.1285	7,325	74,000	0.125	9,250
7,000	0.36	2,520	24,000	0.192	4,608	41,000	0.1605	6,581	58,000	0.1265	7,337	75,000	0.125	9,375
8,000	0.33	2,640	25,000	0.19	4,750	42,000	0.1585	6,657	59,000	0.1245	7,346	76,000	0.125	9,500
9,000	0.3	2,700	26,000	0.188	4,888	43,000	0.1565	6,730	60,000	0.125	7,500	77,000	0.125	9,625
10,000	0.28	2,800	27,000	0.186	5,022	44,000	0.1545	6,798	61,000	0.125	7,625	78,000	0.125	9,750
11,000	0.2725	2,998	28,000	0.184	5,152	45,000	0.1525	6,863	62,000	0.125	7,750	79,000	0.125	9,875
12,000	0.265	3,180	29,000	0.182	5,278	46,000	0.1505	6,923	63,000	0.125	7,875	80,000 and above	0.125	10,000
13,000	0.2575	3,348	30,000	0.18	5,400	47,000	0.1485	6,980	64,000	0.125	8,000	F.A.R. Information		
14,000	0.25	3,500	31,000	0.178	5,518	48,000	0.1465	7,032	65,000	0.125	8,125	Basement Sq Ft	0	no change
15,000	0.2425	3,638	32,000	0.176	5,632	49,000	0.1445	7,081	66,000	0.125	8,250	First Floor Sq Ft	3,540.45	no change
16,000	0.235	3,760	33,000	0.174	5,742	50,000	0.1425	7,125	67,000	0.125	8,375	Second Floor Sq Ft	3,461.14	no change
17,000	0.2275	3,868	34,000	0.172	5,848	51,000	0.1405	7,166	68,000	0.125	8,500	Attic Sq Ft	2,624.51	no change
18,000	0.22	3,960	35,000	0.17	5,950	52,000	0.1385	7,202	69,000	0.125	8,625	Other Sq Ft	2,421.62	no change
19,000	0.2125	4,038	36,000	0.168	6,048	53,000	0.1365	7,235	70,000	0.125	8,750	Total (in Sq Ft)	12,047.72	no change
20,000	0.2	4,000	37,000	0.166	6,142	54,000	0.1345	7,263	71,000	0.125	8,875	Provide floor plan showing dimensions and Sq Ft		

For additional information refer to 224-134 of the Village Zoning Code

(*) Tax ID Number available from Village Clerk (591-7070)

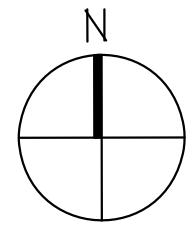
(**) The Village Zoning Regulations should be consulted for additional requirements.



Aerial is from before the removal of trellis members on the pergola.

WORK LOCATION SITE PLAN

WORK
LOCATION



LIST OF ABBREVIATIONS

A/C	Air Conditioning	JT	Joint
ACT	Acoustical Tile	MANUF	Manufacturer
ACOU	Acoustical	MECH	Mechanical
ADA	Americans with Disabilities Act	MEMB	Membrane
ADJ	Adjustable	MFR	Manufacturer
AFF	Above Finished Floor	MIN	Minimum
ALUM	Aluminum	MISC	Miscellaneous
ARCH	Architectural/Architect	MO	Masonry Opening
BCNY	Building Code of New York State	MTD	Mounted
BC	Brick Course	MTL	Metal
BD	Board	NIC	Not In Contract
BIT	Bituminous	NOM	Nominal Dimension
BLDG	Building	OC	On Center
BLK	Block	OPNG	Opening
BM	Beam	OSB	Oriented Strand Board
BOC	Bottom of Curb	P/L	Property Line
BOH	Bottom of Wall	PLUMB	Plumbing
CAB	Cabinet	PLY	Plywood
CJ	Control Joint	PSF	Pounds Per Square Foot
CLG	Ceiling	PSI	Pounds Per Square Inch
CLG HT	Ceiling Height	PT	Paint / Pressure Treated
CLR	Clear, Clearance	PTD	Painted
CT	Ceramic Tile	PVC	Polyvinyl Chloride
CLO, CLOS	Closet	QTY	Quantity
CMU	Concrete Masonry Unit	R	Radius
CO	Cleanout	R/A	Return Air
COL	Column	R/S	Rod & Shelf
CONC	Concrete	REINF	Reinforced
COND	Condition/Condensation/Condenser	REQD	Required
CONT	Continuous	RM	Room
CONTR	Contractor	RO	Rough Opening
CPT	Carpet	SAB	Sound Attenuation Batts
C/S	Countersunk	SAFB	Sound Attenuation Fire Batts
CTR	Center	SCHED	Schedule, Scheduled
DIA	Diameter	SDL	Simulated Divided Lite
DN	Down	SHT	Sheet
DS	Downspout	SH	Similar
DWG	Drawing	SIPS	Structural Insulated Panel System
EJ	Expansion Joint	SPEC5	Specifications
EL	Elevation	SFF	Sprayed Polyurethane Foam
ELEC	Electrical	SG FT	Square Foot/Feet
ELEV	Elevation, Elevator	STD	Standard
EXPAN	Expansion	STRUCT	Structural
EPS	Expanded Polystyrene	SUB FLR	Sub Floor
EQ	Equal	SUSP	Suspended
EQUIP	Equipment	TE	Toilet Exhaust
EXIST	Existing	T&G	Tongue and Groove
EXT	Exterior	TERR	Terrazzo
FIN	Finish	THK	Thickness
FL/FLR	Floor	THRU	Through
FO	Finished Opening	TOC	Top of Curb
FT	Foot/Feet	TOS	Top of Slab
FTG	Footing	TOW	Top of Wall
GA	Gauge	TYP	Typical
GALV	Galvanized	VENT	Vent/Ventilation
GC	General Contractor	VERT	Vertical
GWB	Gypsum Wall Board	VIF	Verify in Field
GYP BD	Gypsum Wall Board	VOL	Volume
HB	Hose Bibb	VTR	Vent To Roof
HC	Handcapped	W	With
HDW	Hardware	W/O	Without
HOR	Horizontal	WD	Wood
HVAC	Heating Ventilating & A/C	WP	Waterproof; Weatherproof
INSUL	Insulation	WR	Water resistant
INT	Interior	WWF	Welded Wire Fabric

RESTORATION of VILLA LEWARO

LOCATED AT:

67 NORTH BROADWAY IRVINGTON-ON-HUDSON, NEW YORK 10533

PROJECT: RECONSTRUCTION OF THE PERGOLA

OWNER:
VILLA LEWARO, LLC

ARCHITECT:
STEPHEN TILLY, Architect
22 Elm Street
Dobbs Ferry, New York 10522
Tel. (914) 693 - 8898 Fax (914) 693 - 4235
www.stillyarchitect.com

STRUCTURAL ENGINEER:
SILMAN
32 Old Slip, 10th Floor
New York, New York 10005
Tel. (212) 620 - 7970
www.silman.com

ISSUED for BUILDING PERMIT
and review by ARCHITECTURAL REVIEW BOARD
23 APRIL 2021

Residential and Existing Building Code Compliance

I DO HEREBY CERTIFY THAT THE PLANS AND SPECIFICATIONS CONTAINED HEREWITHIN, TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT COMPLY WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AND THE 2020 EXISTING BUILDING CODE OF NEW YORK STATE

Stephen Tilly 04/23/2021
STEPHEN R. TILLY, ARCHITECT DATE

LIST OF DRAWINGS

NUMBER	TITLE	DATE
ARCHITECTURAL DRAWINGS		
T-001	TITLE SHEET	JAN 21, 2021
L-101	SITE PLAN	JAN 21, 2021
D-101	DEMOLITION PLAN	JAN 21, 2021
A-101	PLANS	JAN 21, 2021
A-102	ELEVATIONS	JAN 21, 2021
A-301	SECTION & DETAILS	JAN 21, 2021
STRUCTURAL DRAWINGS		
S-001	GENERAL NOTES	MAY 1, 2020
S-101	PERGOLA PLANS	MAY 1, 2020
S-301	PERGOLA SECTIONS	OCT 1, 2019
S-302	PERGOLA SECTIONS	OCT 1, 2019
S-303	PERGOLA TRELLIS DETAILS	OCT 1, 2019
S-304	PERGOLA ROOF DETAILS	OCT 1, 2019

Climatic and Geographic Design Criteria

TABLE R301.2(1)												
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CAT.	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMPD	ICE BARRIER UNDERLAY REQUIRED	FLOOD HAZARDS	AIR FREEZ. INDEX
	SPEED (MPH)	TOPG. EFF.	SPEC. WIND REGION	WIND DEBRIS ZONE		WEATH.	FROST LINE DEPTH	TERMITE				
30 lbs./ sf.	30 mph	NO	• SPECIAL WIND REGION	NO	C	SEV.	42"	MOD. TO HEAVY.	7	YES	N	1500 OR LESS

Zoning Data

Owner	VILLA LEWARO, LLC	Survey by:	BADEY AND WATSON Surveying & Engineering P.C. 3063 Route 9 Cold Spring, NY 10516
Building Address	67 NORTH BROADWAY IRVINGTON-ON-HUDSON, NY 10533	Survey Date:	June 24, 2019
Zoning District:	IF-20	Municipality:	IRVINGTON-ON-HUDSON
Sheet: 250	Section: 17	Parcel: 6	
Use	Required / Allowed 1 Family Res. & per Section 224-B(3) Historical, Educational and/or Cultural Facility (w/ tours), Meeting Rooms, Exhibition / Archival, Gift Shop, Kitch. Faci. & Off. Space access to the Historic, Edu. and/or Cultural Space, (SPECIAL PERMIT req'd.)	Existing 1 Family Residence with Accessory Residence	Proposed No Change
Main Residence Access. Bldg. (Carriage House)		One Family Residence Accessory Residence	No Change No Change
Construction Type			
Main Residence	-----	IIIB, (3B)	No Change
Access. Bldg. (Carriage House)	-----	VB, (5B)	No Change
Minimum Lot Size			
Width	100 ft.	262.30 ft.	No Change
Depth	125 ft.	261.30 ft.	No Change
Area	20,000 sq. ft.	1,667 AC., (12,614.52 sf.)	No Change
Required Setbacks, Heights and Coverage (Principal and Accessory Building)			
Front Yard Setback (Principal)	35 ft.	120.5 ft.	No Change
Side Yard Setback #1 (Principal)	27 ft. (15 ft. + 12 ft. - per Section 224-11-B(3))	65.0 ft.	No Change
Side Yard Setback #2 (Principal)	15 ft.	100.4 ft.	No Change
Rear Yard Setback (Principal)	35 ft.	76.45 ft.	No Change
Front Yd. Setback (Accessory)	35 ft.	213.52 ft.	No Change
Side Yd. Setback #1 (Accessory)	27 ft.	224.55 ft.	No Change
Side Yd. Setback #2 (Accessory)	15 ft.	(2.0 ft.) OUT*	No Change
Rear Yd. Setback (Accessory)	35 ft.	(0.6 ft.) OUT*	No Change
Lot Coverage w/ Bonus	6,356.81 s.f. (16% x 20,000)=3,200 + (6.0% x 52,614.52)=3,156.81	11,210 s.f.*	No Change
Floor Area Ratio (FAR)			
F.A.R.	0.125 / 9,076 s.f.	0.166 / 12,047.12 s.f.*	No Change
Maximum Building Height			
Maximum Height (Principal Bldg.)	35 ft.	44.0 ft.*	No Change
Maximum Stories	2-1/2 stories	3 stories*	No Change
Required Parking			
Parking	2 spaces	10 spaces	No Change
Special Districts / Buffers / Zones			
District / Buffer / Zone	Requirement		
View Preservation District	Requires Building Inspector referral to Planning Board for review		
Broadway Buffer	Building, paving and planting limitations under review of the Village of Irvington Zoning Board of Appeals and Planning Board		
Aqueduct Buffer	30 ft. setback from Croton Aqueduct - *	No Change	
General Notes			
* - DENOTES A PRE-EXISTING NON-CONFORMING CONDITION			

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BUILDING UNLESS OTHERWISE NOTED.
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No. Date Description

Revisions:

Date Issued For

Submissions:

Project: VILLA LEWARO
67 BROADWAY,
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NY 10533

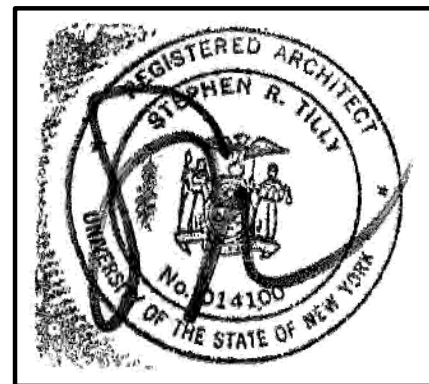
RECONSTRUCTION OF A
PERGOLA

Date: Jan 21, 2021

Title: TITLE PAGE

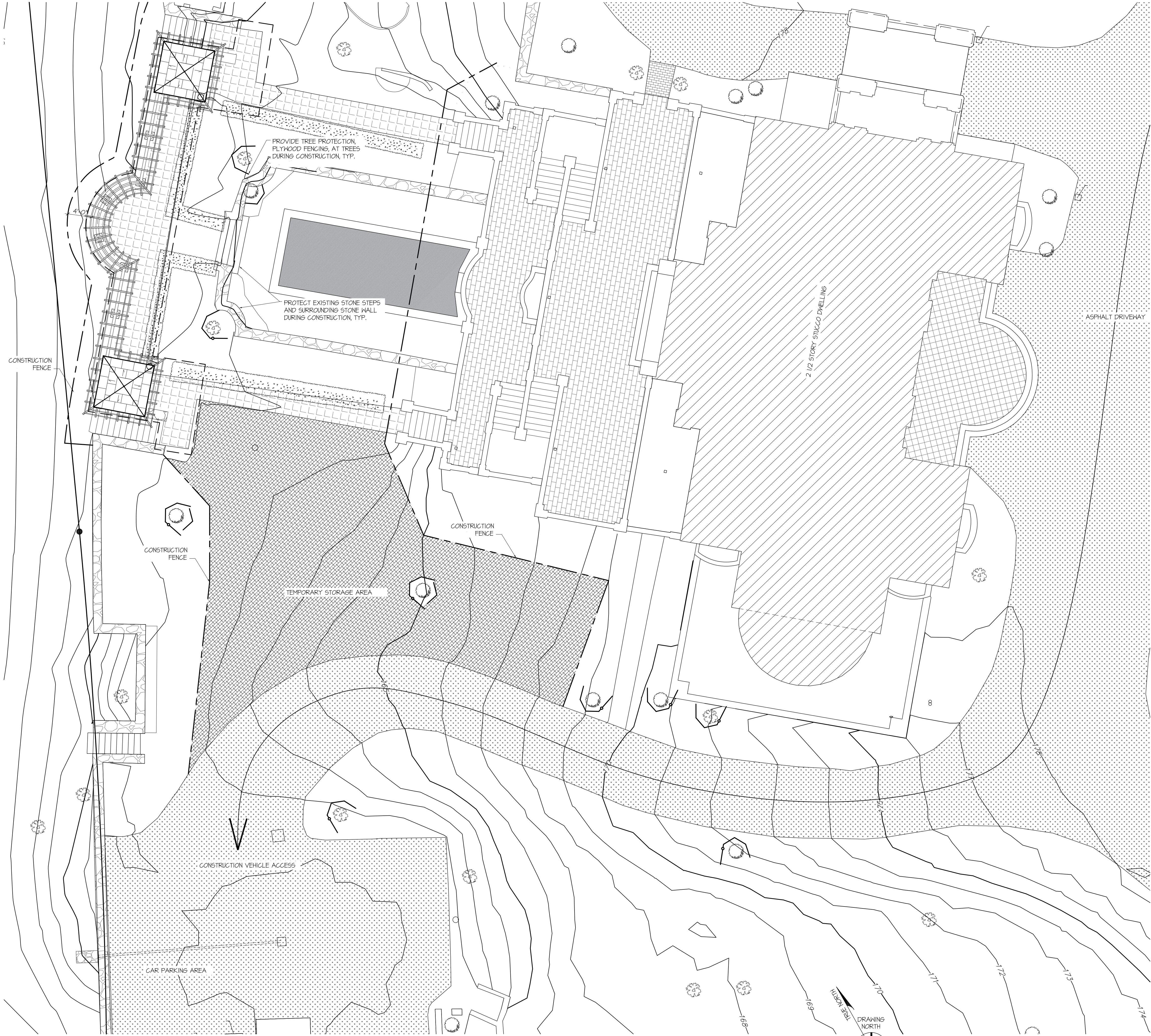
Scale: as noted

Drawn by: CK, AH



CONSTRUCTION
DOCUMENTS

T-001



1 SITE PLAN
SCALE: 1/8" = 1'-0"

LEGEND

—	PROPERTY LINE
— (150) —	CONTOUR MAJOR
— (151) —	CONTOUR MINOR
- - -	CONSTRUCTION FENCE
- - -	AREA OF CONSTRUCTION
—●—	PLYWOOD FENCE AROUND TREES
[Cross-hatched box]	TEMPORARY STORAGE AREA
[Dotted box]	ASPHALT DRIVEWAY

NOTES:

- STOCKPILE MATERIALS ON PAVED SURFACES AS APPROVED BY OWNER.
- AREA ON THE OLD CROTON AQUEDUCT TRAIL, TO BE DEMARCATED WITH ORANGE SAFETY PLASTIC FENCE DURING CONSTRUCTION.

- GENERAL SITE PROTECTION NOTES
1. PROTECT EXISTING SITE FEATURES OUTSIDE DESIGNATED STAGING AND WORK AREAS, INCLUDING BUT NOT LIMITED TO, SITE WALLS, PAVING, TREES, AND LANDSCAPE PLANTING.
 2. SEE SPECIFICATIONS AND DETAILS FOR ADDITIONAL REQUIREMENTS, INCLUDING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES THAT MUST BE IMPLEMENTED. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH NEW YORK-GUIDELINES FOR URBAN EROSION & SEDIMENT CONTROL, LATEST EDITION.
 3. INSTALL ALL SITE PROTECTION PRIOR TO COMMENCEMENT OF DEMOLITION AND CONSTRUCTION OPERATIONS. MAINTAIN SITE PROTECTION FOR ENTIRE DURATION OF CONSTRUCTION.
 4. USE TARPS TO PROTECT SOIL FROM CONTAMINATION
 5. CONSEQUENCES OF TREE PROTECTION FAILURE AT THE SITE. EVEN TEMPORARY VIOLATION OF PROTECTION MEASURES AT THE SITE ENTITLES THE OWNER TO SELECT AND HIRE AT CONTRACTOR'S EXPENSE A CERTIFIED ARBORIST OR PROFESSIONAL HORTICULTURALIST TO ASSESS POTENTIAL DAMAGE TO PLANTING RESULTING FROM VIOLATION OF PROTECTION MEASURES. THE CONTRACTOR SHALL BE LIABLE FOR ANY CORRECTIVE MEASURES DETERMINED BY THE ARBORIST TO BE NECESSITATED BY THE VIOLATION INCLUDING BUT NOT LIMITED TO PRUNING, SOIL IMPROVEMENT, INJECTION, AND PLANT REPLACEMENT.
 6. CONSTRUCTION VEHICLE ACCESS IS TO BE THROUGH DESIGNATED AREAS ONLY. CONTRACTOR SHALL INSURE THAT ALL VEHICLES LEAVING THE CONSTRUCTION SITE ARE THOROUGHLY CLEANED OF ANY MUD OR DEBRIS PRIOR TO ENTERING ROADWAY.
 7. BEFORE EXCAVATION OR DIGGING OF ANY KIND IS UNDERTAKEN, CONTRACTOR SHALL CONTACT ALL LOCAL UTILITIES AND AUTHORITIES AND UTILIZE THE NATIONAL "CALL BEFORE YOU DIG" HOTLINE (800) 462-1862, TO LOCATE AND IDENTIFY ANY AND ALL POSSIBLE UNDERGROUND UTILITIES. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT AND PRESERVE ANY EXISTING CONDITIONS AND COORDINATE WITH NEW WORK.
 8. PROVIDE FOR HAND TRENCHING AND EXCAVATION AT ALL AREAS WITHIN 12'-0" OF TREES AND AT ALL AREAS WHERE UNDERGROUND DRAINAGE OR UTILITIES ARE EXPECTED. COORDINATE EXACT AREAS TO BE HAND EXCAVATED IN FIELD WITH ARCHITECT PRIOR TO BEGINNING ANY EXCAVATION.
 9. PROTECT ALL DRAINAGE IN PAVED AREAS WITH HAY BALES AT PERIMETER AND INSTALL "SILT-SACK" AT ALL CATCH BASINS AND LINEAR DRAINS AS REQUIRED TO PREVENT SPOILS FROM ENTERING THE DRAINAGE SYSTEM. ALL CATCH BASINS AND LINEAR DRAINS IN THE PARKING AREA TO BE CLEANED OUT UPON COMPLETION OF ALL BACKFILLING, PATCHING AND LAWN SEEDING.
 10. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO FINAL ACCEPTANCE, REMOVE ALL TEMPORARY PROTECTION, FENCES, WOOD CHIPS, AND OTHER TEMPORARY ITEMS AND RE-GRADE AS NECESSARY TO LEAVE GROUND SURFACE EVEN AND FREE OF RUTS. RESTORE LANDSCAPING TO ORIGINAL CONDITION, INCLUDING PLANTS, PAVEMENT, SITE WALLS, ETC.

- GENERAL NOTES:
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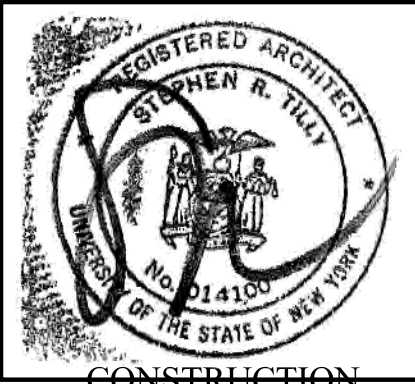
RECONSTRUCTION OF A
PERGOLA

Date: Jan 21, 2021

Title: PERGOLA -
DEMOLITION PLAN

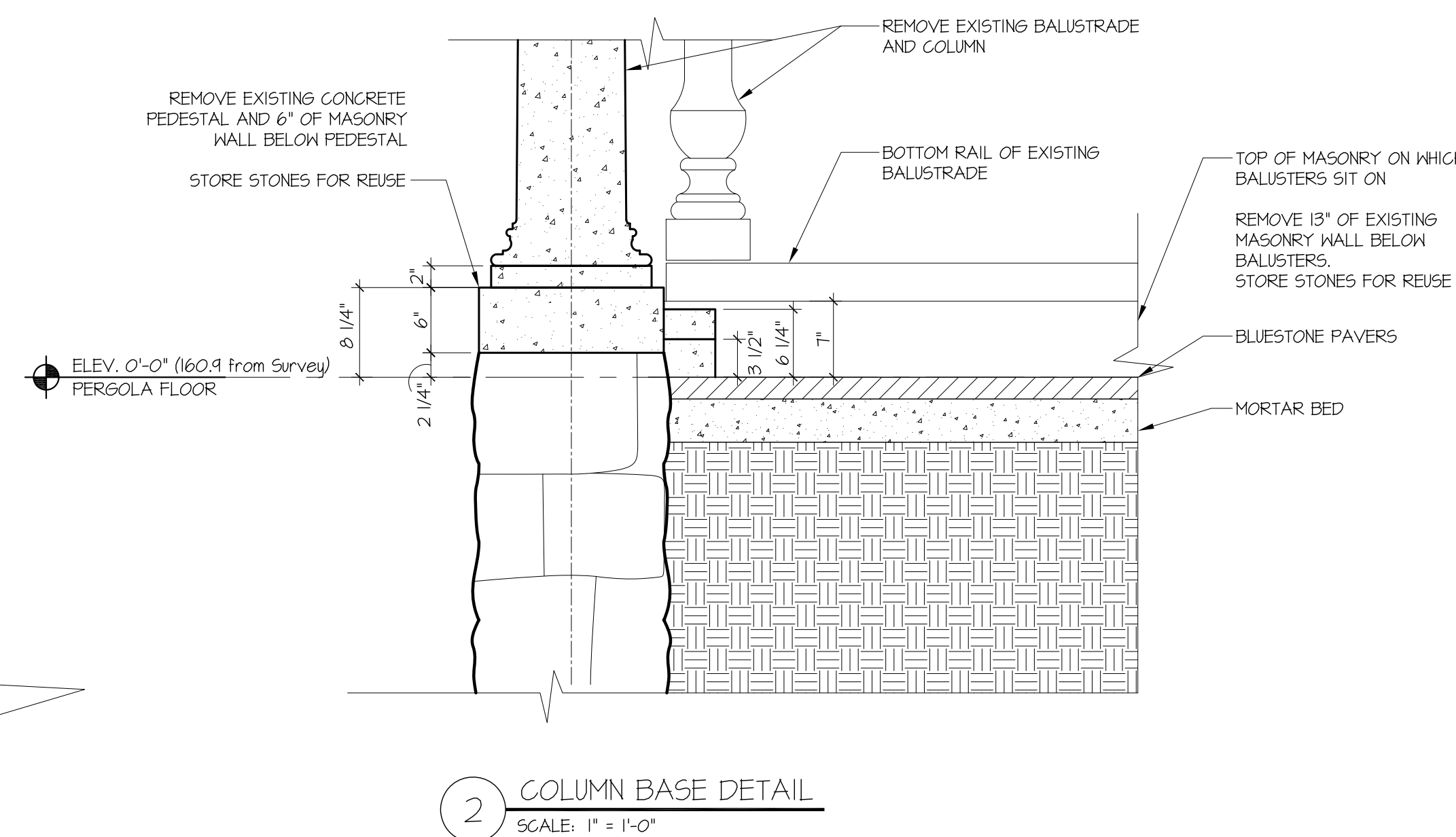
Scale: as noted

Drawn by: CK, AH



CONSTRUCTION
DOCUMENTS

L-101



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NOTES:

- CARE SHOULD BE TAKEN IN THE REMOVAL OF THE EXISTING BLUESTONE PAVERS AND TOP OF THE MASONRY WALL - STORE PAVERS AND STONE FROM THE MASONRY WALL FOR REUSE
- STOCKPILE MATERIALS ON PAVED SURFACES AS APPROVED BY OWNER.
- AREA ON THE OLD CROTON AQUEDUCT TRAIL, TO BE DEMARCATED WITH ORANGE SAFETY PLASTIC FENCE DURING CONSTRUCTION.

DEMOLITION NOTES:

1. REMOVAL AND DISPOSAL OF ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL ITEMS SHALL BE DONE IN ACCORDANCE WITH DRAININGS, SPECIFICATIONS, AND ALL APPLICABLE CODES AND LOCAL LAWS.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL REQUIRED INSPECTIONS AND TESTING.
3. PROVIDE PENETRATIONS AS INDICATED AND REQUIRED FOR PROPOSED NEW CONSTRUCTION.
4. REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL GOVERNING BODIES HAVING JURISDICTION, AND BY WORKERS LICENSED TO PERFORM THE WORK.
5. USE OF CUTTING TORCHES IS STRICTLY PROHIBITED.
6. DISPOSE OF REMOVED ITEMS AND MATERIALS IN COMPLIANCE WITH STATE, COUNTY AND LOCAL REGULATIONS. BURNING IS PROHIBITED.
7. PROVIDE AND MAINTAIN PROTECTION FROM RAIN IN ALL SIDES OF THE PERGOLA. MAINTAIN DRY CONDITIONS DURING THE CONSTRUCTION OF THE PERGOLA.
8. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION, CLEANED, AND LEFT IN THE CONDITION FOUND AT THE BEGINNING OF WORK, OR BETTER.

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No.	Date	Description
Revisions:		

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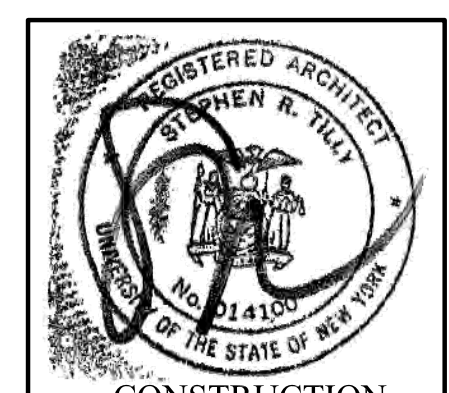
RECONSTRUCTION OF PERGOLA

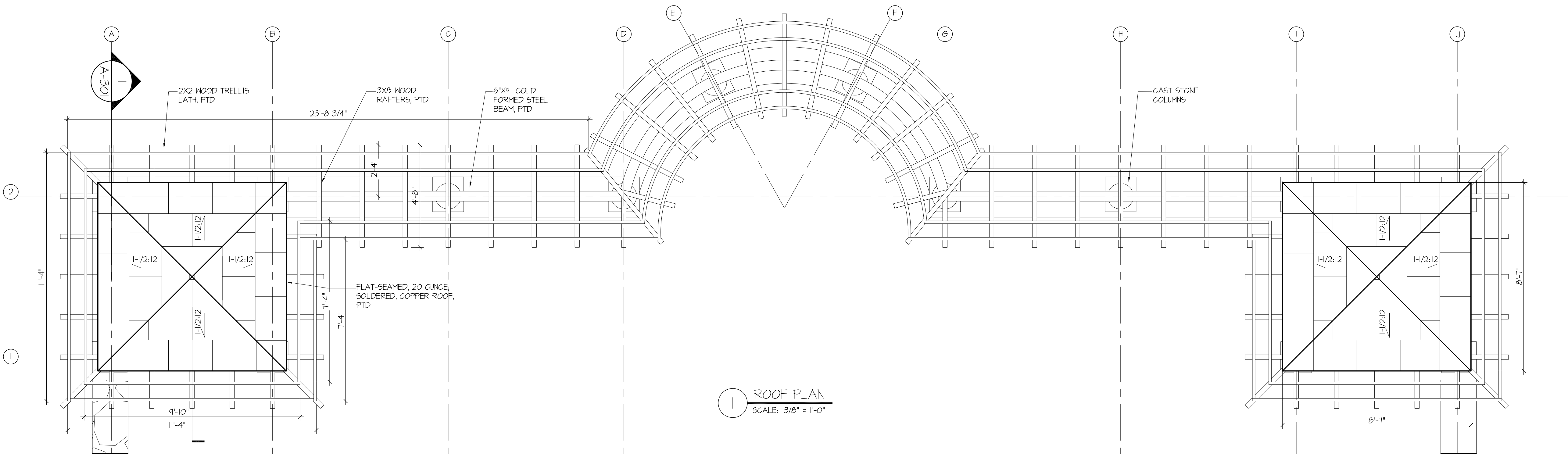
Date: Jan 21, 2021

Title: PERGOLA -
DEMOLITION PLAN

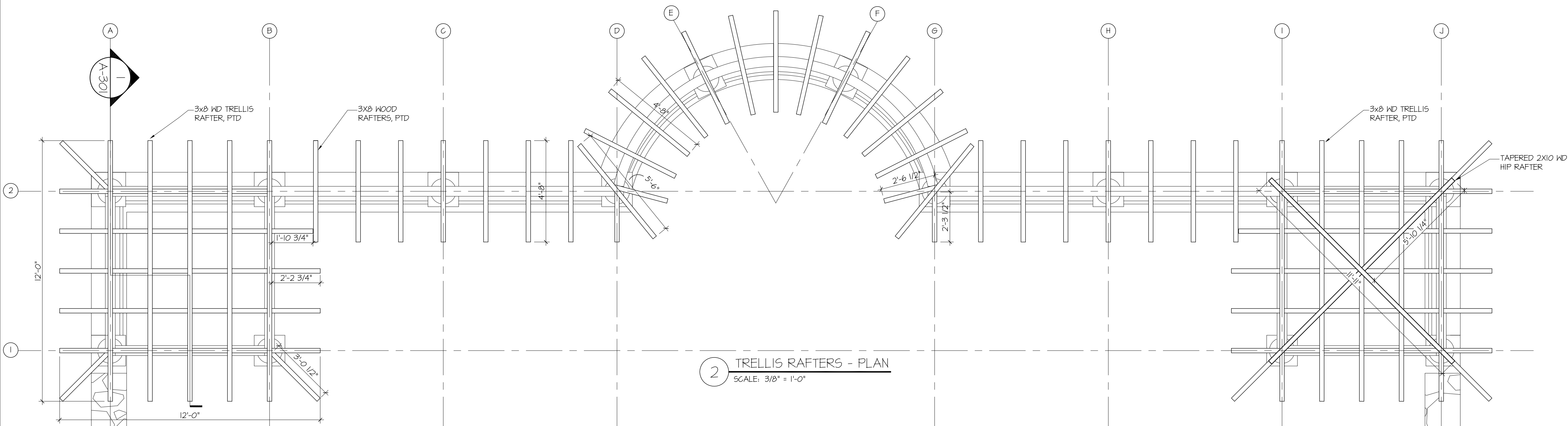
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Drawn by: CK

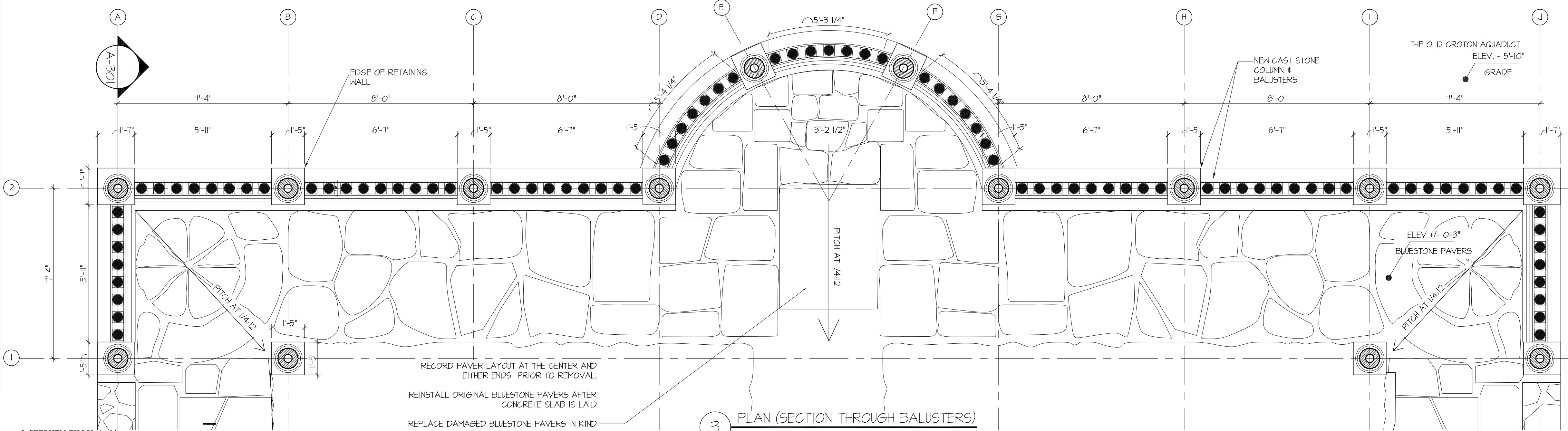




1 ROOF PLAN
SCALE: 3/8" = 1'-0"



2 TRELLIS RAFTERS - PLAN
SCALE: 3/8" = 1'-0"



3 PLAN (SECTION THROUGH BALUSTERS)
SCALE: 3/8" = 1'-0"

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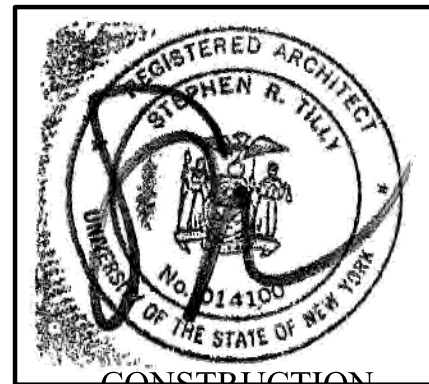
RECONSTRUCTION OF A
PERGOLA

Date: Jan 21, 2021

Title: PERGOLA -
PLANS

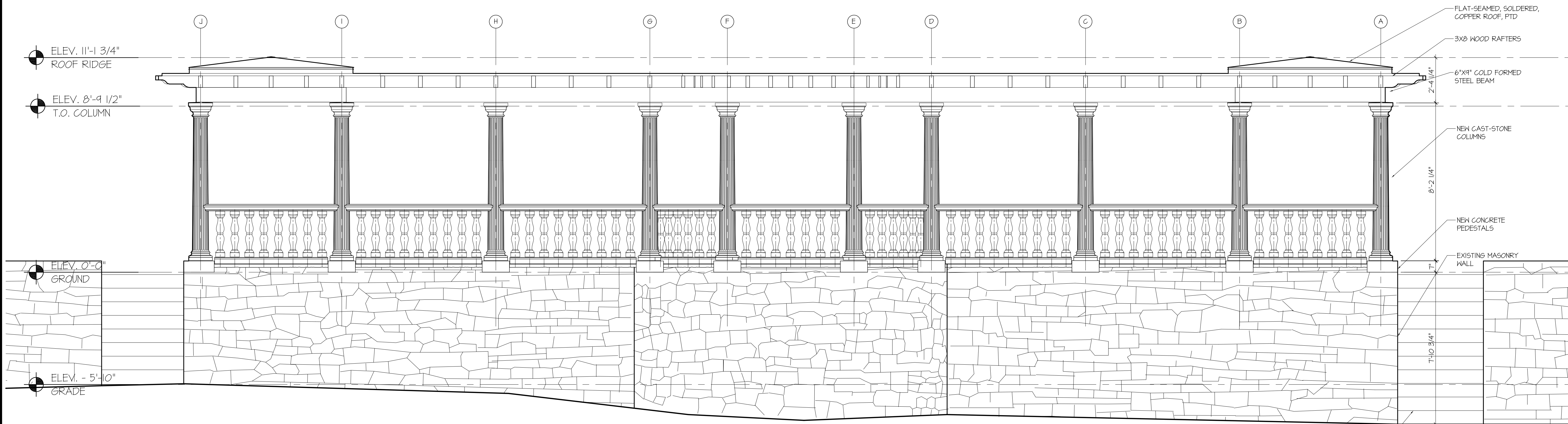
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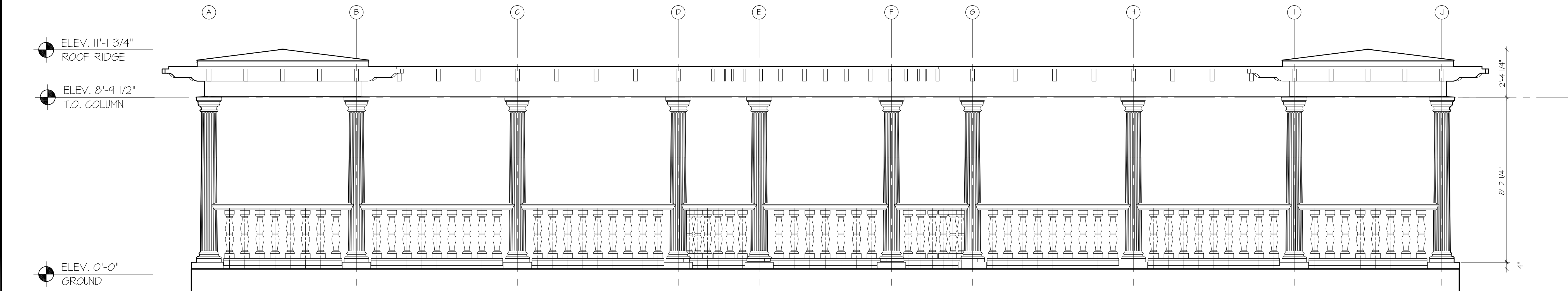


CONSTRUCTION
DOCUMENTS

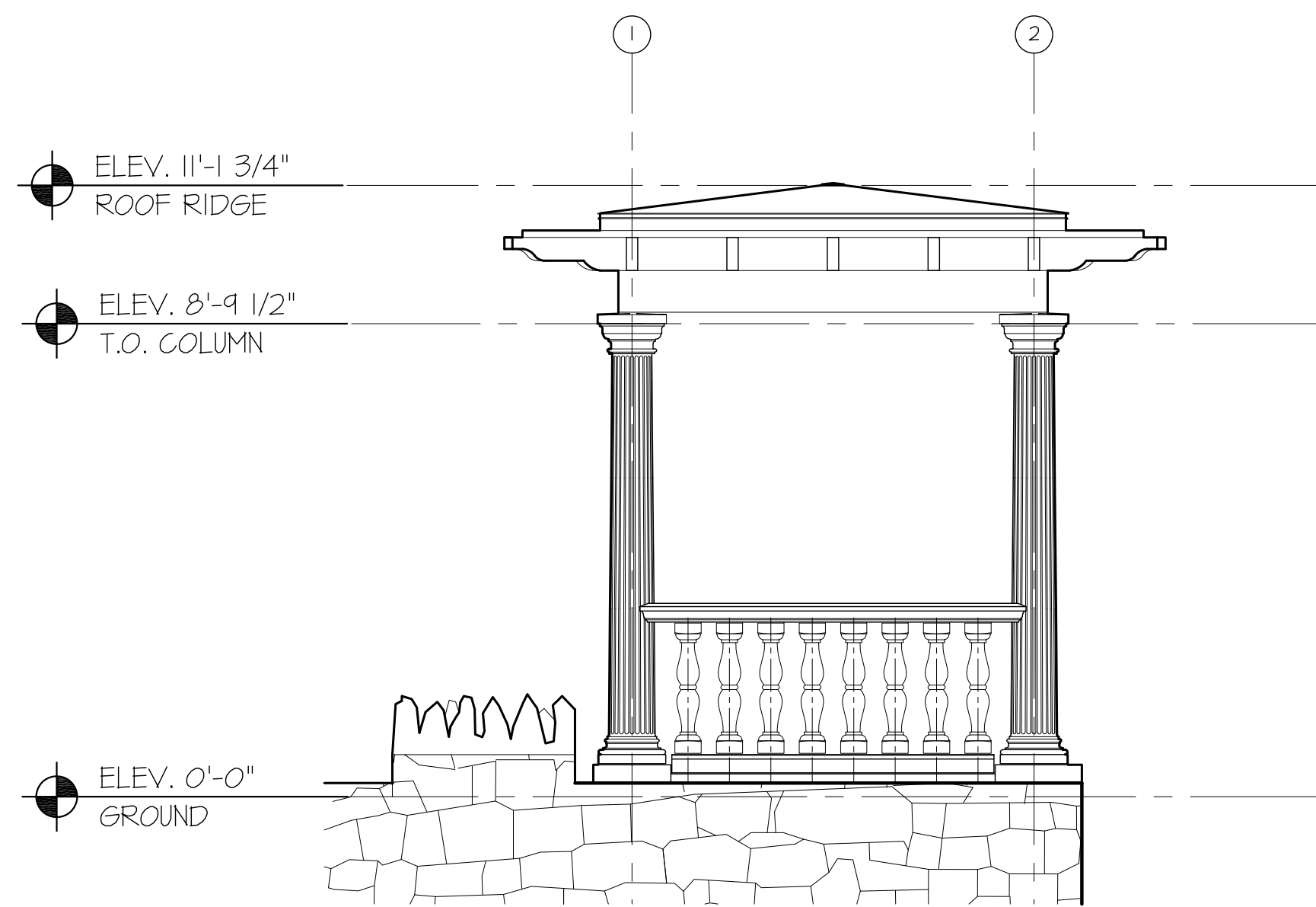
A-101



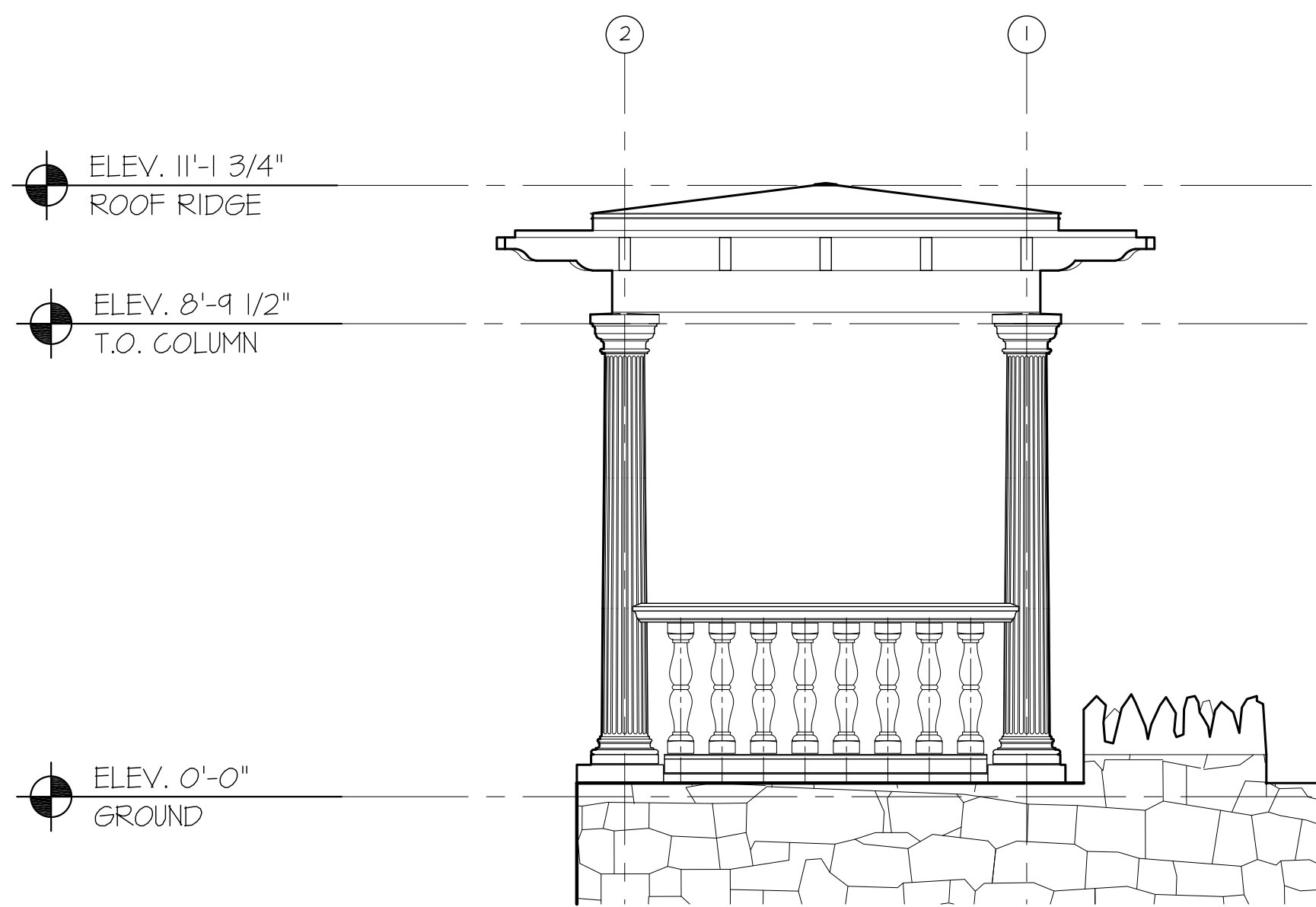
1 EAST ELEVATION
SCALE: 3/8" = 1'-0"



2 WEST ELEVATION
SCALE: 3/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/8" = 1'-0"



4 SOUTH ELEVATION
SCALE: 3/8" = 1'-0"

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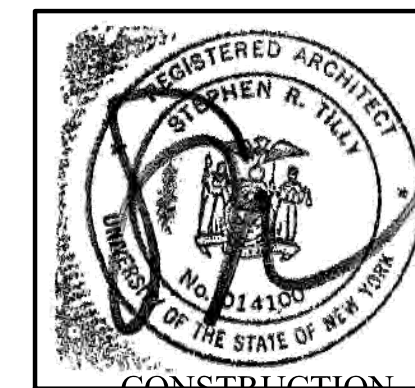
RECONSTRUCTION OF A
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ELEVATIONS

Scale: as noted

Drawn by: CK, AH

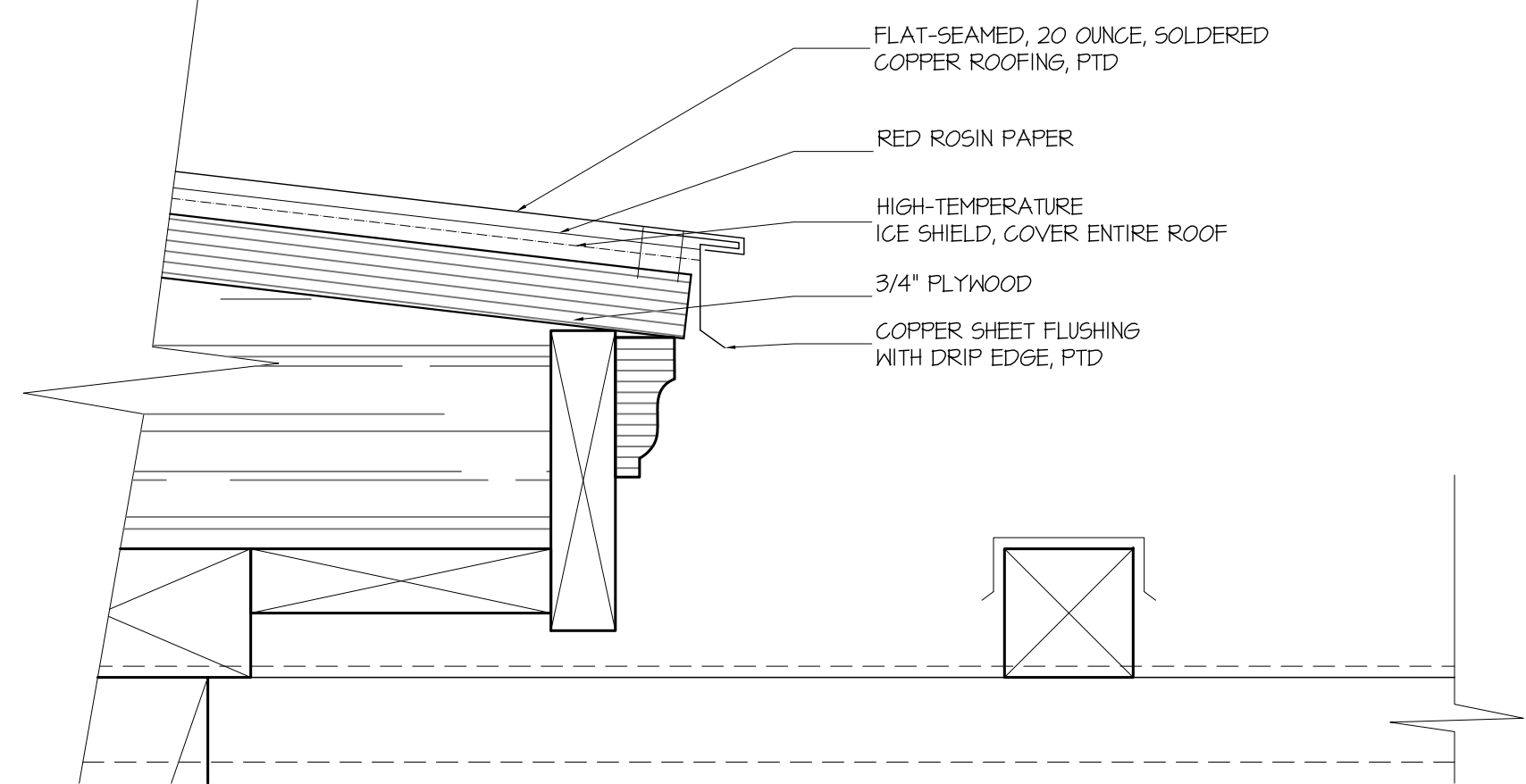
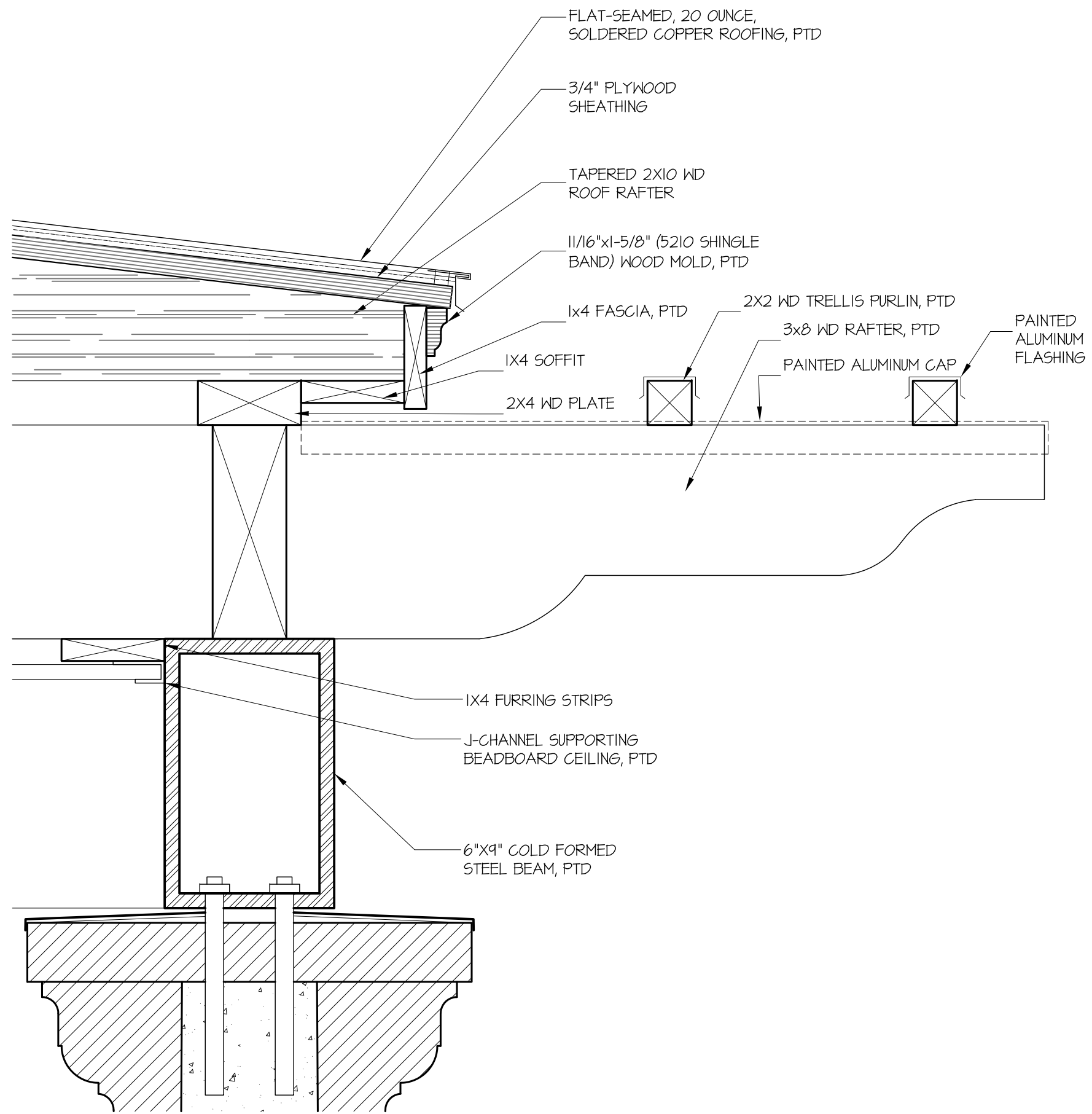
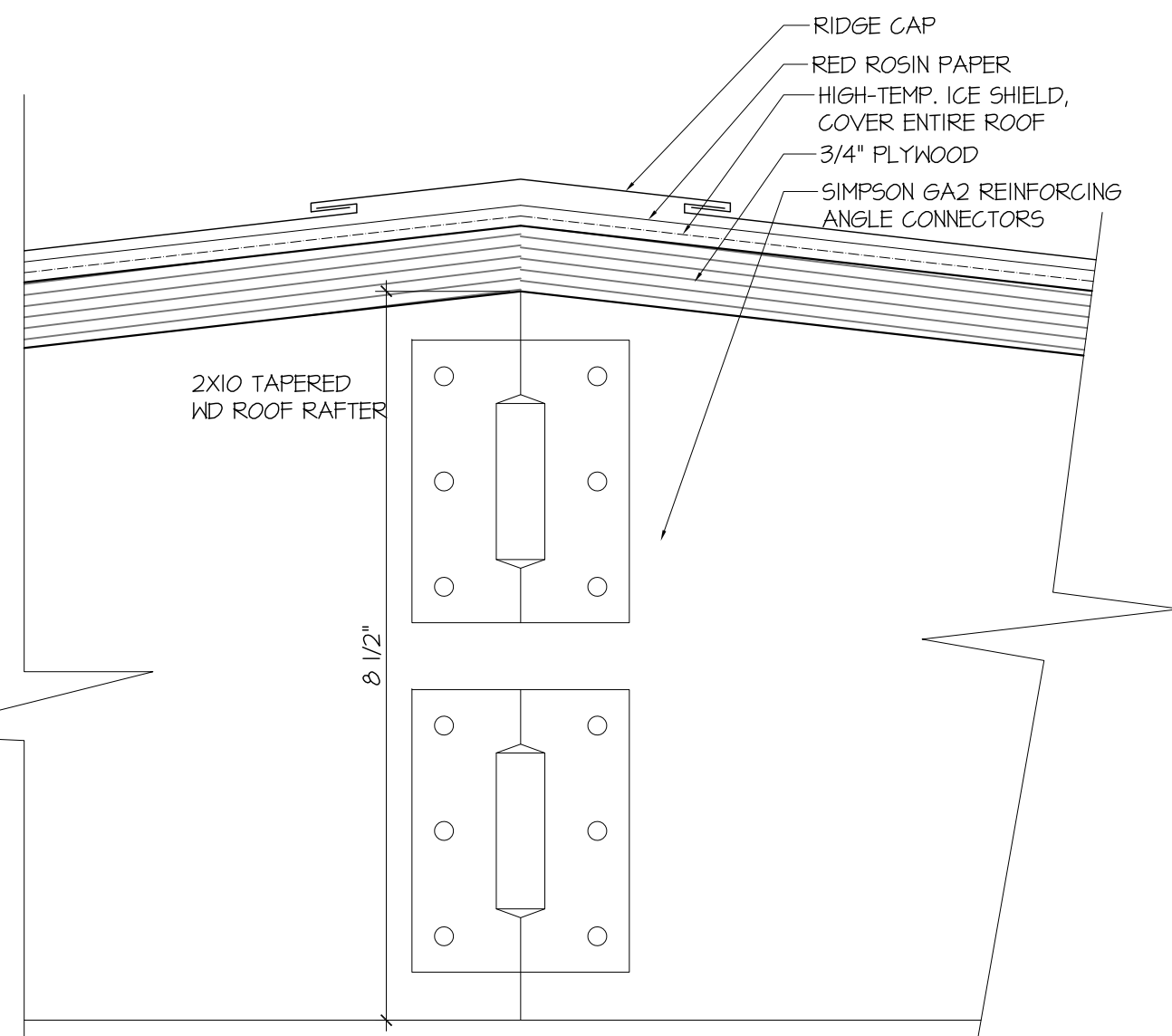
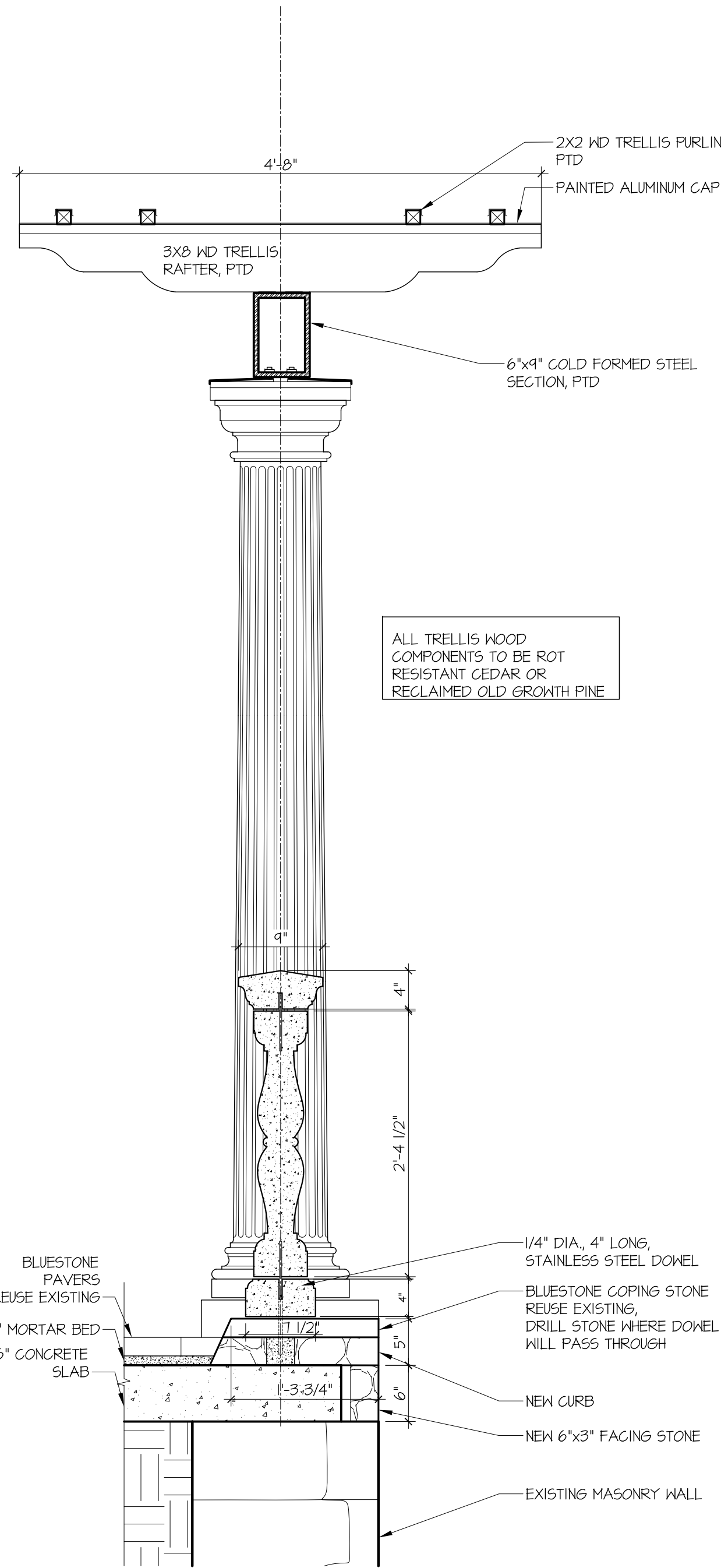
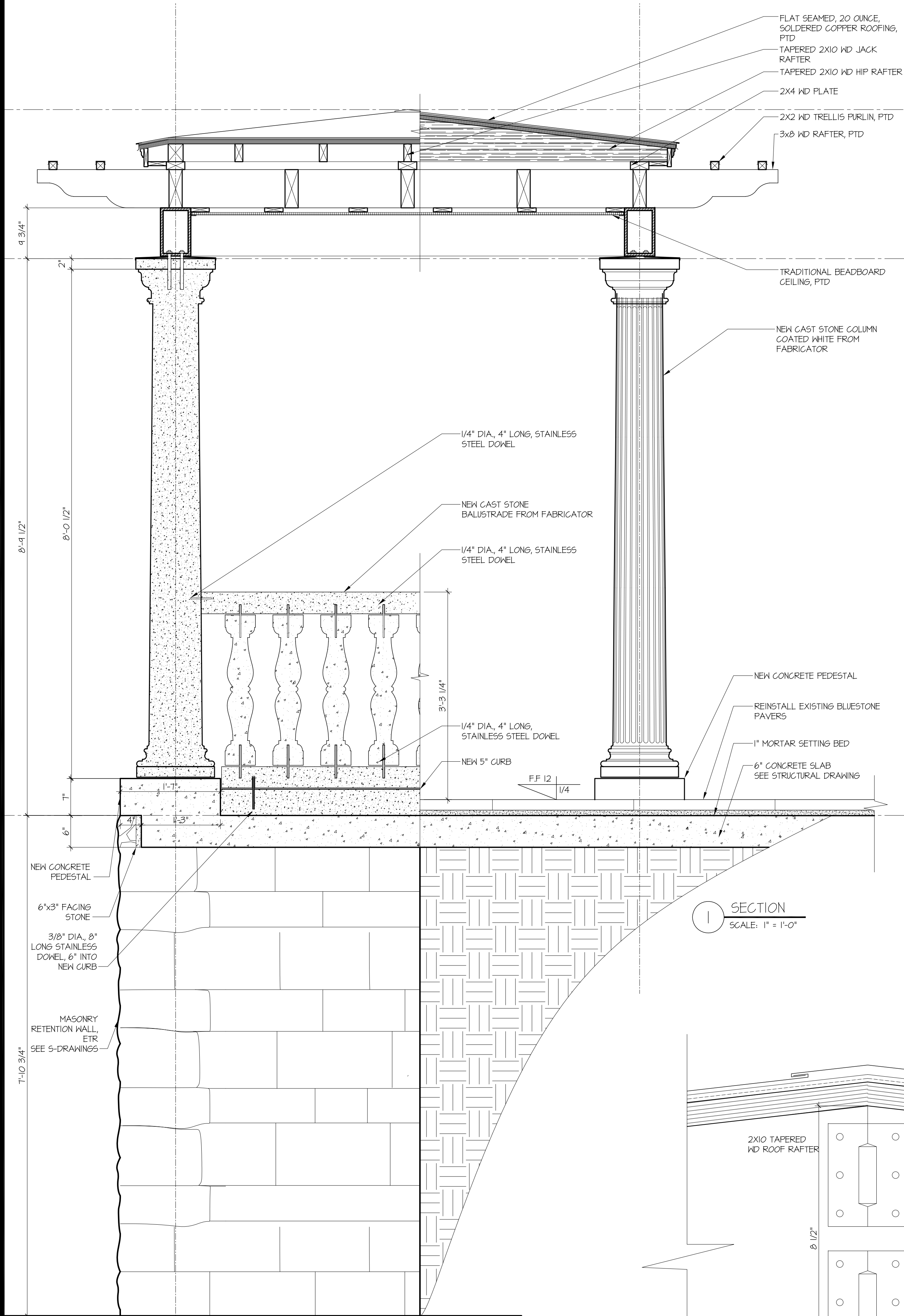


CONSTRUCTION
DOCUMENTS

A-201



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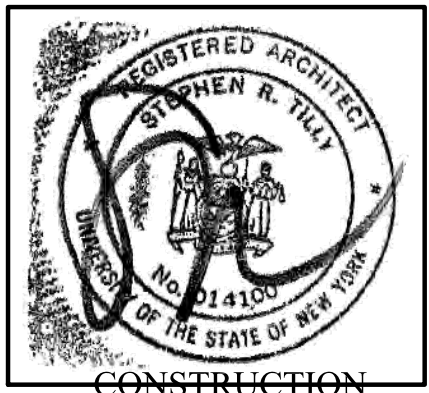
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RECONSTRUCTION OF A
PERGOLA

Date: Jan 21, 2021
Title: PERGOLA -
SECTIONS AND DETAILS

Scale: as noted
Drawn by: CK, AH



CONSTRUCTION
DOCUMENTS

A-301



1 VIEW WEST from the property
SCALE: n/a



2 VIEW NORTH from the property
SCALE: n/a



3 VIEW WEST from the property
SCALE: n/a



4 VIEW SOUTH from the property
SCALE: n/a



5 VIEW EAST from the Aqueduct
SCALE: n/a



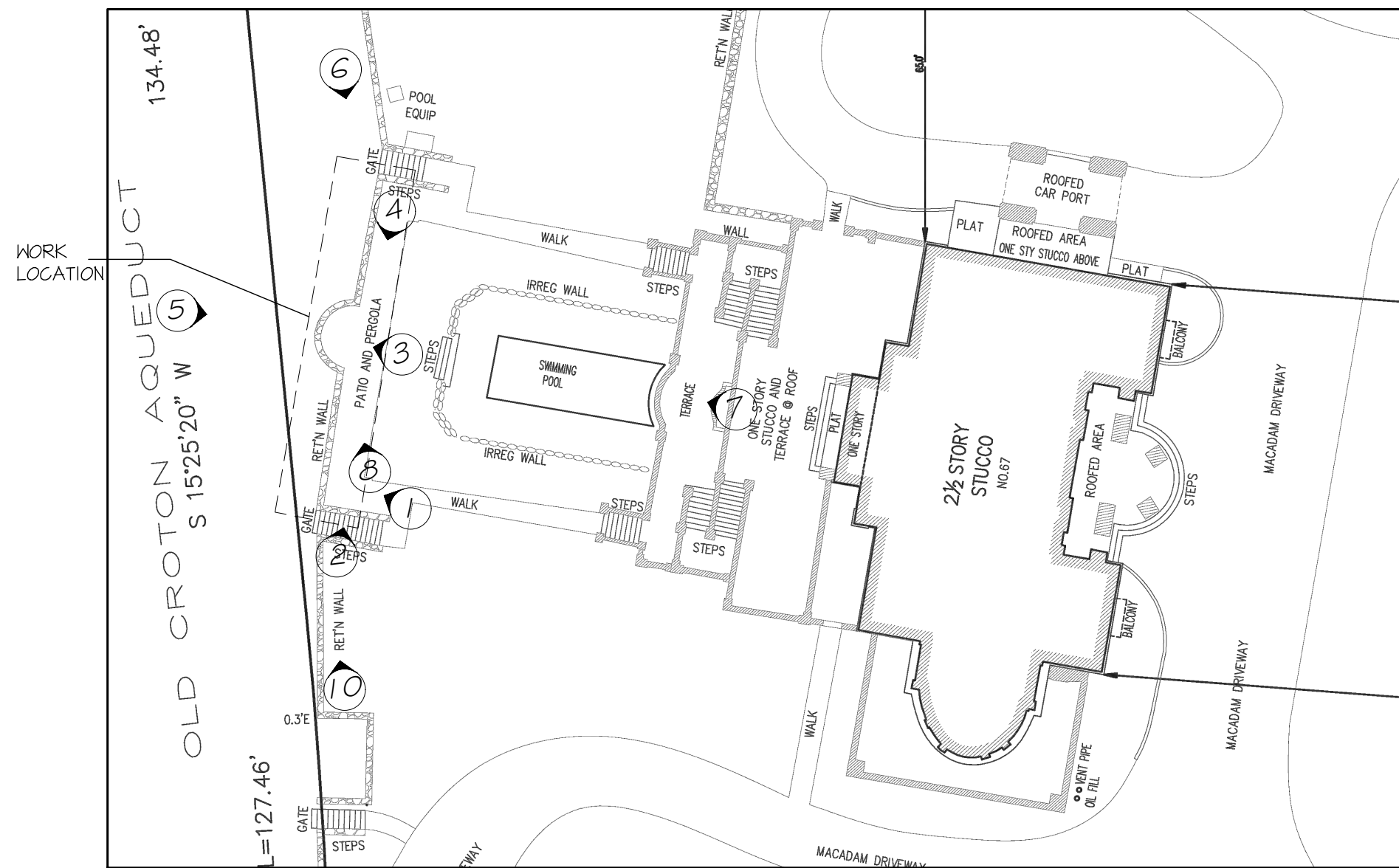
6 VIEW SOUTH from the Aqueduct
SCALE: n/a



7 VIEW WEST from the property
SCALE: n/a



8 VIEW NORTH from the property
SCALE: n/a



9 PHOTO KEY at SITE PLAN
SCALE: n/a



10 VIEW NORTH from the property
SCALE: n/a

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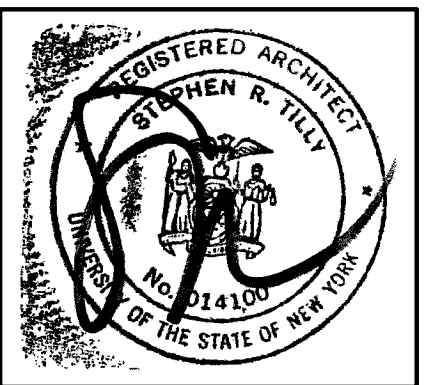
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NY 10533
RECONSTRUCTION OF A
PERGOLA

Date: JAN 21, 2021
Title: PERGOLA -
SECTIONS AND DETAILS

Scale: as noted
Drawn by: CK, AH



ARB-101

GENERAL NOIS

1. ALL STRUCTURAL WORK SHALL BE COORDINATED WITH ARCHITECTURAL AND MECHANICAL DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS, INCLUDING THE 2015 NEW YORK STATE BUILDING CODE. ALL GOVERNING STANDARDS LISTED IN THESE NOTES SHALL BE THE EDITION REFERENCED IN THIS GOVERNING CODE.
2. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING AND SHEETING AND SHALL MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE. SHORING AND SHEETING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER LICENSED IN THE PROJECT JURISDICTION, HIRED BY THE CONTRACTOR, WHO SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.
3. DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ENGINEER OF RECORD FOR EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.
4. THE CONTRACT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY. THESE NOTES HIGHLIGHT RATHER THAN REPLACE THE SPECIFICATIONS CONTAINED IN THE PROJECT MANUAL. CONTRACTOR SHALL NOTIFY THE ARCHITECT AND ENGINEER OF ANY CONFLICTS FOR GUIDANCE.

CONCRETE

1. ALL CONCRETE WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS.
- A. AMERICAN CONCRETE INSTITUTE (ACI) "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE" (ACI 318).
- B. ACI "MANUAL OF CONCRETE PRACTICE" LATEST EDITION
- C. CONCRETE REINFORCING STEEL INSTITUTE (CRSI) "MANUAL OF STANDARD PRACTICE".
2. ALL CONCRETE SHALL BE NORMAL WEIGHT CONCRETE WITH A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
3. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615, GRADE 60. REINFORCING STEEL SHALL BE DETAILED ACCORDING TO THE ACI "DETAILS AND DETAILING OF REINFORCEMENT" (ACI 315).
4. WELDED WIRE REINFORCEMENT (WWR) SHALL CONFORM TO ASTM A1064, WITH A MINIMUM YIELD STRENGTH OF 65,000 PSI.
5. REINFORCING STEEL TO BE WELDED TO CONFORM TO ASTM A706 GRADE 60.
6. ALL GROUT SHALL BE NONSHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 5000 PSI.
7. MINIMUM CONCRETE COVER FOR REINFORCING STEEL IN CAST-IN-PLACE NON-PRESTRESSED MEMBERS SHALL BE AS FOLLOWS:
- A. ALL CONCRETE CAST AGAINST AND PERMANENTLY IN CONTACT WITH GROUND: 3"
- B. ALL CONCRETE EXPOSED TO WEATHER OR IN CONTACT WITH GROUND:
- a. 2" (#6 THROUGH #18 BARS)
- b. 1½" (#5 BAR, W31 OR D31 WIRE, AND SMALLER)
9. SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO CONCRETE WORK SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
10. CLEAN AND ROUGHEN TO ¼" AMPLITUDE ALL EXISTING CONCRETE SURFACES TO RECEIVE NEW CONCRETE PRIOR TO PLACEMENT.
11. REINFORCING DOWELS, WATERSTOPS AND OTHER EMBED ITEMS SHALL BE INSTALLED AND SECURED PRIOR TO CONCRETE PLACEMENT. "WET-SETTING" OF EMBEDDED ITEMS IS NOT PERMITTED.

STRUCTURAL STEEL

1. ALL STRUCTURAL STEEL WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
- A. AISC 360 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS".
- B. AISC 303 "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- C. AMERICAN WELDING SOCIETY (AWS D1.1) "STRUCTURAL WELDING CODE – STEEL".
- D. RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCS) "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS".
2. ALL STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM SPECIFICATIONS:
- A. WIDE FLANGE BEAMS, COLUMNS AND STRUCTURAL TEES: ASTM A992.
- B. CHANNELS, ANGLES AND PLATES: ASTM A36 UNLESS OTHERWISE NOTED.
- C. STRUCTURAL STEEL PLATE SHALL BE ASTM A572 GRADE 50 HAVING A MINIMUM YIELD POINT OF 50,000 PSI, EXCEPT WHERE THICKNESSES EXCEED 4" USE A572 GRADE 42 HAVING A MINIMUM YIELD POINT OF 42,000 PSI.
- D. BOLTED CONNECTIONS SHALL BE PER ASTM F3125. GRADES ARE TO BE SELECTED AS FOLLOWS:
- a. STANDARD BEAM TO BEAM/GIRDER: ASTM F3125, GRADES A325, F1852, A490 OR F2280 BOLTS IN SNUG-TIGHTENED JOINTS (¾" DIAMETER MINIMUM WITH HARDENED WASHERS).
- b. BEAM/GIRDER TO COLUMN CONNECTIONS, COLUMN SPLICES AND BOLTS EXPERIENCING TENSION LOADS (UNLESS OVERSIZED OR SLOTTED HOLES ARE USED, IN WHICH CASE SLIP-CRITICAL JOINTS SHALL BE USED): ASTM F3125, GRADES A325, F1852, A490 OR F2280 BOLTS IN PRETENSIONED JOINTS (¾" DIAMETER MINIMUM WITH HARDENED WASHERS).
- c. MOMENT CONNECTIONS AND BRACED FRAME CONNECTIONS: ASTM F3125, GRADES A325, F1852, A490 OR F2280 BOLTS IN SLIP CRITICAL JOINTS (¾" DIAMETER MINIMUM WITH HARDENED WASHERS). FAYING SURFACES SHALL BE CLASS A UNLESS OTHERWISE NOTED.
- d. PER AISC 341, ALL BOLTS SHALL BE INSTALLED AS PRETENSIONED HIGH STRENGTH BOLTS AND MEET THE REQUIREMENTS FOR SURFACE PREPARATION FOR SLIP CRITICAL CONNECTIONS WITH CLASS A SLIP COEFFICIENT OR HIGHER. THE AVAILABLE SHEAR STRENGTH OF BOLTED JOINTS USING STANDARD HOLES SHALL BE CALCULATED AS THAT FOR BEARING TYPE JOINTS.
- G. ANCHOR RODS: ASTM F1554, GRADE 36.
3. STEEL CONNECTION SHALL BE STANDARD AISC FRAMED BEAM CONNECTIONS, AND SHALL BE SELECTED OR COMPLETED BY AN EXPERIENCED STEEL DETAILER, UTILIZING ASD LOADS AND PROCEDURES.
- A. UNLESS OTHERWISE NOTED ON PLAN, PROVIDE CONNECTIONS BASED ON MINIMUM SHEAR CAPACITY REQUIREMENTS IN THE FOLLOWING TABLE.
- | MINIMUM SHEAR CAPACITY REQUIREMENTS | | |
|-------------------------------------|--------------------------------|---------------------------------|
| BEAM DEPTH (NOMINAL) | MIN. SHEAR CAPACITY ASD (kips) | MIN. SHEAR CAPACITY LRFD (kips) |
| 8", 10" | 16 | 24 |
| 12", 14" | 28 | 42 |
- B. REINFORCING IS TO BE PROVIDED AT CONNECTIONS WHERE CUTS REDUCE THE SHEAR OR MOMENT CAPACITY BELOW THAT REQUIRED TO SUSTAIN THE REACTION. FLANGES AND WEBS ARE TO BE REINFORCED WHERE THE LOCAL CAPACITY TO SUSTAIN CONNECTION LOADS ARE INADEQUATE.
- C. CONNECTIONS SHALL BE DESIGNED FOR SHEAR AND ECCENTRICITY, CONSIDERING THAT THE CONNECTIONS ARE AN EXTENSION OF THE BEAMS AND GIRDERS.
4. MINIMUM WELD SIZE IS ¼" FILLET UNLESS NOTED OTHERWISE.
5. ALL BEAMS EXCEPT CANTILEVER BEAMS SHALL BE FABRICATED AND INSTALLED WITH NATURAL CAMBER UP. CANTILEVER BEAMS SHALL BE FABRICATED AND INSTALLED SO THAT NATURAL CAMBER RAISES CANTILEVER END.
6. FIELD CUTTING OR BURNING OF STEEL IS PROHIBITED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OF RECORD (IN WHICH CASE ALL BURNING OF STEEL MUST CONFORM TO THE THERMAL CUTTING REQUIREMENTS OF AISC AND AWS).
7. WELDING SHALL BE PERFORMED BY CERTIFIED, AWS-QUALIFIED WELDERS. WELDING ELECTRODES FOR CARBON STEEL SHALL BE AWS E.1, CLASS E70XX. FOR ASTM A572 GRADE 50 KSI PLATE USE ELECTRODE E7018 OR APPROVED EQUAL.
8. SHOP PAINT EXTERIOR EXPOSED STEEL MEMBERS WITH TNEC #10-99 OR APPROVED EQUAL.
9. FIELD PAINT ALL EXTERIOR EXPOSED MEMBERS WITH TNEC V530 OMNITHANE OR APPROVED EQUAL.
10. SHOP AND ERECTION DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO FABRICATION OF STEEL SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
11. PROVIDE MECHANICALLY GALVANIZED BOLTS FOR EXTERIOR APPLICATIONS.
12. ALL STEEL CONNECTIONS MUST MEET THE REQUIREMENTS OF THE NEW YORK STATE BUILDING CODE.

POST-INSTALLED ADHESIVE AND MECHANICAL ANCHORS

1. POST INSTALLED ANCHORAGE SHALL BE INSTALLED BY QUALIFIED PERSONNEL PER THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS (MPI), AS INCLUDED IN THE ANCHOR PACKAGING, TO INTACT BASE MATERIAL. INSTALLATION OF ANCHORS SHALL BE CARRIED OUT BY AN INSTALLER TRAINED TO INSTALL THE SPECIFIED ANCHORS. NOTIFY ENGINEER OF RECORD PRIOR TO INSTALLATION IF BASE MATERIAL CONDITION DEVIATES FROM STRUCTURAL DRAWINGS OR ASSUMPTIONS AND CONDITIONS OF THE MPI. ALL HOLES SHALL BE DRY AND HAMMER DRILLED UNLESS OTHERWISE NOTED, AND ALL CONCRETE BASE MATERIAL TO RECEIVE ADHESIVE ANCHORS SHALL HAVE A MINIMUM AGE OF 21 DAYS.
2. INSTALLATION OF ADHESIVE ANCHORS IN A HORIZONTAL OR UPWARDLY INCLINED ORIENTATION AND SUPPORTING A SUSTAINED TENSION LOAD SHALL BE PERFORMED BY A CERTIFIED ADHESIVE ANCHOR INSTALLER. CERTIFICATION SHALL INCLUDE WRITTEN AND PERFORMANCE TESTS IN ACCORDANCE WITH THE ACI/CRSI ADHESIVE ANCHOR INSTALLER CERTIFICATION PROGRAM OR APPROVED EQUAL. PRIOR TO THE COMMENCEMENT OF INSTALLING ANCHORS, PROVIDE OWNER AND ENGINEER OF RECORD WITH DOCUMENTED CONFIRMATION THAT ALL OF THE CONTRACTOR'S PERSONNEL WHO INSTALL HORIZONTAL OR UPWARDLY INCLINED ADHESIVE ANCHORS SUPPORTING SUSTAINED TENSION LOADS ARE TRAINED AND CERTIFIED.
- A. OVERHEAD ADHESIVE ANCHORS MUST BE INSTALLED USING THE PISTON PLUG SYSTEM SPECIFIED BY THE MPI AND PRODUCED BY THE CORRESPONDING MANUFACTURER FOR THE ANCHOR SYSTEM BEING INSTALLED.
3. EXISTING REINFORCING BARS IN THE STRUCTURE MAY CONFLICT WITH SPECIFIC ANCHOR LOCATIONS. REINFORCING BARS SHALL NOT BE CUT WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD. UNLESS NOTED ON THE DRAWINGS THAT THE EXISTING REBARS CAN BE CUT, THE CONTRACTOR SHALL REVIEW THE EXISTING STRUCTURAL DRAWINGS AND SHALL UNDERTAKE TO LOCATE THE POSITION OF THE REINFORCING BARS BY A MEANS APPROVED BY THE ENGINEER OF RECORD.
4. ANCHOR CAPACITY IS DEPENDENT UPON SPACING BETWEEN ADJACENT ANCHORS, PROXIMITY OF ANCHORS TO EDGE OF CONCRETE, AND EMBEDMENT DEPTH INTO THE SUBSTRATE. INSTALL ANCHORS IN ACCORDANCE WITH SPACING, EDGE CLEARANCES, AND EMBEDMENT DEPTHS INDICATED ON THE DRAWINGS.
5. UNLESS OTHERWISE INDICATED, POST INSTALLED ANCHORAGE SHALL BE ADHESIVE TYPE HILTI HIT-HY 200-R INTO CONCRETE OR HILTI HIT-HY 270 INTO BRICK MASONRY, GROUT FILLED CMU OR UNGROUTED CMU BASE MATERIAL. PROVIDE MESH SCREEN IN UNGROUTED CMU, UNREINFORCED MASONRY CONSTRUCTION, AND BRICK MASONRY WITH HOLES OR VOIDS.
6. SUBSTITUTION REQUESTS FOR ALTERNATE ANCHORAGE PRODUCTS SHALL BE SUBMITTED TO ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO USE. THIS SHALL INCLUDE MANUFACTURER PRODUCT DATA AND CALCULATIONS DEMONSTRATING THAT THE PROPOSED SUBSTITUTE CAN ACHIEVE THE PERFORMANCE VALUES OF THE SPECIFIED PRODUCT. ANCHOR CAPACITY USED IN DESIGN SHALL BE BASED ON THE TECHNICAL DATA PUBLISHED BY THE MANUFACTURER OR SUCH OTHER METHOD AS APPROVED BY THE ENGINEER OF RECORD. SUBSTITUTIONS WILL BE EVALUATED BY THEIR HAVING AN ICC-ES EVALUATION REPORT SHOWING COMPLIANCE WITH THE RELEVANT BUILDING CODE, SEISMIC USE, LOAD RESISTANCE, INSTALLATION CATEGORY, AND AVAILABILITY OF MPI. ADHESIVE ANCHOR EVALUATION WILL ALSO CONSIDER CREEP, IN-SERVICE TEMPERATURE AND INSTALLATION TEMPERATURE AND MUST PROVIDE INFORMATION ON THESE ITEMS. SUBSTITUTION REQUESTS FOR ALTERNATE PRODUCTS MUST BE APPROVED IN WRITING BY THE ENGINEER OF RECORD PRIOR TO USE.

FRAMING LUMBER

1. ALL FRAMING LUMBER WORK SHALL CONFORM TO THE FOLLOWING GOVERNING STANDARDS:
- A. AMERICAN WOOD COUNCIL "WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS".
- B. AMERICAN WOOD COUNCIL "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION," "NDS SUPPLEMENT: DESIGN VALUES FOR WOOD CONSTRUCTION", AND "SPECIAL DESIGN PROVISIONS FOR WIND AND SEISMIC".
2. FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACED DRY (EXCEPT STUDS, WHICH SHALL BE KILN DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIES AND GRADES:
- RAFTERS AND JOISTS: DOUGLAS FIR-LARCH #2, SPRUCE PINE FIR #2, OR HEM FIR #2.
- BEAMS, GIRDERS AND HEADERS: DOUGLAS FIR-LARCH #1, SPRUCE PINE FIR #1, OR HEM FIR #1.
3. PRESERVATIVE-TREATED WOOD: PROVIDE TREATED LUMBER COMPLYING WITH ACQ-D (CARBONATE), COPPER AZOLE (CA-B), OR SODIUM BORATE (SBX (DOT) WITH NgS10/2) AT ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR AS OTHERWISE INDICATED ON ARCHITECTURAL OR STRUCTURAL DRAWINGS. ACZA TREATMENT IS NOT PERMITTED. TREATED LUMBER AND/OR PLYWOOD SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.40 PCF RETENTION. WHERE LUMBER AND/OR PLYWOOD IS CUT OR DRILLED AFTER TREATMENT, THE TREATED SURFACE SHALL BE FIELD-TREATED WITH COPPER NAPHTHATE (THE CONCENTRATION OF WHICH SHALL CONTAIN A MINIMUM OF 2% COPPER METAL) BY REPEATED BRUSHING, DIPPING, OR SOAKING UNTIL THE WOOD ABSORBS NO MORE PRESERVATIVE. REFER TO NOTES 2 AND 3 FOR SPECIES AND GRADE OF WOOD UNLESS OTHERWISE NOTED ON PLAN.
4. ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC., SHALL CONFORM TO THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS AND SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA "MANUAL FOR HOUSE FRAMING" OR THE GOVERNING LOCAL/STATE BUILDING CODE.
5. FASTENING SHALL BE IN ACCORDANCE WITH THE MOST RESTRICTIVE OF THE GOVERNING LOCAL/STATE BUILDING CODE AND THE MANUFACTURER'S RECOMMENDED FASTENING SCHEDULES.
6. ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
7. WHERE FRAMING LUMBER IS FLUSH FRAMED TO MICROLLAM, STEEL OR FLITCH-PLATE GIRDER, SET THESE GIRDERS ½" CLEAR (MIN.) BELOW TOP OF FRAMING LUMBER, TO ALLOW FOR SHRINKAGE.
8. WHERE CANTILEVERED BEAMS ARE INDICATED, THE FAR CONNECTOR SHALL BE CAPABLE OF RESISTING AN UPLIFT OF 1000 LBS. MIN., U.N.O.
21. NO NEW OR EXISTING JOISTS SHALL BE CUT OR NOTCHED WITHOUT APPROVAL.

SPECIAL INSPECTIONS

1. INSPECTIONS REQUIRED BY THE LOCAL JURISDICTION SHALL BE PERFORMED BY A TESTING AGENCY PROVIDED BY THE OWNER FOR THE FOLLOWING ITEMS:
- A. INSPECTION OF FABRICATORS (IBC 1704.2.5)
- B. STEEL CONSTRUCTION (IBC 1705.2)
- i. STRUCTURAL STEEL (IBC 1705.2.1)
1. STRUCTURAL STEEL WELDING (AISC 360, AWD D1.1)
2. HIGH STRENGTH BOLTS (AISC 360)
- C. CONCRETE CONSTRUCTION (IBC 1705.3, TABLE 1705.3)
- i. WELDING OF REINFORCING BARS (IBC 1705.3.1 TABLE 1705.3)
- ii. MATERIALS TESTS (IBC 1705.3.2, TABLE 1705.3)
- ii. POST-INSTALLED ANCHORS (IBC TABLE 1705.3, ACI 318 CHAPTER 17)
- F. SOILS (IBC 1705.6 TABLE 1705.6)
- J. FABRICATED ITEMS (IBC 1705.10)
- K. SPECIAL INSPECTIONS FOR WIND RESISTANCE (IBC 1705.11)
- i. STRUCTURAL WOOD (IBC 1705.11.1)
2. STRUCTURAL OBSERVATIONS REQUIRED BY THE LOCAL JURISDICTION AND IBC 1704.5 SHALL BE PERFORMED BY A REGISTERED DESIGN PROFESSIONAL PROVIDED BY THE OWNER. STRUCTURAL OBSERVATIONS SHALL BE THE VISUAL OBSERVATION OF THE STRUCTURAL SYSTEM FOR GENERAL CONFORMANCE TO THE APPROVED CONSTRUCTION DOCUMENTS.
3. TESTING AGENCY FOR THE INSPECTIONS SHALL FILE ALL APPROPRIATE FORMS WITH THE BUILDING DEPARTMENT.

DESIGN LOAD SCHEDULE

DESIGN LOADS (PSF)		
	SLAB	PERGOLA
DEAD LOAD		
SLAB (6")	75	–
PAVERS (2")	25	–
COPPER ROOF	–	2
WOOD FRAMING	–	4
STEEL FRAMING	–	3
CEILING	–	2
TOTAL DEAD LOAD	100	11
LIVE LOAD		
	100	20
TOTAL LOAD	200	31

DESIGN LOAD PARAMETERS

GOVERNING CODE: 2020 NEW YORK STATE BUILDING CODE			
BUILDING CATEGORY: II			
SNOW LOAD:			
30 PSF	P _s	GROUND SNOW LOAD	
20 PSF	P _f	FLAT ROOF SNOW LOAD	
1.0	C _e	SNOW EXPOSURE FACTOR	
1.0	I _s	SNOW LOAD IMPORTANCE FACTOR	
1.2	C _t	THERMAL FACTOR	
WIND LOAD:			
OTHER STRUCTURES		BUILDING CLASSIFICATION RISK CATEGORY	
115 MPH	V _m	ULTIMATE DESIGN WIND SPEED	
89 MPH	V _{aw}	NOMINAL DESIGN WIND SPEED	
1.0	I	WIND IMPORTANCE FACTOR	
C	I	WIND EXPOSURE FACTOR	
0.85	G	GUST EFFECT FACTOR	
1.6	C _f	FORCE COEFFICIENT	
30 PSF	I	C&C VELOCITY PRESSURE AT MEAN ROOF HEIGHT	

DESIGN PARAMETER NOTES:

1. SEISMIC DESIGN IS NOT REQUIRED FOR THIS STRUCTURE, PER SECTION 1613.1.

STANDARD ABBREVIATIONS

ADD'L. APPROX. ARCH. B.O. C.I.P. COL. CONC. CONST. CONT. COORD. DTL. DIA. DWG(S). E.F. EL. EMBED. E.O.R. EQ. EXIST. EXT. E.W. FDN. FT. FTG. HORIZ. LB. MAX. MIN. NO. N.S.	ADDITIONAL APPROXIMATE/APPROXIMATELY ARCHITECTURAL/ARCHITECT BOTTOM OF CAST IN PLACE CLEAR COLUMN CONCRETE CONSTRUCTION CONTINUOUS COORDINATE/COORDINATION DETAIL DIAMETER DRAWING(S) EACH FACE ELEVATION EMBEDMENT ENGINEER OF RECORD EQUAL EXISTING EXTERIOR EACH WAY FOUNDATION FEET FOOTING HORIZONTAL POUND MAXIMUM MINIMUM NUMBER NEAR SIDE	N.T.S. N.W. O.C. P.C. PED. PERP. PLF PSF PSI REINF. REQ'D. REV. SECT. SIM. S.O.G. SPEC SQ. S.S. STD STL SYM. T.O. T & B TYP. U.N.O. V.I.F. W.W.R. # C Ø R	NOT TO SCALE N.W. NORMAL WEIGHT ON CENTER PIECE PEDESTAL PERPENDICULAR POUNDS PER LINEAR FOOT POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH REINFORCE(D), REINFORCEMENT REQUIRED REVISION SECTION SIMILAR SLAB ON GRADE SPECIFICATION SQUARE STAINLESS STEEL STANDARD STEEL SYMMETRIC TOP OF TOP & BOTTOM TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD WELDED WIRE REINFORCEMENT NUMBER/SIZE CENTERLINE DIAMETER PLATE/PROPERTY LINE
------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

LEGEND

	CONCRETE FOOTING
	EXISTING BRICK MASONRY
	EXISTING WALL BELOW
	WOOD BEAM
	WOOD BEAM (HIDDEN)
	STEEL BEAM
	STEEL BEAM (HIDDEN)
	ARCHITECTURAL
	CAST STONE COLUMN
	CONCRETE SLAB ON GRADE (TWO-WAY), SEE SECTION FOR SLAB REINFORCING

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No. Date Description

Revisions:

Date Issued For

Submissions:

Project: VILLA LEWARO
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Date: MAY 1, 2020

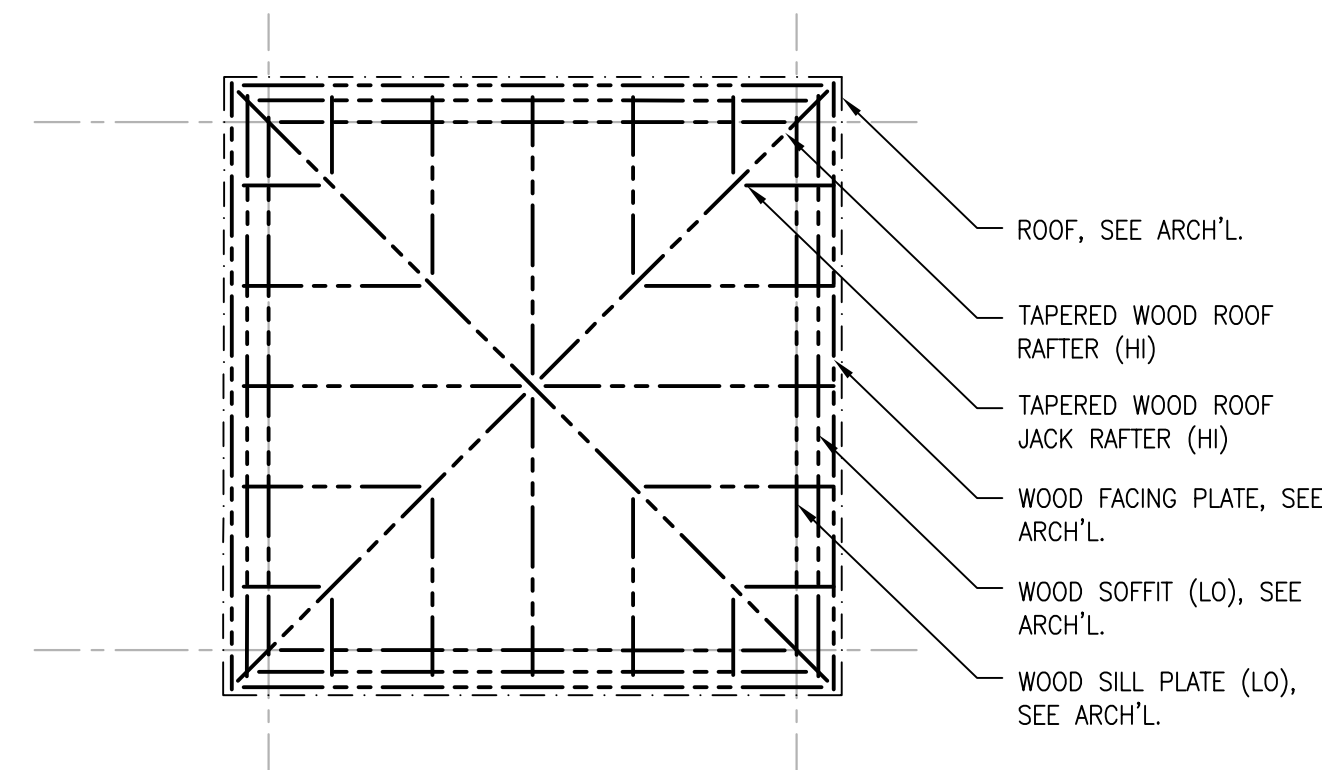
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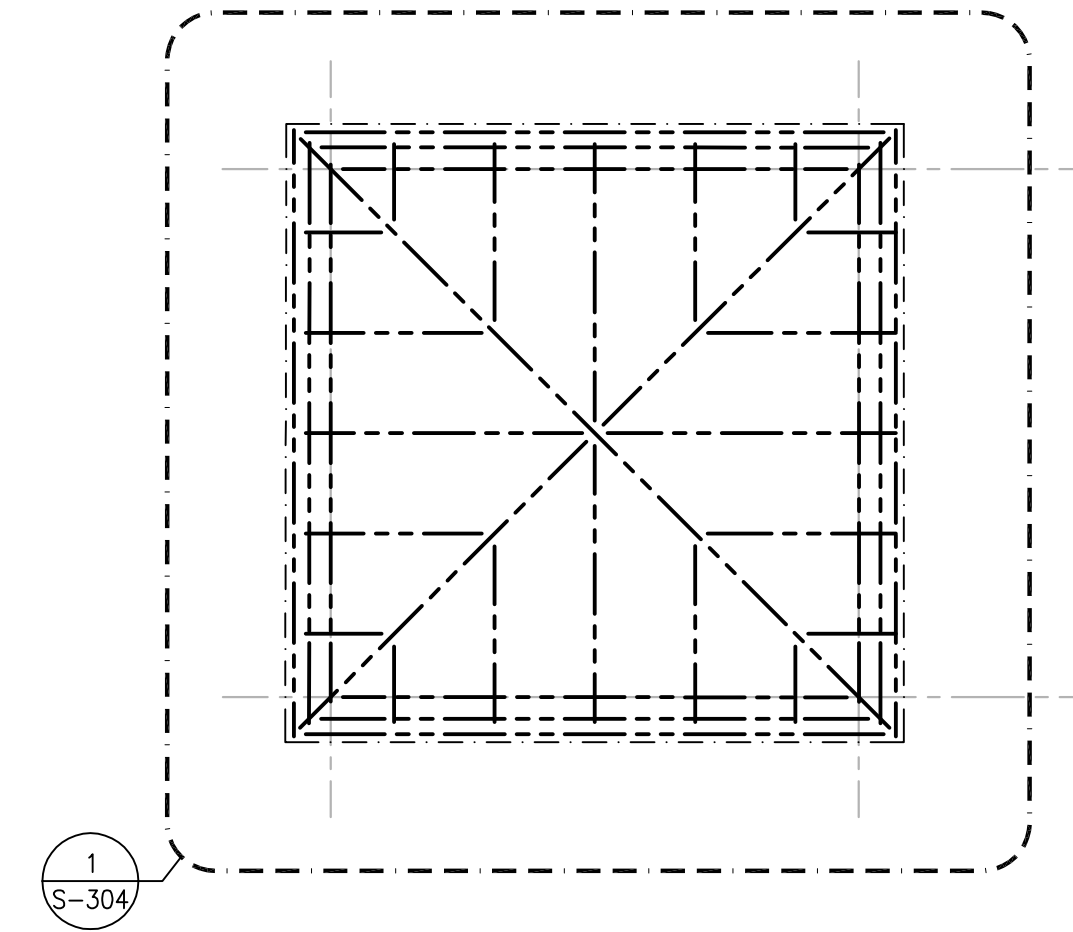
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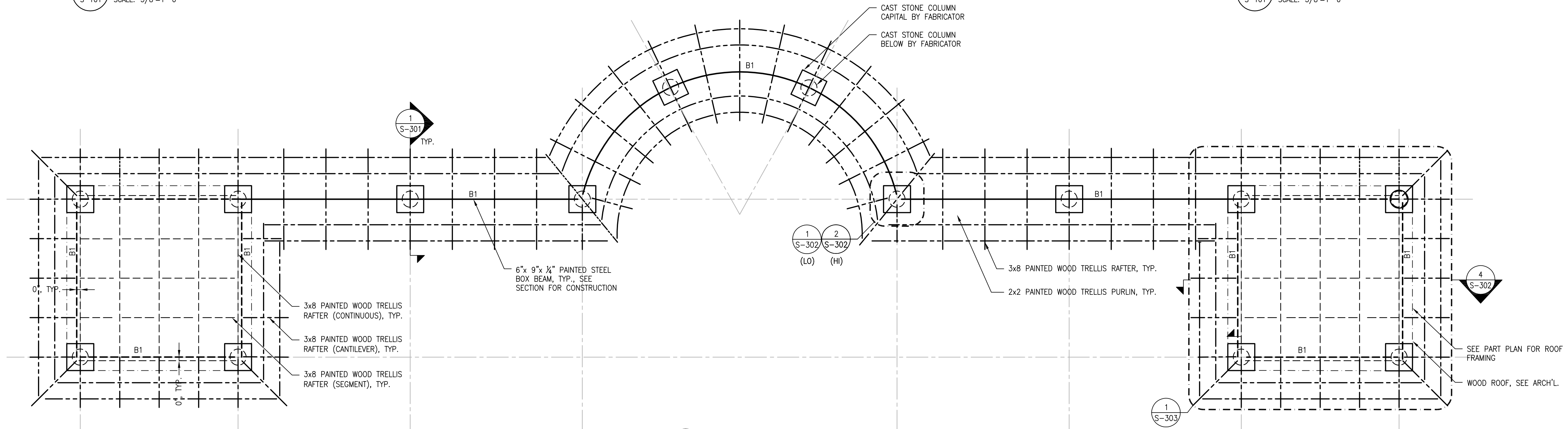
S-001



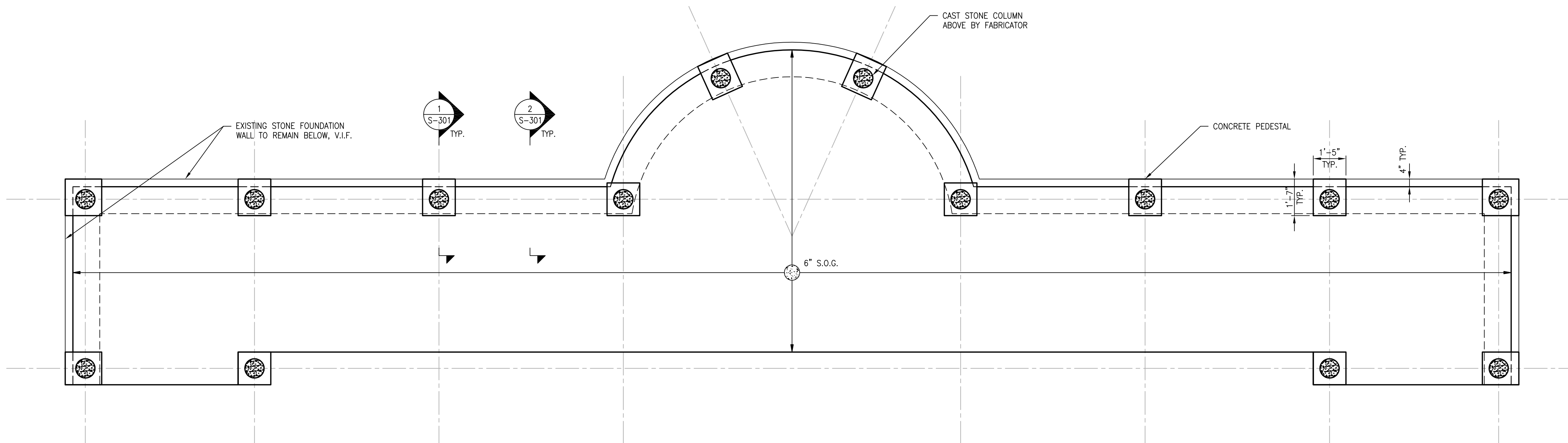
3 ROOF PART PLAN
S-101 SCALE: 3/8"=1'-0"



4 ROOF PART PLAN
S-101 SCALE: 3/8"=1'-0"



2 TRELLIS PLAN
S-101 SCALE: 3/8"=1'-0"



1 FOUNDATION PLAN
S-101 SCALE: 3/8"=1'-0"

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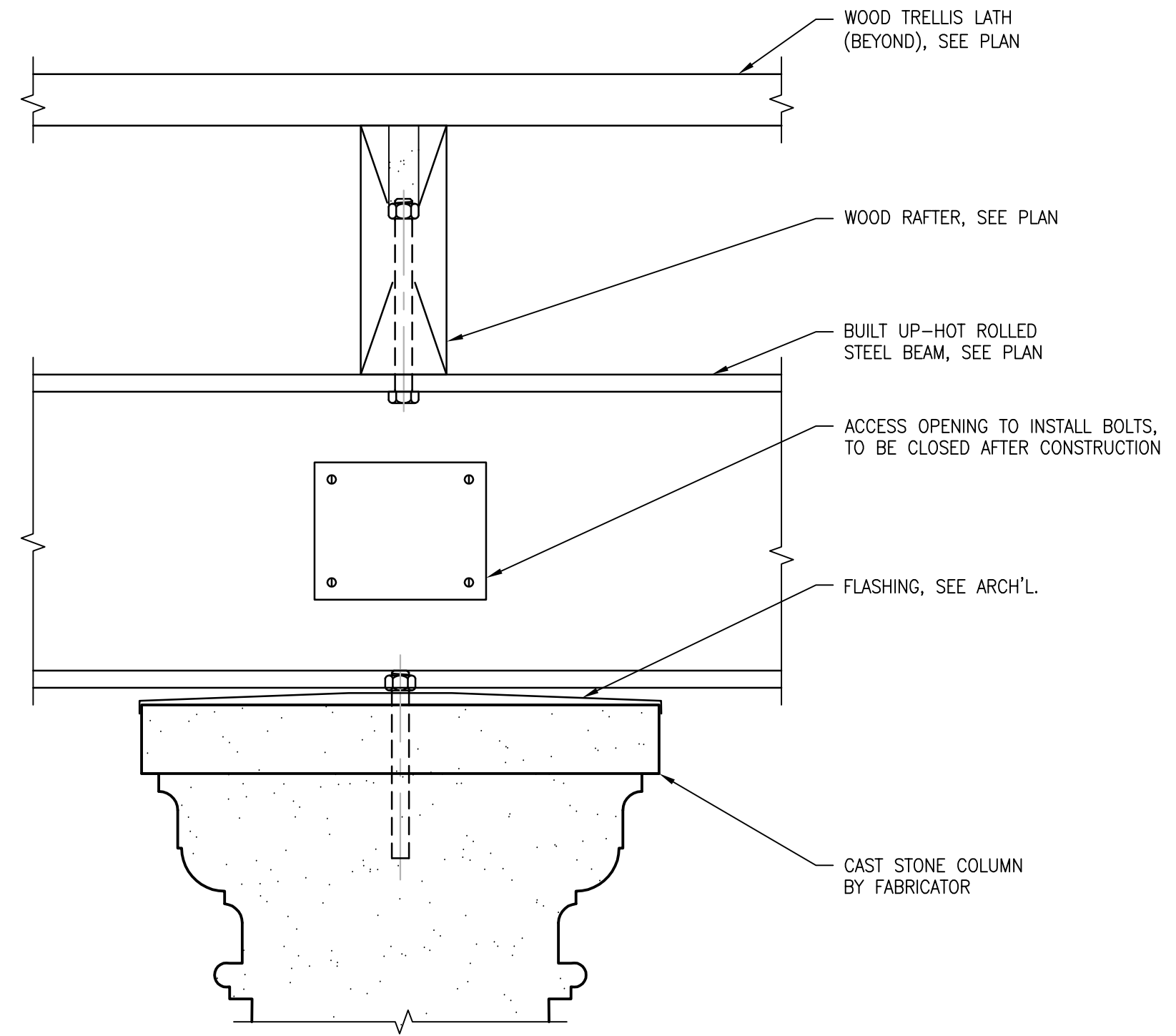
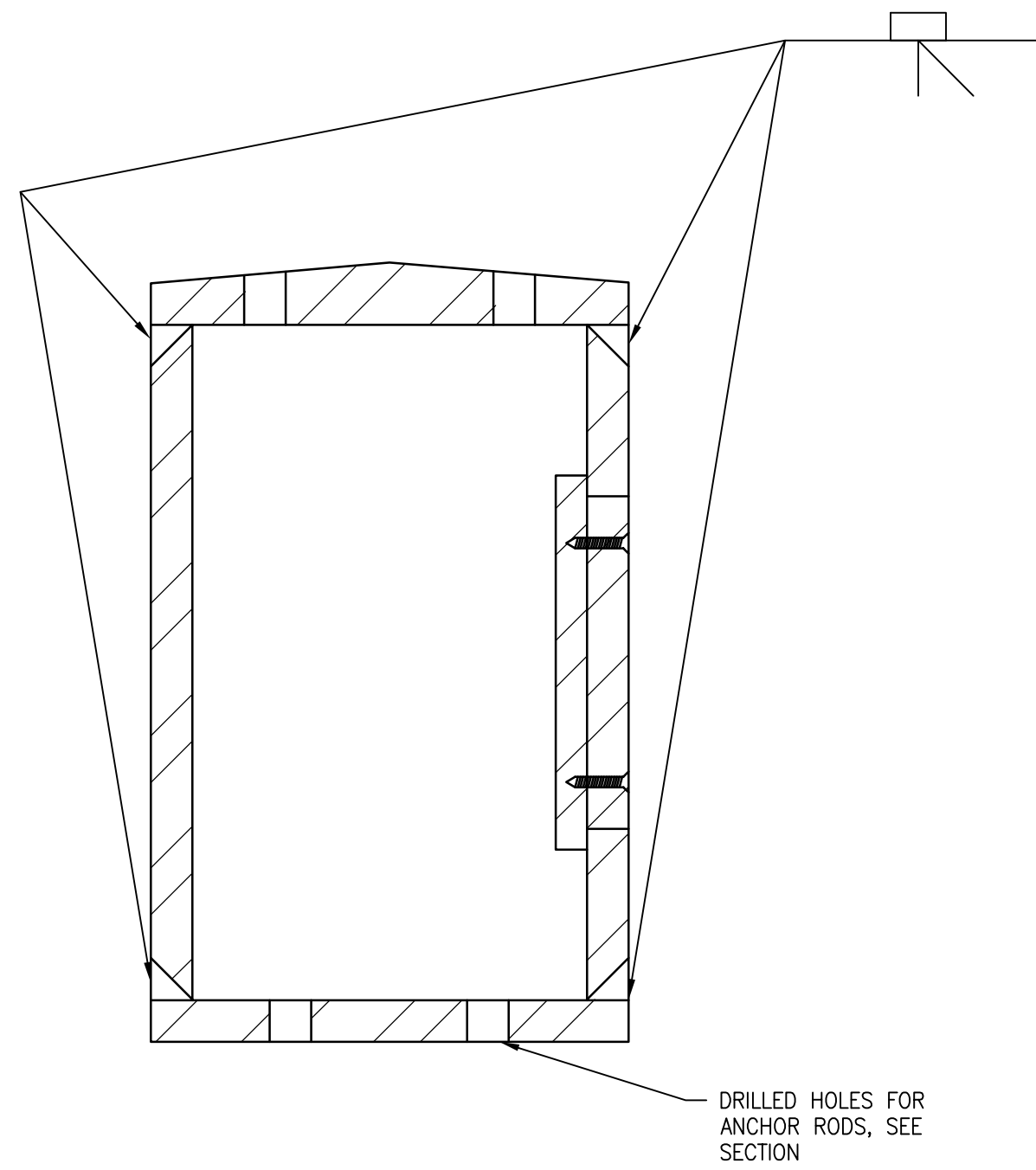
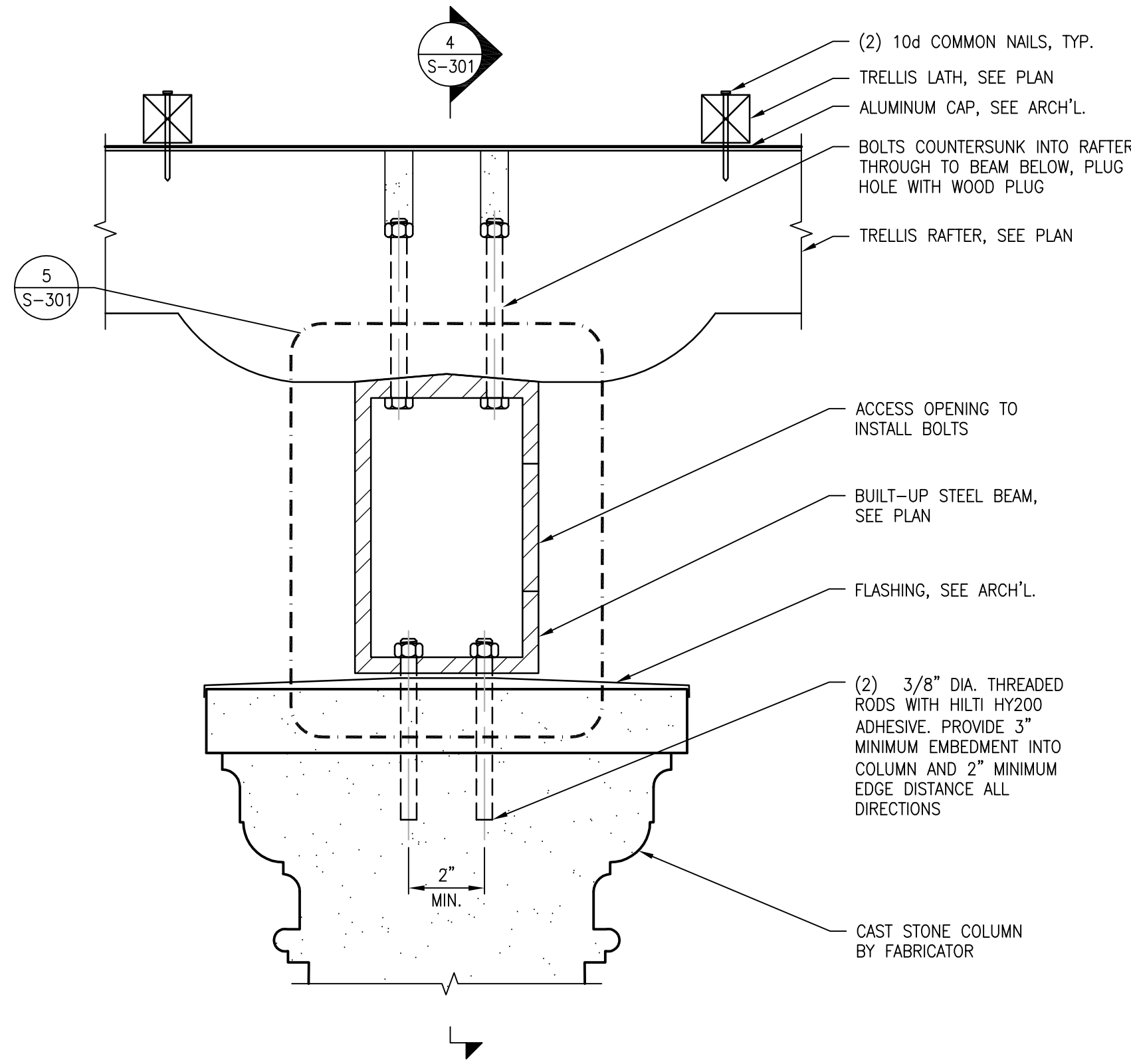
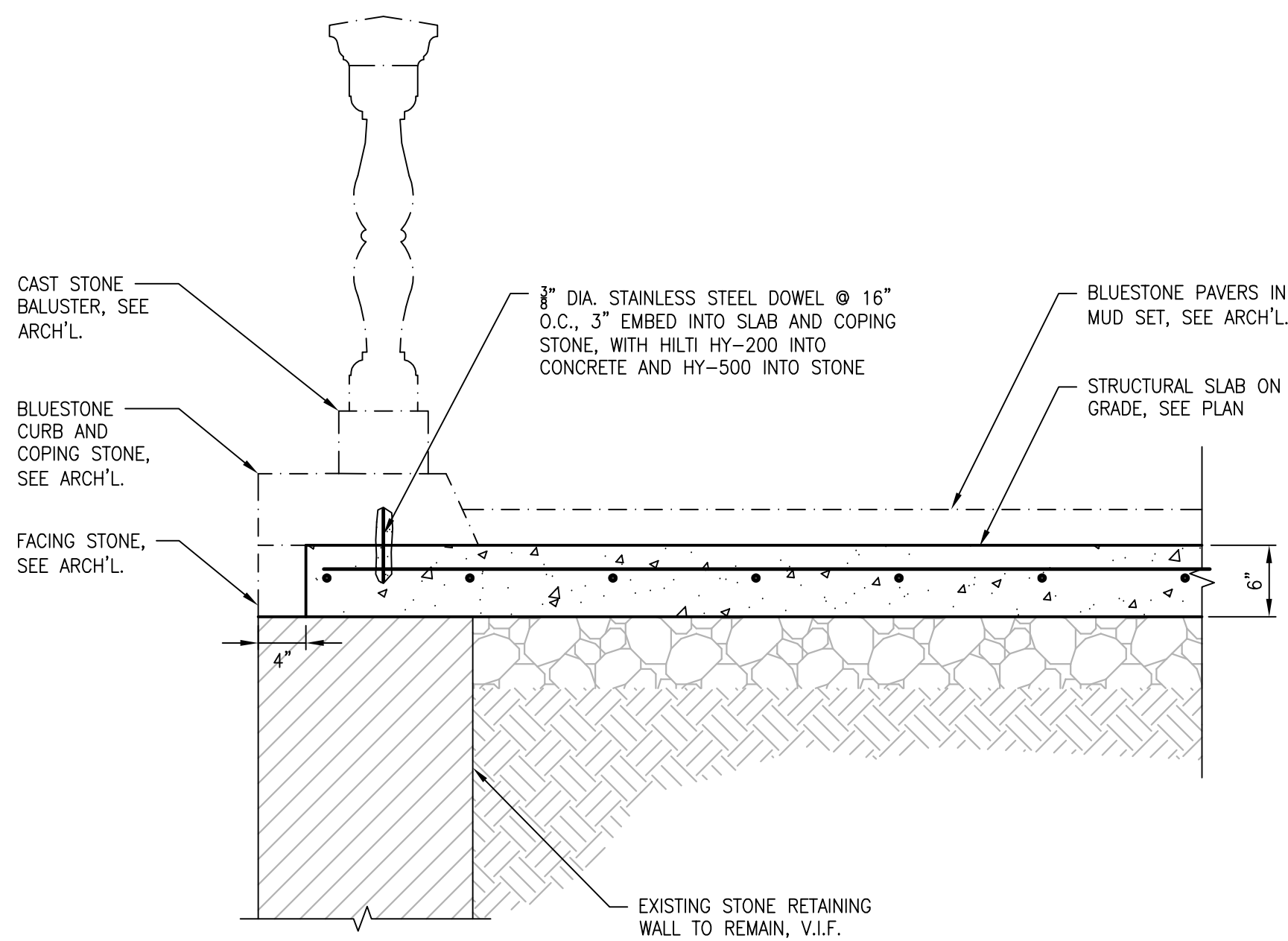
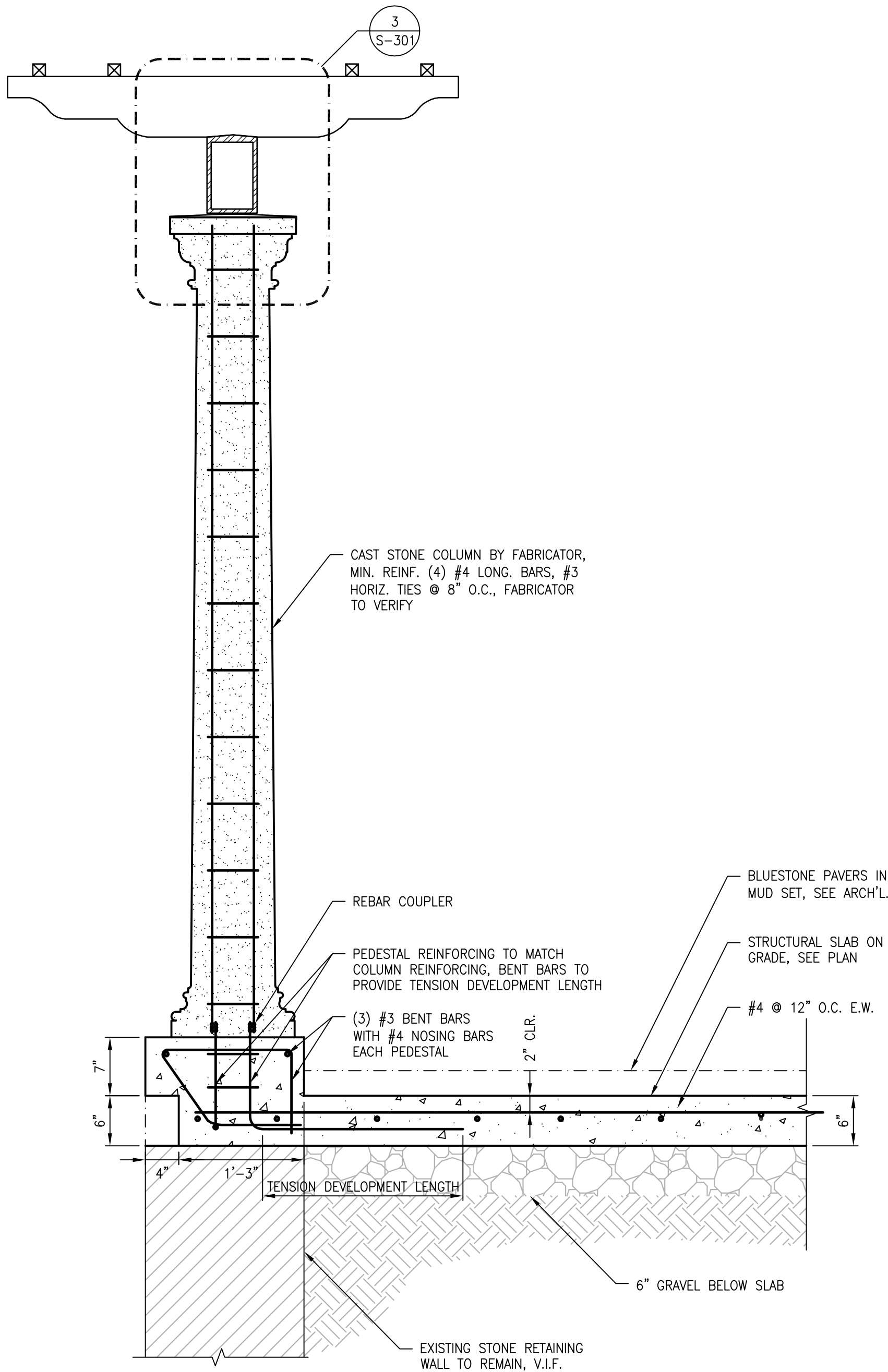
Title: PERGOLA PLANS

Scale: 3/8" = 1'-0"

Drawn by: MAM



S-101



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No. Date Description
Revisions:

Date Issued For
Submissions:

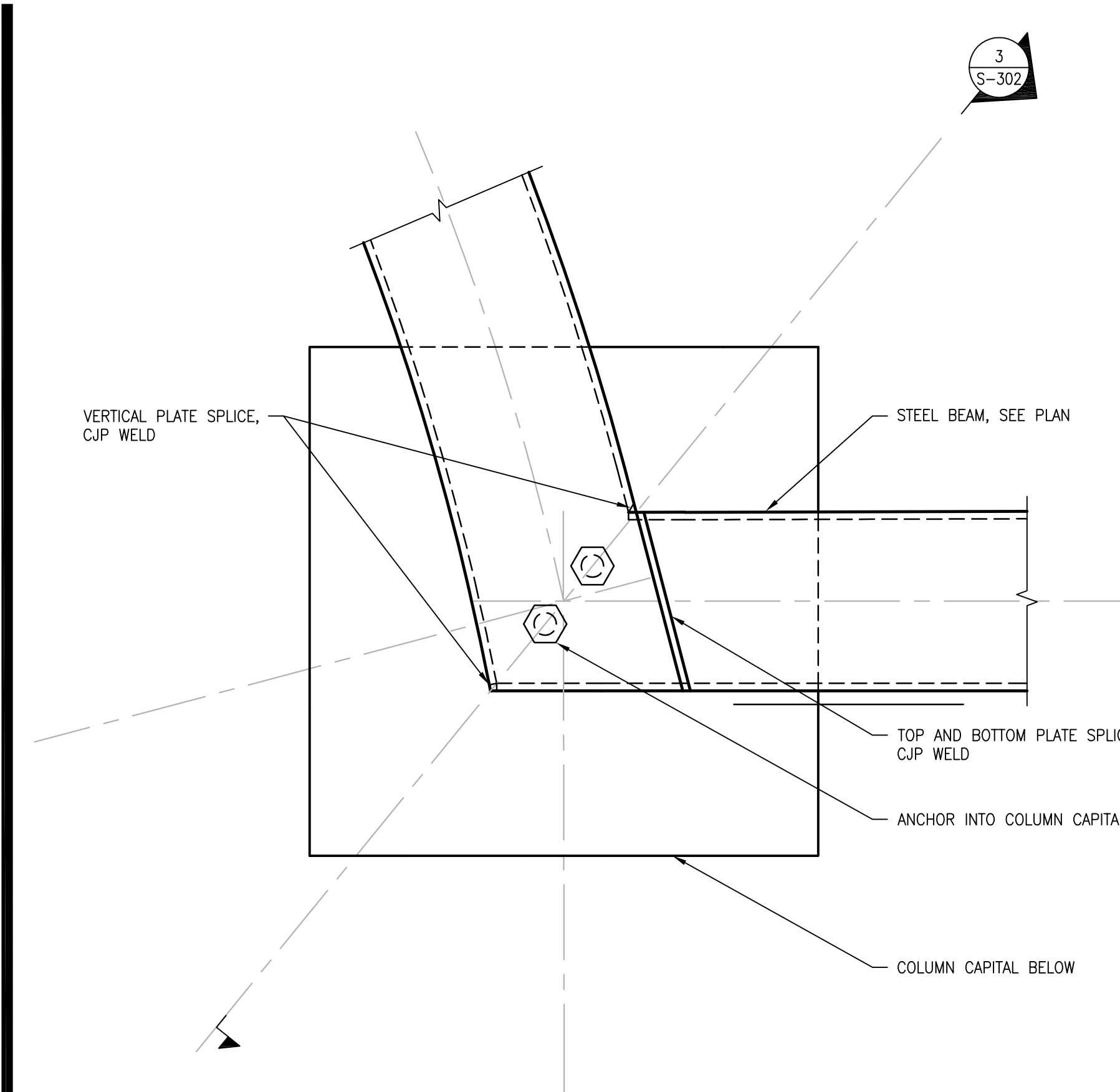
Project: VILLA LEWARO
67 BROADWAY,
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Date: OCTOBER 1, 2019
Title: PERGOLA SECTIONS

Scale: VARIES
Drawn by: MAM

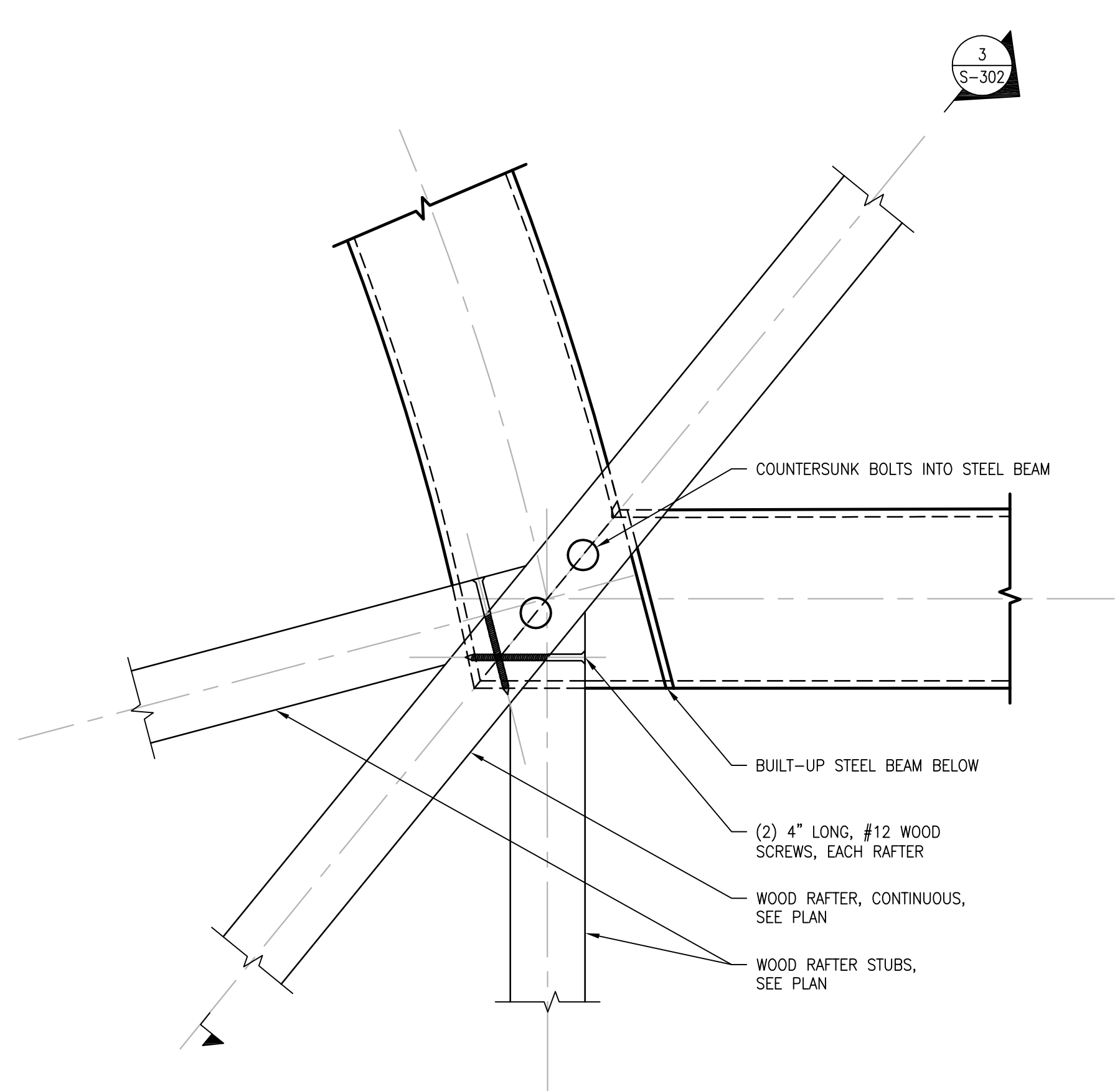


S-301



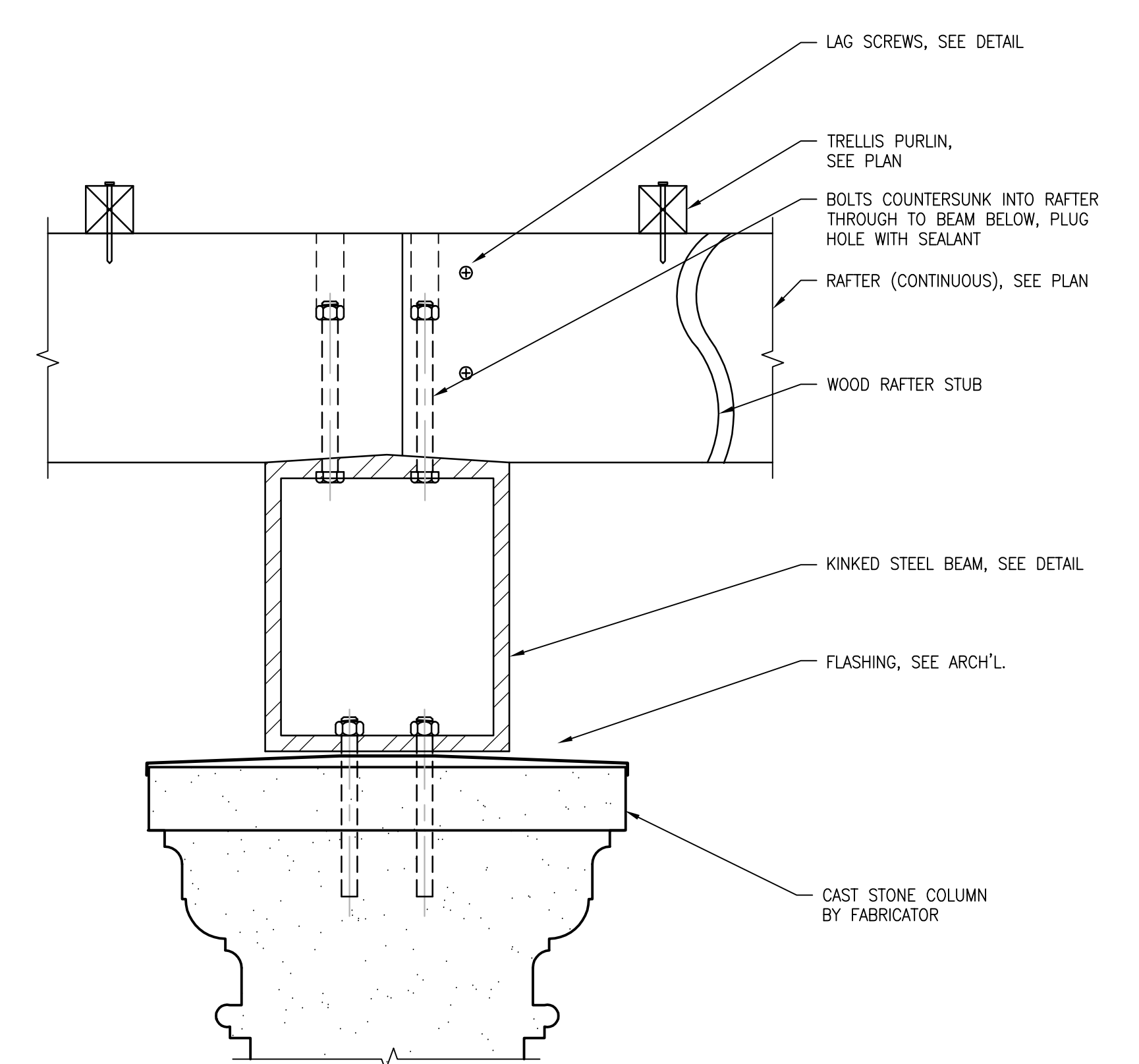
NOTES:
1. RAFTERS, PURLINS, AND ROOF SHEATHING NOT SHOWN FOR CLARITY

1
S-302
DETAIL
SCALE: 3"=1'-0"

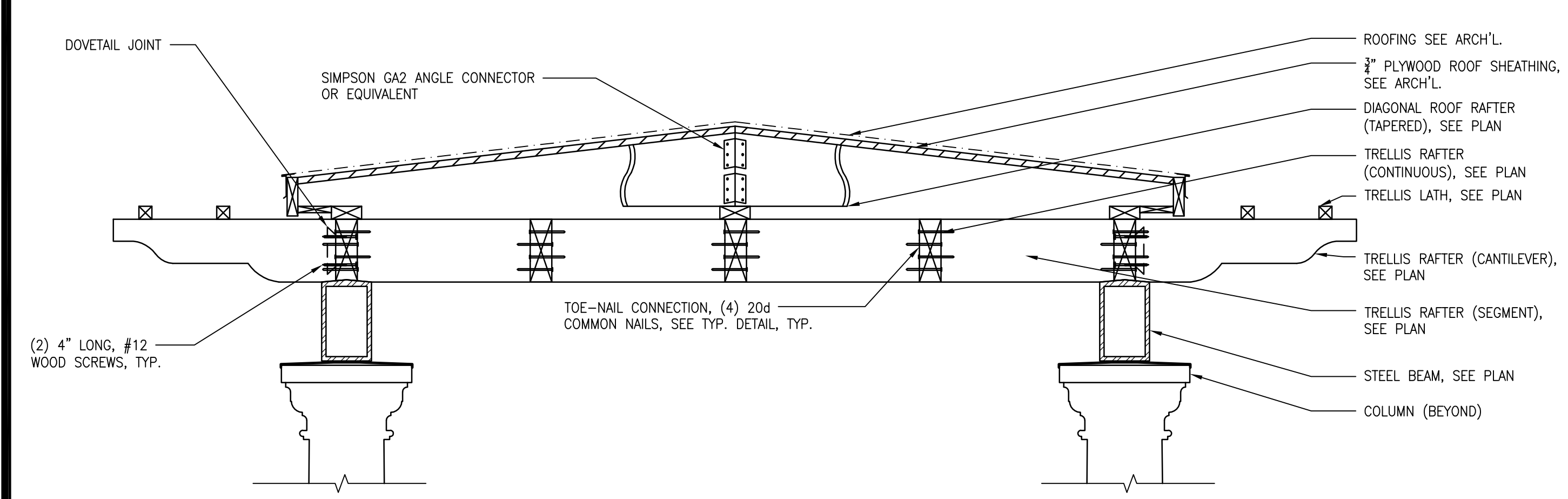


NOTES:
1. COLUMN CAPITAL, STEEL BEAM, PURLINS, AND ROOF SHEATHING NOT SHOWN FOR CLARITY

2
S-302
DETAIL
SCALE: 3"=1'-0"

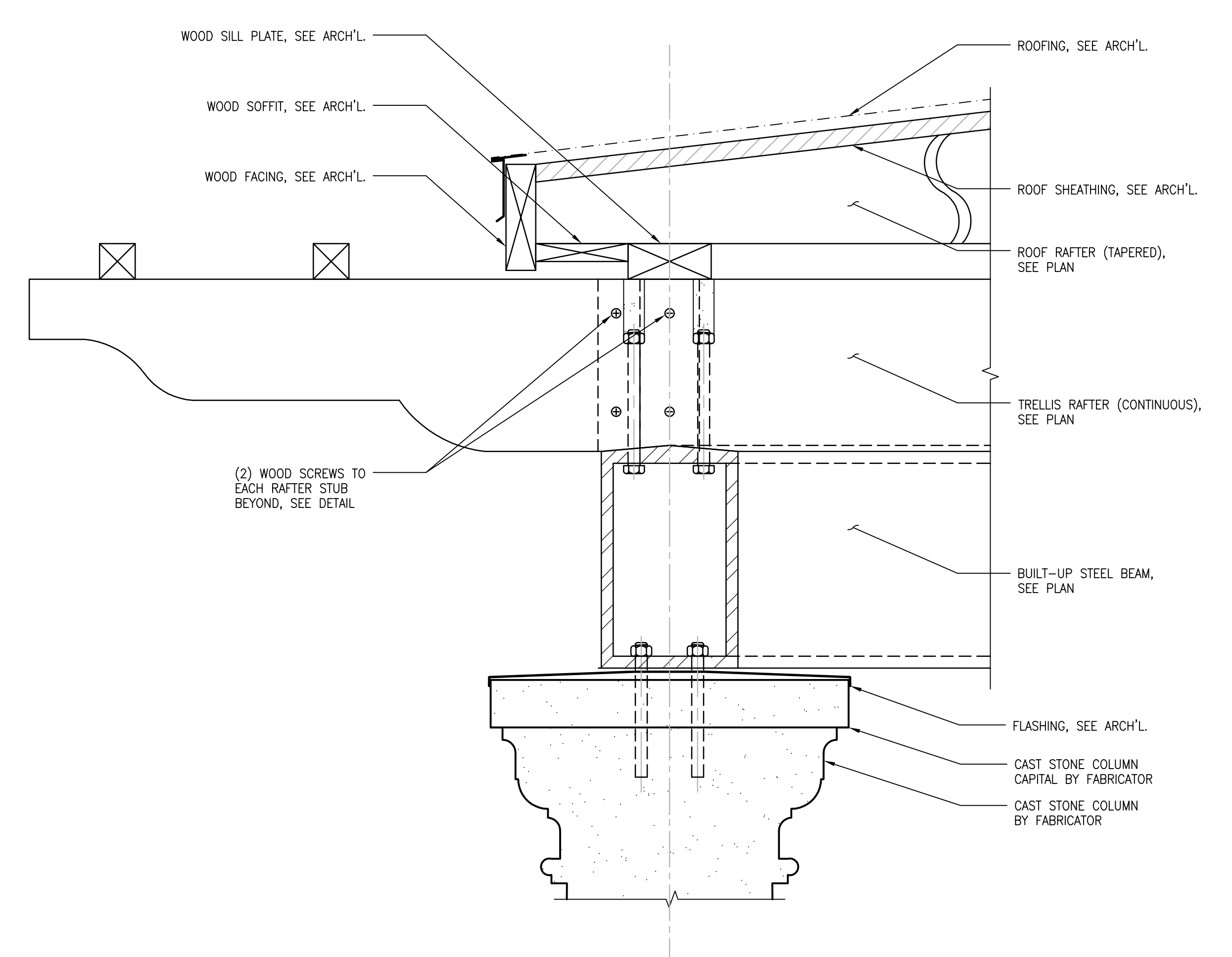


3
S-302
SECTION
SCALE: 3"=1'-0"



NOTES:
1. JACK RAFTERS NOT SHOWN FOR CLARITY

4
S-302
SECTION
SCALE: 1"=1'-0"



5
S-302
SECTION
SCALE: 3"=1'-0"

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No. Date Description
Revisions:

Date Issued For
Submissions:

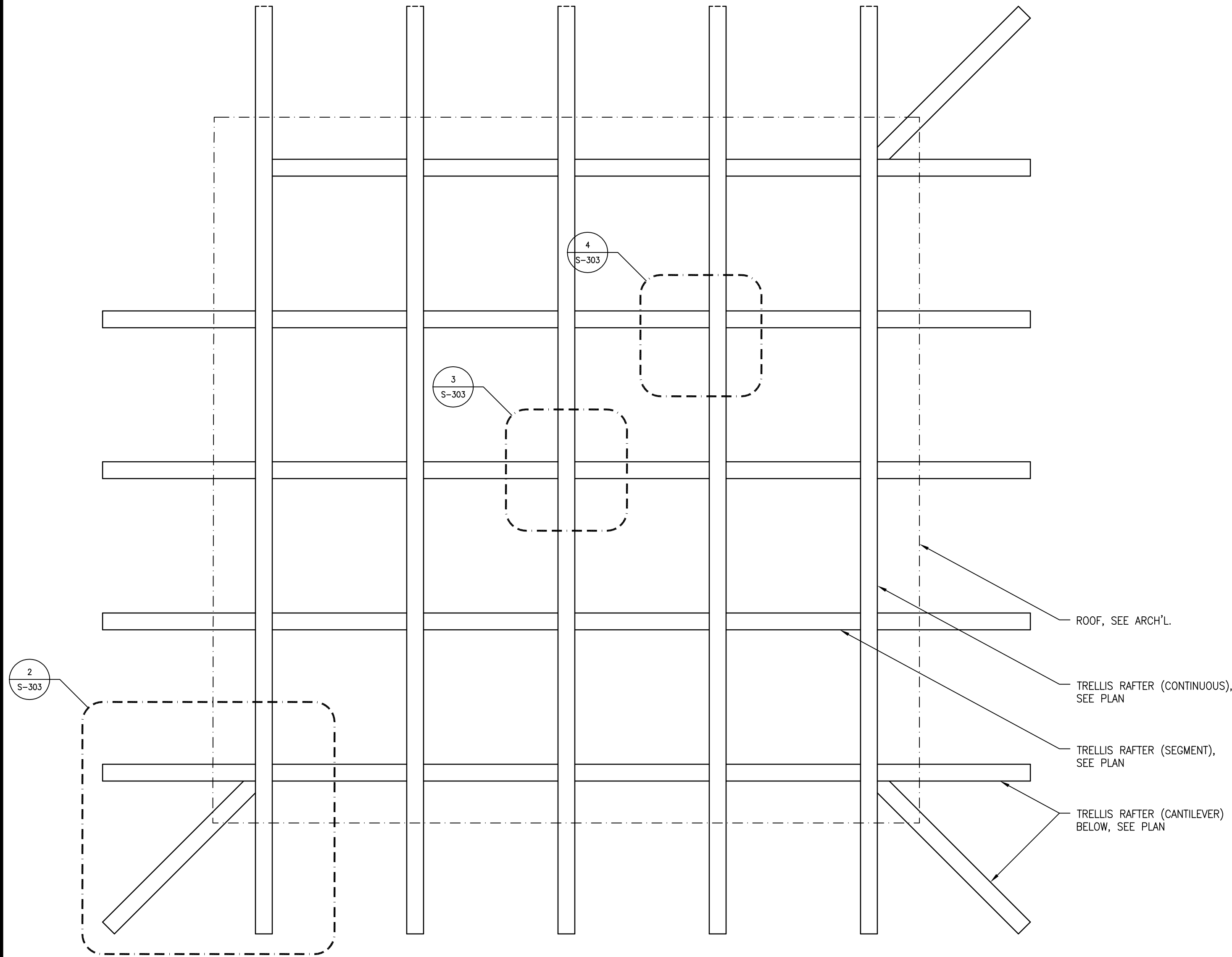
Project: VILLA LEWARO
67 BROADWAY,
IRVINGTON,
NY 10533

Date: OCTOBER 1, 2019
Title: PERGOLA SECTIONS

Scale: VARIES
Drawn by: MAM

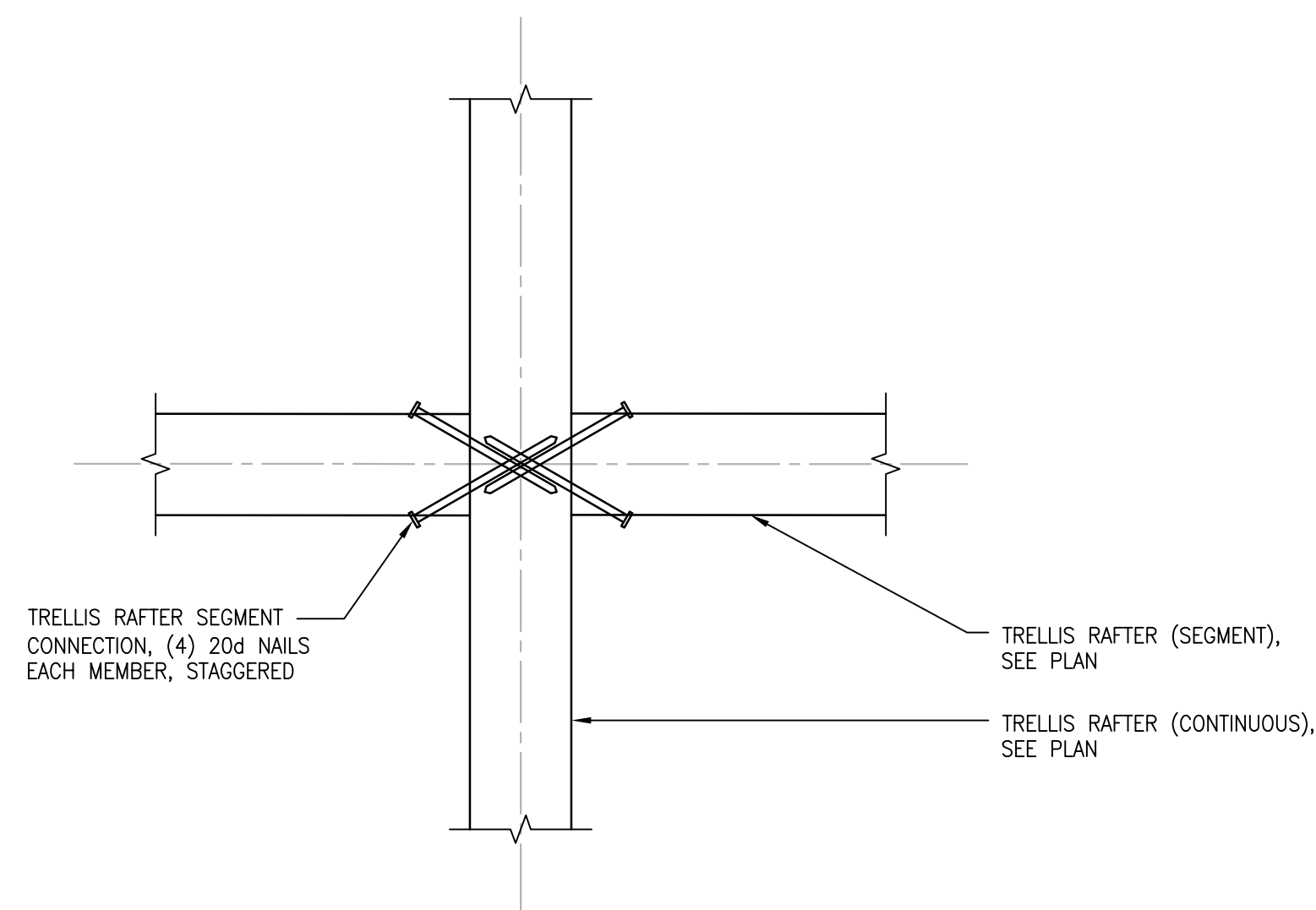


S-302



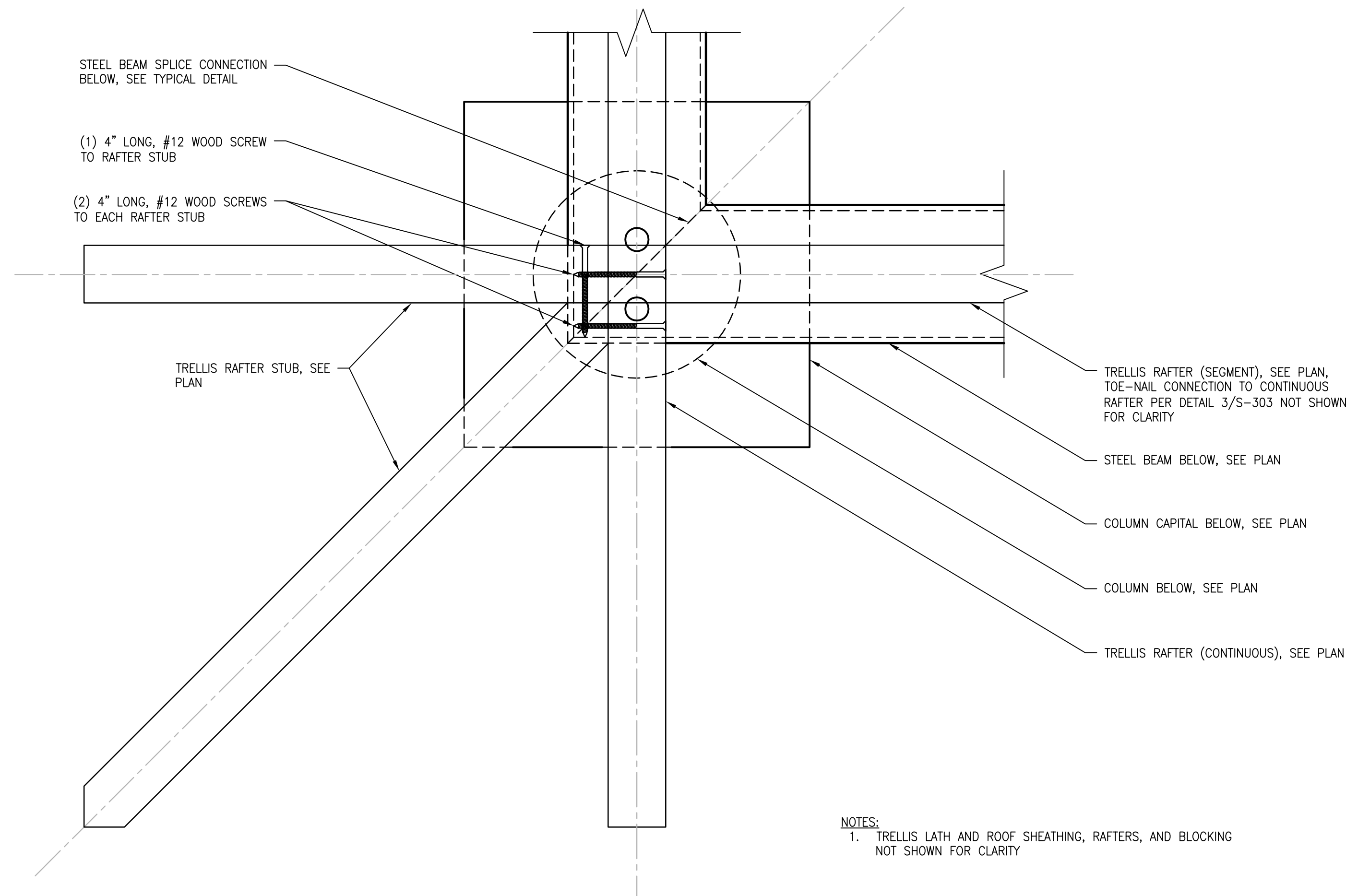
1
S-303

DETAIL
SCALE: 1"=1'-0"



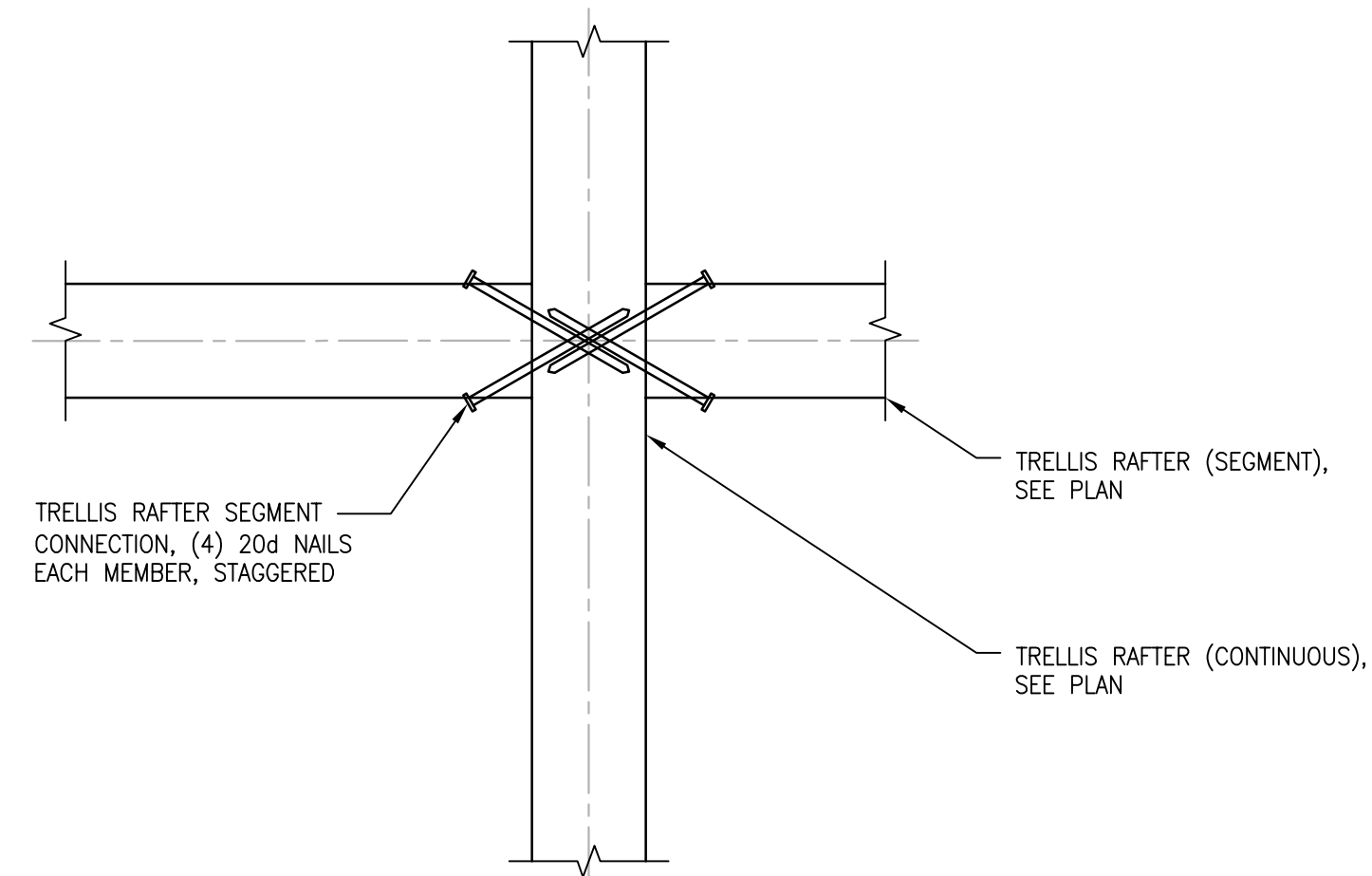
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S-303

DETAIL
SCALE: 3"=1'-0"



2
S-303

DETAIL
SCALE: 3"=1'-0"



4
S-303

DETAIL
SCALE: 3"=1'-0"

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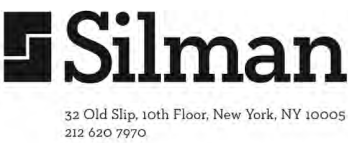
Title: PERGOLA TRELLIS
DETAILS

Scale: VARIES

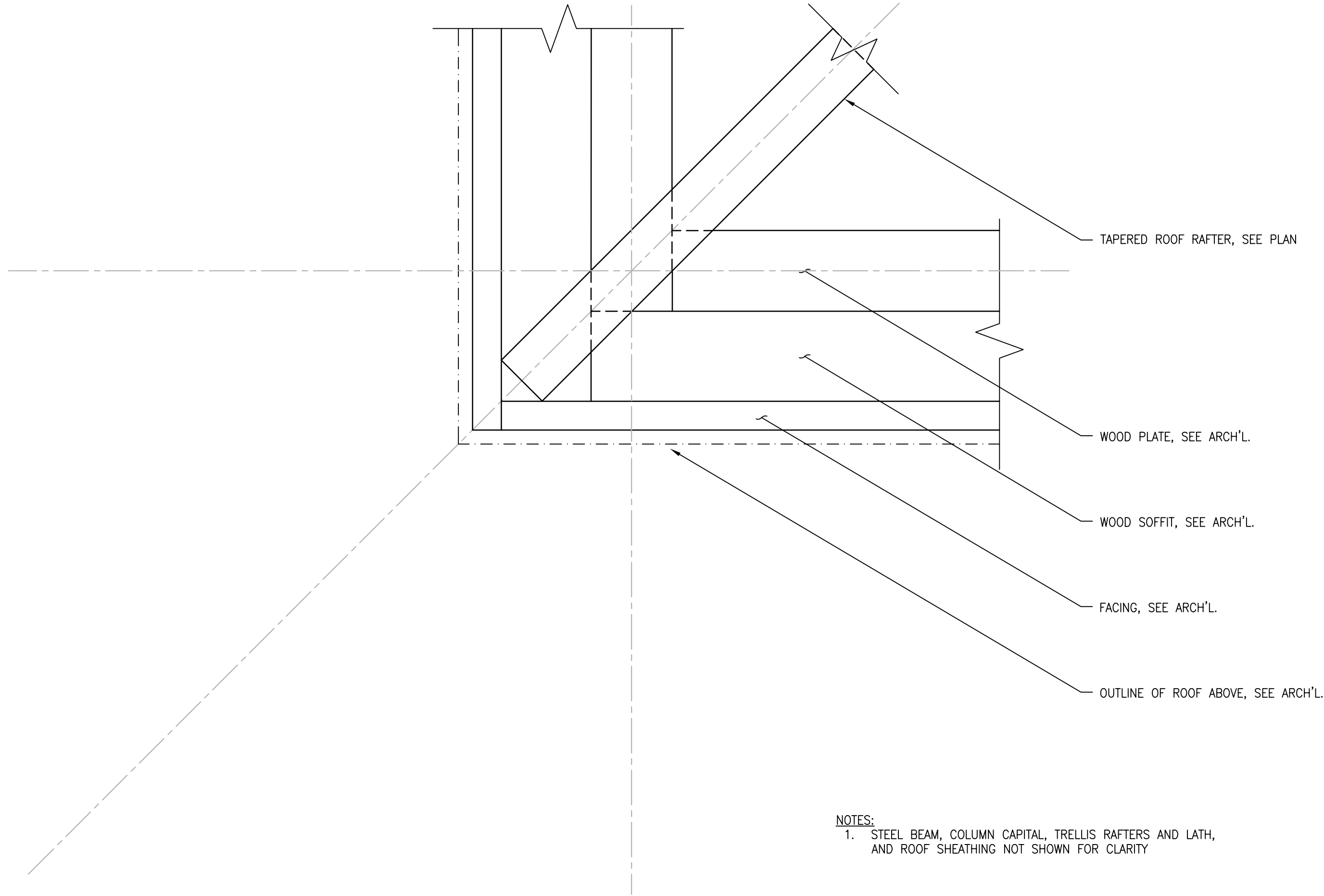
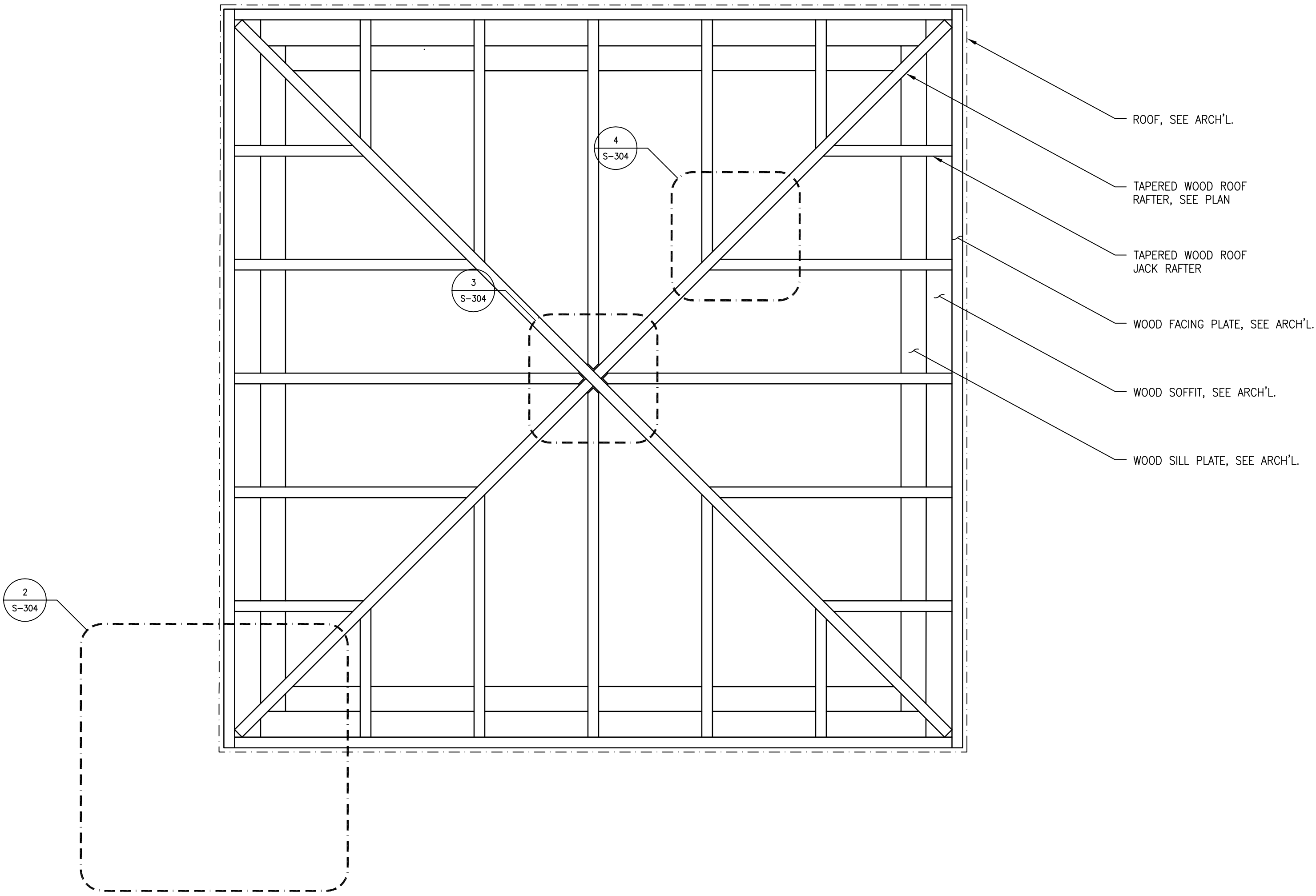
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S-303

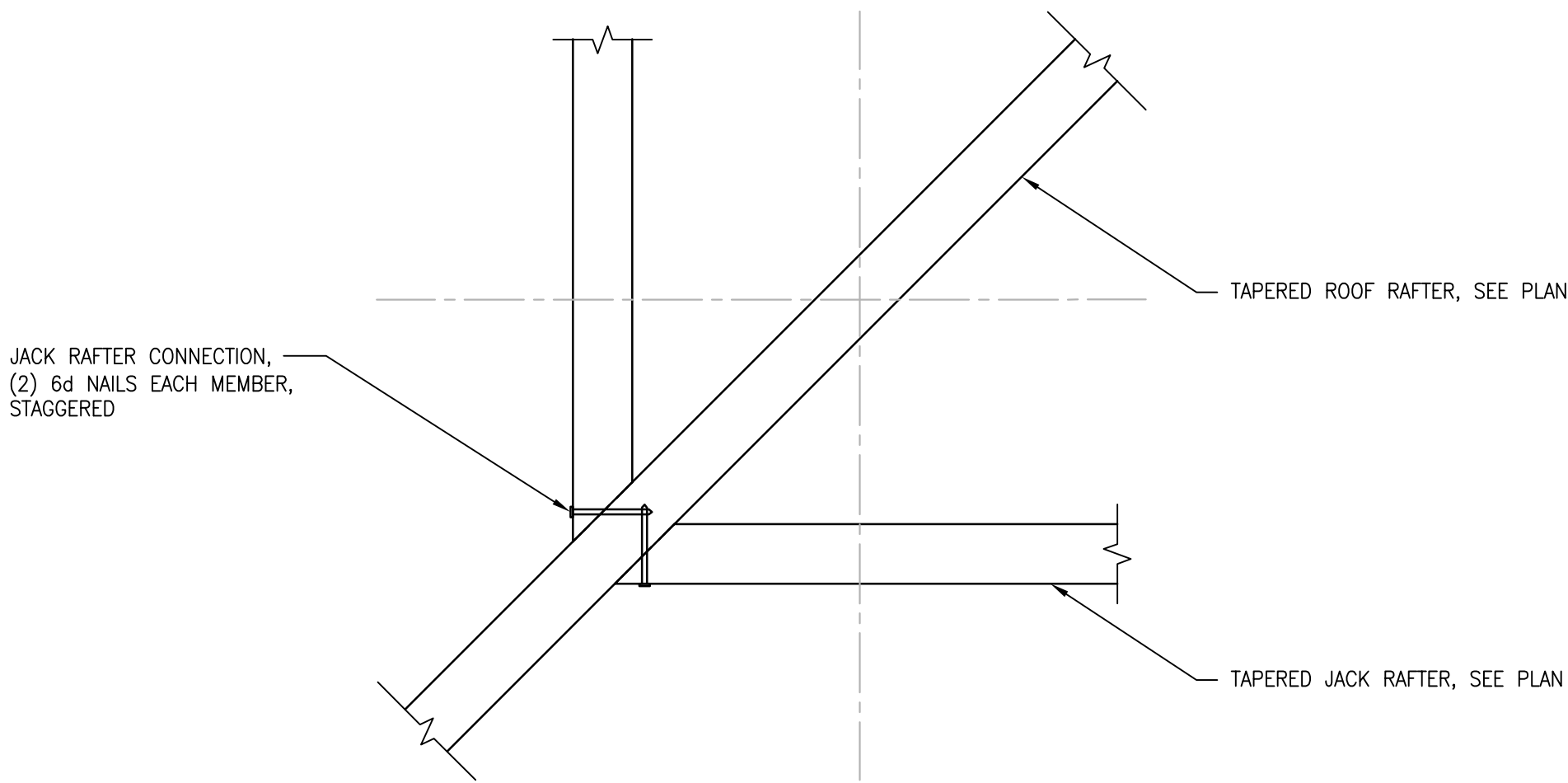
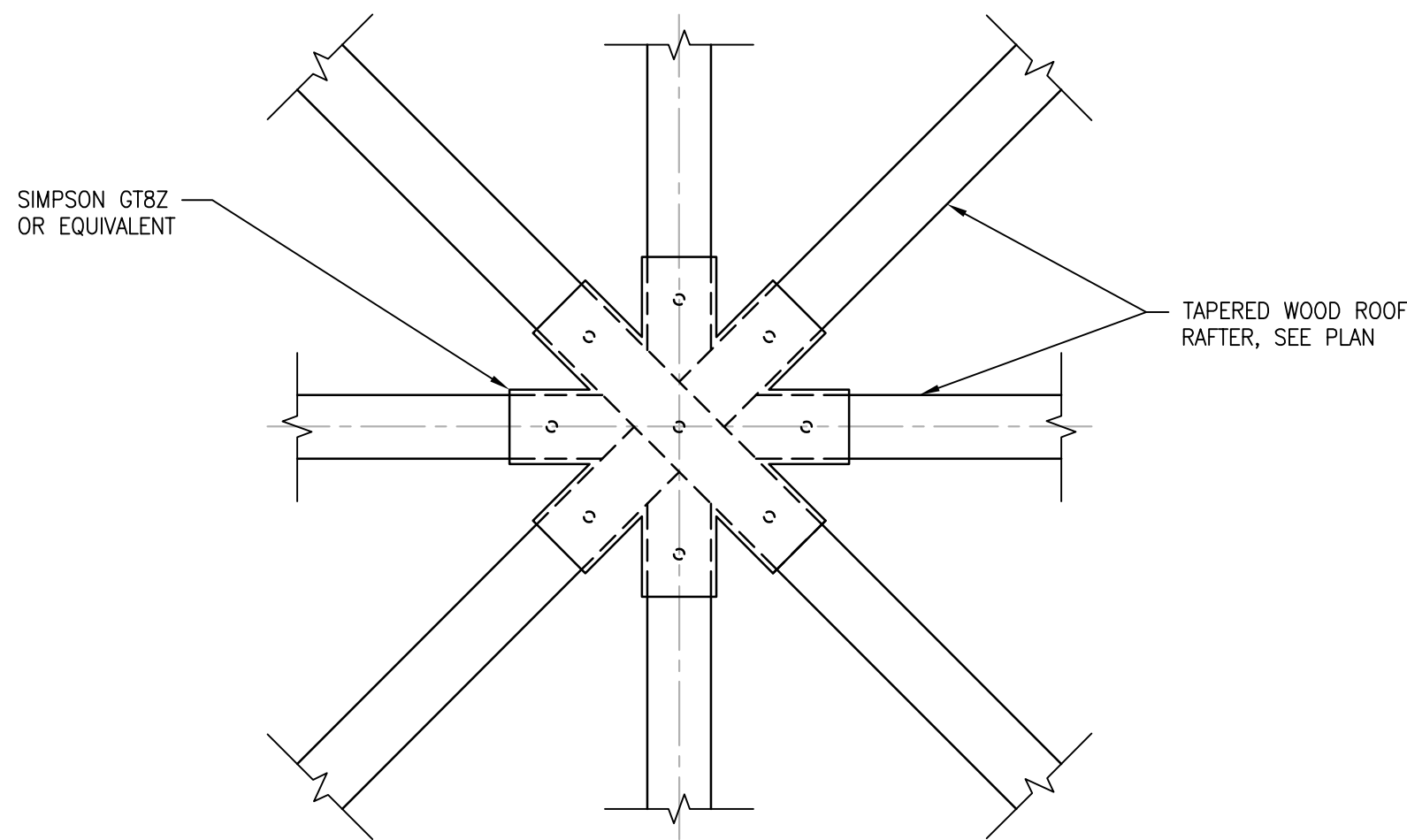


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1 DETAIL
S-304 SCALE: 1"=1'-0"

2 DETAIL
S-304 SCALE: 3"=1'-0"



3 DETAIL
S-304 SCALE: 3"=1'-0"

4 DETAIL
S-304 SCALE: 3"=1'-0"

No. Date Description
Revisions:

Date Issued For
Submissions:

Project: VILLA LEWARO
67 BROADWAY,
IRVINGTON,
NY 10533

Date: OCTOBER 1, 2019
Title: PERGOLA ROOF
DETAILS

Scale: VARIES
Drawn by: MAM



S-304

