

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	773	Date:	07/30/2021
Job Location:	2 S. Astor Place	Parcel ID:	
Property Owner:	Astorbuck Properties LLC - William Thompson	Property Class:	
Occupancy:	Mixed Use	Zoning:	
Common Name:			

Applicant	Contractor
John Malone	
Ferguson Malone Architecture	
One Bridge Street Suite 29 Irvington NY 10533	
9145643166	

Description of Work

Type of Work:	Interior Renovation/ Repair	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	195000.00	Property Class:	

Description of Work

Modification to the ground level of the existing building to be used as an open parking area. The project is to include new retaining wall at the west and north of the existing building to accommodate new open surface parking and a new exterior stair to provide access from the parking area to the commercial property to the north.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 2 S. Astor Place

Parcel Id:

AFFIDAVIT OF APPLICANT

I John Malone being duly sworn, depose and says: That s/he does business as: **Ferguson Malone Architecture** with offices at: **One Bridge Street Suite 29 Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I Astorbuck Properties LLC - William Thompson as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

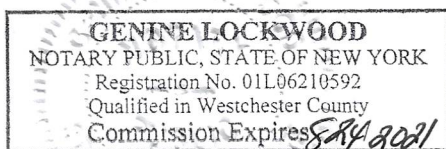
Owner phone number 914-594-6300 Owner email address 50 S. Buckhout St.

- ☒ William Thompson I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 2 day of August of 2021

Notary Public / Commission of Deeds

Applicant's Signature



INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
3,315

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections 500

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

195

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total 4,095

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

LEDme LED100 Step and Deck Light

By WAC Lighting



Call Us 866.428.9289

Product Options

Color Temperature: Amber , White , Red , Blue

Finish: Black , White Finish , Bronze , Brushed Nickel , Stainless Steel , Bronze on Brass , Graphite

Voltage: 120 Volt , 277 Volt

Details

- No remote driver needed
- Fits into 2" x 4" junction box (minimum interior dimensions of 3"L x 2"W x 2"D)
- Rated for 40,000 hours
- Designed in 2014
- Material: Diecast Aluminum / Stainless Steel/ Brass
- ADA compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, Lifetime Warranty on Finish
- Made In China



Dimensions

120 Volt Option Faceplate: Depth 0.19"

120 Volt Option Fixture: Width 5", Height 3", Depth 1.5"

277 Volt Option Faceplate: Depth 0.19"

277 Volt Option Fixture: Width 5", Height 3", Depth 1.5"

Notes:

Lighting

- 120 Volt Option: 3.9 Watt (68 Lumens) 120 Volt Integrated LED: CRI: 90
- 120 Volt Option: 3.9 Watt (68 Lumens) 120 Volt Integrated LED: CRI: 90 Lifespan: 40000 hours
- 277 Volt Option: 3.9 Watt (68 Lumens) 277 Volt Integrated LED: CRI: 90

Additional Details

Product URL:

<https://www.ylighting.com/ledme-led100-step-and-deck-light-by-wac-lighting-uu545924.htm>
|

Rating: ETL Listed Wet

Product ID: uu545924

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

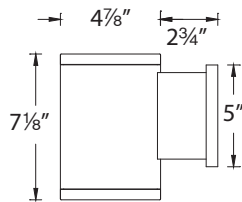


Created August 2nd, 2021

TUBE ARCHITECTURAL DS-WS05

LED Wall Mounts

WAC LIGHTING



Fixture Type:

Catalog Number:

Project:

Location:

PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

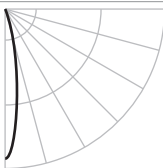

FEATURES

- High performance exterior rated LED wall mount light
- Fixture can install upside down to alter light distribution
- Solid aluminum construction
- 5 year warranty

SPECIFICATIONS

Input:	Universal voltage 120V - 277VAC, 50/60Hz
Dimming:	Electronic low voltage (ELV) : 100% - 5% 0-10V: 100% - 1%
Light Source:	High output 3 Step Mac Adam Ellipse COB Rated life of 60,000 hours at L70
Finish:	Electrostatically powder coated, white, black, bronze and graphite
Standards:	IP65 rated, ETL & cETL wet location listed, Energy Star® 2.2 rated Title 24 JA8-2016 Compliant
Operating Temp:	-13°F to 122°F (-25°C to 50°C)

ORDERING NUMBER

Diameter	Watt		Beam	Beam Angle	Color Temp	CRI	Reference Output ¹	Efficacy (lm/w)	Light Distribution	Finish		
DS-WS05	5"	25W	S Straight up or down	16°	927S	2700K	90	1825	10050	73		<div><div>BK</div>Black</div> <div><div>WT</div>White</div> <div><div>BZ</div>Bronze</div> <div><div>GH</div>Graphite</div>
					27S	2700K	85	2190	12057	88		
					930S	3000K	90	1895	10427	76		
					30S	3000K	85	2300	12644	92		
					35S	3500K	85	2350	12937	94		
					40S	4000K	85	2375	13062	95		
	5"	25W	N Straight up or down	25°	927S	2700K	90	1810	5280	72		
					27S	2700K	85	2170	6335	87		
					930S	3000K	90	1880	5478	75		
					30S	3000K	85	2275	6643	91		
					35S	3500K	85	2330	6797	93		
					40S	4000K	85	2350	6863	94		
	5"	17W	F Straight up or down	33°	927S	2700K	90	1900	4515	76		
					27S	2700K	85	2280	5417	91		
					930S	3000K	90	1970	4685	79		
					30S	3000K	85	2390	5681	96		
					35S	3500K	85	2445	5812	98		
					40S	4000K	85	2470	5870	99		
DS-WS0517	5"	17W	F Away from the wall	N/A	927A	2700K	90	2000		80		
					27A	2700K	85	2400		96		
					930A	3000K	90	2075	N/A	83		
					30A	3000K	85	2520		101		
					35A	3500K	85	2575		103		
					40A	4000K	85	2600		104		
	5"	17W	F Towards the wall	N/A	927B	2700K	90	2000		80		
					27B	2700K	85	2400		96		
					930B	3000K	90	2075	N/A	83		
					30B	3000K	85	2520		101		
					35B	3500K	85	2575		103		
					40B	4000K	85	2600		104		

DS-WS05-_____ - _____

¹Reference output shows 25W output. Multiply by 0.7 to determine output for 17W combinations.

Example: DS-WS05-F930A-WT

wacighting.com
Phone (800) 526.2588
Fax (800) 526.2585






Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

HUDSON LOFT PARKING LOT

2 Astor Place
Irvington, NY

- Submission for Planning Board Approval
August 19, 2020
- Resubmission for Planning Board Approval
September 23, 2020 **Revision** 
- Resubmission for Planning Board Approval
December 23, 2020 **Revision** 
- Resubmission for Planning Board Approval
January 20, 2021 **Revision** 
- Resubmission for Planning Board Approval
February 17, 2021 **Revision** 
- Submission for ARB Approval
August 2, 2021 **Revision** 

PROJECT NO.: 2005

FERGUSON MALONE ARCHITECTURE

General Notes:

Site plan is based on a topographic survey of property prepared by:

Paul J. Petretti
Civil Engineer and Land Surveyor
30 Gould Avenue
Dobbs Ferry, N.Y. 10522
Dated: March 3, 2020

Property at 2 Astor St. is own by Hudson Grey, LLC, property at 50 South Buckhout is own by Stamford Bridge, LLC. Astorbuck Properties, LLC own Hudson Grey, LLC and Stamford Bridge, LLC.

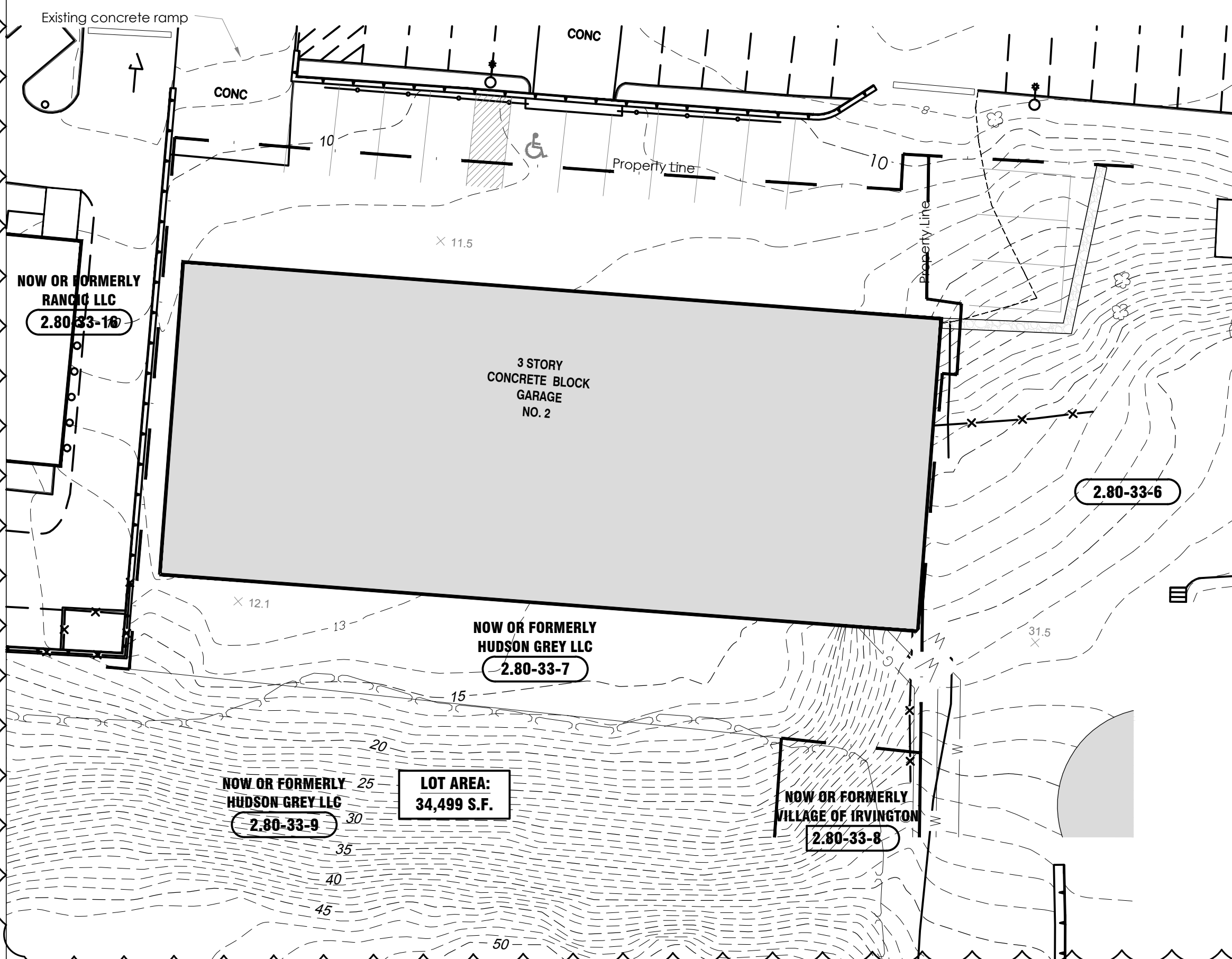
Astorbuck Properties, LLC		
William Thompson	Jeffrey Reich	Charles Flock
136 Hariman Rd	40 Osceola Ave	42 West Clinton Ave
Irvington NY 10533	Dobbs Ferry, NY 10522	Irvington, NY 10533

Scale 1"=20'

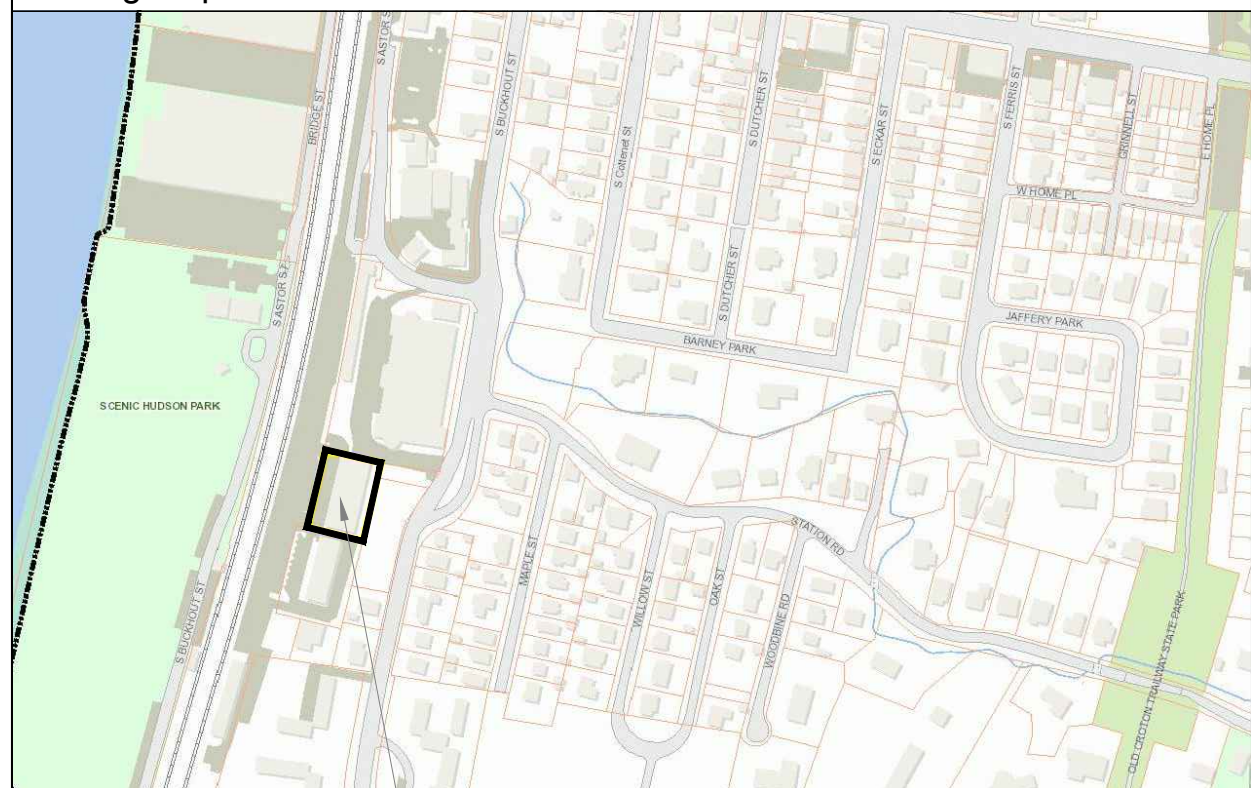
General Information

ADDRESS	ZONING DISTRICT	PARCEL ID / BLOCK - LOT		
2 S. Astor Place, Irvington, New York 10533	B	2.80-33-7		
Use Requirements - As Per § 224-36				
CATEGORY	REQUIRED/ALLOWED	EXISTING	PROPOSED	REMARK
Use	B/1F-5	B/1F-5	B/1F-5	
Lot Requirements - As Per § 224				
CATEGORY	REQUIRED/ALLOWED	EXISTING	PROPOSED	REMARK
Lot Area S.F.	N/A	16,676.00	No Change	Lot on Zone B: 16,676 SF - Lot on Zone 1f-5: 17,823
Lot Width Ft.	N/A		No Change	
Lot Depth Ft.	N/A		No Change	
Yard Requirements - As Per § 224-37				
CATEGORY	REQUIRED/ALLOWED	EXISTING	PROPOSED	REMARK
Front Yard (East) Ft.	30	>30	>30	As per Zone 1F-5
Front Yard (West) Ft.	TBD	24.75	TBD	As determined by the Planning Board
Side Yard (North) Ft.	N/A	N/A	No change	
Side Yard (South) Ft.	TBD	3.75	No change	As determined by the Planning Board
Coverage Requirements - As Per § 224-36 (15) C				
CATEGORY	REQUIRED/ALLOWED	EXISTING	PROPOSED	REMARK
Principal & Accessory Building Coverage	16,676	9,230	9,230	
Total Impervious Coverage	16,676	13,960	16,700	
Building Size Requirements - As Per § 224-38				
CATEGORY	REQUIRED/ALLOWED	EXISTING	PROPOSED	REMARK
Building Height	3 STY / 35 FT.	2 STY / 33.5' FT	No Change	

General Notes:

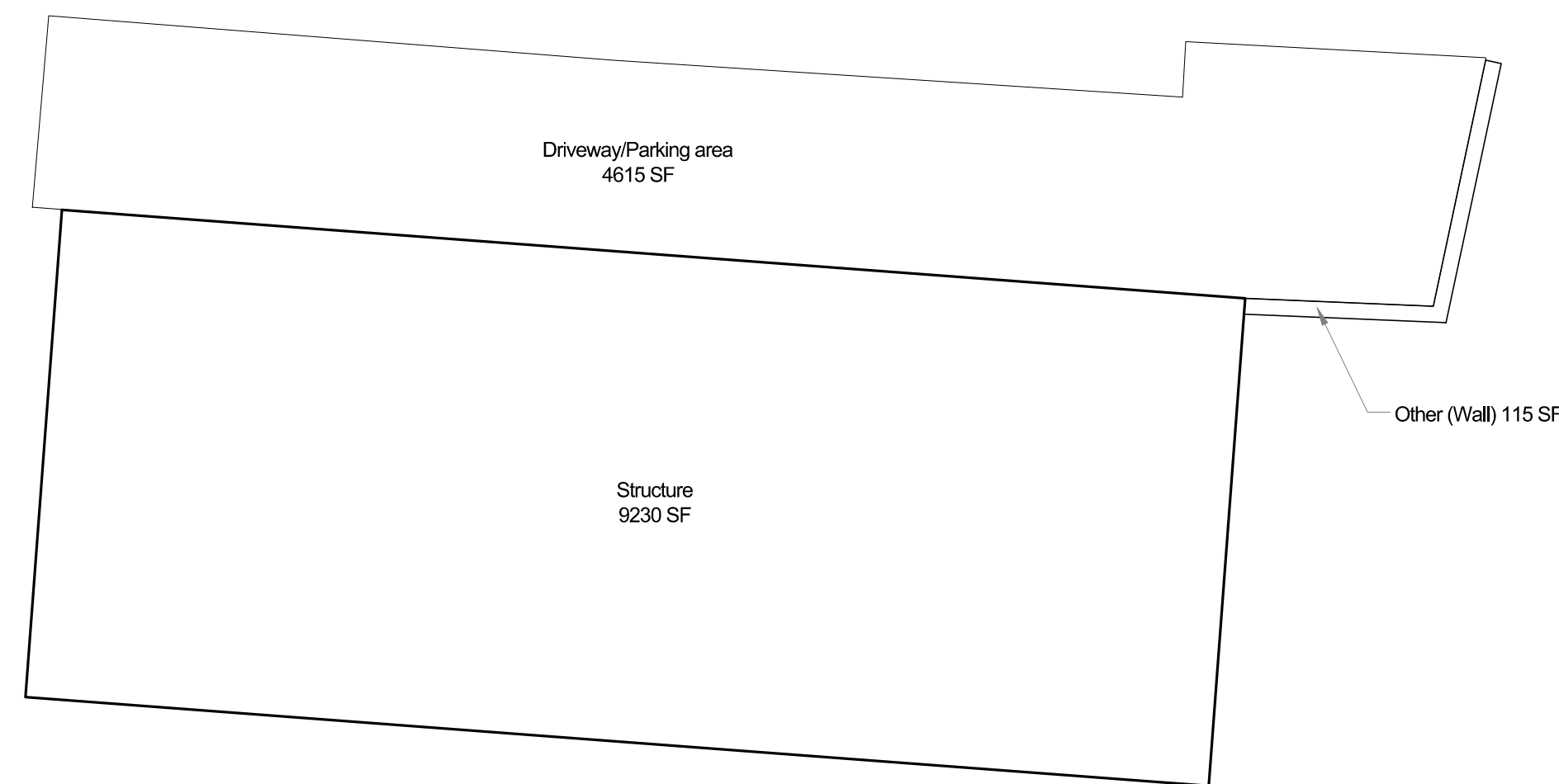


Coverage Calculation

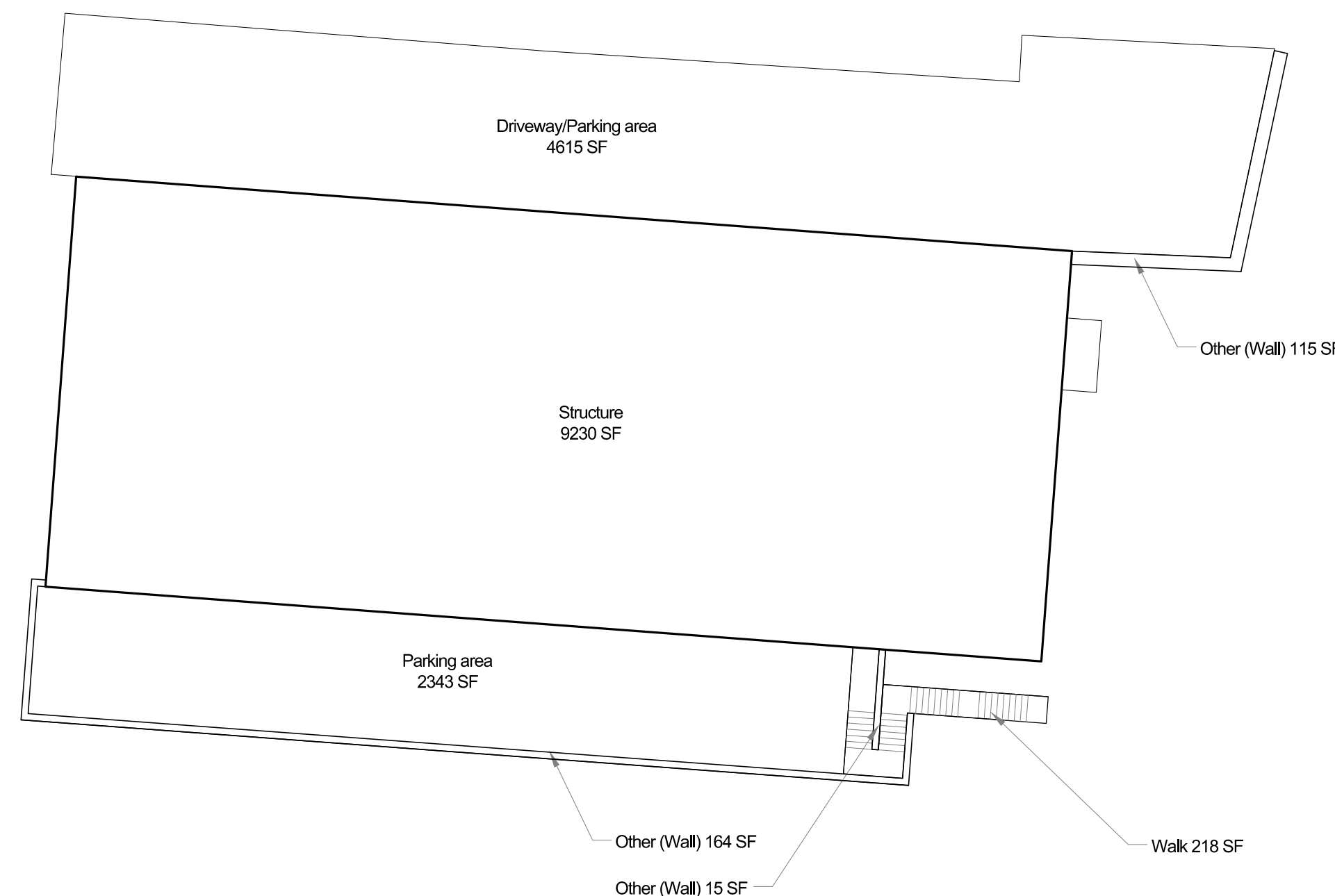


Area of Subject

Existing Coverage	Calculations
Structures	9,230
Patios & Walks	0
Other(Retaining Walls, AC Pads)	115
Total Principal & Accessory Bldg. Coverage	9,345
Driveway/Parking Area	4,615
Total Impervious Coverage	13,960



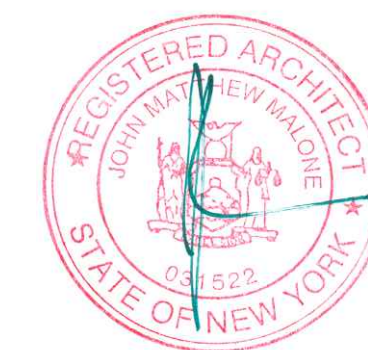
Proposed Coverage	Calculations
Structures	9,230
Patios and Walks	218
Other(Retaining Walls, Conc. Pads)	294
Total Principal & Accessory Bldg. Coverage	9,742
Driveway/Parking Area	6,958
Total Impervious Coverage	16,700



2 Astor Place
Irvington, NY

[illegible]

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 503

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Elmsford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 56
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7267
algonq@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-59240401 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Merheb, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmerheb@merengineering.com

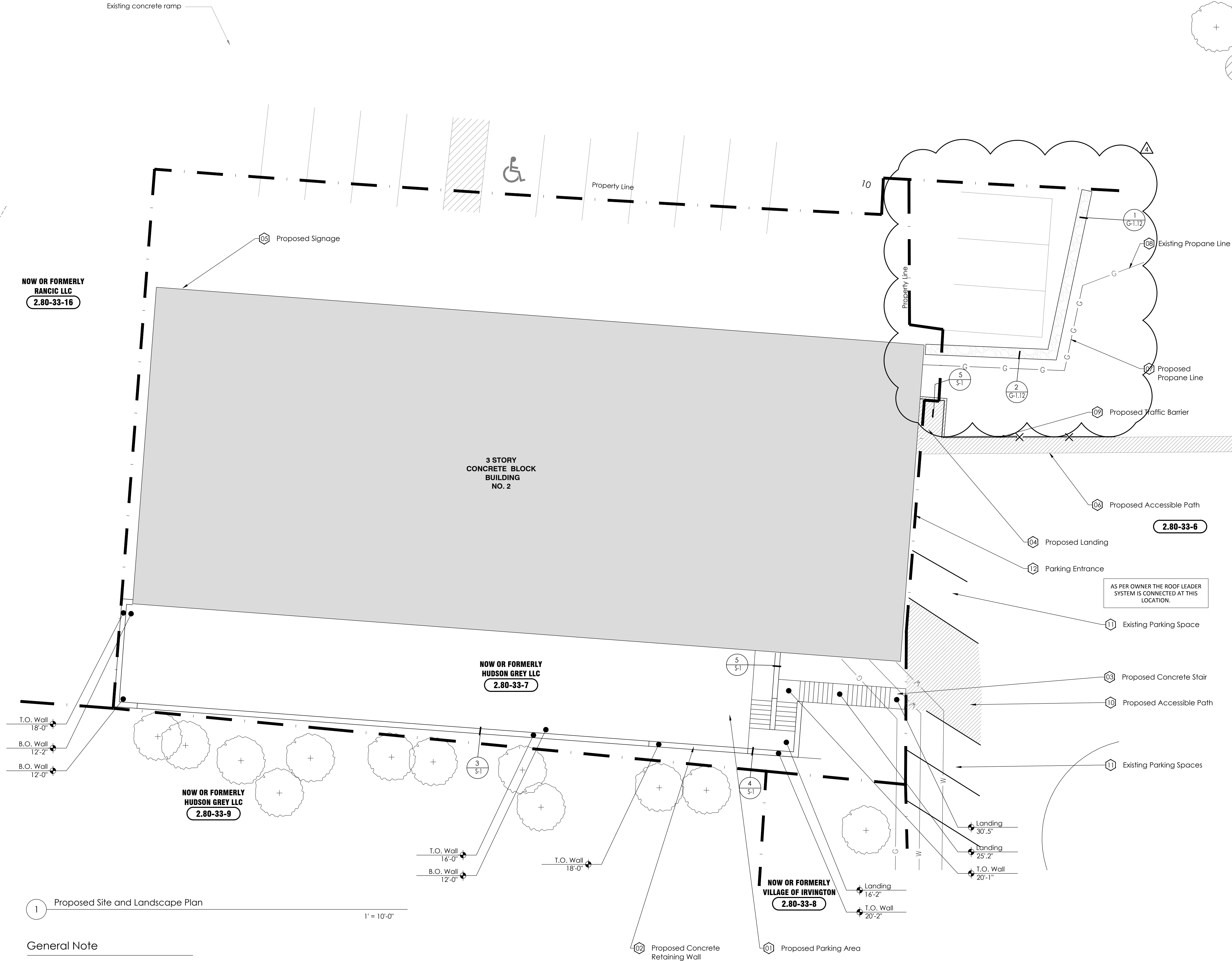
Zoning Analysis

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

G-1.00

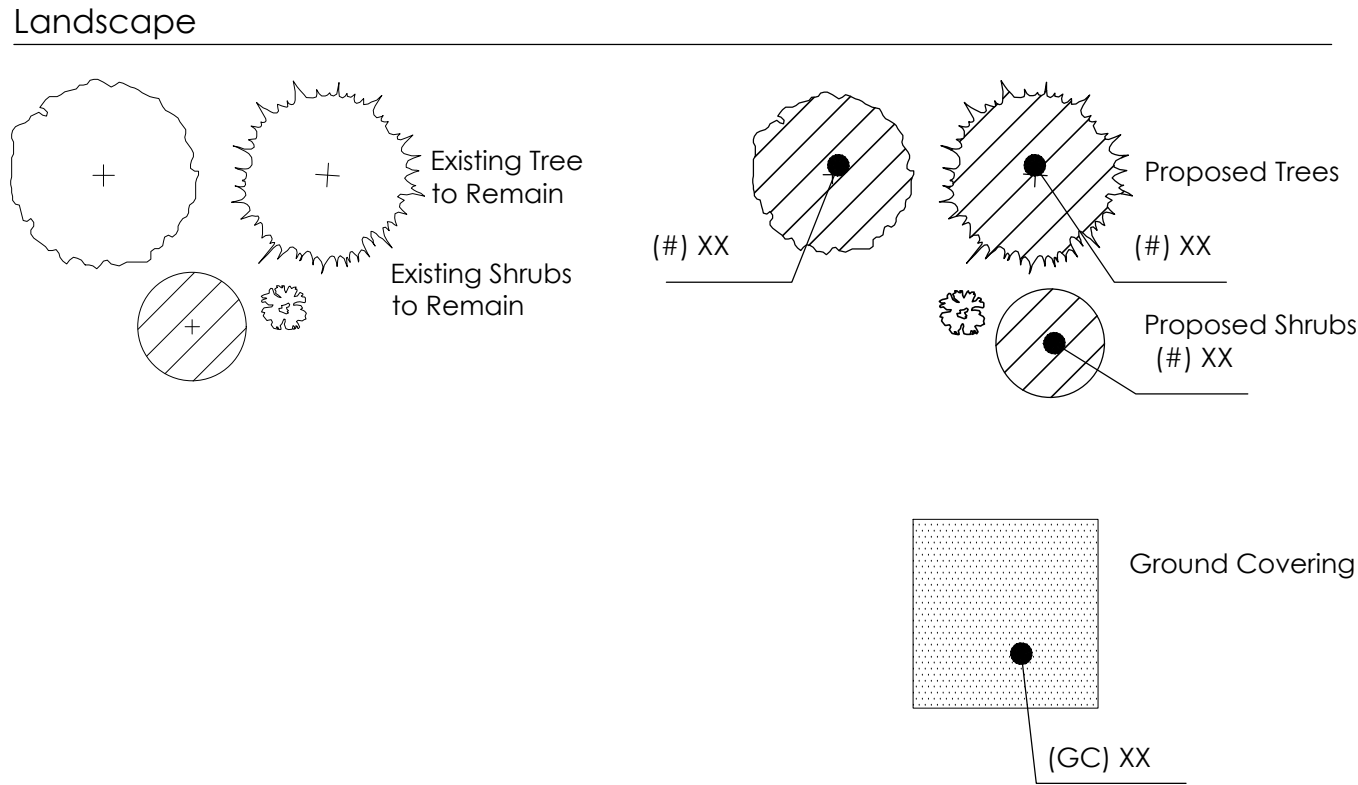
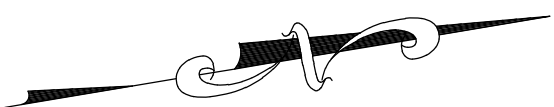


1 Proposed Site and Landscape Plan
1" = 10'-0"

General Note

Site plan is based on a topographic survey of property prepared by:

Paul J. Petretti
Civil Engineer and Land Surveyor
30 Gould Avenue
Dobbs Ferry, N.Y. 105
Dated: March 3, 2020



- General Notes**
1. Cut/fill material to be approximately the same. No cut material to be removed from site & no fill material to be imported to site.
 2. The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen situation and erosion of disturbed soils.
 3. As-built drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining certificate of occupancy.
 4. Existing utilities will not be disturbed by proposed work.
 5. The infiltration system must not be connected until construction is complete and the site is stabilized.
 6. Infiltration system access ports shall be shown on the 'As-Built'.
 7. All disturbed areas not indicated to be planted with groundcover or other plantings are to be seeded as lawn, u.n.o.
 8. For construction sequence, see civil drawings.
 9. Any soil removed will be tested to confirm it is not hazardous. Prior to excavation and removal of soil from the site, the site shall be evaluated for contamination. Once the nature and extent, if any, of contamination has been determined, the contamination shall be addressed and disposed of in accordance with NYSDEC CP-51 policies and all local and state requirements. The Village shall be notified a minimum of 24 hours prior to sampling.

- Key Notes**
- 01 Proposed Parking Area. See proposed Plan, First Floor
 - 02 Proposed Concrete Retaining Wall
 - 03 Proposed Concrete Stair
 - 04 Proposed Landing. Proposed landing for new stair egress.
 - 05 Proposed Signage. Proposed signage indicating parking limitations. Specifications to be determined.
 - 06 Proposed Accessible Path - Proposed stripped path to accessible ground floor entrance to adjacent office building.
 - 07 Proposed Propane Line - Existing line to be reinstalled as indicated. See detail on Sheet G-1.12.
 - 08 Existing Propane Line - Modify existing propane line as indicated.
 - 09 Proposed traffic barrier - See detail on Sheet G-1.12.
 - 10 Proposed Accessible Path - Proposed stripped path adjacent to existing "No Parking Spot".
 - 11 Existing Parking Spaces - Existing Parking Spaces to remain.
 - 12 Parking Entrance - Existing Parking Entrance location to remain - See plan on Sheet A-2.01.

Hudson Loft Parking Lot

2 Astor Place
Irvington, NY

NO.	DATE	ISSUE/REVISION
4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

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IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stamford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algon@optonline.net

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Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-395-0400 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
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35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmethelb@jmerengineering.com

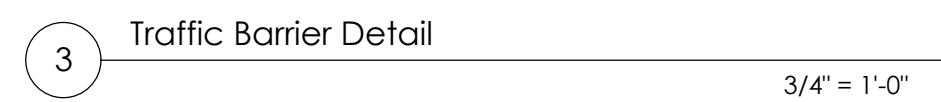
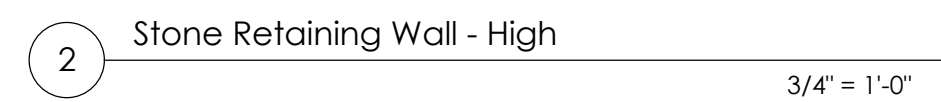
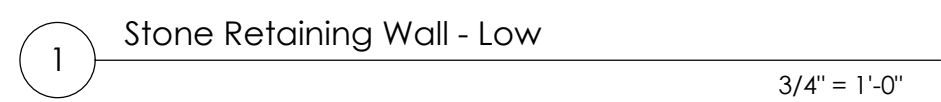
Proposed Site Plan

SCALE: As Noted

DATE: 08/19/2020

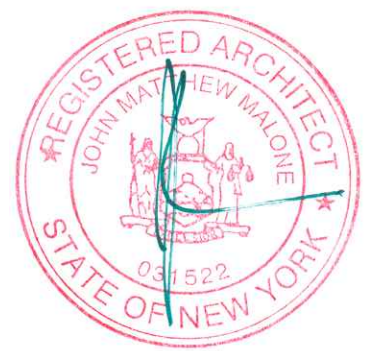
JOB: 2005

G-1.11



3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission
NO.	DATE	ISSUE/REVISION

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



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T: 914-909-0420

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CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP I
7 Skyline Drive, Hawthorne, NY 10532
T: 914-5924040 (Ext. 281)
bdempsey@pderesults.com


STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Merheb, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmerheb@jmerengineering.com

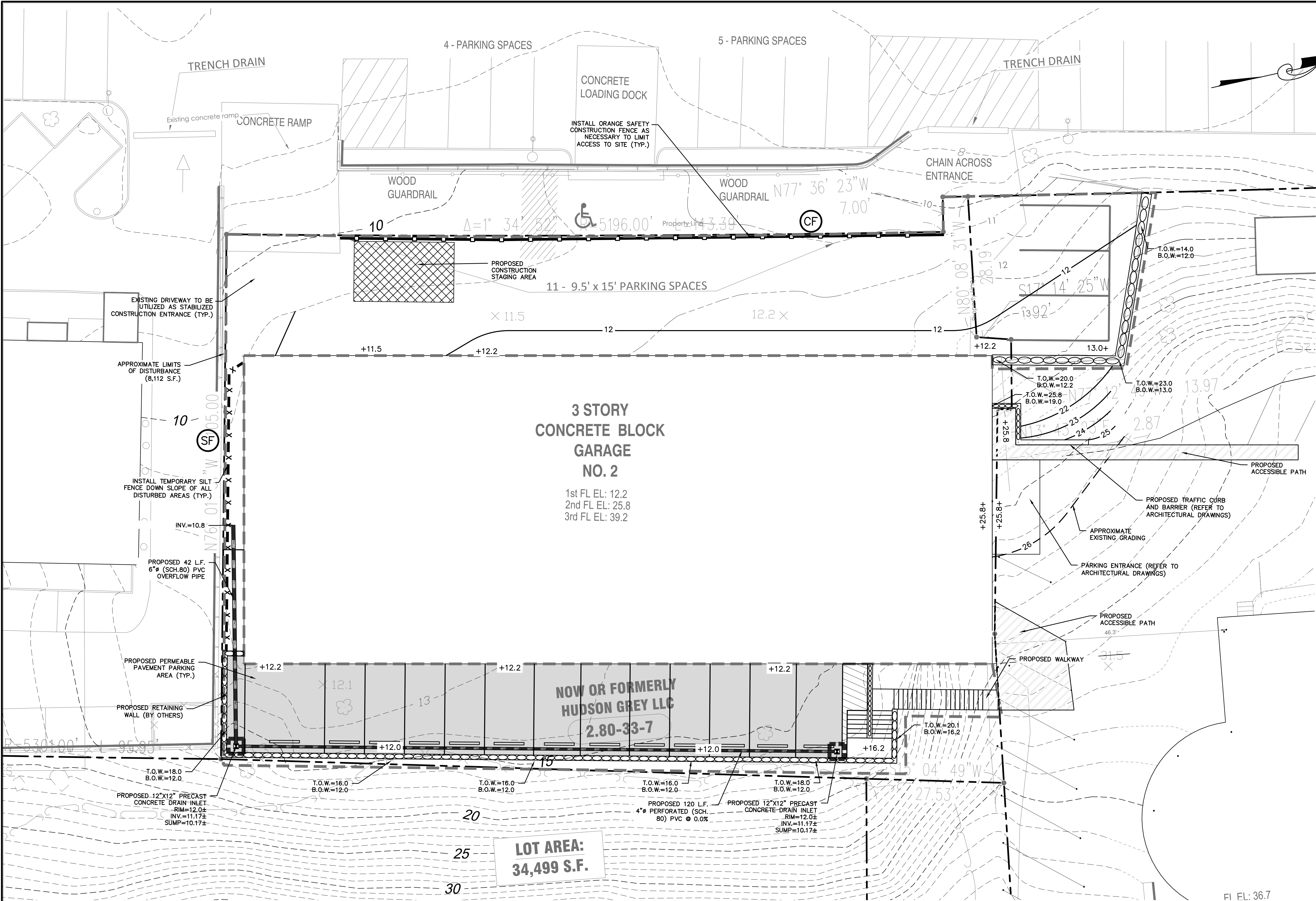
SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

G-1.12

 New Sheet



- NOTES:**
1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
 2. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
 3. ALL EXISTING TREES SHALL BE PROTECTED WITH A MINIMUM OF 6-INCHES OF WOOD CHIPS OR MULCH IN AREAS PRONE TO COMPACTION DUE TO CONSTRUCTION ACTIVITIES.
 4. IMPORTED FILL MUST BE CERTIFIED AND APPROVED BY THE VILLAGE BUILDING INSPECTOR OR ENGINEER.
 5. WHEN TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL NEVER BE PULLED WITH MACHINERY. WHERE NECESSARY, CUT ROOTS CLEANLY AND BRIDGE WHEN POSSIBLE.
 6. WORK WITHIN DRIP LINE OF TREES SHALL BE COMPLETED BY HAND.
 7. THE RESTORATION WORK FOR THE ROADWAY AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND HIGHWAY SUPERINTENDENT.

STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

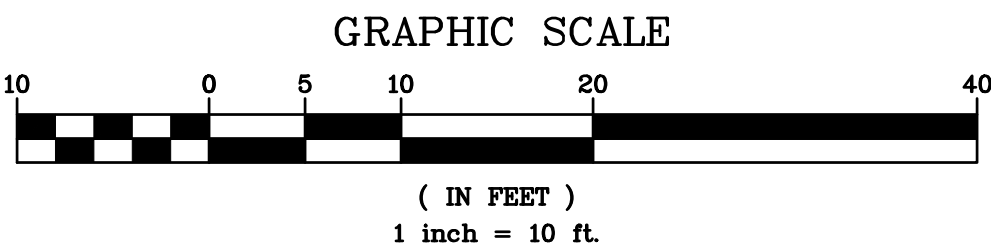
THE FOLLOWING MAINTENANCE PLAN HAS BEEN DEVELOPED TO MAINTAIN THE PROPER FUNCTION OF ALL DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES:

- MINIMIZE THE USE OF ROAD SALT FOR MAINTENANCE OF DRIVEWAY AREAS.
- DRAINAGE INLETS SHALL BE VACUUM SWEEPED TWICE A YEAR, AT THE CONCLUSION OF THE LANDSCAPE SEASON IN THE FALL AND AT THE CONCLUSION OF THE SAND AND DE-ICING SEASON IN THE SPRING. INSPECT EXFILTRATION/ATTENUATION GALLERY FOR SEDIMENT AND REMOVE SAME IF FOUND.
- PERVIOUS PAVEMENT SHALL BE VACUUMED 2 TO 3 TIMES PER YEAR. ANY SOIL DEPOSITS ON PAVEMENT SHALL BE CLEANED IMMEDIATELY.

THE PERMANENT MAINTENANCE PROGRAM WILL BE MANAGED BY THE FUTURE HOMEOWNERS UPON COMPLETION OF CONSTRUCTION AND ACCEPTANCE OF THE IMPROVEMENTS.

- LEGEND**
- | | | |
|-----------------------------|-----------|----------------------------------|
| PROPERTY LINE | --- X --- | TEMPORARY SILT FENCE |
| PROPOSED ASPHALT DRIVEWAY | [Symbol] | TEMPORARY CONSTRUCTION FENCE |
| PROPOSED STONE MASONRY WALL | [Symbol] | TEMPORARY SOIL STOCKPILE AREA |
| PROPOSED CONTOUR | 12 | STABILIZED CONSTRUCTION ENTRANCE |
| PROPOSED SPOT GRADE | +12.2 | PROPOSED LIMIT OF DISTURBANCE |
| PROPOSED STORM PIPE | [Symbol] | |
| TEMPORARY INLET PROTECTION | [Symbol] | |

2 SOUTH ASTOR STREET STORMWATER MANAGEMENT PLAN BASED UPON EXISTING INFORMATION PROVIDED BY PAUL J. PETRETTI, DATED MARCH 3, 2020



- GENERAL NOTES:**
1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
 2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
 3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO AC, AISC, ZONING AND THE NEW YORK STATE BUILDING CODE.
 4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
 5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
 6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
 7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
 8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
 9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
 10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
 11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
 12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
 13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO HAVE HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
 14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT. INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY -- FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY -- LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "PASTOROW" MIX OR EQUAL OVER AREA TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY -- FINAL LANDSCAPING

GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY -- FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

CONSTRUCTION SEQUENCING:

THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:

1. INSTALL ALL EROSION AND SEDIMENT CONTROL PRACTICES AS SHOWN ON THE PLAN.
2. DEMOLISH ANY EXISTING SITE FEATURES AND/OR STRUCTURES NOTED AS BEING REMOVED ON THE CONSTRUCTION DOCUMENTS AND DISPOSE OF OFF-SITE.
3. REMOVE TREES WHERE NECESSARY (CLEAR & GRUB) FOR THE CONSTRUCTION OF THE DRIVEWAYS.
4. EXCAVATE AND CONSTRUCT FOUNDATIONS FOR NEW WALLS AND WALKS.
5. CONSTRUCT WALLS AND WALKWAYS.
6. INSTALL DRAINAGE WORK INCLUDING DRAIN INLETS, PIPING AND GRAVEL BED FOR PERVIOUS DRIVEWAY.
7. INSTALL PERVIOUS PAVEMENT FOR THE NEW PARKING AREAS.
8. CLEAN PAVEMENT, DRAIN LINES, AND CATCH BASINS.
9. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE HAS BEEN STABILIZED WITH 80% UNIFORM DENSITY OF VEGETATION.

SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY ½" OR GREATER RAINFALL EVENT.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

REVISIONS	DATE	BY	REVISIONS	DATE	BY
1	07/27/20	U.A.	1	07/27/20	U.A.
2	07/27/20	U.A.	2	07/27/20	U.A.
3	07/27/20	U.A.	3	07/27/20	U.A.

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

PROJECT: PROPOSED ADDITIONS & ALTERATIONS
2 SOUTH ASTOR STREET
VILLAGE OF IRVINGTON
WESTCHESTER COUNTY – NEW YORK

STORMWATER MANAGEMENT PLAN

HEC HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086 © 2020

Date: 08/18/20 Sheet: 1
Scale: 1" = 10'
Designed By: U.A.
Checked By: M.S.
Sheet No. 2

C-1

2 Astor Place
Irvington, NY

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original location after selective demolition operations are complete.

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and replaced. When items are to be removed and replaced, the contractor shall verify that intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structure. When a selective demolition is required, the contractor shall identify and record existing conditions extant. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. Promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties.
Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches , receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. See electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. return adjacent areas to condition existing before selective demolition operations began.

Demolition Key Notes:

- ① Remove interior walls - Remove all existing interior walls in their entirety. Provide shoring, bracing, and structural support as required to preserve stability and prevent movement, settlement or collapse of floor or roof above.
- ② Remove plumbing - Remove all existing interior plumbing fixtures at bathrooms. Cap or remove all abandoned plumbing.
- ③ Demo Door - Remove the existing door and all associated framing and prepare opening to be infilled
- ④ Demo Exterior wall - Carefully and selectively demolish exterior wall framing as necessary. Refer to proposed plans.
- ⑤ Demo Stair - Carefully demolish stair at first floor only. Provide shoring, bracing and structural support as required to preserve stability at second floor stair, and prevent movement, settlement or collapse of stair and floor above.
- ⑥ Remove window - Remove existing window in its entirety. Install railing as needed at 42" a.f.f.

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Elmsford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST

Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7267
algonq@optonline.net

CONSULTANT TRAFFIC ANALYST

Provident Design Engineering
 Brian Dempsey, PE, PTOE, RSP1
 7 Skyline Drive, Hawthorne, NY 10532
 T: 914-5924040 | (Ext. 281)
 bdempsey@pderesults.com

STRUCTURAL ENGINEER

JMER Engineering, P.C.
Jonathan Merheb, P.E.
35 Fairview Ave, Tarrytown, NY 1059
T: 914-255-5780
jmerheb@jmerengineering.com

SCALE: As Noted

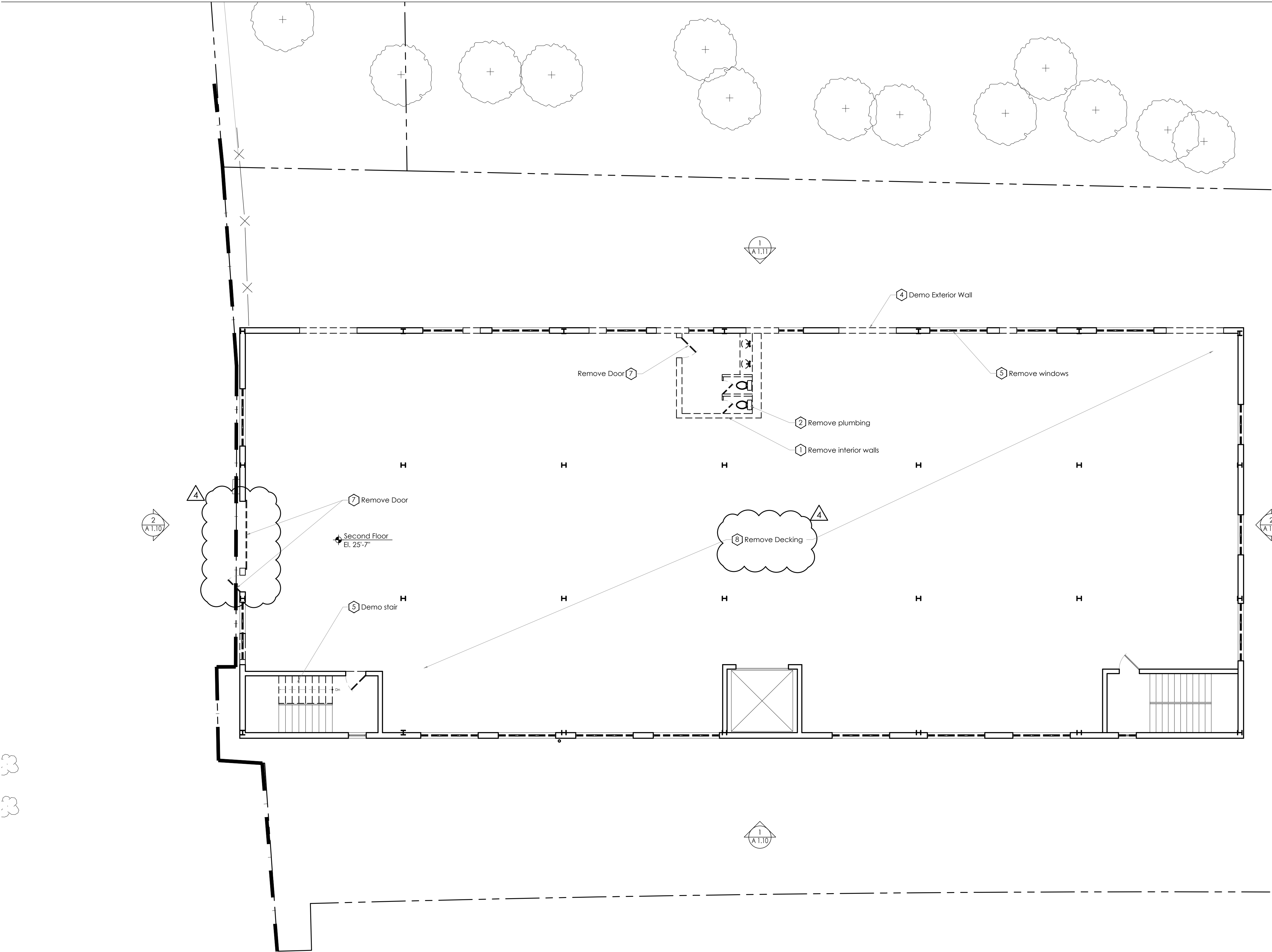
DATE: 08/19/2020

JOB: 2005

A-1.00

Demolition Plan - First Floor

$$1/8'' = 1'-0'$$



Demolition Notes

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective demolition operations. Promptly notify the Architect if any such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. Promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties. Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches, receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. See electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

Demolition Key Notes:

- 1 Remove interior walls - Remove all existing interior walls and partitions in their entirety. Provide shoring, bracing, and structural support as required to preserve stability and prevent movement, settlement or collapse of floor or roof above.
- 2 Remove plumbing - Remove all existing interior plumbing fixtures at bathrooms. Cap or remove all abandoned plumbing.
- 3 Demo Door - Remove the existing door and all associated framing and prepare opening to be infilled.
- 4 Demo Exterior wall - Carefully and selectively demolish exterior wall framing as necessary. Refer to proposed plans.
- 5 Demo Stair - Carefully demolish stair at first floor only. Provide shoring, bracing and structural support as required to preserve stability at second floor stair, and prevent movement, settlement or collapse of stair and floor above.
- 6 Remove window - Remove all existing second floor windows in their entirety. Install rolling as needed at 42' a.f.f.
- 7 Remove Door - Remove the existing door and all associated framing and tracks.
- 8 Remove Decking - Existing wood floor decking to be removed. Steel structure to be prepped for the installation of a new composite concrete slab. See structural drawings.

Hudson Loft
Parking Lot

2 Astor Place
Irvington, NY

NO.	DATE	ISSUE/REVISION
4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stratford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algonia@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-999-0400 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Methels, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmethels@jmerengineering.com

Existing/Demo
Plan
Second Floor

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

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2 Astor Place
Irvington, NY

4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission
NO.	DATE	ISSUE/REVISION

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



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IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, INC.
45 Knollwood Road, Elmsford, New York 10523
Tel: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7267
mgonq@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP
1 Skyline Drive, Hawthorne, NY 10532
P: 914-59240401 [Ext. 281]
bdempsey@pderesults.com

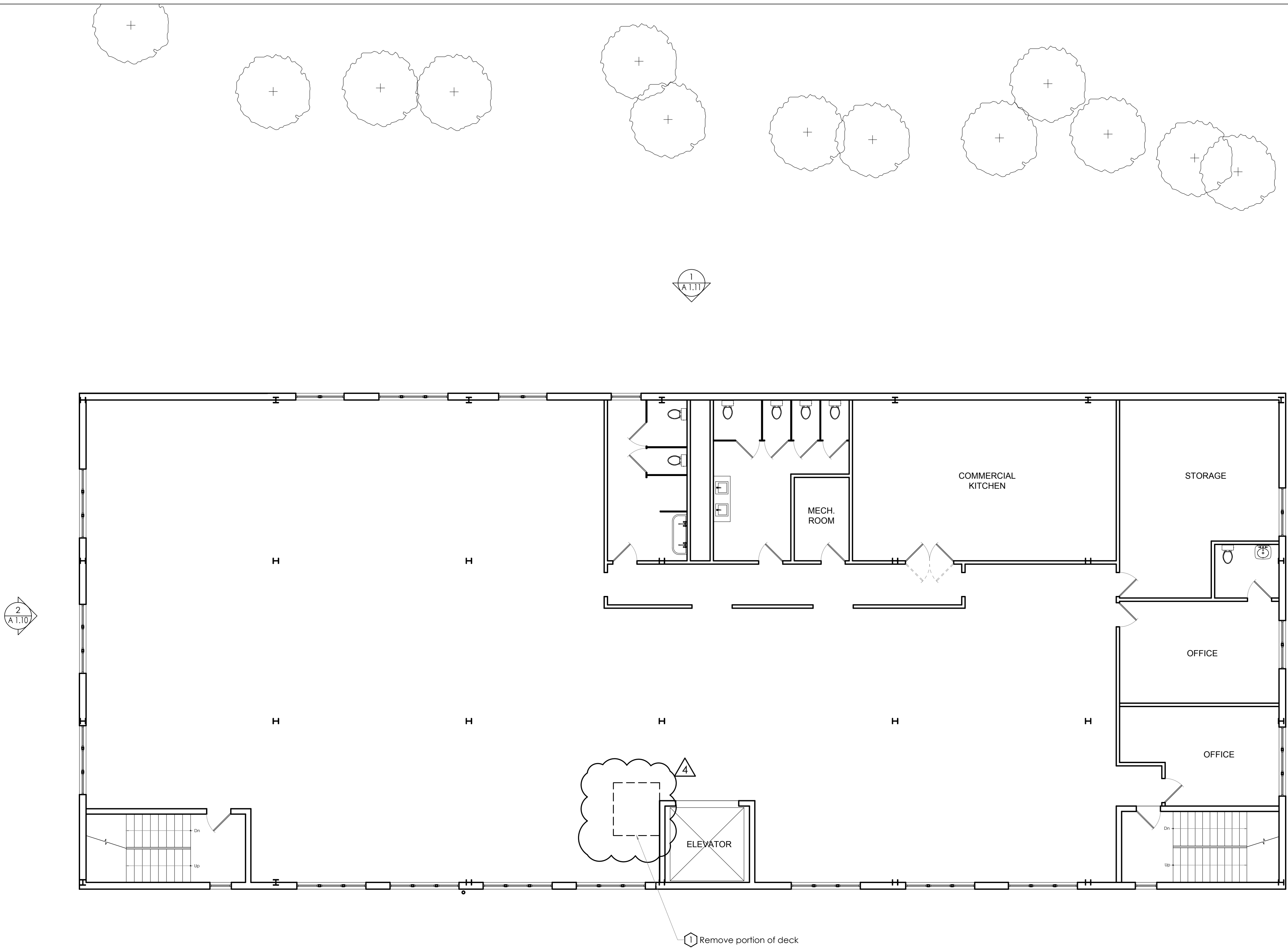
STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Merheb, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
merheb@jmerengineering.com

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-1.02
 New Sheet



Demolition Notes

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and photograph existing conditions and record same. Remove and salvage materials to be salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structure. Structural engineer shall be consulted if there is any doubt as to whether such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. Promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties.

and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.


Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches , receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. See electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. return adjacent areas to condition existing before selective demolition operations began.

Demolition Key Notes:

-  Remove portion of deck - Remove portion of deck for proposed elevator shaft. Provide shoring, bracing and structural support as required to preserve floor stability, and prevent movement, settlement or collapse floor and adjacent elevator walls. The opening is to be supported by new steel structure. See structural drawings for additional information. The removal of this portion of decking is to follow the installation of the new supporting steel.

2 Astor Place
Irvington, NY

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.

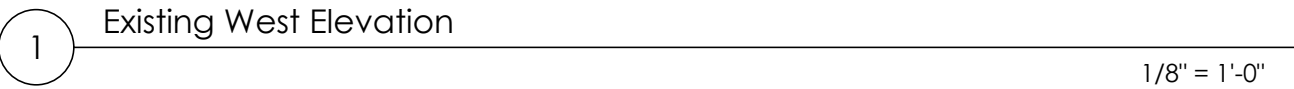


colm McBurney, RCA
American Society of Consulting Arborists RCA 561
100 Street, Ramsey, New Jersey 07446
424-7267
q@optonline.net

TURAL ENGINEER
 R Engineering, P.C.
 han Merheb, P.E.
 iew Ave, Tarrytown, NY 10591
 255-5780
 eb@jmerengineering.com

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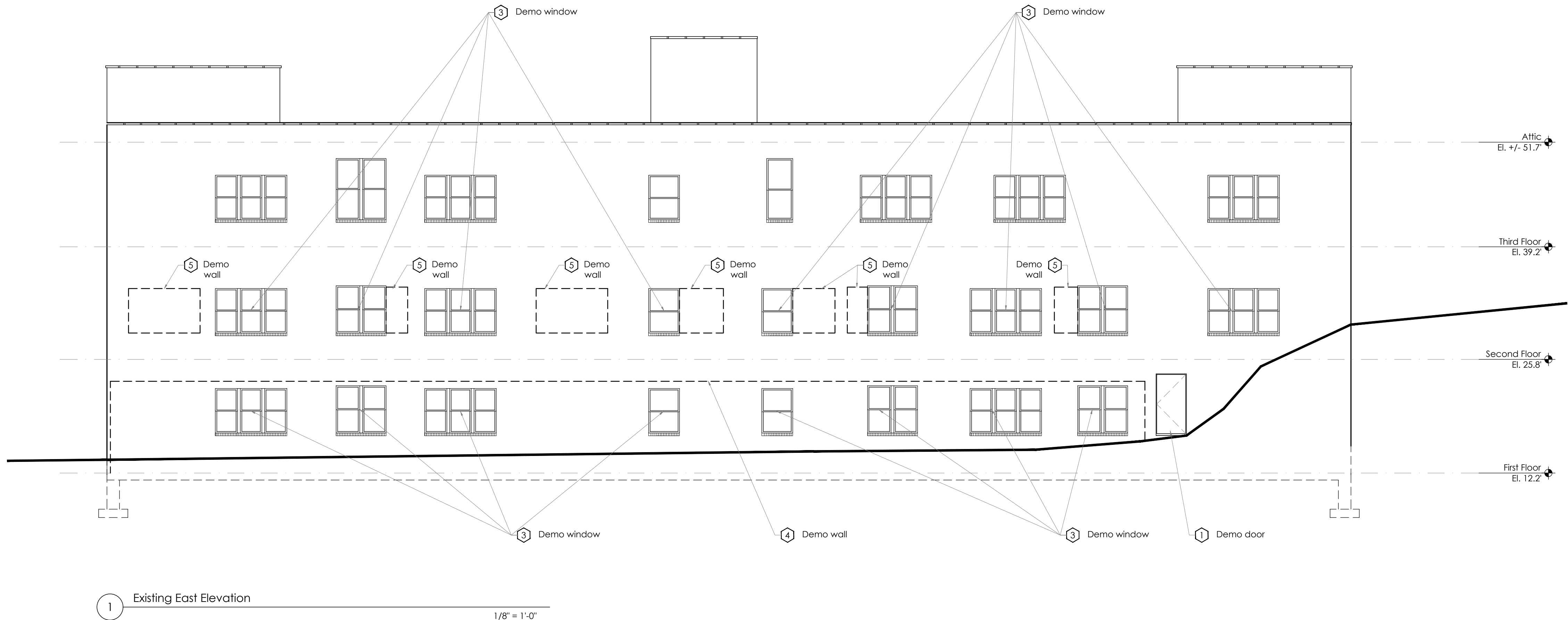
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- ① Demo door - Remove the existing door and all associated framing and prepare opening to be infilled.
- ② Demo door - Remove the existing door and all associated framing. Remove all associated track on garage door.
- ③ Demo window - Remove existing window in its entirety. Brick sill to remain.
- ④ Demo wall - Carefully and selectively demolish exterior wall framing as necessary. Refer to Demo Plans.
- ⑤ Demo wall - Carefully and selectively demolish exterior CMU wall as indicated. Temporarily shore as necessary provide new steel header - see detail 2 on sheet 3.10

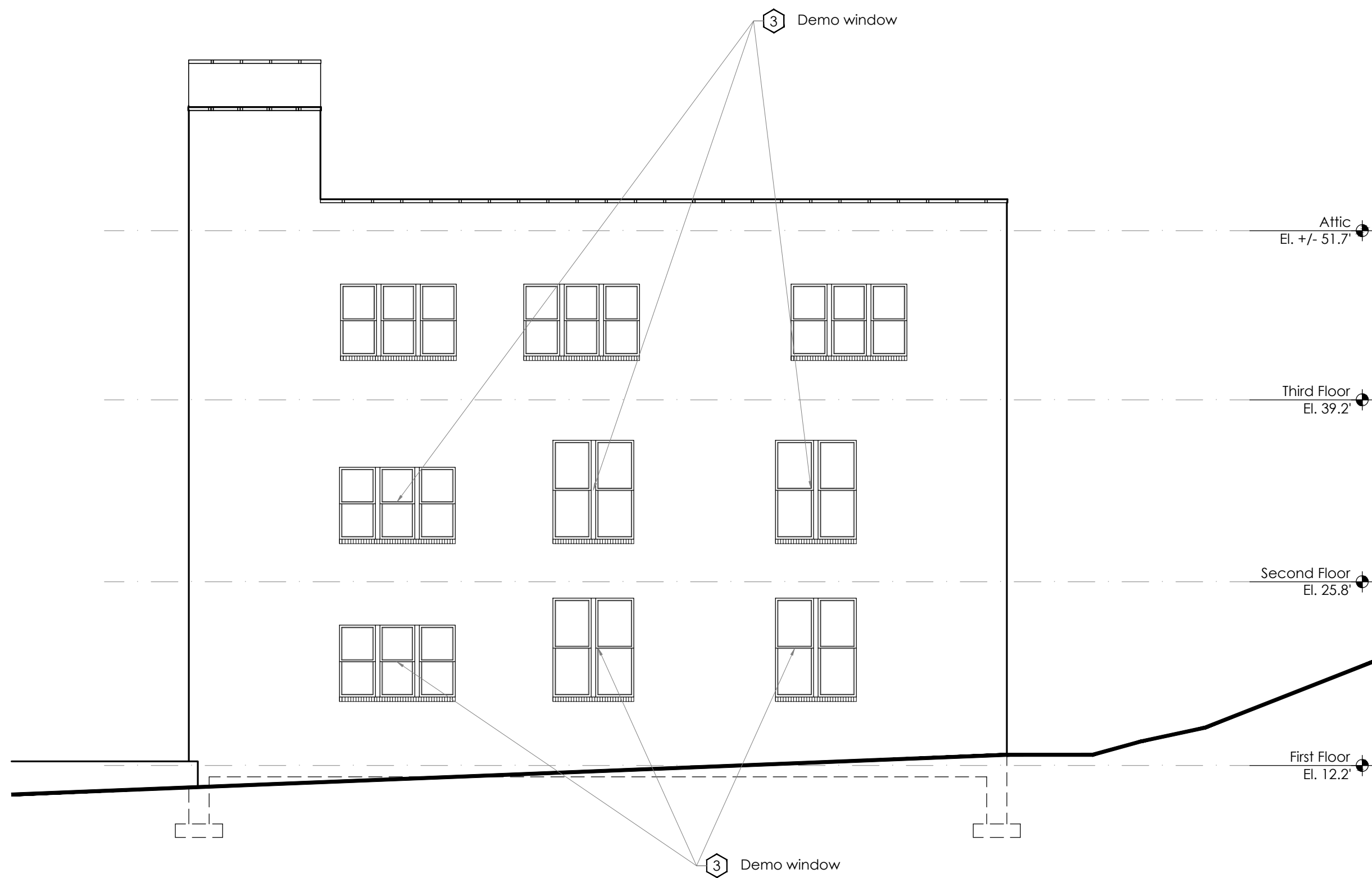
Hudson Loft
Parking Lot

2 Astor Place
Irvington, NY



1 Existing East Elevation

1/8" = 1'-0"



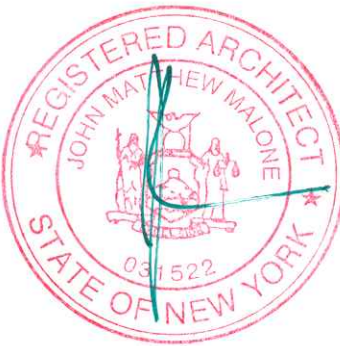
2 Existing South Elevation

1/8" = 1'-0"

Key Notes

- 1 Demo door - Remove the existing door and all associated framing and prepare opening to be infilled.
- 2 Demo door - Remove the existing door and all associated framing. Remove all associated track on garage door.
- 3 Demo window - Remove existing window in its entirety. Brick sill to remain.
- 4 Demo wall - Carefully and selectively demolish exterior wall framing as necessary. Refer to Demo Plans.
- 5 Demo wall - Carefully and selectively demolish exterior CMU wall as indicated. Temporarily shore as necessary provide new steel header - see detail 2 on sheet 3.10

To the best of my knowledge, believe, and professional judgment of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knowlwood Road, Shalanda, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algonia@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-994-0401 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Methelb, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-235-5780
jmethelb@jmerengineering.com

Existing
Elevations

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-1.11

Hudson Loft
Parking Lot

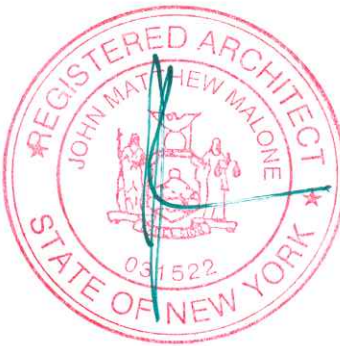
2 Astor Place
Irvington, NY

General Notes:
Proposed renovation to be ADA compliant. Additional details might be required by the Building Department.

Key Notes:
1 Proposed pitched slab - Existing slab to be reused. Topping slab will be added to slope the interior slab to the exterior parking areas for drainage
2 Access way - Stripped access path from Western Portion of lot to stairs

NO.	DATE	ISSUE/REVISION
4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission

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IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stratford, New York 10223
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algon@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-999-0400 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
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T: 914-255-5780
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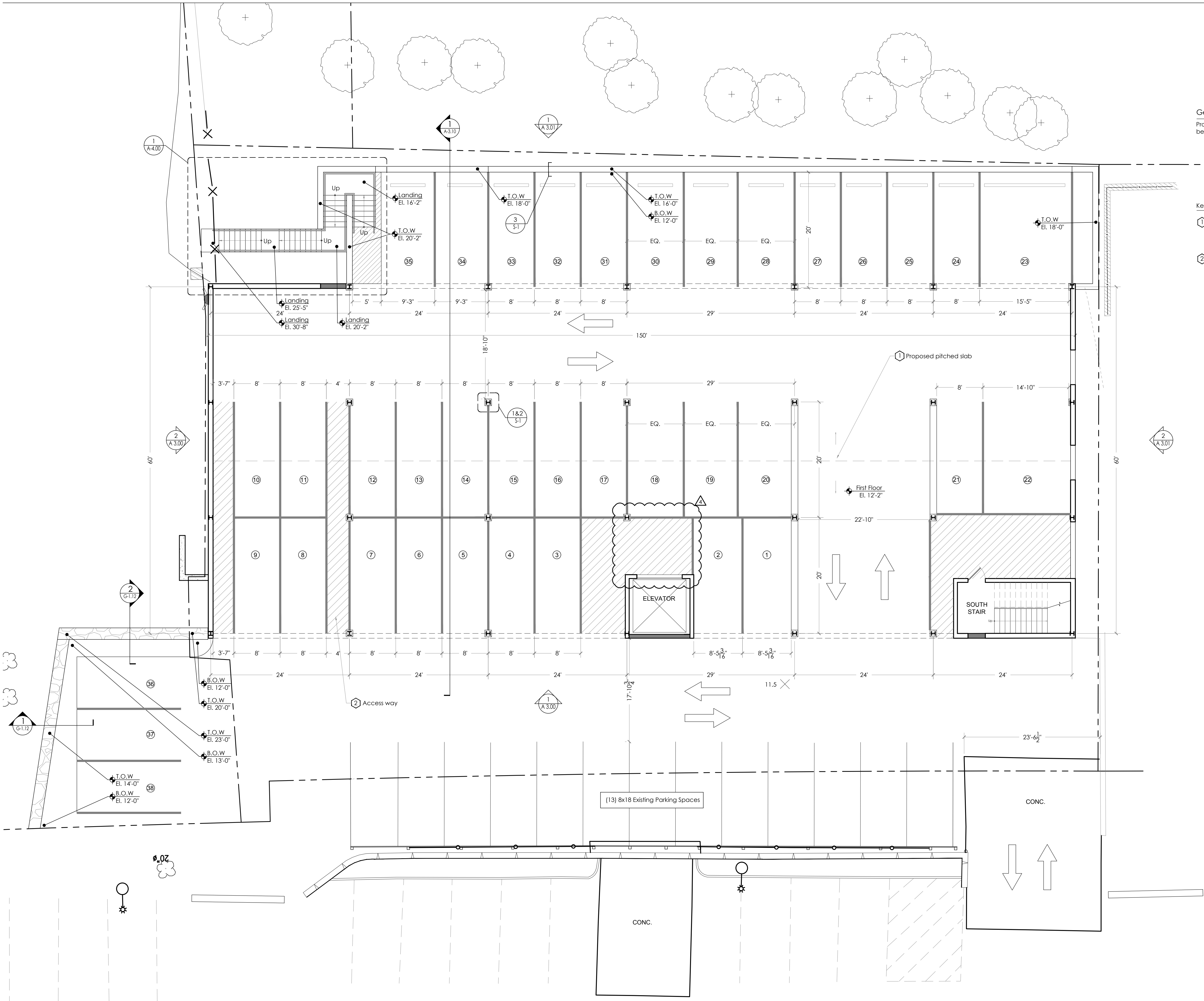
Proposed
Plan
First Floor

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-2.00



1 Proposed First Floor Plan

1/8" = 1'-0"

2 Astor Place
Irvington, NY

Proposed renovation to be ADA compliant. Additional details might be required by the Building Department.

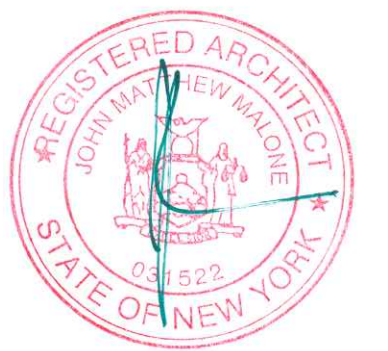
- 1 Proposed Drain - New composite deck to be sloped towards new interior drains. Drains will be terminated in the new ground level parking to the East.
- 2 Waste Containers Area - Proposed waste containers area. Collection by private contractor.
"Oak Ridge"; 307 White St., Danbury Ct. 06810 - 203-702-8939
The means of collection is by existing entry at North side.
- 3 Accessible Door - Proposed door meeting accessibility and egress requirements.
- 4 Composite Slab - Proposed composite concrete slab. See detail 6 on Sheet S-1.
- 5 Accessible Path - Proposed striped path to accessible egress area

6 Traffic Barrier - Proposed Traffic Barrier. See Detail 3, Sheet G-1.12.

7 LULA Elevator - Proposed Limited Use Limited Access type ADA compliant elevator to third floor. The elevator is to have automatic controls and is to meet all accessibility requirements. The cab is to be flush with proposed composite deck, no ramping will be necessary.

8 Vestibule - Proposed elevators vestibule.

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



ONE BRIDGE STREET
IRVINGTON NY 10533
914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Elmsford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
 American Society of Consulting Arborists RCA 561
 47 Pine Street, Ramsey, New Jersey 07446
 T: 201-424-7267
algongq@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP I
7 Skyline Drive, Hawthorne, NY 10532
T: 914-5924040 | Ext. 281
bdempsey@pderesults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Merheb, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmerheb@jmerengineering.com

JOB: 2005

A-2.01

2 Astor Place
Irvington, NY

Proposed renovation to be ADA compliant. Additional details might be required by the Building Department.

1 LULA Elevator - Proposed Limited Use Limited Access type ADA compliant elevator to third floor. The elevator is to have automatic controls and is to meet all accessibility requirements. The cab is to be flush with proposed composite deck, no ramping will be necessary.

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



ONE BRIDGE STREET
IRVINGTON NY 10533
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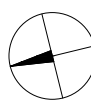
CONSULTANT ARBORIST
Malcolm McBurney, RCA
 American Society of Consulting Arborists RCA 56
 47 Pine Street, Ramsey, New Jersey 07446
 T: 201-424-7267
digong@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-5924040 | (Ext. 281)
bdempsey@pderesults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Merheb, P.E.
35 Fairview Ave, Tarrytown, NY 1059
T: 914-255-5780
jmerheb@jmerengineering.com

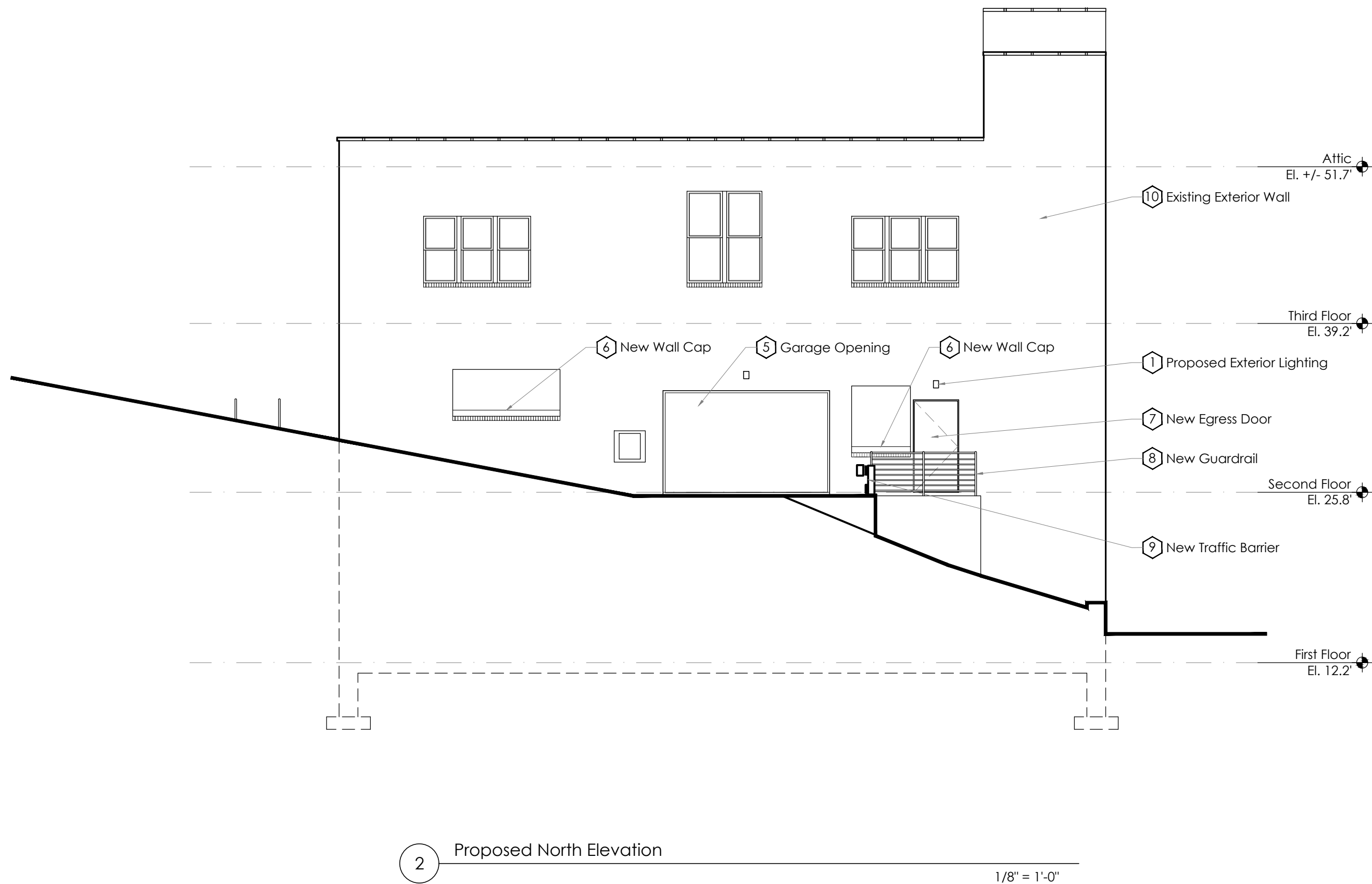
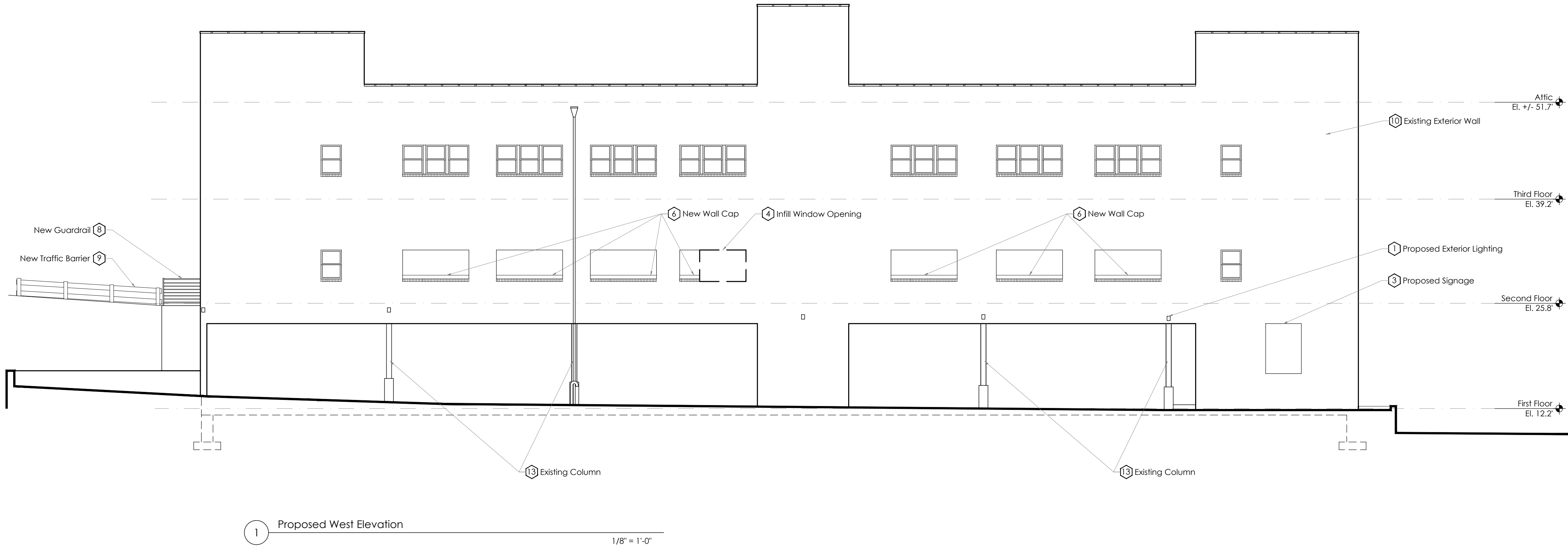
JOB: 2005

 New Sheet



Hudson Loft
Parking Lot

2 Astor Place
Irvington, NY

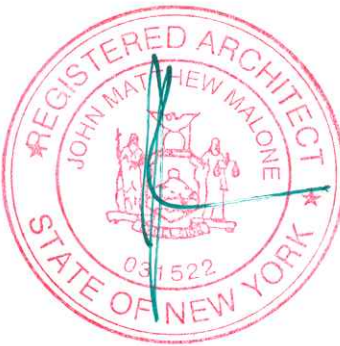


Key Notes:

- Proposed Exterior Lighting - Proposed exterior light fixture to be dark sky compliant.
Specification: Tube Architectural DS-WS05 by WAC LIGHTING
- Proposed Steps Lighting - Proposed steps light fixture located in adjacent wall at 3' O.C., to be dark sky compliant.
Specification: Step Light WL-LED 101 by WAC LIGHTING
- Proposed Signage - Proposed signage indicating parking limitations.
Specifications to be determined.
- Infill Window opening - Existing opening to be reduced. Coordinate w/proposed elevator machine room. Exterior finishes to match existing.
- Garage Opening - Existing door to be removed
- Wall Cap - Proposed pre-cast concrete wall cap - See detail 2, Sheet A-3.10
- New Egress Door - flush Metal Door Ptd.
- New Guardrail - Mtl. Pipe rail painted
- New Traffic Barrier - See Detail 3, Sheet G-1.12
- Existing Exterior Wall - Existing painted CMU exterior wall to remain. Patch and finish as necessary.
- New Guardrail - See Detail 2, Sheet A-4.02
- New Handrail - See Detail 1, Sheet A-4.02
- Existing Column - Existing columns to remain - Refer to structural drawings for concrete encase.

NO.	DATE	ISSUE/REVISION
5	08/02/2021	ARB Submission
4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission

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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stamford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST

Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algonz@optonline.net

CONSULTANT TRAFFIC ANALYST

Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-959-0401 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER

JMER Engineering, P.C.
Jonathan Methels, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmethels@jmerengineering.com

Proposed
Elevations

SCALE: As Noted

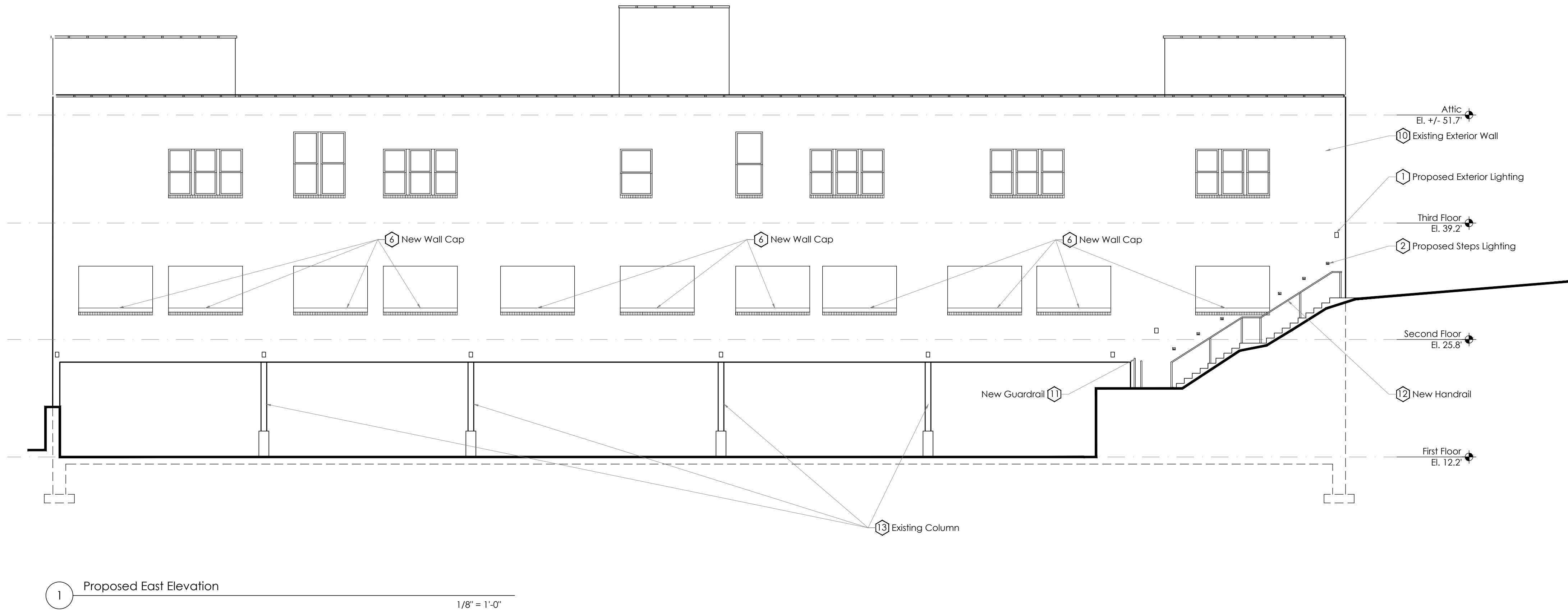
DATE: 08/19/2020

JOB: 2005

A-3.00

Hudson Loft
Parking Lot

2 Astor Place
Irvington, NY



NO.	DATE	ISSUE/REVISION
1	08/19/2020	IPB Submission
2	09/21/2020	IPB Resubmission
3	12/23/2020	IPB Resubmission
4	01/20/2021	IPB Resubmission
5	02/17/2021	IPB Resubmission
6	08/02/2021	ARB Submission

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ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stratford, New York 10223
T: 914-959-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algonz@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-959-0420 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Methels, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmethels@jmerengineering.com

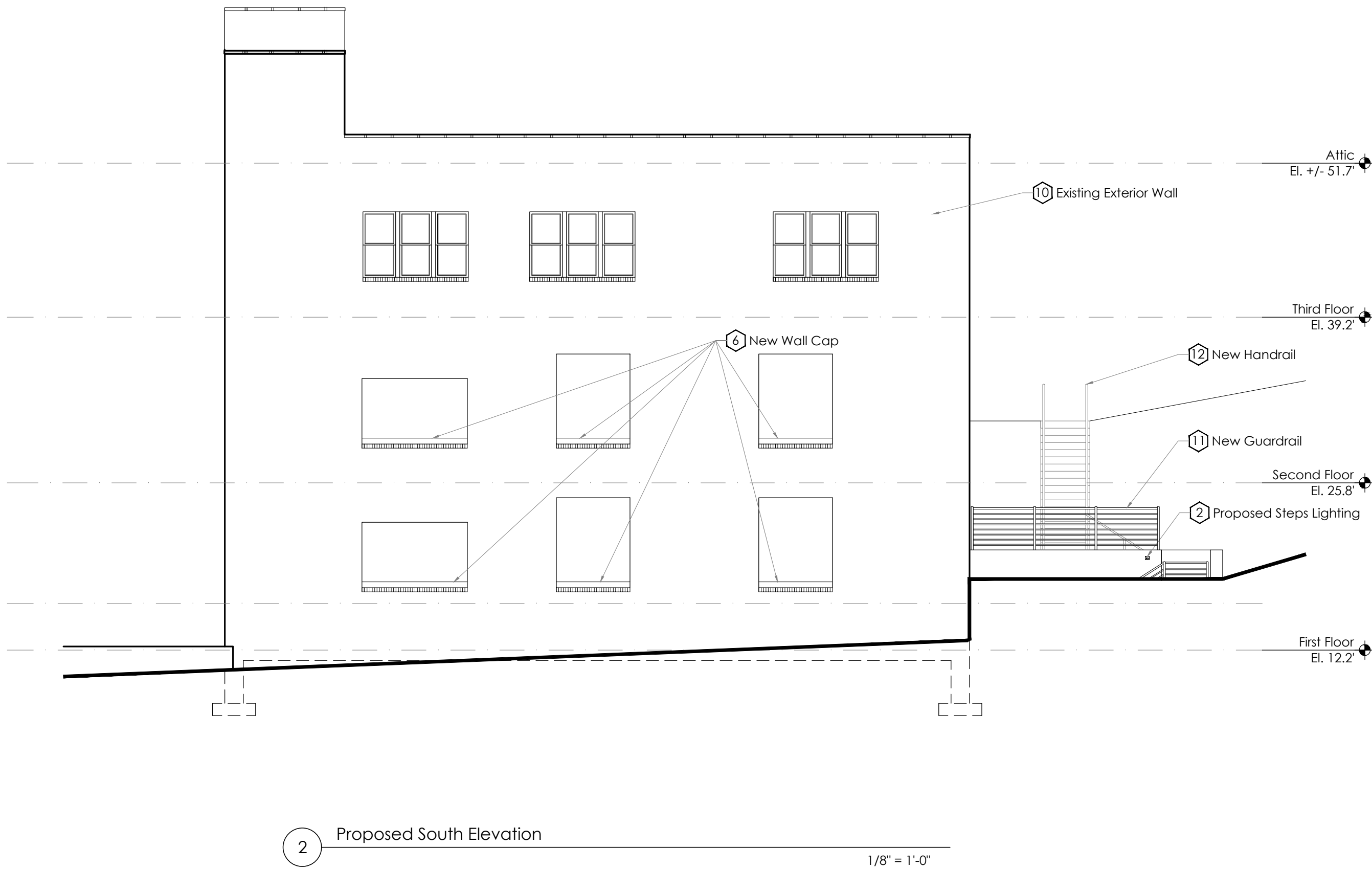
Proposed
Elevations

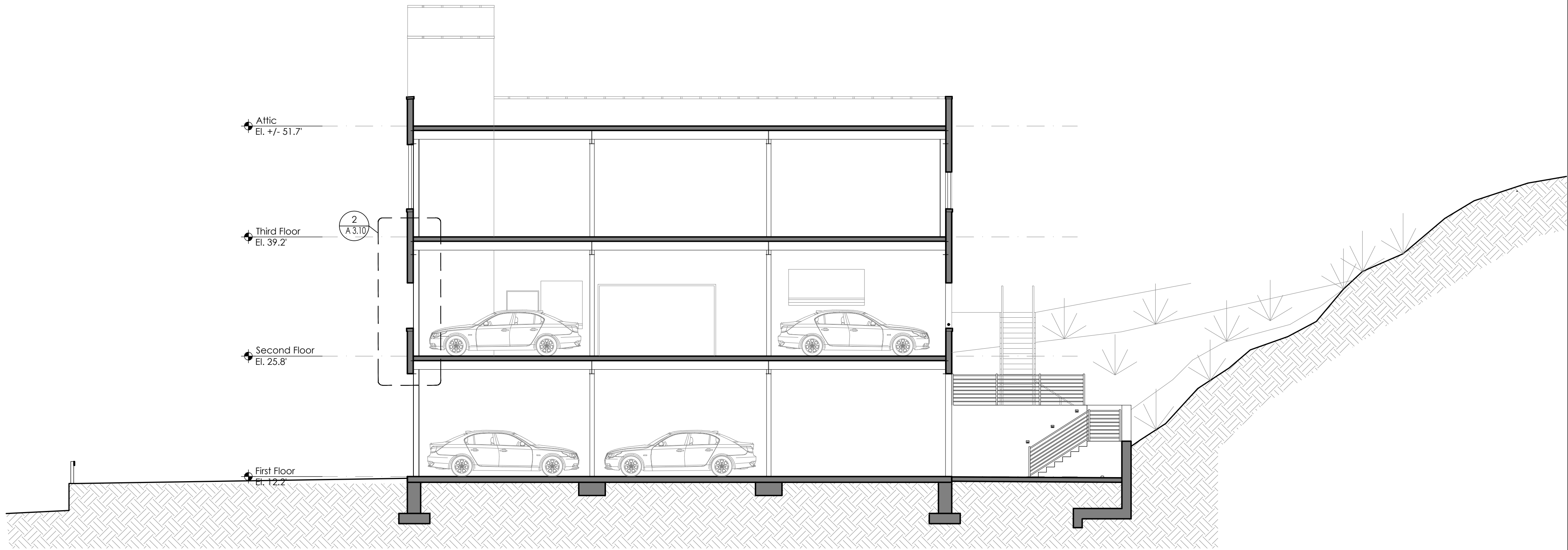
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DATE: 08/19/2020

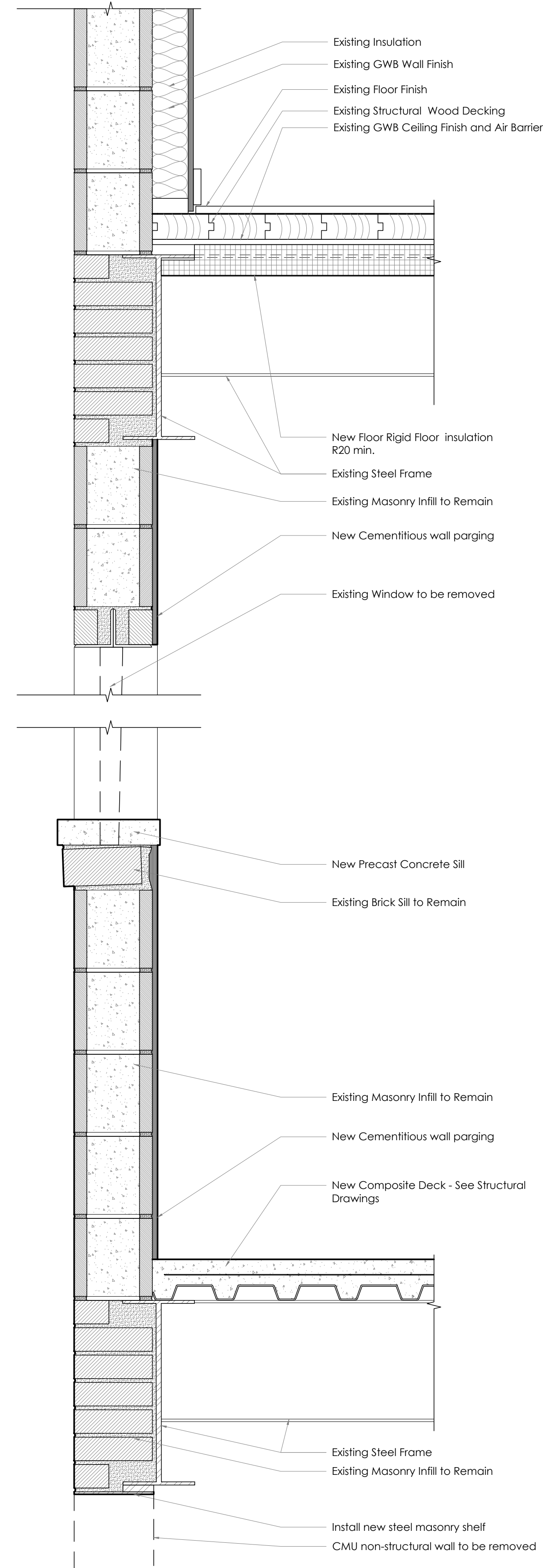
JOB: 2005

A-3.01





1 Building Section
1/8" = 1'-0"



2 Partial Wallsection
1 1/2" = 1'-0"

Hudson Loft Parking Lot

2 Astor Place
Irvington, NY

3	08/02/2021	ARB Submission
4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
1	09/21/2020	IPB Resubmission
	08/19/2020	IPB Submission

NO.	DATE	ISSUE/REVISION
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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knowlton Road, Stamford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7267
mcburney@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-959-0401 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Methab, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
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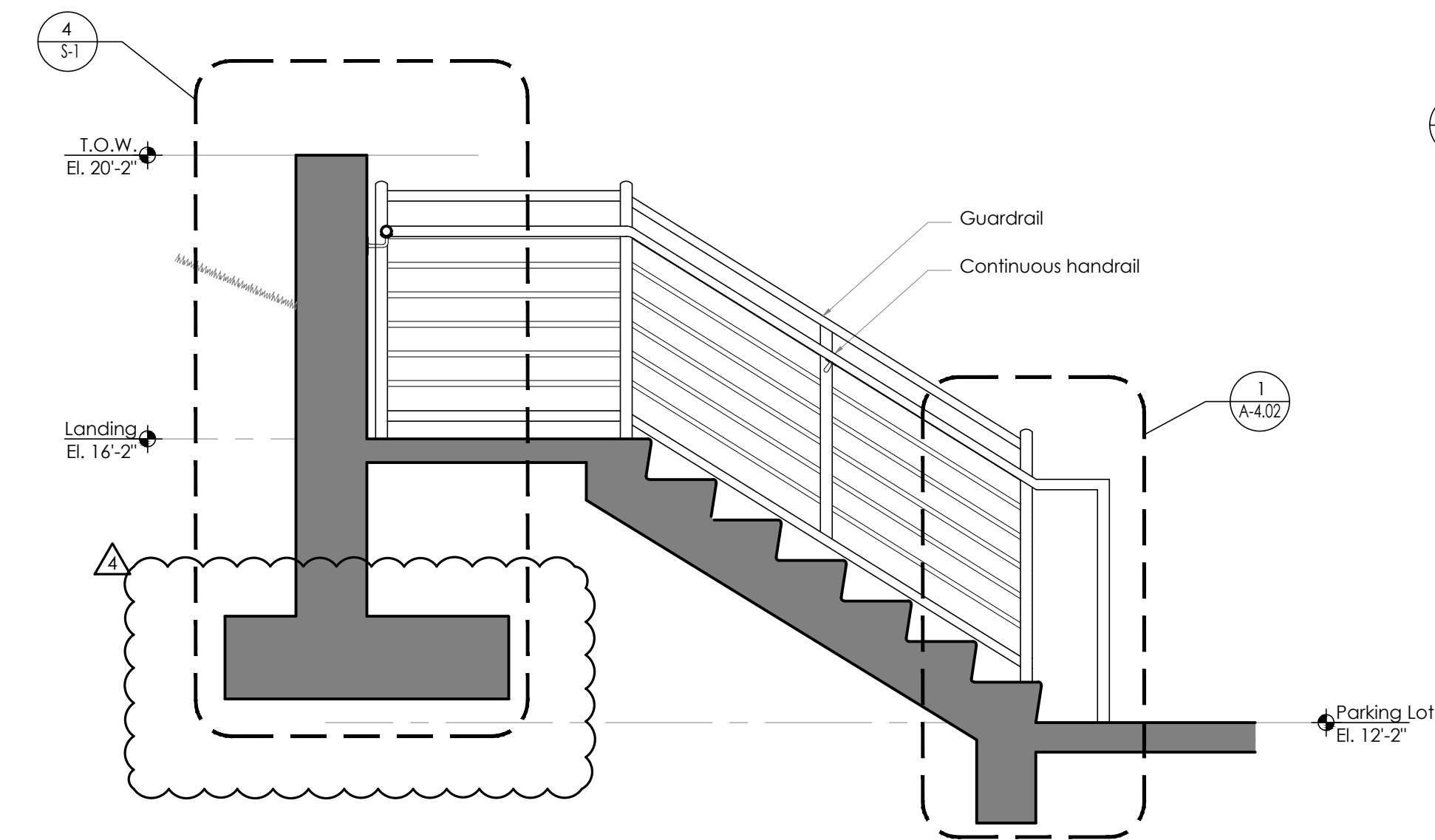
Proposed Building Sections

SCALE: As Noted

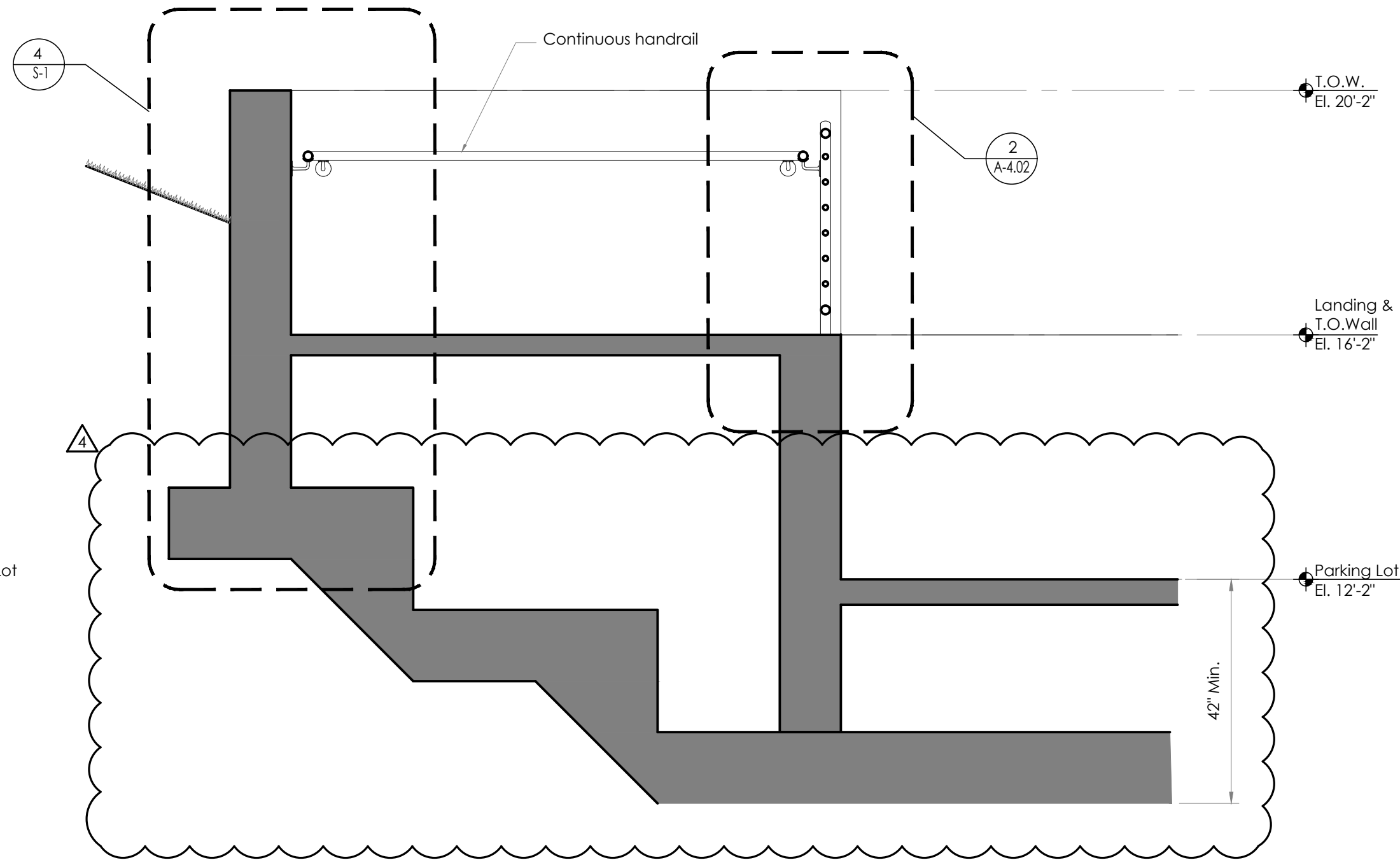
DATE: 08/19/2020

JOB: 2005

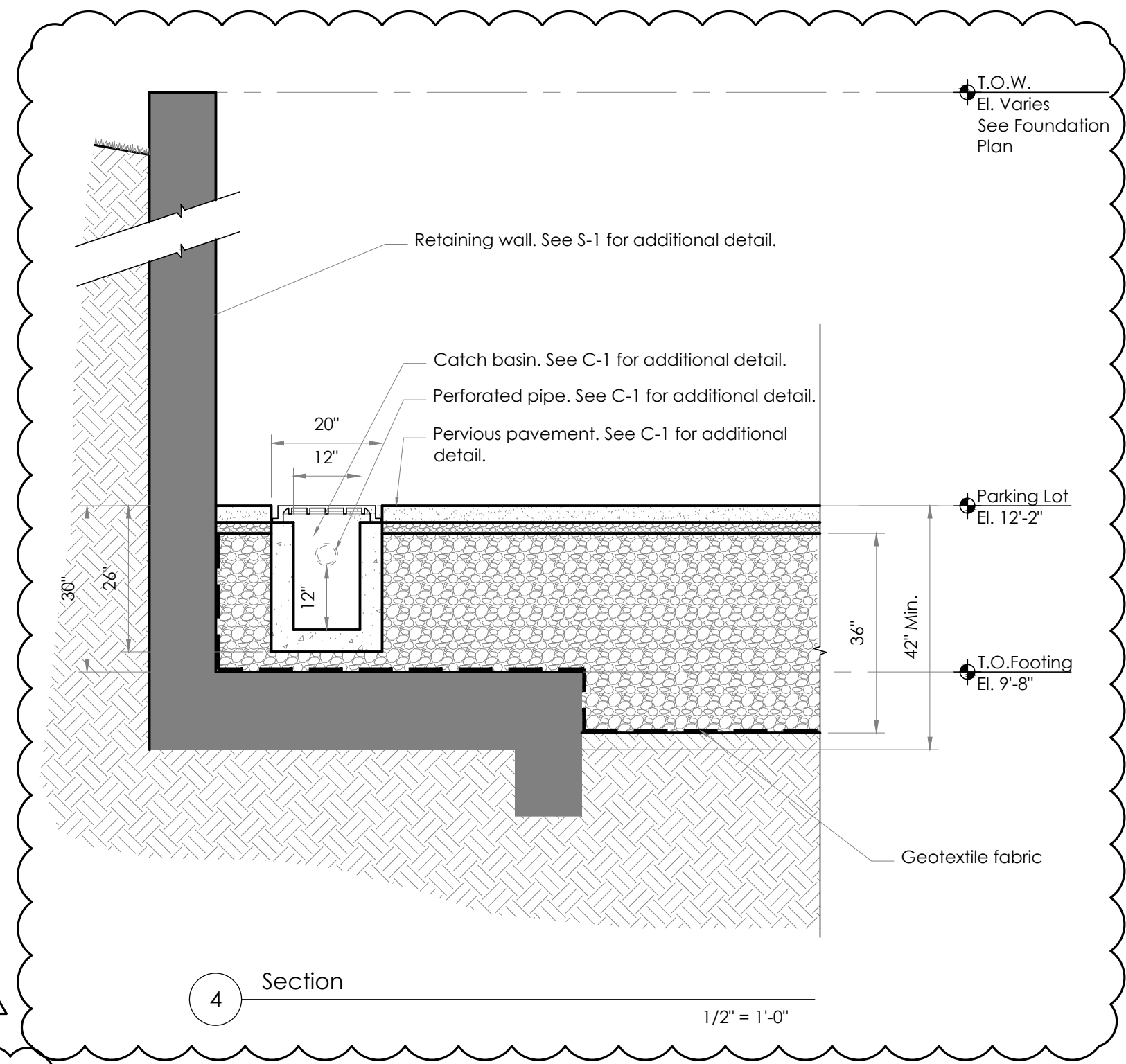
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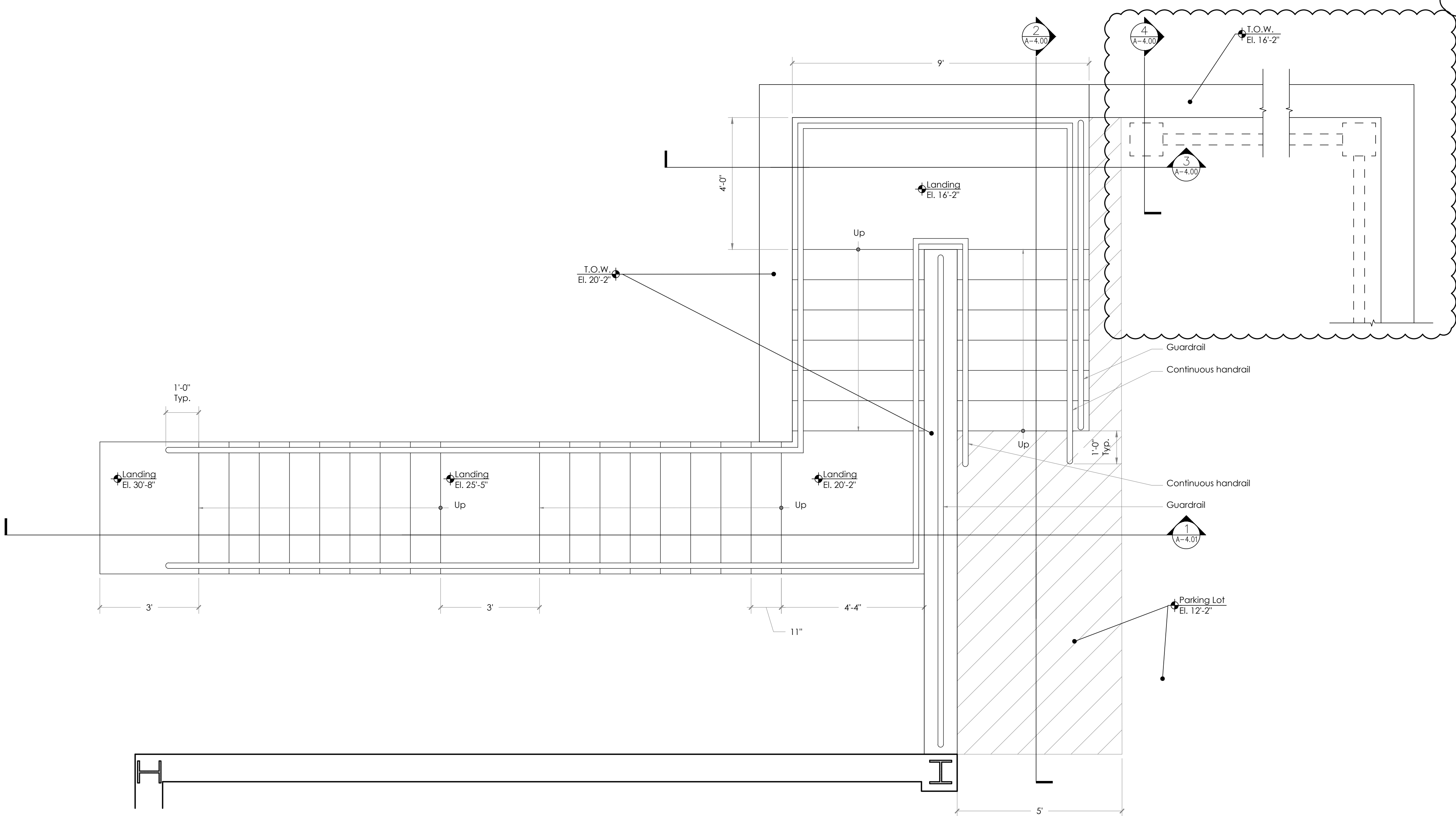
2 Stair Section
1/2" = 1'-0"



3 Stair Section
1/2" = 1'-0"



4 Section
1/2" = 1'-0"



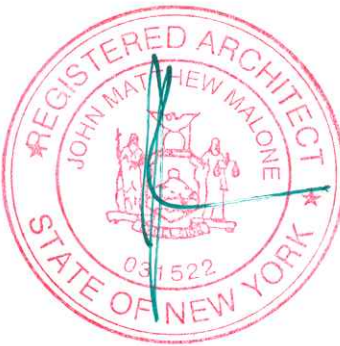
1 Enlarged Stair Floor Plan
1/2" = 1'-0"

Hudson Loft Parking Lot

2 Astor Place
Irvington, NY

NO.	DATE	ISSUE/REVISION
4	02/17/2021	IPB Resubmission
3	01/20/2021	IPB Resubmission
2	12/23/2020	IPB Resubmission
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	08/19/2020	IPB Submission

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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stamford, New York 10523
T: 914-909-0420

CONSULTANT ARBORIST

Malcolm McBurney, R.C.A.
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7247
algonz@optonline.net

CONSULTANT TRAFFIC ANALYST

Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-959-0400 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER

JMER Engineering, P.C.
Jonathan Methels, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-235-5780
jmethels@jmerengineering.com

Stair Details

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-4.00

2 Astor Place
Irvington, NY

02/17/2021	IPB Resubmission
01/20/2021	IPB Resubmission
12/23/2020	IPB Resubmission
09/21/2020	IPB Resubmission
08/19/2020	IPB Submission
DATE	ISSUE/REVISION

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IRVINGTON NY 10533
914 591 5066 F 914 591 5031

SON ENGINEERING & CONSULTING, P.
Willwood Road, Elmsford, New York 10523
909-0420

colm McBurney, RCA
American Society of Consulting Arborists RCA 561
1000 Street, Ramsey, New Jersey 07446
424-7267
q@optonline.net

ULTANT TRAFFIC ANALYST
ident Design Engineering
empsey, PE, PTOE, RSP1
e Drive, Howthorne, NY 10532
59240401 (Ext. 281)
osey@pderesults.com

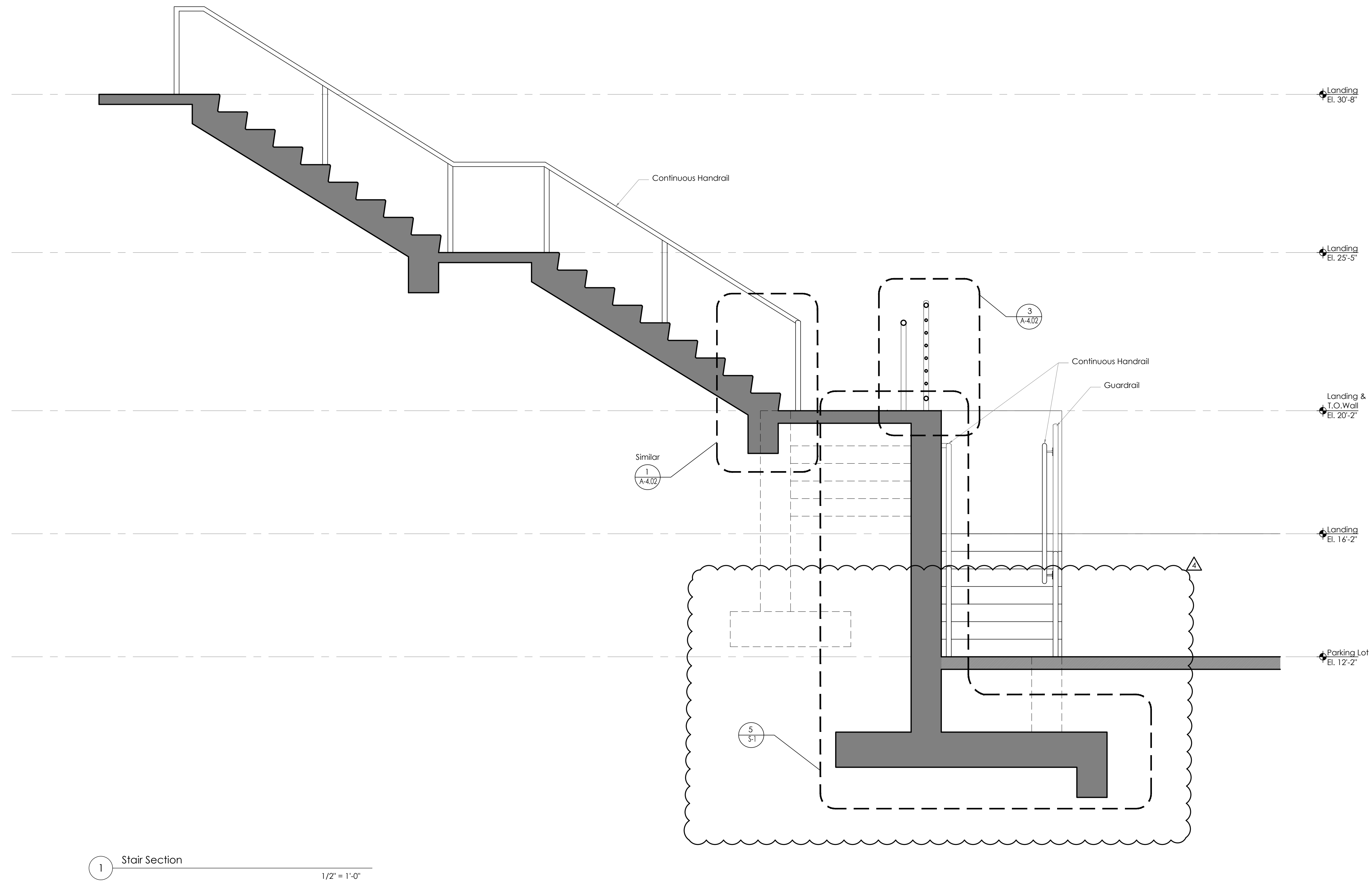
R Engineering, P.C.
 Ian Merheb, P.E.
 1000 View Ave, Tarrytown, NY 10591
 914-255-5780
 merheb@merengineering.com

SALE: As Noted

TE: 08/19/2020

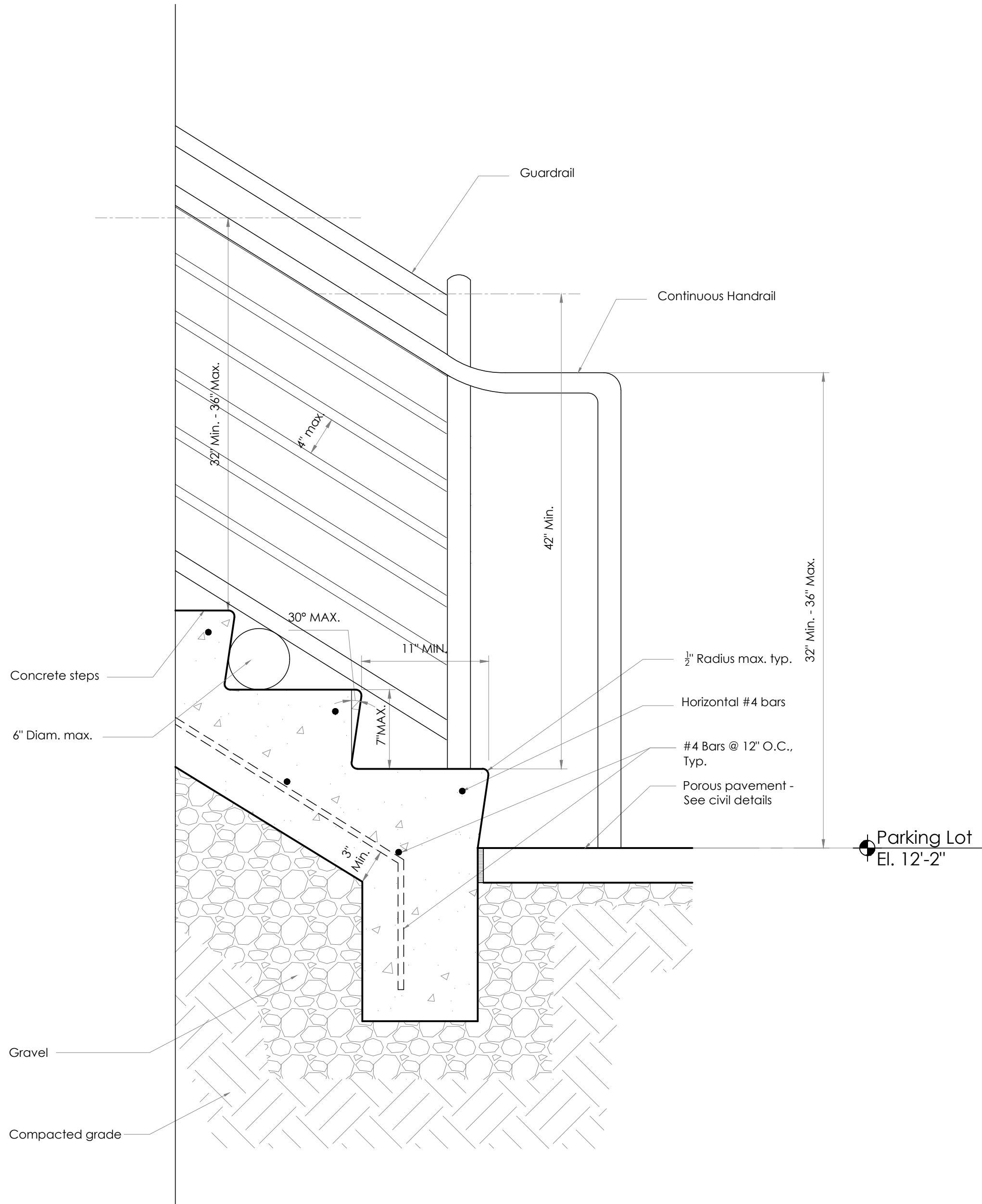
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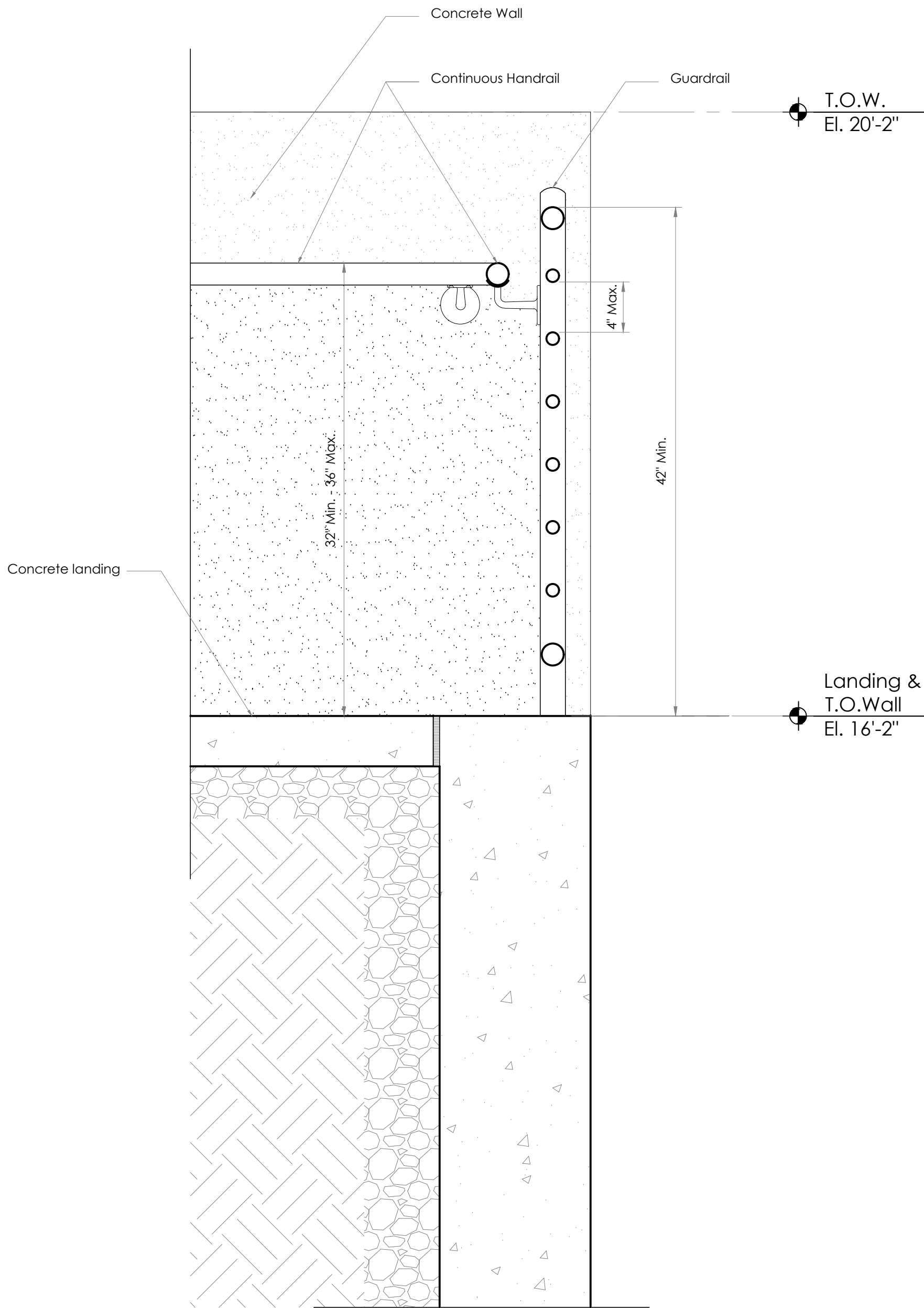


Hudson Loft
Parking Lot

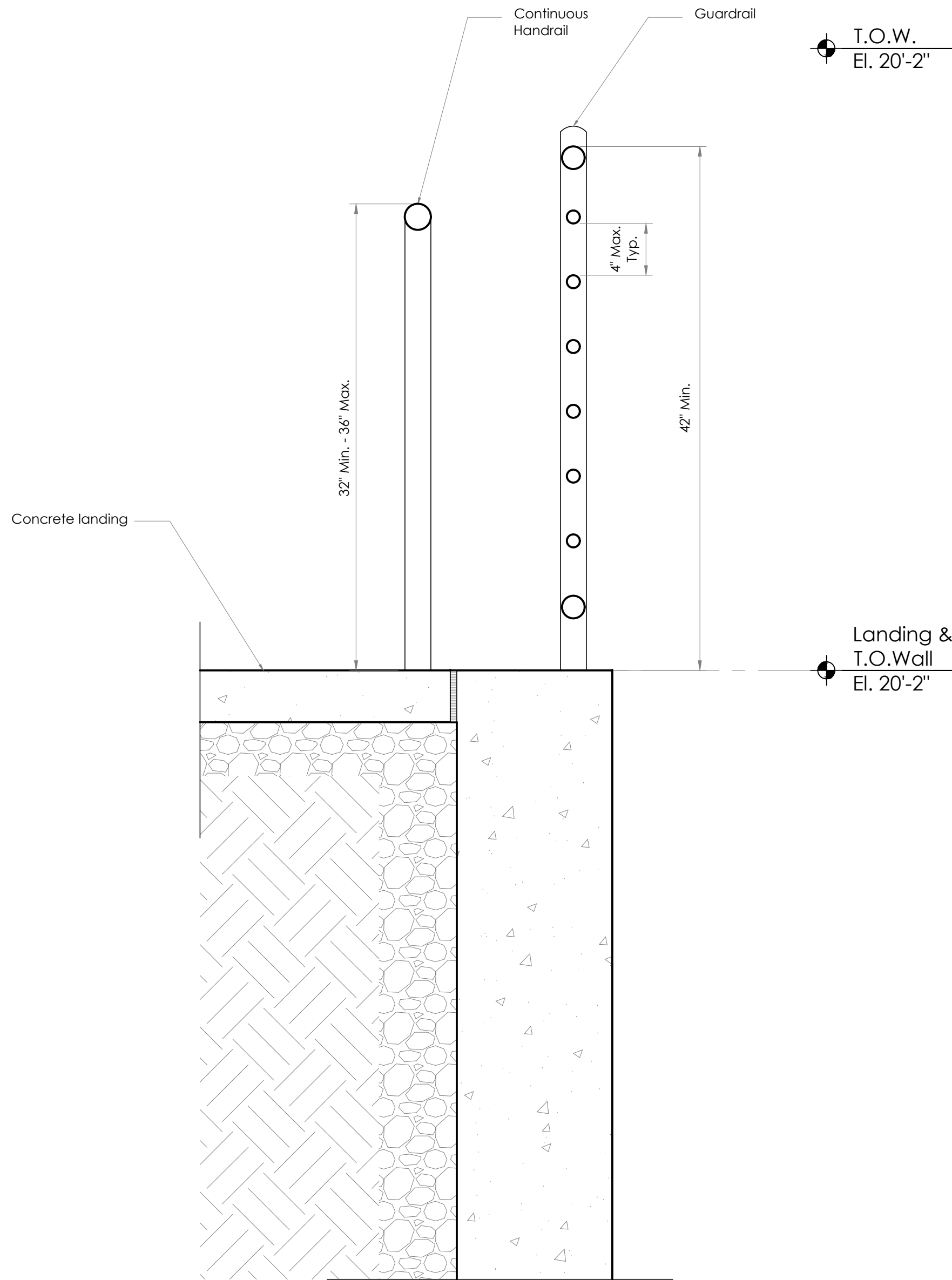
2 Astor Place
Irvington, NY



1 Stair Detail
1 1/2" = 1'-0"



2 Stair Detail
1 1/2" = 1'-0"



3 Stair Detail
1 1/2" = 1'-0"

12/23/2020	IPB Resubmission
09/21/2020	IPB Resubmission
08/19/2020	IPB Submission

NO.	DATE	ISSUE/REVISION
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FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Stamford, New York 10523
T: 914-959-0420

CONSULTANT ARBORIST
Malcolm McBurney, RCA
American Society of Consulting Arborists RCA 561
47 Pine Street, Ramsey, New Jersey 07446
T: 201-424-7267
algon@optonline.net

CONSULTANT TRAFFIC ANALYST
Provident Design Engineering
Brian Dempsey, PE, PTOE, RSP1
7 Skyline Drive, Hawthorne, NY 10532
T: 914-959-0420 (Ext. 281)
bdempsey@pdereults.com

STRUCTURAL ENGINEER
JMER Engineering, P.C.
Jonathan Methelb, P.E.
35 Fairview Ave, Tarrytown, NY 10591
T: 914-255-5780
jmethelb@jmerengineering.com

Stair Details

SCALE: As Noted

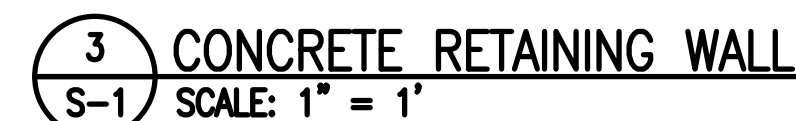
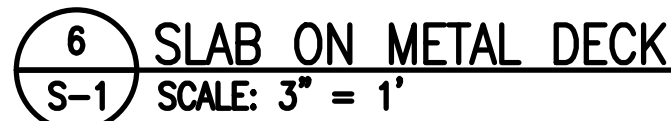
DATE: 08/19/2020

JOB: 2005

A-4.02

New Sheet

1. ALL WORK SHALL COMPLY WITH 2020 NEW YORK STATE BUILDING CODE, 2018 INTERNATIONAL BUILDING CODE & OSHA CODES.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-19. CONCRETE FOR FOOTINGS SHALL BE NORMAL WEIGHT & HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
3. ALL STEEL REINFORCEMENT SHALL CONFORM TO ASTM-A615 & SHALL BE GRADE 60.
4. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
5. RETAINING WALL FOOTINGS TO BEAR ON SOIL WITH MIN. 1.5 TSF ALLOWABLE BEARING PRESSURE.



HUDSON LOFT PARKING LOT
2 ASTOR PLACE
IRVINGTON, NY



S-1