APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

| Application Number: | 773 | Date: | 07/30/2021 |
|---------------------|------------------------------------|-----------------|------------|
| Job Location: | 2 S. Astor Place | Parcel ID: | |
| Property Owner: | Astorbuck Properties LLC - William | Property Class: | |
| | Thompson | | |
| Occupancy: | Mixed Use | Zoning: | |
| Common Name: | | | |

| Applicant | Contractor |
|---|------------|
| John Malone | |
| Ferguson Malone Architecture | |
| One Bridge StreetSuite 29Irvington NY 10533 | |
| 9145643166 | |

Description of Work

| Type of Work: | Interior Renovation/ Repair | Applicant is: | Architect |
|----------------------|--------------------------------|----------------------|-----------|
| Work Requested by: | The Owner | In association with: | |
| Cost of Work (Est.): | 195000.00 | Property Class: | |

Description of Work

Modification to the ground level of the existing building to be used as an open parking area. The project is to include new retaining wall at the west and north of the existing building to accommodate new open surface parking and a new exterior stair to provide access from the parking area to the commercial property to the north.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

| loh | Location: | 2.5 | Astor | Place |
|-----|-----------|-------------|-------|-------|
| JUD | Lucation. | Z O. | ASIUI | riace |

Parcel Id:

| Δ | F | FI | D | A | V | /IT | OF | APF | LI | CA | NT |
|---|---|----|---|---|---|-----|----|-----|----|----|----|
| | | | | | | | | | | | |

| I John Malone being duly sworn, depose and says: That s/he does business as: Fergu offices at: One Bridge StreetSuite 29 Irvington NY 10533 and that s/he is: | son Malone Architecture with |
|--|---|
| The owner of the property described herein. The of the New York Corporation | with offices at: |
| duly authorized by resolution | of the Board of Directors, and that |
| said corporation is duly authorized by the owner to make this application. | |
| A general partner of with offices Partnership is duly authorized by the Owner to make this application. The Lessee of the premises, duly authorized by the owner to make this application. The Architect of Engineer duly authorized by the owner to make this application. The contractor authorized by the owner to make this application. | tion. |
| That the information contained in this application and on the accompanying drawing knowledge and belief. The undersigned hereby agrees to comply with all the required Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, I laws pertaining to same, in the construction applied for, whether or not shown on place. | rements of the New York State Zoning Ordinance and all other |
| Sworn to before me this day ofof | |
| Notary Public / Commission of Deeds Appli | cant's Signature |
| OWNER'S AUTHORIZATION | |
| I Astorbuck Properties LLC - William Thompson as the owner of the subject premise contractor named above to perform the work under the subject application. | es and have authorized the |
| Owner phone number 94-59-630 Owner email address 65-80 I hereby acknowledge that it is my restorence to ensure that if the permit (if issued) receives a Final Certificate of Approval from further that if a Final Certificate of Approval is not obtained upon completion of violation may be placed on the property for which this permit is being requested. Sworn to before me this 2 day of 4090s of 2001 Notary Public / Commission of Deeds | sponsibility as the property owner om the Building Department and the construction, a property |
| GENINE LOCKWOOD NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01L06210592 Qualified in Westchester County Commission Expires SAY 2011 | |

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

- 1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
- 2. One (1) property survey (signed and sealed), reflecting existing conditions.
- 3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
- 4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
- 5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
- 6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
- 7. Visit the Village of Irvington website www.irvingtonny.gov
 for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
- 8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
- 9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

- 10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
- 11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
- 12. Copy of Contractor's Westchester County Home Improvement License.
- **13.** All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
- 14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State
Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general
contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be
submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

3,315

• Inspection Fees (as applicable)

• Insulation: \$50

Solid Fuel: \$50

• Foundation and footing drain: \$50

• Energy Code Compliance: \$50

Sediment and erosion control: \$50

• Footing: \$50

Preparation for concrete slabs and walls: \$50

- Footing: \$50
- Preparation for concrete slabs and walls: \$50
- Framing: \$50
- Building systems, including underground and rough-in: \$50
- Fire resistant construction and penetrations: \$50
- Final Inspection for C.O.: \$50
- State and local laws (per re-inspection): \$50

Total Inspections 500

195

- * Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00
- * Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior toapplying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) Total $\frac{4,095}{}$

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit Any permit that expires will be subject to additional fees.)

LEDme LED100 Step and Deck Light

By WAC Lighting



Product Options

Color Temperature: Amber , White , Red , Blue

Finish: Black , White Finish , Bronze , Brushed Nickel , Stainless Steel , Bronze on Brass ,

Graphite

Voltage: 120 Volt, 277 Volt

Details

- No remote driver needed
- Fits into 2" x 4" junction box (minimum interior dimensions of 3"L x 2"W x 2"D)
- Rated for 40,000 hours
- Designed in 2014
- Material: Diecast Aluminum / Stainless Steel/ Brass
- ADA compliant, Title 24 compliant
- ETL Listed Wet
- Warranty: 5 Years Functional, Lifetime Warranty on Finish
- Made In China

Dimensions

120 Volt Option Faceplate: Depth 0.19"

120 Volt Option Fixture: Width 5", Height 3", Depth 1.5"

277 Volt Option Faceplate: Depth 0.19"

277 Volt Option Fixture: Width 5", Height 3", Depth 1.5"

Lighting

- 120 Volt Option: 3.9 Watt (68 Lumens) 120 Volt Integrated LED: CRI: 90
- 120 Volt Option: 3.9 Watt (68 Lumens) 120 Volt Integrated LED: CRI: 90 Lifespan: 40000 hours
- 277 Volt Option: 3.9 Watt (68 Lumens) 277 Volt Integrated LED: CRI: 90

Additional Details

Product URL:

Prepared by:

https://www.ylighting.com/ledme-led100-step-and-deck-light-by-wac-lighting-uu545924.htm

Rating: ETL Listed Wet

Product ID: uu545924

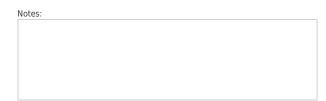
Prepared for:

Project:

Room: Placement:

Approval:





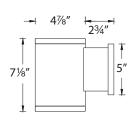
Created August 2nd, 2021

TUBE ARCHITECTURAL DS-WS05

WAC LIGHTING

LED Wall Mounts





| First Tour | |
|---------------|----|
| Fixture Type: | |
| Catalog Numbe | r: |
| Project: | |

Location:

PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

FEATURES

- High performance exterior rated LED wall mount light
- Fixture can install upside down to alter light distribution
- Solid aluminum construction
- 5 year warranty

SPECIFICATIONS

Input: Universal voltage 120V - 277VAC, 50/60Hz
Dimming: Electronic low voltage (ELV): 100% - 5%

0-10V: 100% - 1%

Light Source: High output 3 Step Mac Adam Ellipse COB

Rated life of 60,000 hours at L70

Finish: Electrostatically powder coated, white, black, bronze and graphite

Standards: IP65 rated, ETL & cETL wet location listed,

Energy Star® 2.2 rated Title 24 JA8-2016 Compliant

Operating Temp:-13°F to 122°F (-25°C to 50°C)

ORDERING NUMBER

| Diameter | \ | Natt | | Beam | | | | Reference | e Output 1 | Efficacy | | | | |
|-----------|----|------|-----------|-------|------------|-------|-----|-----------|------------|----------|--------------------|-------|----------|--|
| | | | Beam | Angle | Colo | Temp | CRI | Lumen | CBCP | (lm/w) | Light Distribution | Finis | h | |
| | | | | | 927S | 2700K | 90 | 1825 | 10050 | 73 | | | | |
| | | | S | | 275 | 2700K | 85 | 2190 | 12057 | 88 | | | | |
| | | | Straight | | 930S | 3000K | 90 | 1895 | 10427 | 76 | | | | |
| | | | up or | 16° | 30S | 3000K | 85 | 2300 | 12644 | 92 | | | | |
| | | | down | | 35S | 3500K | 85 | 2350 | 12937 | 94 | | | | |
| | | | | | 40S | 4000K | 85 | 2375 | 13062 | 95 | | | | |
| | | | | | 9275 | 2700K | 90 | 1810 | 5280 | 72 | | | | |
| | | | N | | 27S | 2700K | 85 | 2170 | 6335 | 87 | | | | |
| | | | Straight | 25° | 930S | 3000K | 90 | 1880 | 5478 | 75 | | | | |
| | | | up or | 25 | 30S | 3000K | 85 | 2275 | 6643 | 91 | | | | |
| | | | down | | 35S | 3500K | 85 | 2330 | 6797 | 93 | | | | |
| | | | | | 40S | 4000K | 85 | 2350 | 6863 | 94 | | | | |
| DS-WS05 | 5" | 25W | | | 927S | 2700K | 90 | 1900 | 4515 | 76 | | | | |
| D3-W303 |) | 2300 | F | | 27S | 2700K | 85 | 2280 | 5417 | 91 | | BK | Black | |
| | | | Straight | 33° | 9305 | 3000K | 90 | 1970 | 4685 | 79 | | WT | White | |
| | | | up or | 55 | 30S | 3000K | 85 | 2390 | 5681 | 96 | | BZ | Bronze | |
| DS-WS0517 | 5" | 17W | down | | 35S | 3500K | 85 | 2445 | 5812 | 98 | | GH | Graphite | |
| | | | | | 405 | 4000K | 85 | 2470 | 5870 | 99 | | | | |
| | | | | | 927A | 2700K | 90 | 2000 | | 80 | | - | | |
| | | | F | | 27A | 2700K | 85 | 2400 | | 96 | | / | | |
| | | | Away | N/A | 930A | 3000K | 90 | 2075 | N/A | 83 | | | | |
| | | | from | 14/71 | 30A | 3000K | 85 | 2520 | N/A | 101 | | | | |
| | | | the wall | | 35A | 3500K | 85 | 2575 | | 103 | | | | |
| | | | | | 40A | 4000K | 85 | 2600 | | 104 | | | | |
| | | | | | 927B | 2700K | 90 | 2000 | | 80 | | , | | |
| | | | F | | 27B | 2700K | 85 | 2400 | | 96 | | / | | |
| | | | Towards | N/A | 930B | 3000K | 90 | 2075 | N1/A | 83 | | | | |
| | | | the wall | IV/A | 30B | 3000K | 85 | 2520 | N/A | 101 | | | | |
| | | | tile wall | | 35B | 3500K | 85 | 2575 | | 103 | | | | |
| | | | | | 40B | 4000K | 85 | 2600 | | 104 | | | | |

DS-WS05- -

¹Reference output shows 25W output. Multiply by 0.7 to determine output for 17W combinations.

Example: DS-WS05-F930A-WT

waclighting.com Phone (800) 526.2588 Fax (800) 526.2585 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

HUDSON LOFT PARKING LOT

2 Astor Place Irvington, NY

Submission for Planning Board Approval **August 19, 2020**

Resubmission for Planning Board Approval **September 23, 2020** Revision \triangle

Resubmission for Planning Board Approval **December 23, 2020** Revision **2**

Resubmission for Planning Board Approval **January 20, 2021 Revision A**

Resubmission for Planning Board Approval **February 17, 2021** Revision A

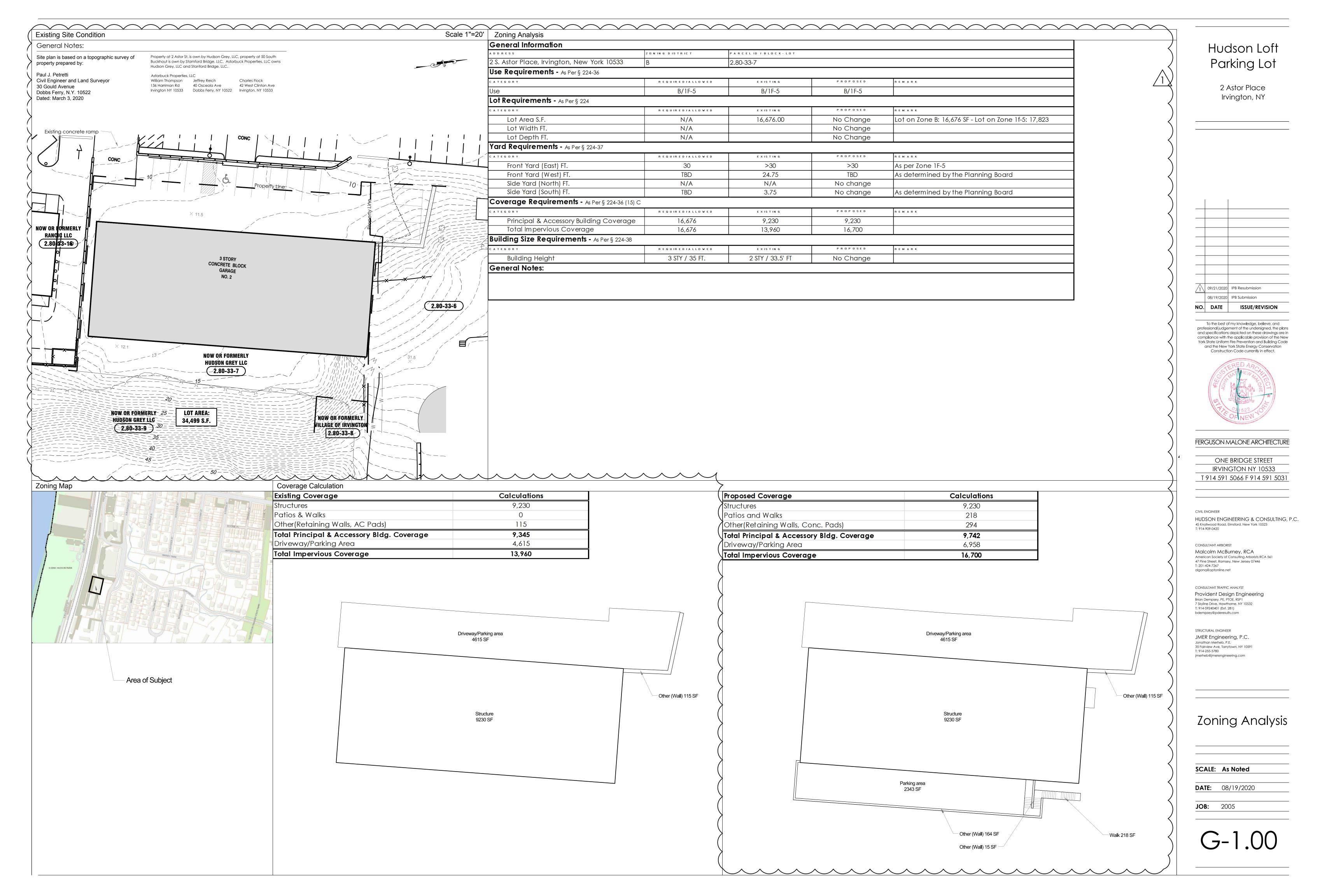
Submission for ARB Approval

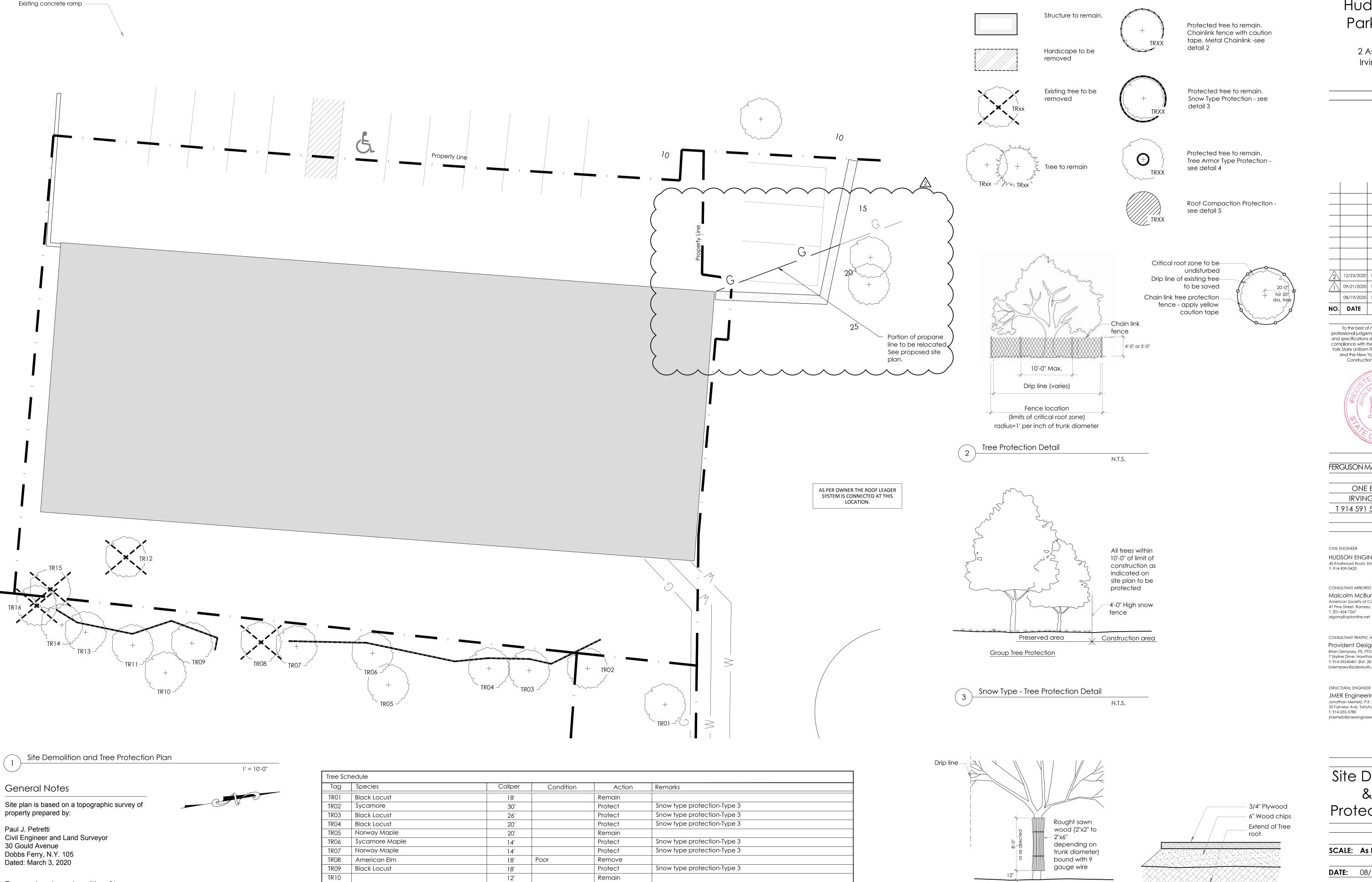
August 2, 2021 Revision 🖄

PROJECT NO.: 2005

FERGUSON MALONE ARCHITECTURE

| Climate and Geographic Design | ın Criteria (Effe | ective 10/3/2016) | | | | | | | LIST OF D | RAWINGS | | | | | |
|--|--------------------------------|--|----------------------------|---|---------------------------------------|---|------------------------|---------------------------------|------------------|---|------------|------------|-----------------|---------------|--|
| Location: Village of Irvington Wind Design | <u> </u> | ubject to Damage From | | | | Zip Code: 10533 | | | SHEET NO. | TITLE | REVISION | DATE | SHEET NO. TITLE | revision date | Hudson Loft |
| | | object to barrage from | | Davida | | A4 | | | G-0.00 | General Notes and List of Drawings | 5 | 08/02/2021 | | | Parking Lot |
| Ground Special Wind Wind-borne Categor | gory | Frost Line | Climate Unde | Barrier erlayment | | Mean reezing Annual | | | G-1.00 G-1.10 | Zoning Analysis Site Demolition and Tree Protection Plan | | 09/23/2020 | | | |
| Snow Load Speed (mph) Topo Effects Region Debris Zone (RCNY O | Only) Weatheri | ring Depth Termite | Zone R | eqd Flood Hazard **Firm Communit | | ndex Temp | | | G-1.11 | Proposed Site Plan | <u>/2\</u> | 02/17/2021 | | | 2 Astor Place |
| *Special Wind 30 Region No Yes No C | Severe | Moderate to | O AA | Map # 361190 Yes Effective Date, 9 | C0261F | 51.6 | | | G-1.12 | Proposed Site Details | 3 | 01/20/2021 | | | Irvington, NY |
| *115 MPH to 120 MPH. The Special wind region should serve as a warning to design profession | onals in evaluating | g wind loading conditions. Wind | d Speeds higher than | | , 20 200, 20 | | | | | Ctormulator Managan port Plan | | 01/20/2021 | | | |
| derived values takes from Section 1609 of to IBC and Figure R301.2(4) A of the IRC are likely t **State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. | | | | osito | | | | | C-1 C-2 | Stormwater Management Plan Details | 3 | 01/20/2021 | | | |
| http://www.floodmap.floodsimple.com/ | able. 1/14. Vellly w | mittikm maps. maps are availa | able on the HWA web |) SHE | Legend o | and Symbols | | | | | ^ | | | | |
| Insulation and Fenestration Requ | uirements by (| Component | | | X A-X,XX | ELEVATION NUMBER | ELEVATION | | A-1.00 A-1.01 | Existing-Demo Plan - First Floor Existing-Demo Plan - Second Floor | 1 | 09/23/2020 | | | |
| Glazed Wood Frame | Mass | Basement Slab | | | | DRAWING NUMBER | | | A-1.02 | Existing-Demo Plan - Third Floor | 4 | 02/17/2021 | | | |
| Climate Zone Fenestration Skylight Fenestration Ceiling Wall U-Factor U-Factor SHGC R-Value R-Value | Wall Floor R-Value R-Value | | | | X A-X.XX | DETAIL NUMBER | DETAIL | | | | | | | | |
| Table R402.1.2 Insultation and Fenestration | Requirements by | Component | | | , , , , , , , , , , , , , , , , , , , | DRAWING NUMBER | | | A-1.10 | Existing Elevations | 5 | 08/02/2020 | | | |
| 4A 0.32 0.55 0.4 49 20 or 13 + 5 | 8/13 19 |) 10/13 10,2 F | FT 10/13 | | (XX) | DOOR NUMBER | X | FINISH TAG | A-1.11 | Existing Elevations | <u>/5\</u> | 08/02/2020 | | | |
| Table R402.1.4 Equival | alent U-Factors | | | | $\langle x \rangle$ | WINDOW TYPE | <u> </u> | KEY NOTE | A-2.00 | Proposed Plan - First Floor | 4 | 02/17/2021 | | | |
| 4A 0.32 0.55 0.026 0.06 | 0.098 0.04 | 47 0.047 0.05 | 59 0.065 | | | | • | WALL TYPE | A-2.01 | Proposed Plan - Second Floor | <u>4</u> | 02/17/2021 | | | 08/02/2021 ARB Submission 02/17/2021 IPB Resubmission |
| Notes: | | | | | PXX | PLUMBING FIXTURE TAG | | | A-2.02 | Proposed Plan - Third Floor | 4 | 02/17/2021 | | | 3 01/20/2021 IPB Resubmission |
| * Plans have been designed in accordance with the prescriptive energy requirements of the * Plans have been designed in accordance with the National Electrical code NFPA 70 2020 E | e 2020 Energy Cons Edition. | servation Construction Code of | f New York State. | | EXX | EQUIPMENT TAG | ROOM NAME ROOM NO. | ROOM TAG | A-3.00 | Proposed Elevations | 5 | 08/02/2021 | | | 12/23/2020 IPB Resubmission 12/23/2020 IPB Resubmission 12/23/2020 IPB Resubmission 12/23/2020 IPB Resubmi |
| * Existing and proposed building construction to be Type 1 A: Protected non-combustible. * Existing and proposed occupancy is: Mix Used | | | | | | | | | A-3.01 | Proposed Elevations | <u></u> | 08/02/2020 | | | 08/19/2020 IPB Submission NO. DATE ISSUE/REVISION |
| Construction Requirements | Abbrevio | ations | | | | | | | | | ^ | | | | NO. DATE ISSUE/REVISION |
| Construction Requirements All work shall be in accordance with the 2020 New York State Building Code and the | ADDIEVIC | Allons | F | | 0 | | W | | A-3.10 | Proposed Building Section | 5 | 08/02/2020 | | | To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in |
| November 2019 addition, and all applicable local jurisdiction and fire department regulations. | A/C ACOUS. | AIR CONDITIONING ACOUSTICAL | F.ALM. FABR. | FIRE ALARM FABRICATE | O.A. O.C. | OVERALL ON CENTER | (W) W/ | WEST WITH | A-4.00 | Proposed Stair Details | 4 | 02/17/2021 | | | compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect. |
| Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate | ACOUS.T AC.T.) | ACOUSTICAL TILE (OR | F.E. F.E.C. | FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET | O.D. | OUTSIDE DIAMETER OFF. OFFICE OPPOSITE HAND OPNG | WD | WATER CLOSET WOOD WINDOW | A-4.01 | Proposed Stair Details | 4 | 02/17/2021 | | | Consideration Code Contently Interiect. |
| stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of | ADD'N(L). ADJ. ALUM. | ADDITION(AL) ADJUSTABLE ALUMINUM | FIN. FL. F.H.C. | FINISH FLOOR FIRE HOSE CABINET | O.H. OPP. | OPPOSITE HAND OPING OPPOSITE OPPOSITE | G. WIN. W.H. W/O | WATER HEATER WITHOUT | A-4.02 | Proposed Stair Details | 2 | 12/23/2020 | | | S NAT HEW MAN |
| inspections. Work shall not be closed or covered until it has been inspected and approved. | ALT. ANOD. | ALTERNATE ANODIZED | FIN. FLR. | FINISH(ED) FLOOR | ORIG. | ORIGINAL | W.S. WV. | WEATHERSTRIPPING WOOD VENEER | A-4.10 | Proposed Foundation Plan | | 02/17/2021 | | | - OR ON CI |
| All work, including plumbing and electrical work, shall be performed by licensed contractors. | APPVD. APPROX. ARCH. | APPROVED APPROXIMATE ARCHITECT or | FLUOR. F.O.C. F.O.F. | FLUORESCENT FACE OF CONCRETE FACE OF FINISH | PART. BD. P.LAM. | PARTICLE BOARD PLASTIC LAMINATE | <u>Y</u> | | 7-4.10 | Troposed Foorigation Francisco | 4 | 02/1//2021 | | | O T T T T T T T T T T T T T T T T T T T |
| All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS. | AUTO. | ARCHITECTURAL AUTOMATIC | F.O.G. F.O.S. | FACE OF GYP.BD. FACE OF STUD | PLAS. PLYWD. | PLASTER PLYWOOD | YD. | YARD | S-1 | Structural Notes & Details | 2 | 01/20/2021 | | | E OF NEW 10 |
| The contractor shall maintain a current and complete set of construction drawings and | AVG. & A.F.F. | AVERAGE AND ABOVE FINISH | F.O.W. FR. F.S. | FACE OF WALL FRAME FULL SIZE | PNL. PR. PREFAB. | PANEL PAIR PREFABRICATED | | | | | | | | | |
| specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel. | ABV. | FLOOR ABOVE | FT. F.A.R. | FOOT OR FEET FLOOR AREA RATIO | PROJ. PTN. | PROJECT PARTITION | | | | | | | | | FERGUSON MALONE ARCHITECTURE |
| Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. | B BD | BOARD | F-F FIXT. | FACE TO FACE FURR. FURRING FIXTURE | PTD. PWG. | PAINTED PAINTED WOOD & GLASS | | | | | | | | | ONE BRIDGE STREET IRVINGTON NY 10533 |
| Contractor shall notify the architect of any discrepancies in drawings, specifications | BLDG. BLKG. | BUILDING BLOCKING | G | | Q | 01/03 | _ | | | | | | | | T 914 591 5066 F 914 591 5031 |
| and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified. | BRKT. BRZ. BSMT. | BRACKET BRONZE BASEMENT | GA. GEN. GL. | GAUGE GENERAL GLASS OR GLAZED | QUAL. QUAN. | QUALITY QUANTITY | | | | | | | | | |
| The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction. | 631411. | BASEMENT | GYP. GWB | GYPSUM GYPSUM WALL | R | DETURNAL D | - | | | | | | | | CIVIL ENGINEER |
| Construction work shall be done on regular work hours except as directed by owner. | CAB. | CABINET CENTER TO CENTER | | BOARD | R/A RAD. RECEP. | RETURN AIR RADIUS RECEPTACLE | | | | | | | | | HUDSON ENGINEERING & CONSULTING, P.C. 45 Knollwood Road, Elmsford, New York 10523 |
| All local ordinances regarding noise and nuisance shall be respected. Contractor shall exercise strict control over safety and security of the site. | C.C. CER. CLKG. | CERAMIC CALKING | HDWR. | HARDWARE | REF. REFL. | REFERENCE REFLECTED | | | | | | | | | T: 914-909-0420 |
| The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for | CLG. | CENTER LINE CEILING | HDWD. HGT. H.M. | HARDWOOD HEIGHT HOLLOW METAL | REINF. RESIL. | REINFORCED RESILIENT | | | | | | | | | CONSULTANT ARBORIST Malcolm McBurney, RCA |
| the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test | (OR CEIL.) CLOS. CLR. | CLOSET CLEAR | HORIZ. HVAC | HORIZONTAL HEATING, | REQ'D. R.H. RM. | REQUIRED RIGHT HAND ROOM | | | | | | | | | American Society of Consulting Arborists RCA 561 47 Pine Street, Ramsey, New Jersey 07446 T: 201-424-7267 |
| all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of | CLR. OPG. COL. | CLEAR OPENING COLUMN | 11.147 | VENTILATING AND AIR CONDITIONING | RND. R.O. | ROUND ROUGH OPENING | | | | | | | | | algonq@optonline.net |
| waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose. | CONC. CONN. | CONCRETE CONNECT OR | H.W. I | HOT WATER | REV. | REVISION | | | | | | | | | CONSULTANT TRAFFIC ANALYST Provident Design Engineering |
| Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site. | CONST. CONT. | CONNECTION CONSTRUCTION CONTINUOUS | I.D. INCL. | INSIDE DIAMETER INCLUDE(D)(ING) | S (S) SCHED. | SOUTH SCHEDULE | - | | | | | | | | Brian Dempsey, PE, PTOE, RSY 1 7 Skyline Drive, Hawthorne, NY 10532 T: 914-59240401 (Ext. 281) |
| The entire areas and the job site shall be maintained in a neat and orderly condition | COR. | CORNER CORRIDOR | INFO. | INFORMATION INCAN. INCANDESCENT INTERIOR | SECT. SIM. | SECTION SIMILAR | | | | | | | | | bdempsey@pderesults.com |
| and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day. | CORR. C.T. CTR. C.W. | COUNTERTOP CENTER COLD WATER | 1 | INTERIOR | SQ. S.F. | SQUARE SQUARE FEET STEEL | | | | | | | | | structural engineer JMER Engineering, P.C. |
| All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency. | CM. | CARBON MONOXIDE | J JAN. JT. | JANITOR JOINT | S.S. STD. | STAINLESS STEEL STANDARD STRUCT. | | | | | | | | | Jonathan Merheb, P.E. 35 Fairview Ave, Tarrytown, NY 10591 T: 914-255-5780 |
| Contractor's personnel will be admitted to the property upon permission of the owner. | D.A. | DOUBLE-ACTING DBL. DOUBLE | <u>L</u> | | SUSP. | STRUCTURAL SUSPEND(ED) SYMM. SYMMETRICAL | | | | | | | | | jmerheb@jmerengineering.com |
| No alcohol nor drug use shall be permitted. Contractor will be responsible for repairing any damages or replacing any items | DEPT. DET. | DEPARTMENT DETAIL | LAM. | ANGLE LAMINATE | SYS. SPL. | SYSTEM SPLASH | | | | | | | | | _ |
| destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection | D.F. | DRINKING FOUNTAIN DIAMETER | LB. (OR #) L.H. LAV. | POUND LEFT HAND LAVATORY | S.D. Stor. | SMOKE DETECTOR STORAGE | | | | | | | | | |
| for the work until turned over to the owner. Concrete: | DIM. DIV. | DIMENSION DIVISION | <u>M</u> | | <u>T</u> TECH. | TECHNICAL | - | | | | | | | | General |
| Soil bearing value assumed to be min. 2 tons per square foot subject to field verification. Concrete work shall conform to ACI 318-63. in cases of conflict the | DN. DR. DWG. | DOWN DOOR DRAWING | MAINT. MAX. | MAINTENANCE MAXIMUM | TEL. TEMPD. | TELEPHONE TEMPERED | | | | | | | | | Notes & List of |
| NY state building code shall govern. Concrete slabs on grade at sidewalks, concrete fill and pads shall be average | DRW. | DRAWER | MECH. M.C. MTL. | MECHANICAL MAIL CHUTE METAL | TEMP. GL. THK. TYP. | TEMPERED GLASS THICK(NESS) TYPICAL | | | | | | | | | Drawings |
| concrete. Average concrete shall have a mix proportion and a water cement ratio which has been shown by previous CBE to produce satisfactory concrete | (E.) | EAST | MEZZ. MGR. | MEZZANINE MANAGER | T.M.E. | TO MATCH EXISTING | | | | | | | | | |
| of 2,500 psi at a slump of 5" +/- 1". | ELEC. EL. ELEVR. | ELECTRIC ELEVATION ELEVATOR | MIN. MISC. MTD. | MINIMUM MISCELLANEOUS MOUNTED | U U.L. | UNDERWRITERS | - | | | | | | | | SCALE: As Noted |
| All reinforcing bars shall be new billet deformed steel conforming to ASTM 615 grade 60. Slabs-on-grade reinforcement shall be 6" x 6" - 10/10 gauge welded wire mesh. Provide clearances from faces of concrete to | ENGR. EQ. | ENGINEER EQUAL | MUL. M.TH. | MULLION METAL THRESHOLD | UTIL. U.O.N. | LABORATORY UTILITY UNLESS OTHERWISE | | | | | | | | | |
| reinforcement as follows: Slabs 3/4" | EQUIP. EXH. E, EXIST. | EQUIPMENT EXHAUST EXISTING | MW. | MICROWAVE | ∪.∪.N. | NOTED NOTED | | | | | | | | | DATE: 08/19/2020 |
| Beams 1-1/2" Footings 3-0" Walls: Exterior face 1-1/2" | EXPAN. | EXPANSION EXPOS. EXPOSED | (N) N. | NORTH NEW | V VERT. | VERTICAL | - | | | | | | | | JOB: 2005 |
| Interior face 3/4" At concrete surfaces to be exposed to weather: | EXT. ELECT. | EXTERIOR ELECTRICAL | NEG. N.I.C. | NEGATIVE NOT IN | VEST. V.I.F. VOL. | VESTIBULE VERIFY IN FIELD VOLUME | | | | | | | | | |
| #4 and smaller 1-1/2" #5 and larger 2-0" | | | NO.(OR #) N.T.S. | CONTRACT NUMBER NOT TO SCALE | . 32. | <u>-</u> | | | | | | | | | G-0.00 |
| | | | | - | | | | | | | | | | | J-0.00 |
| | | | | | | | | | | | | | | | |





Snow type protection-Type 3

Snow type protection-Type 3

Snow type protection-Type 3

Protect

Remove

Protect

Protect

Remove

Remove

Tree species, size and condition of trees are

based on information gathered by:

The Care of Trees

57 Valley Avenue

Elmsford, N.Y. 10523

Dated: August 13, 2020

TR11

TR12 Black Locust

TR13 Sycamore Maple

TR14 Norway Maple

TR15 Norway Maple

TR16 Black Locust

12'

16'

12'

10'

14'

18' Poor

Poor

Poor

Hudson Loft Parking Lot

Demolition and Tree Protection Key

Individual Tree Armor Type

Armor Type - Tree Protection Type Detail

2 Astor Place Irvington, NY

12/23/2020 IPB Resubmission 1 09/21/2020 IPB Resubmission 08/19/2020 IPB Submission

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.

ISSUE/REVISION



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET IRVINGTON NY 10533 T 914 591 5066 F 914 591 5031

CIVIL ENGINEER HUDSON ENGINEERING & CONSULTING, P.C. 45 Knollwood Road, Elmsford, New York 10523 T: 914-909-0420

CONSULTANT ARBORIST Malcolm McBurney, RCA American Society of Consulting Arborists RCA 561 47 Pine Street, Ramsey, New Jersey 07446 T: 201-424-7267 algonq@optonline.net

CONSULTANT TRAFFIC ANALYST Provident Design Engineering Brian Dempsey, PE, PTOE, RSP1 7 Skyline Drive, Hawthorne, NY 10532 T: 914-59240401 (Ext. 281) bdempsey@pderesults.com

STRUCTURAL ENGINEER JMER Engineering, P.C. Jonathan Merheb, P.E. 35 Fairview Ave, Tarrytown, NY 10591 T: 914-255-5780 jmerheb@jmerengineering.com

Site Demolition & Tree Protection Plan

SCALE: As Noted

DATE: 08/19/2020

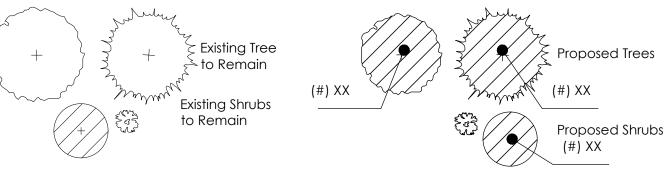
JOB: 2005

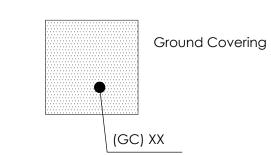
Root Compaction Protection Detail

-05) Proposed Signage –08) Existing Propane Line **NOW OR FORMERLY** RANCIC LLC **(2.80-33-16)** Propane Line -09 Proposed Traffic Barrier 3 STORY CONCRETE BLOCK **BUILDING** NO. 2 106 Proposed Accessible Path 2.80-33-6 04) Proposed Landing 12 Parking Entrance AS PER OWNER THE ROOF LEADER SYSTEM IS CONNECTED AT THIS LOCATION. -(11) Existing Parking Space **NOW OR FORMERLY HUDSON GREY LLC** —03) Proposed Concrete Stair 2.80-33-7 Proposed Accessible Path (1) Existing Parking Spaces - Existing Parking Spaces to remain. Existing Parking Spaces **NOW OR FORMERLY HUDSON GREY LLC** 2.80-33-9 T.O. Wall T.O. Wall NOW OR FORMERLY ackprime VILLAGE OF IRVINGTON Proposed Site and Landscape Plan 2.80-33-8 1' = 10'-0'' General Note Proposed Parking Area Proposed Concrete . Retaining Wall Site plan is based on a topographic survey of property prepared by: Paul J. Petretti Civil Engineer and Land Surveyor 30 Gould Avenue Dobbs Ferry, N.Y. 105 Dated: March 3, 2020

Existing concrete ramp –

Landscape





General Notes

1. Cut/fill material to be approximately the same. No cut material to be removed from site & no fill material to be imported to site.

2. The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen situation and erosion of disturbed soils.

3. As-built drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining certificate of occupancy.

4. Existing utilities will not be disturbed by proposed work.

5. The infiltration system must not be connected until construction is complete and the site is stabilized.

6. Infiltration system access ports shall be shown on the 'As-Built'.

7. All disturbed areas not indicated to be planted with groundcover or other plantings are to be seeded as lawn, u.n.o.

8. For construction sequence, see civil drawings.

9. Any soil removed will be tested to confirm it is not hazardous. Prior to excavation and removal of soil from the site, the site shall be evaluated for contamination. Once the nature and extent, if any, of contamination has been determined, the contamination shall be addressed and disposed of in accordance with NYSDEC CP-51 policies and all local and state requirements. The Village shall be notified a minimum of 24 hours prior to sampling.

Key Notes

- (01) Proposed Parking Area. See proposed Plan, First Floor
- ©2 Proposed Concrete Retaining Wall
- ©3) Proposed Concrete Stair
- 04 Proposed Landing. Proposed landing for new stair egress.
- 05 Proposed Signage. Proposed signage indicating parking limitations. Specifications to be determined.
- Proposed Accessible Path Proposed stripped path to accessible
- ground floor entrance to adjacent office building.
- Proposed Propane Line Existing line to be reinstalled as indicated. See detail on Sheet G-1.12.
- (08) Existing Propane Line Modify existing propane line as indicated.
- 9 Proposed traffic barrier See detail on Sheet G-1.12.
- Proposed Accessible Path Proposed stripped path adjacent to existing "No Parking Spot".
- Parking Entrance Existing Parking Entrance location to remain -See plan on Sheet A-2.01.

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|------------|------------|------------------|
| | 08/19/2020 | IPB Submission |
| <u>/ì\</u> | 09/21/2020 | IPB Resubmission |
| 2 | 12/23/2020 | IPB Resubmission |
| 3 | 01/20/2021 | IPB Resubmission |
| $\sqrt{4}$ | 02/17/2021 | IPB Resubmission |
| | | |
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To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTUR!

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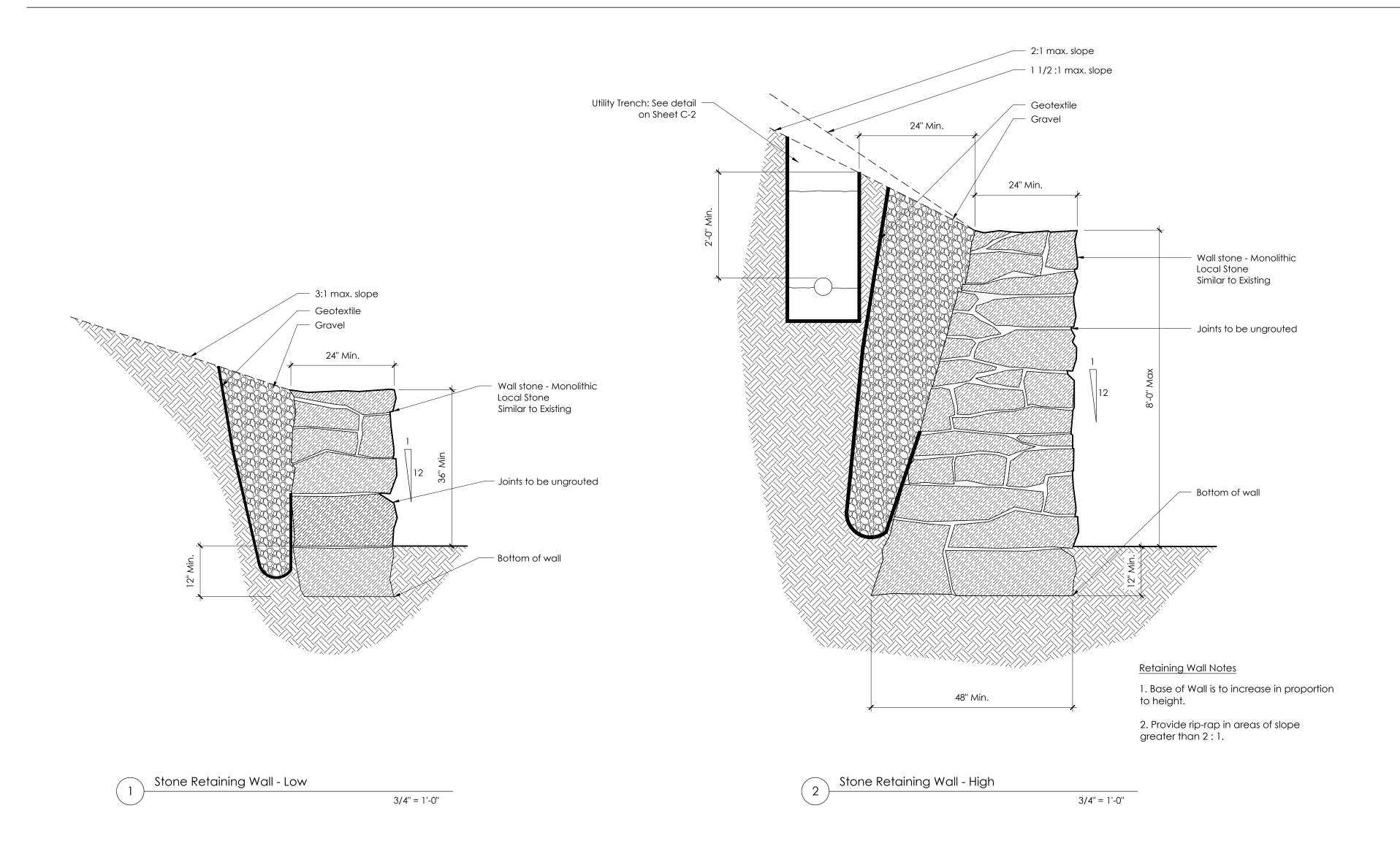
STRUCTURAL ENGINEER JMER Engineering, P.C. Jonathan Merheb, P.E. 35 Fairview Ave, Tarrytown, NY 10591 T: 914-255-5780 jmerheb@jmerengineering.com

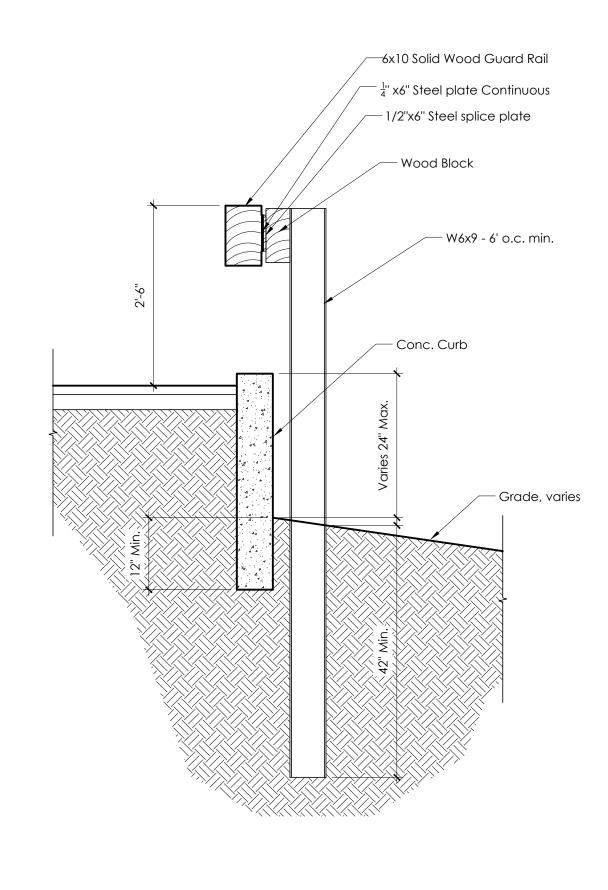
Proposed Site Plan

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005





3 Traffic Barrier Detail
3/4" = 1'-0"

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

| 3 01/20/2021 IPB Resubmission 2 12/23/2020 IPB Resubmission 09/21/2020 IPB Resubmission 08/19/2020 IPB Submission | NO. | DATE | ISSUE/REVISION |
|--|----------------|------------|------------------|
| 12/23/2020 IPB Resubmission | | 08/19/2020 | IPB Submission |
| \(\lambda \) 10 (00 (0000 \) 100 \(\text{10} \) \(\text{10} | $\overline{1}$ | 09/21/2020 | IPB Resubmission |
| 3 01/20/2021 IPB Resubmission | 2 | 12/23/2020 | IPB Resubmission |
| | 3 | 01/20/2021 | IPB Resubmission |
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To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

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STRUCTURAL ENGINEER

JMER Engineering, P.C.

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T: 914-255-5780
jmerheb@jmerengineering.com

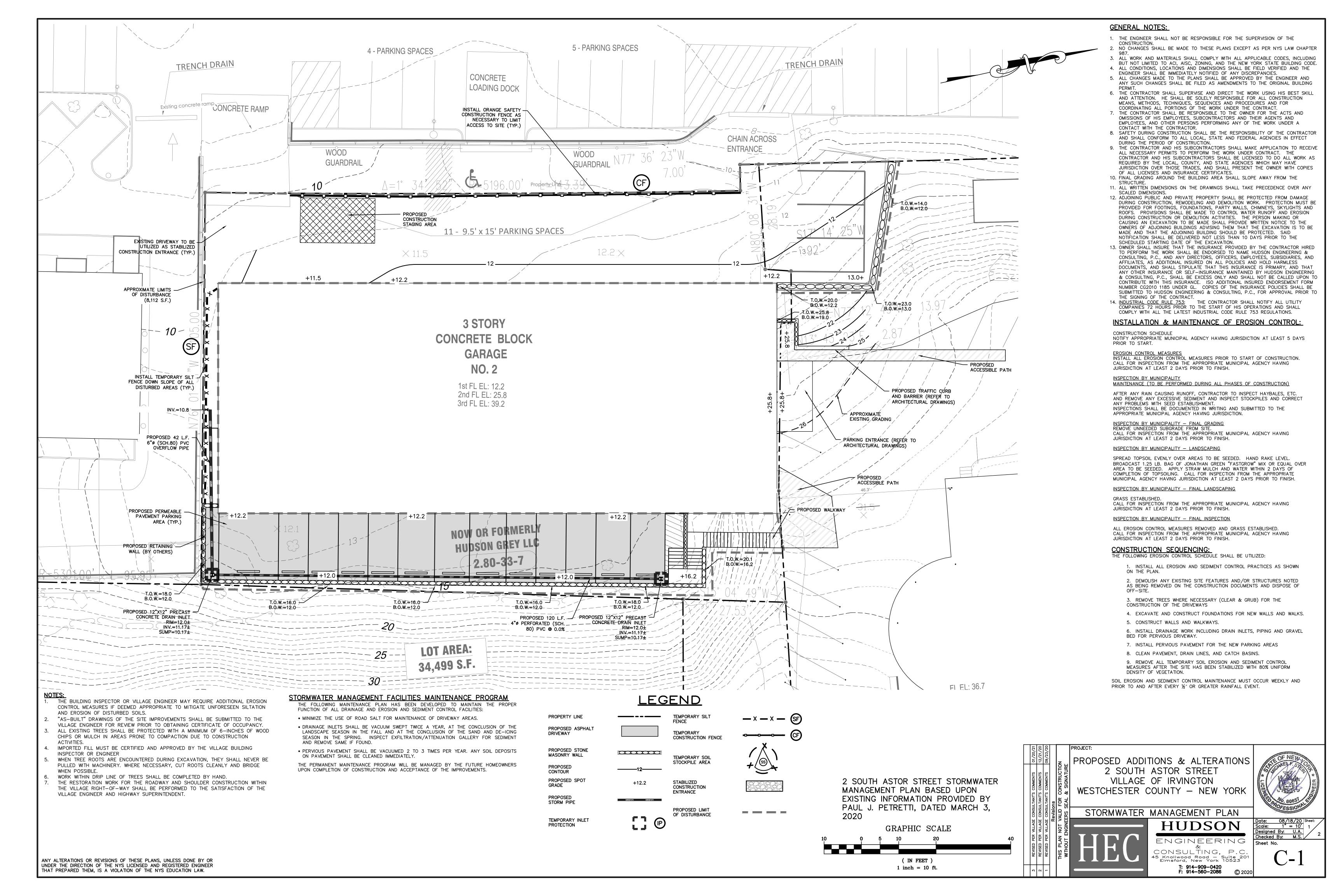
Site Details

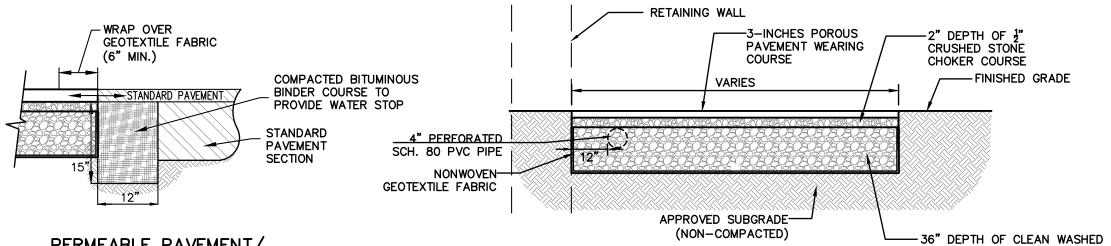
SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

G-1.12





PERMEABLE PAVEMENT

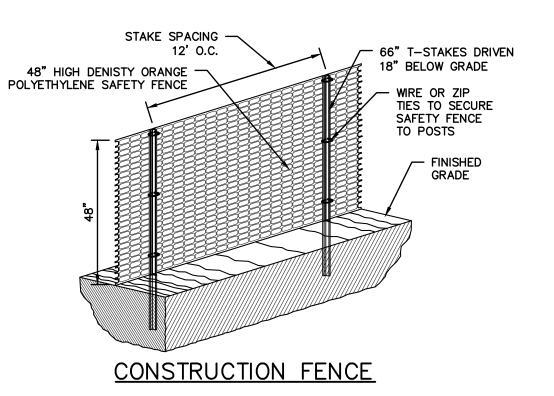
PERMEABLE PAVEMENT/ STANDARD PAVEMENT INTERFACE

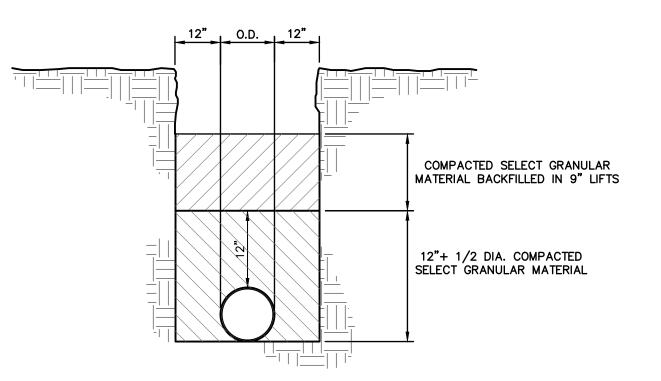
- STONE FOR INFILTRATION BEDS SHALL BE 3/4 INCH UNIFORMLY GRADED COARSE AGGREGATE WITH A WASH LOSS OF NO MORE THAN 0.5% IN ACCORDANCE WITH PROJECT SPECIFICATIONS, VOID SPACE SHALL BE 40% AS MEASURED BY ASTM-C29.
- 2. NONWOVEN GEOTEXTILE SHALL CONSIST OF NEEDLED NONWOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES: 3. GRAD TENSILE STRENGTH (ASTM-D4632) >=120 LBS, MULLEN BURST STRENGTH (ASTM-D3786) >=225 LBS, FLOW RATE (ASTM-D4491) >=95 GALLONS/MINUTE/SQUARE FOOT UV RESISTANCE AFTER 500 HRS (ASTM-D4355) >=70%. HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED. GEOTEXTILE FABRIC SHALL BE MIRAFI 140 N OR APPROVED EQUAL.
- 3. POROUS PAVEMENT SHALL NOT BE INSTALLED ON WET SURFACES OR WHEN THE AMBIENT AIR TEMPERATURE IS 50 DEGREES FAHRENHEIT OR LOWER.
- 4. FILTER FABRIC AND STONE SHOULD BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL SEDIMENT HAS ENTERED ANY OF THE INFILTRATION SEEPAGE BEDS, APPROPRIATE MEASURES (i.e. CLEANING THE SOIL/SEDIMENT FROM THE FABRIC, STONE, ETC. AND OR REPLACEMENT OF THE FABRIC AND STONE) SHOULD BE ADDRESSED.
- 5. ALL STONE FOR THE CONSTRUCTION OF THE PERMEABLE PAVEMENT SHOULD BE UNIFORMLY GRADED AND CLEAN WASHED AGGREGRATE.
- 6. THE BOTTOM OF THE PERMEABLE PAVEMENT SUBBASE BE UNDISTURBED OR UNCOMPACTED SUBGRADE.
- 7. PERVIOUS PAVEMENT SHOULD BE INSTALLED TOWARD THE END OF THE CONSTRUCTION PERIOD IF POSSIBLE. THIS WILL AVOID COMPACTION OF THE SUBGRADE AND SUBJECTION TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
- 8. GEOTEXTILE AND BED AGGREGATE FOR PERVIOUS PAVEMENT SHOULD BE PLACED IMMEDIATELY AFTER APPROVAL OF SUBGRADE PREPARATION AND INSTALLATION OF STRUCTURES. ADJACENT STRIPS OF GEOTEXTILE SHOULD OVERLAP A MINIMUM OF 16 INCHES, AND SHOULD BE SECURED AT LEAST 4 FEET OUTSIDE OF BED TO PREVENT ANY RUNOFF OR SEDIMENT FROM ENTERING THE STORAGE BED. THIS EDGE STRIP SHOULD REMAIN IN PLACE UNTIL ALL BARE SOILS OR DISTURBED AREAS CONTIGIOUS TO THE BED ARE STABILIZED. AS THE SITE IS FULLY STABILIZED, EXCESS GEOTEXTILE ALONG BED EDGES CAN BE CUT BACK TO THE BED EDGE.

9. THE PERVIOUS PAVEMENT SHOULD BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION (NYSDOT) STANDARD SPECIFICATIONS DATED

UNIFORMLY GRADED 34" CRUSHED

- 10. THE FULL PERMEABILITY OF THE PAVEMENT SURFACE SHOULD BE TESTED BY APPLICATION OF CLEAN WATER AT THE RATE OF AT LEAST 5 GPM OVER THE SURFACE, USING A HOSE OR OTHER DISTRIBUTION DEVICE. ALL APPLIED WATER SHOULD INFILTRATE DIRECTLY WITHOUT FORMATION OR SURFACE RUNOFF.
- 11. PERVIOUS PAVEMENT SHALL BE VACCUMED 2 TO 3 TIMES PER YEAR. PAVEMENT WASHING SYSTEMS OR COMPRESSED AIR UNITS ARE NOT RECOMMENDED. IMMEDIATELY CLEAN ANY SOIL DEPOSITED ON PAVEMENT.
- 12. FOR WINTER MAINTENANCE OPERATIONS, ABRASIVES SUCH AS SAND OR CINDERS SHOULD NOT BE APPLIED ON OR ADJACENT TO THE PERVIOUS PAVEMENT.
- 13. SNOW PLOWING IS ACCEPTABLE, PROVIDED IT IS DONE BY SETTING THE BLADE SLIGHTLY HIGHER THAN USUAL (APPROXIMATELY 1 INCH).
- 14. SALT IS ACCEPTABLE FOR USE AS A DEICER ON THE PERVIOUS PAVEMENT, THOUGH NONTOXIC, ORGANIC DEICERS APPLIED EITHER AS BLENDED MAGNESIUM CHLORIDE BASED LIQUID PRODUCTS, OR AS PRETREATED SALT ARE PREFERABLE.
- 15. IF PORTIONS OF THE PERVIOUS PAVEMENT EXPERIENCE SETTLING, FOR AREAS LESS THAN 50 SQUARE FEET, REPAIR CAN BE MADE WITH STANDARD PAVEMENT OR WITH THE PERVIOUS PAVEMENT MIX. IF THE AREA IS GREATER THAN 50 SQUARE FEET, THE CONTRACTOR SHALL RECEIVE APPROVAL OF THE PATCH TYPE FROM HUDSON ENGINEERING & CONSULTING, P.C.





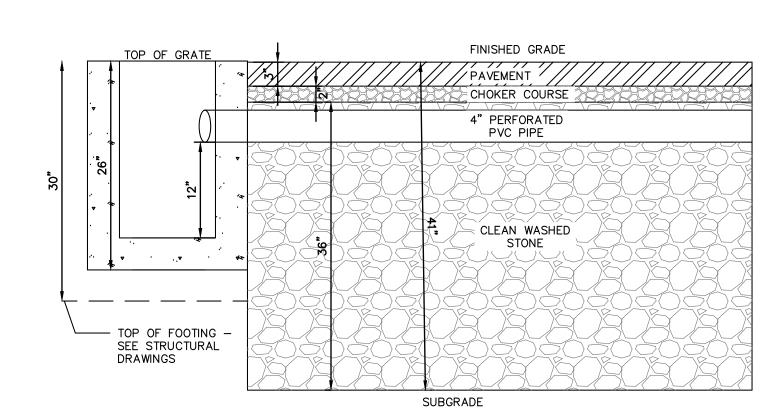
TRENCH BEDDING

HEAVY DUTY CAST IRON CAMPBELL GRATE 2813 OR EQUAL 20" 3,500 PSI CONCRETE 3,500 PSI CONCRETE 6" SUBBASE COURSE TYPE 2 PROVIDE BOOT OR UNDISTURBED SECTION B-B RING FOR PVC OR SECTION A-A DIP PIPE OPENING IN CATCH BASIN STANDARE CATCH BASIN TRAP BY CAMPBELL FOUNDRY 2560 -

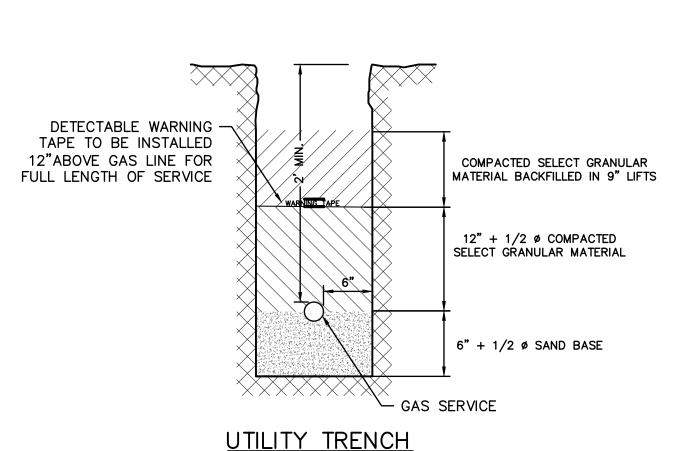
NOTES: 1. CONCRETE - 3,500 PSI MINIMUM STRENGTH @ 28 DAYS 2. DESIGN LOADING - AASHTO HS20-44 3. EARTH COVER - 0 TO 5 FEET 4. CONSTRUCTION JOINT - LAPPED

OR APPROVED EQUAL

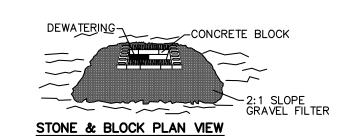
12"X12" PRECAST CONCRETE CATCH BASIN

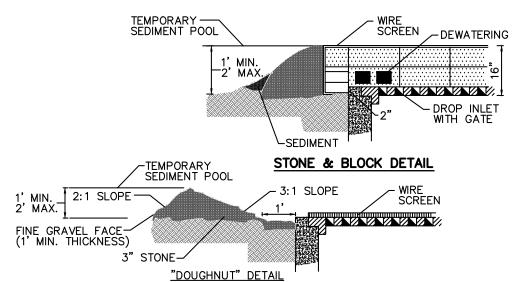


DRAINAGE SECTION



STONE & BLOCK DROP INLET PROTECTION

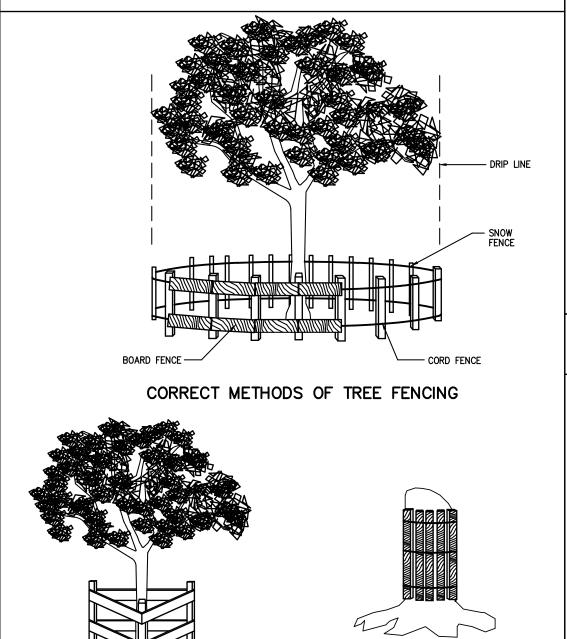




CONSTRUCTION SPECIFICATION

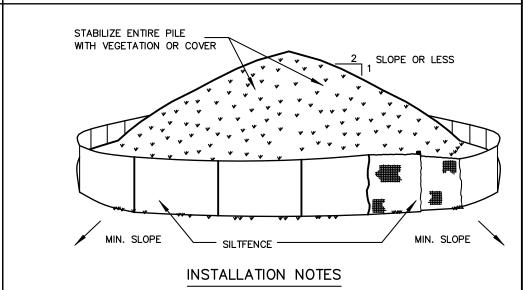
- 1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
- 2. HARDWARECLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
- 3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER. 4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE.

FENCING AND ARMORING



TRIANGULAR BOARD FENCE

SOIL STOCKPILING

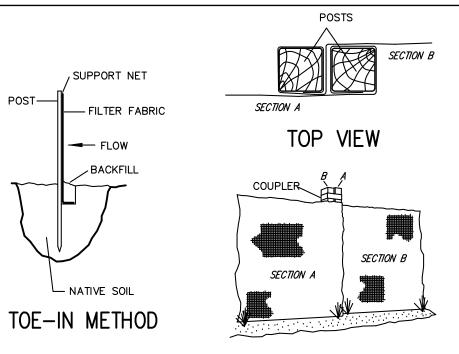


1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEYEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES. 3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2. 4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED. 5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.

INSTALLATION NOTES

SILT FENCE

6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

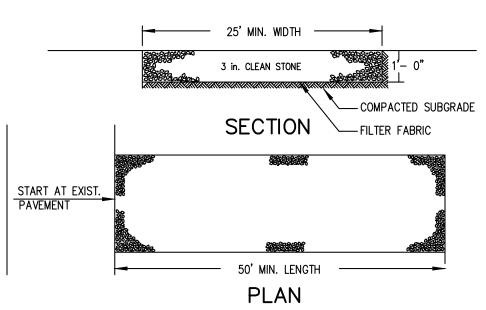


JOINING SECTIONS OF FENCING

INSTALLATION NOTES: 1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE. 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW). 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM. 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT

STABILIZED CONSTRUCTION ENTRANCE

5. JOIN SECTIONS AS SHOWN ABOVE.

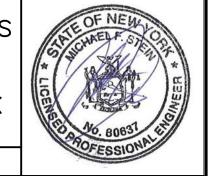


1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH — AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY. 3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR. 5. FILTER CLOTH — WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT. 6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED. DROPPED. WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY. 8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

CORRECT TRUNK ARMORING

PROPOSED ADDITIONS & ALTERATIONS 2 SOUTH ASTOR STREET VILLAGE OF IRVINGTON WESTCHESTER COUNTY - NEW YORK



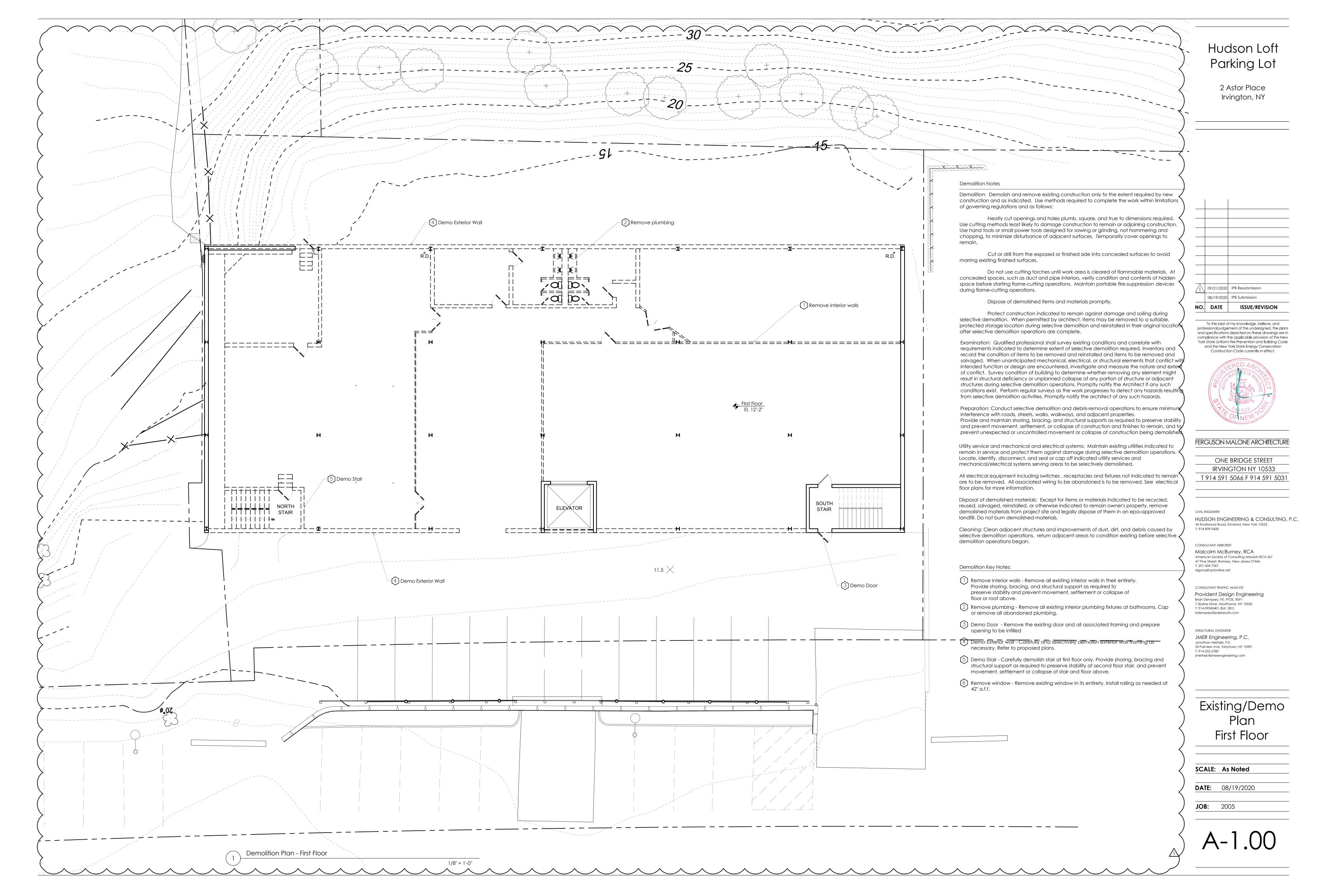
DETAILS

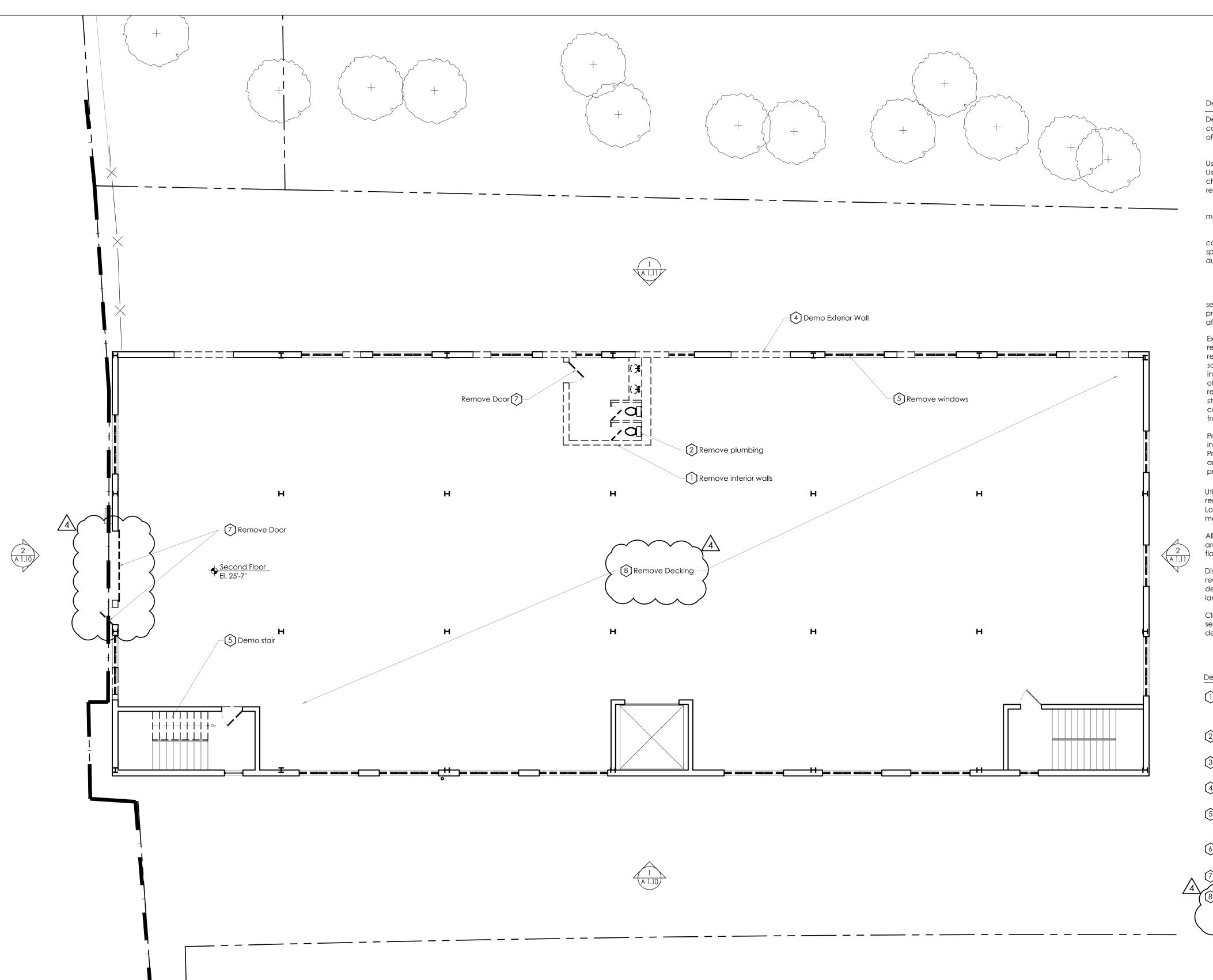
HUDSON ENGINEERING CONSULTING, P.C 5 Knollwood Road — Suite 20 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086

Checked By: M.S

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

Designed By: U.A.





Demolition Notes

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, Items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective demolition operations. Promptly notify the Architect if any such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. Promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties. Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches, receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. See electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. return adjacent areas to condition existing before selective demolition operations began.

Demolition Key Notes:

- Remove interior walls Remove all existing interior walls and partitions in their entirety. Provide shoring, bracing, and structural support as required to preserve stability and prevent movement, settlement or collapse of floor or roof above.
- (2) Remove plumbing Remove all existing interior plumbing fixtures at bathrooms. Cap or remove all abandoned plumbing.
- 3 Demo Door Remove the existing door and all associated framing and prepare opening to be infilled.
- 4 Demo Exterior wall Carefully and selectively demolish exterior wall framing as necessary. Refer to proposed plans.
- 5 Demo Stair Carefully demolish stair at first floor only. Provide shoring, bracing and structural support as required to preserve stability at second floor stair, and prevent movement, settlement or collapse of stair and floor above.
- 6 Remove window Remove all existing second floor windows in their entirety. Install railing as needed at 42" a.f.f.
- [7] Remove Door Remove the existing door and all associated framing and tracks.
- 8) Remove Decking Existing wood floor decking to be removed. Steel structure to be prepped for the installation of a new composite concrete slab. See structural

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

| 4 | 02/17/2021 | IPB Resubmission |
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| 3 | 01/20/2021 | IPB Resubmission |
| $\sqrt{2}$ | 12/23/2020 | IPB Resubmission |
| $\overline{1}$ | 09/21/2020 | IPB Resubmission |
| | 08/19/2020 | IPB Submission |
| NO. | DATE | ISSUE/REVISION |

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FERGUSON MALONE ARCHITECTURE

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Existing/Demo Second Floor

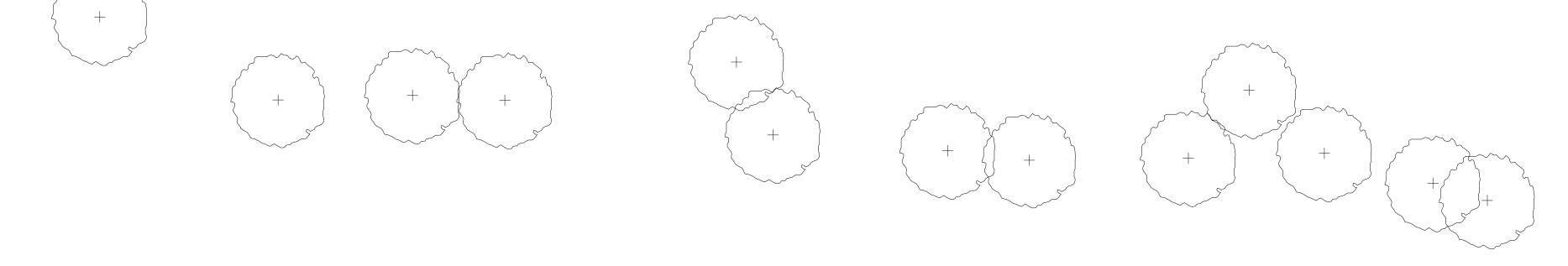
SCALE: As Noted

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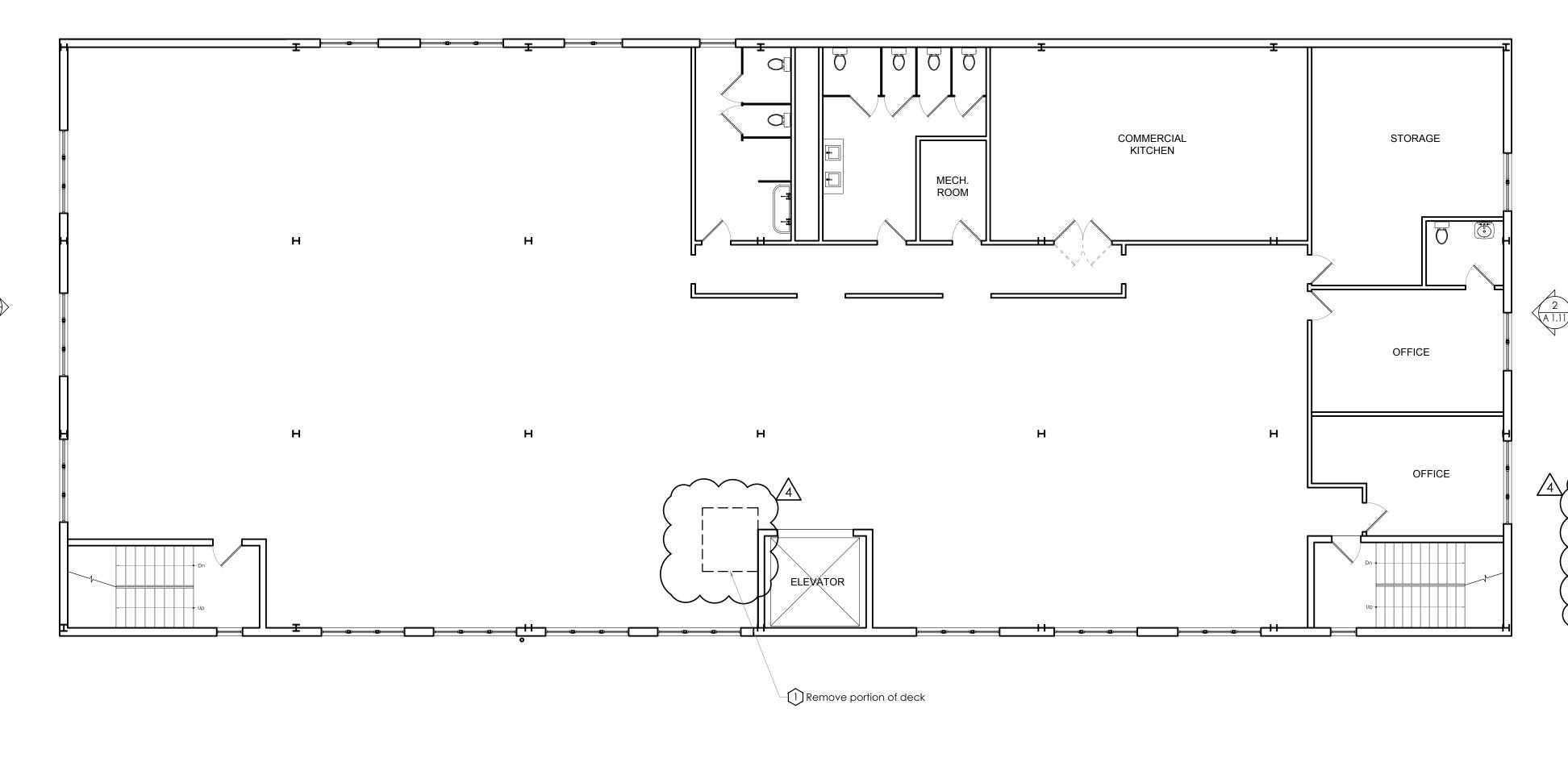
JOB: 2005

Demolition Plan - Second Floor

1/8" = 1'-0"







A 1.10

Demolition Notes

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to

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Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties. Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

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All electrical equipment including switches, receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. See electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. return adjacent areas to condition existing before selective demolition operations began.

(1) Remove portion of deck - Remove portion of deck for proposed elevator shaft. Provide shoring, bracing and structural support as required to preserve floor stability, and prevent movement, settlement or collapse floor and adjacent elevator walls. The opening is to be supported by new steel structure. See structural drawings for additional information. The removal of this portion of decking is to follow the installation of the new supporting steel.

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

| 4 | 02/17/2021 | IPB Resubmission |
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| 3 | 01/20/2021 | IPB Resubmission |
| 2 | 12/23/2020 | IPB Resubmission |
| 1 | 09/21/2020 | IPB Resubmission |
| | 08/19/2020 | IPB Submission |
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Existing/Demo Third Floor

SCALE: As Noted

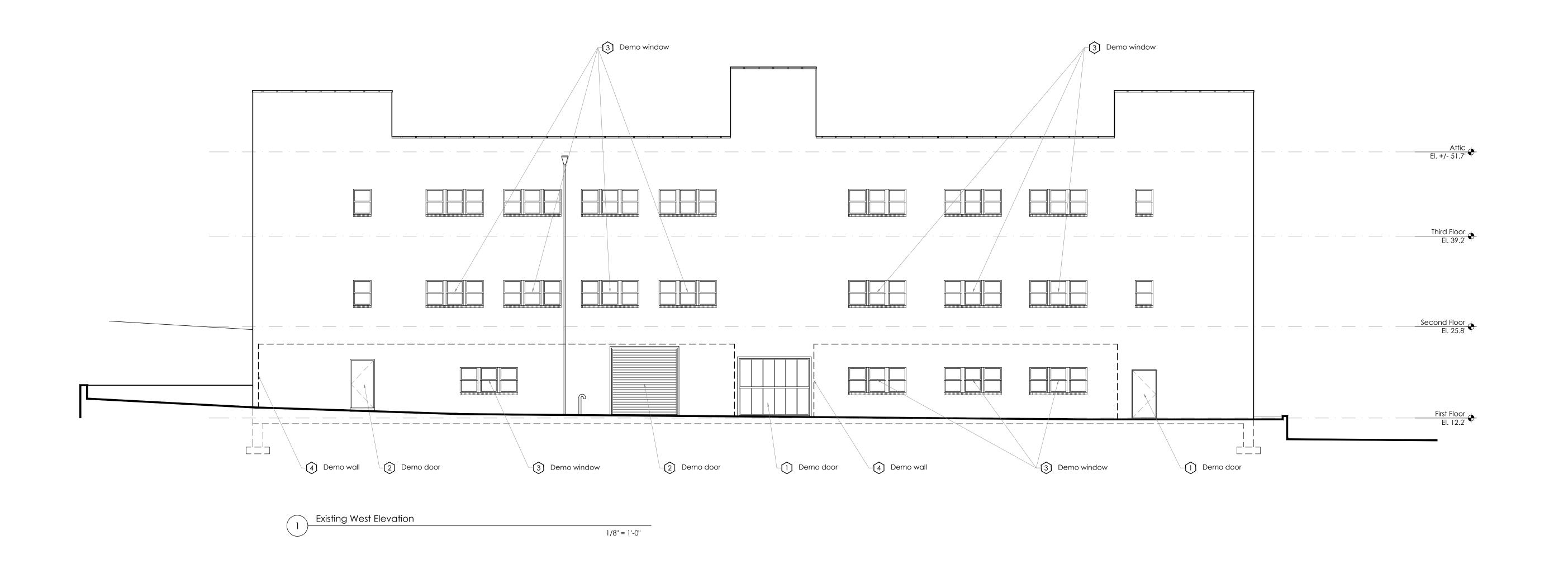
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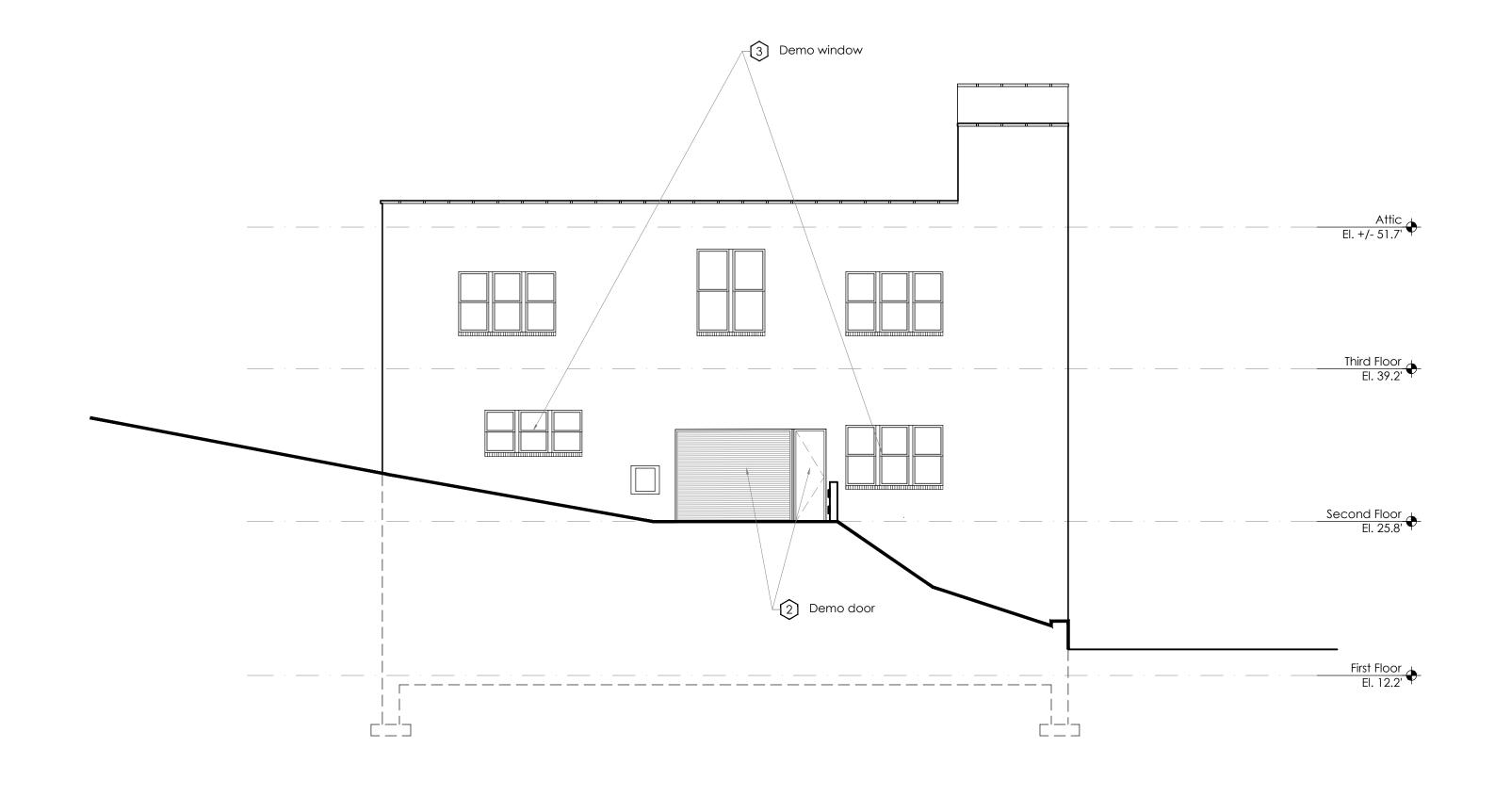
JOB: 2005

A New Sheet

Demolition Plan - Third Floor

1/8" = 1'-0"





1/8" = 1'-0"

Existing North Elevation

Key Notes

- Demo door Remove the existing door and all associated framing and prepare opening to be infilled.
- 2 Demo door Remove the existing door and all associated framing. Remove all associated track on garage door.
- 3 Demo window Remove existing window in its entirety. Brick sill to remain.
- Demo wall Carefully and selectively demolish exterior wall framing as necessary. Refer to Demo Plans.
- Demo wall Carefully and selectively demolish exterior CMU wall as indicated. Temporarily shore as necessary provide new steel header see detail 2 on sheet 3.10

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

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| \triangle | 09/21/2020 | IPB Resubmission |
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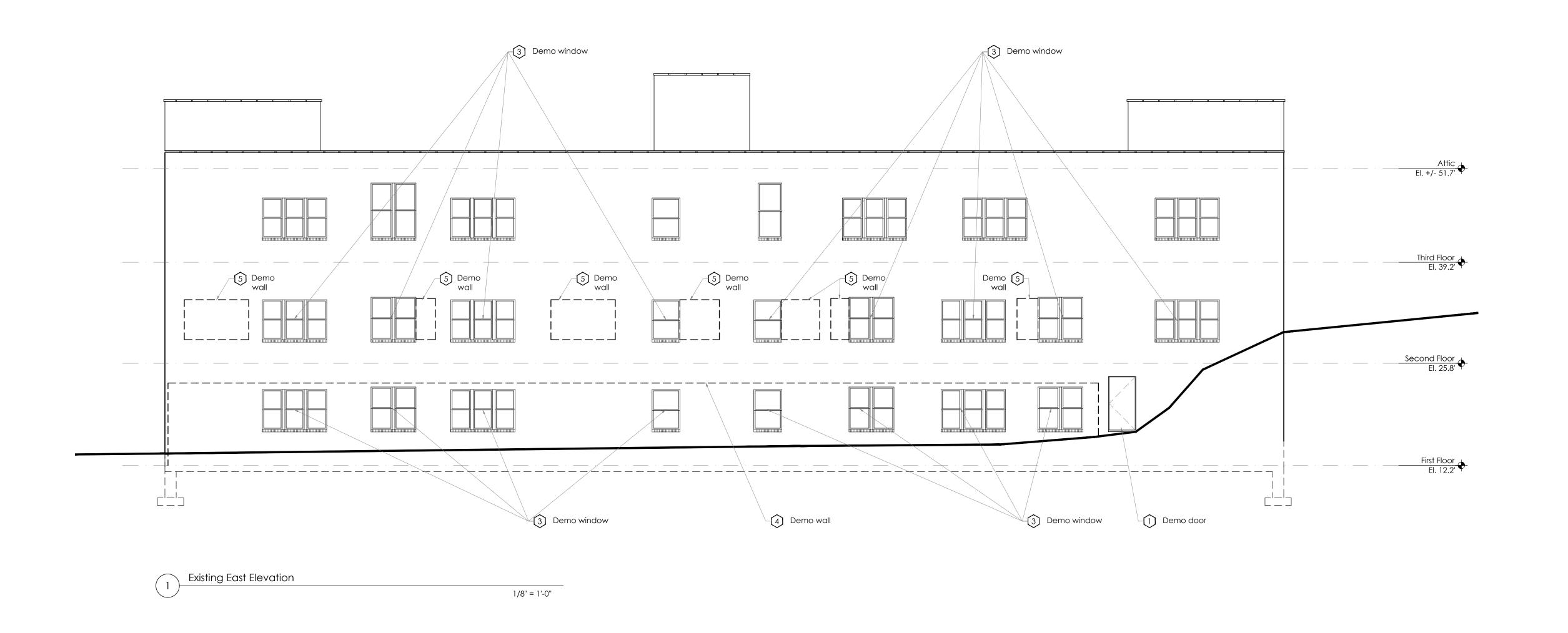
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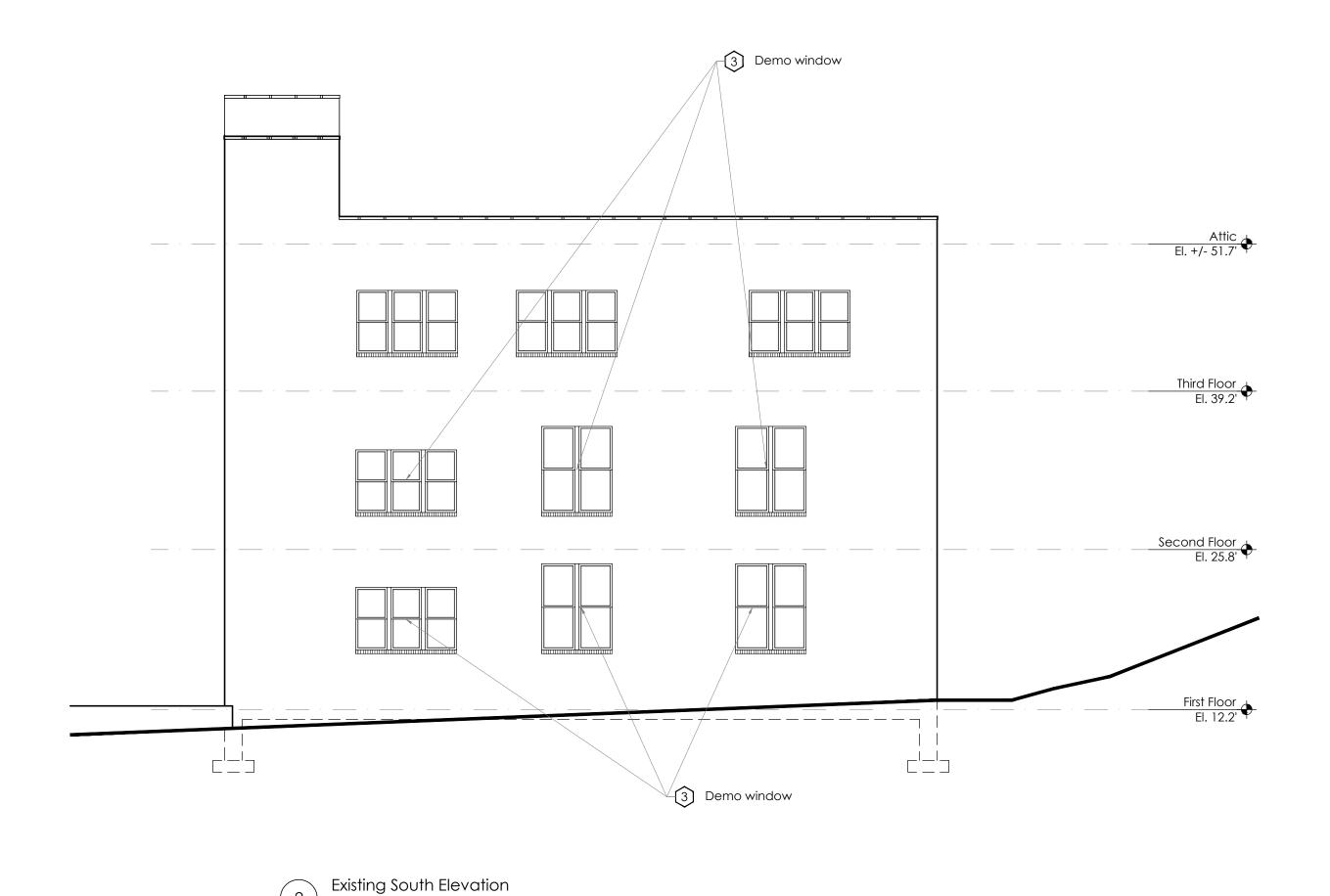
SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-1.10





1/8" = 1'-0"

Key Notes

- Demo door Remove the existing door and all associated framing and prepare opening to be infilled.
- 2 Demo door Remove the existing door and all associated framing. Remove all associated track on garage door.
- 3 Demo window Remove existing window in its entirety. Brick sill to remain.
- Demo wall Carefully and selectively demolish exterior wall framing as necessary. Refer to Demo Plans.
- Demo wall Carefully and selectively demolish exterior CMU wall as indicated. Temporarily shore as necessary provide new steel header see detail 2 on sheet 3.10

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

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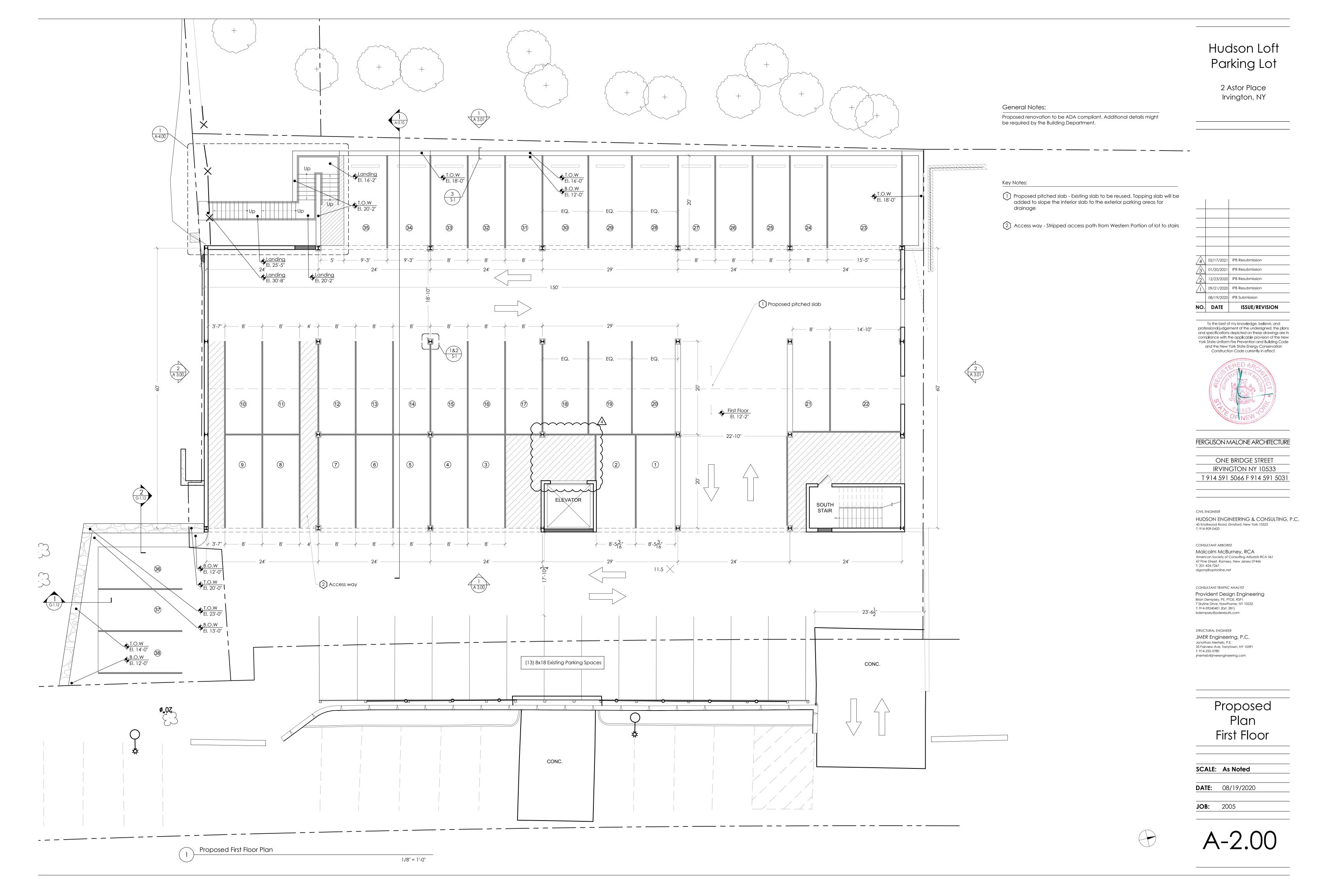
Exisitng Elevations

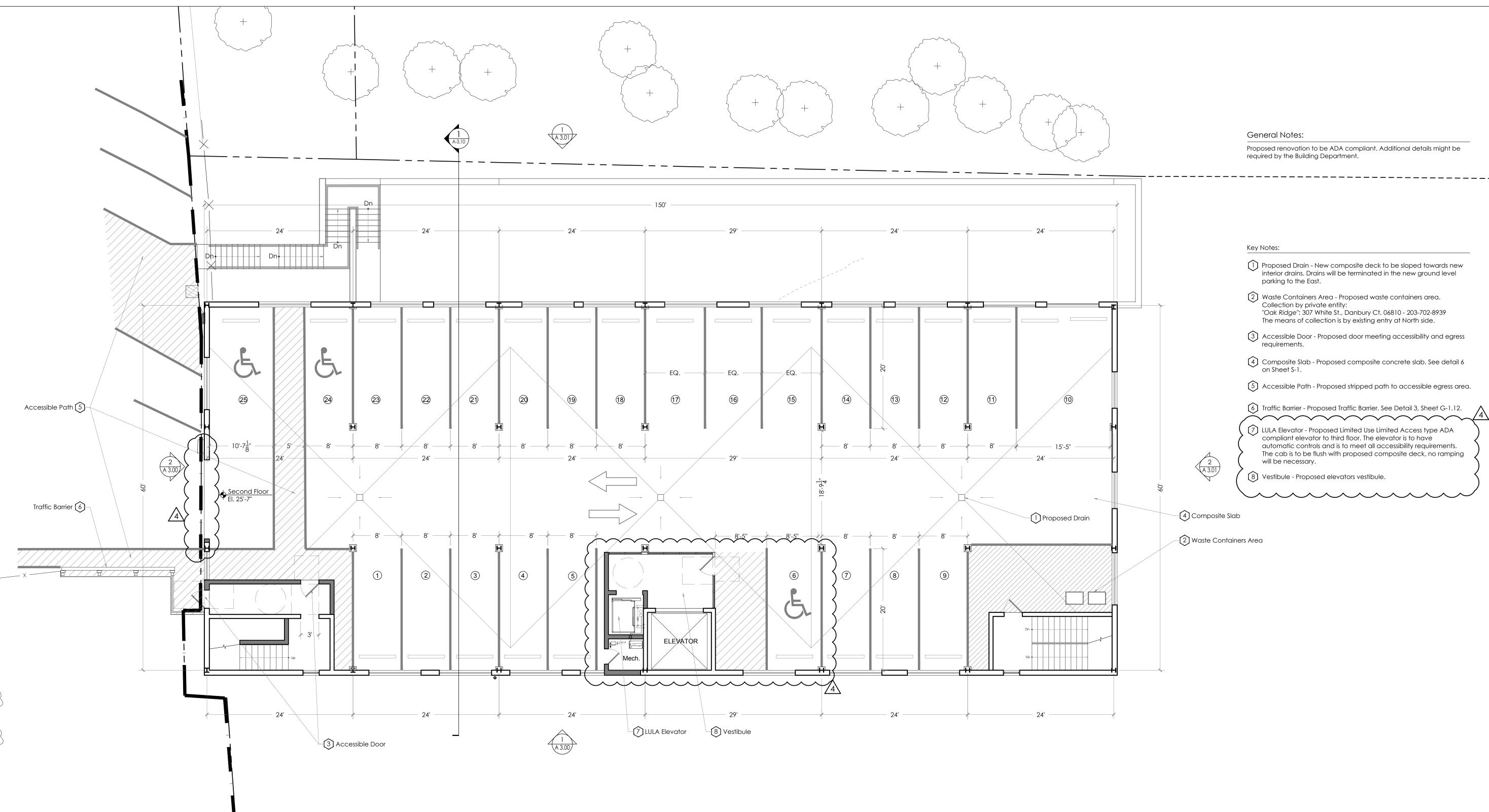
SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-1.11





Hudson Loft Parking Lot

2 Astor Place Irvington, NY

- Proposed Drain New composite deck to be sloped towards new interior drains. Drains will be terminated in the new ground level
- 3 Accessible Door Proposed door meeting accessibility and egress
- 5 Accessible Path Proposed stripped path to accessible egress area.
- 7 LULA Elevator Proposed Limited Use Limited Access type ADA compliant elevator to third floor. The elevator is to have automatic controls and is to meet all accessibility requirements. The cab is to be flush with proposed composite deck, no ramping

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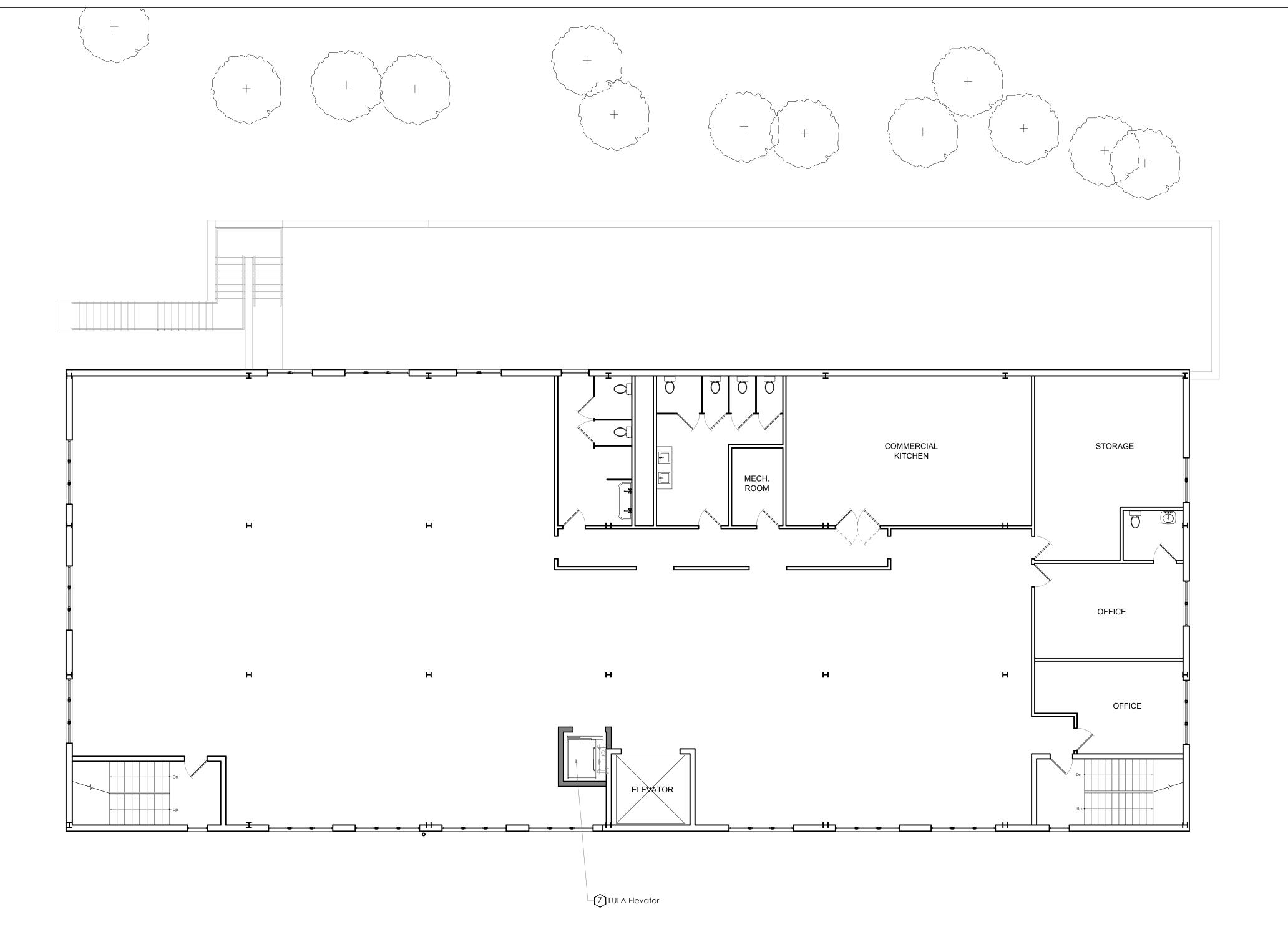
STRUCTURAL ENGINEER JMER Engineering, P.C. Jonathan Merheb, P.E. 35 Fairview Ave, Tarrytown, NY 10591 T: 914-255-5780 jmerheb@jmerengineering.com

Proposed Plan Second Floor

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005



Hudson Loft Parking Lot

2 Astor Place Irvington, NY

General Notes:

Proposed renovation to be ADA compliant. Additional details might be required by the Building Department.

Key Notes:

LULA Elevator - Proposed Limited Use Limited Access type ADA compliant elevator to third floor. The elevator is to have automatic controls and is to meet all accessibility requirements. The cab is to be flush with proposed composite deck, no ramping will be necessary.

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| | | 08/19/2020 | IPB Submission |
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Proposed Plan Third Floor

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-2.02

A New Sheet

Proposed Third Floor Plan - Assembly Space

1/8" = 1'-0"

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Nice Custod (B) We will come (B) the will come

13 Existing Column

Key Notes:

sky compliant.

1 Proposed Exterior Lighting - Proposed exterior light fixture to be dark

Specification: Tube Architectural DS-WS05 by WAC LIGHTING

Wall Cap - Proposed pre-cast concrete wall cap - See detail 2, Sheet A-3.10

Existing Exterior Wall - Existing painted CMU exterior wall to remain. Patch and finish as necessary.

Existing Column - Existing columns to remain - Refer to structural drawings for concrete encase.

Proposed Steps Lighting - Proposed steps light fixture located in adjacent wall at 3' O.C., to be dark sky compliant.

Specification: Step Light WL-LED 101 by WAC LIGHTING

(5) Garage Opening - Existing door to be removed

7 New Egress Door - flush Metal Door Ptd.

9 New Traffic Barrier - See Detail 3, Sheet G-1.12

(1) New Guardrail - See Detail 2, Sheet A-4.02

(12) New Handrail - See Detail 1, Sheet A-4.02

8 New Guardrail - Mtl. Pipe rail painted

Affice Devices Device Second Foor Devices Devi

Proposed North Elevation

Proposed West Elevation

13 Existing Column

1/8" = 1'-0"

1/8" = 1'-0"

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

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| /2021 | ARB Submission |
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CIVIL ENGINEER
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45 Knollwood Road, Elmsford, New York 10523

Proposed Signage - Proposed signage indicating parking limitations.

Specifications to be determined.

HUDSON ENGINEERING & CONSULTANT ARBORIST

T: 914-909-0420

Tight of the proposed signage indicating parking limitations.

HUDSON ENGINEERING & CONSULTANT ARBORIST

To 914-909-0420

CONSULTANT ARBORIST

To 914-909-0420

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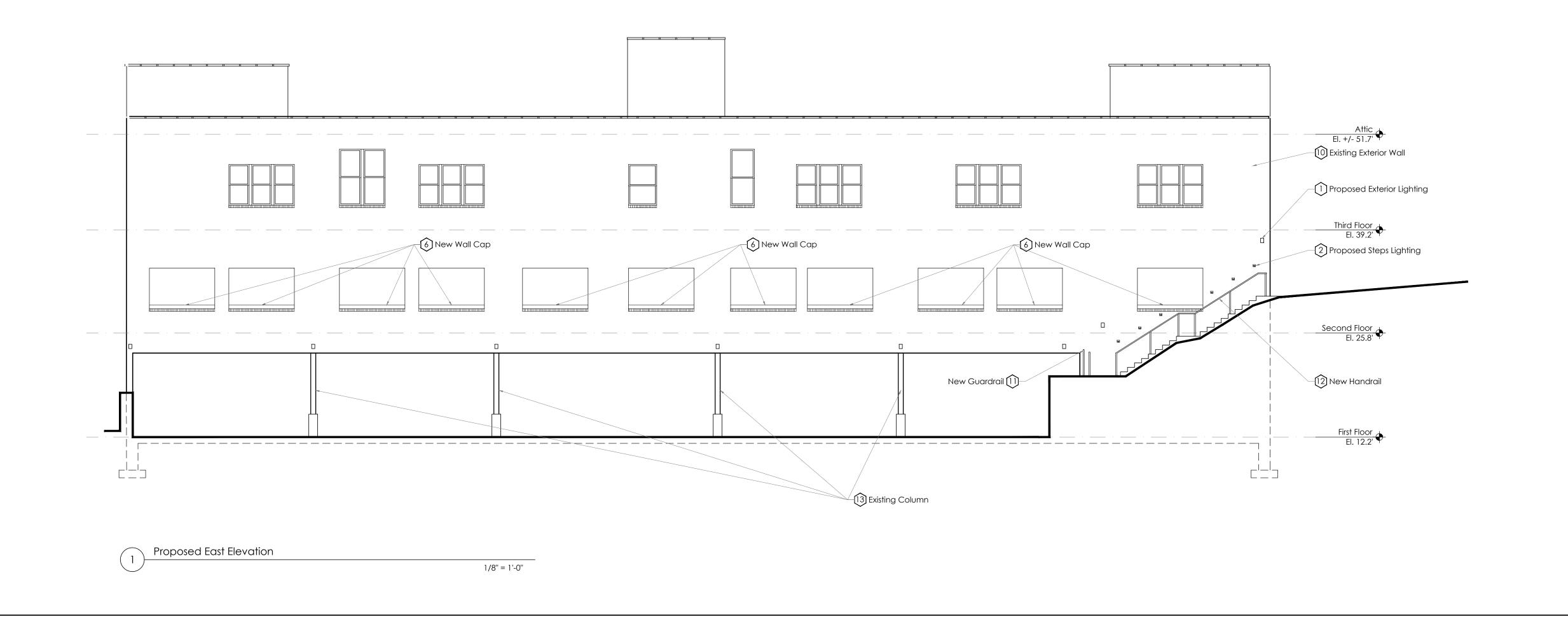
Proposed Elevations

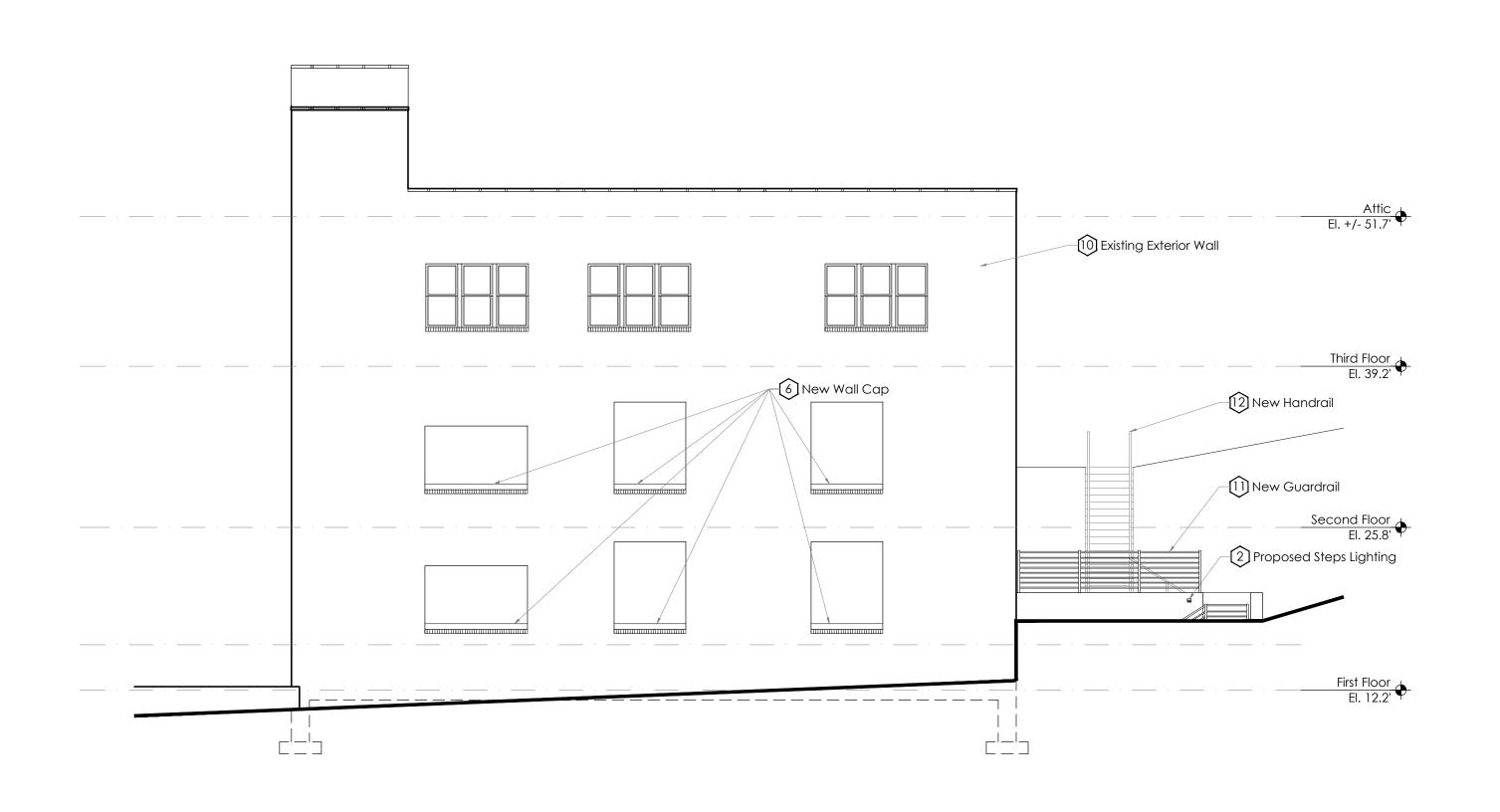
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DATE: 08/19/2020

JOB: 2005

A-3.00



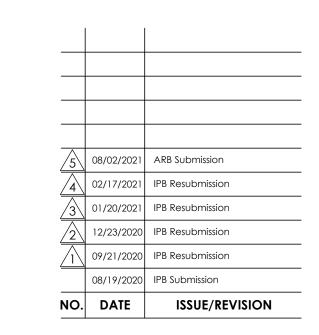


Proposed South Elevation

1/8" = 1'-0"

Hudson Loft Parking Lot

2 Astor Place Irvington, NY



To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



FERGUSON MALONE ARCHITECTURE

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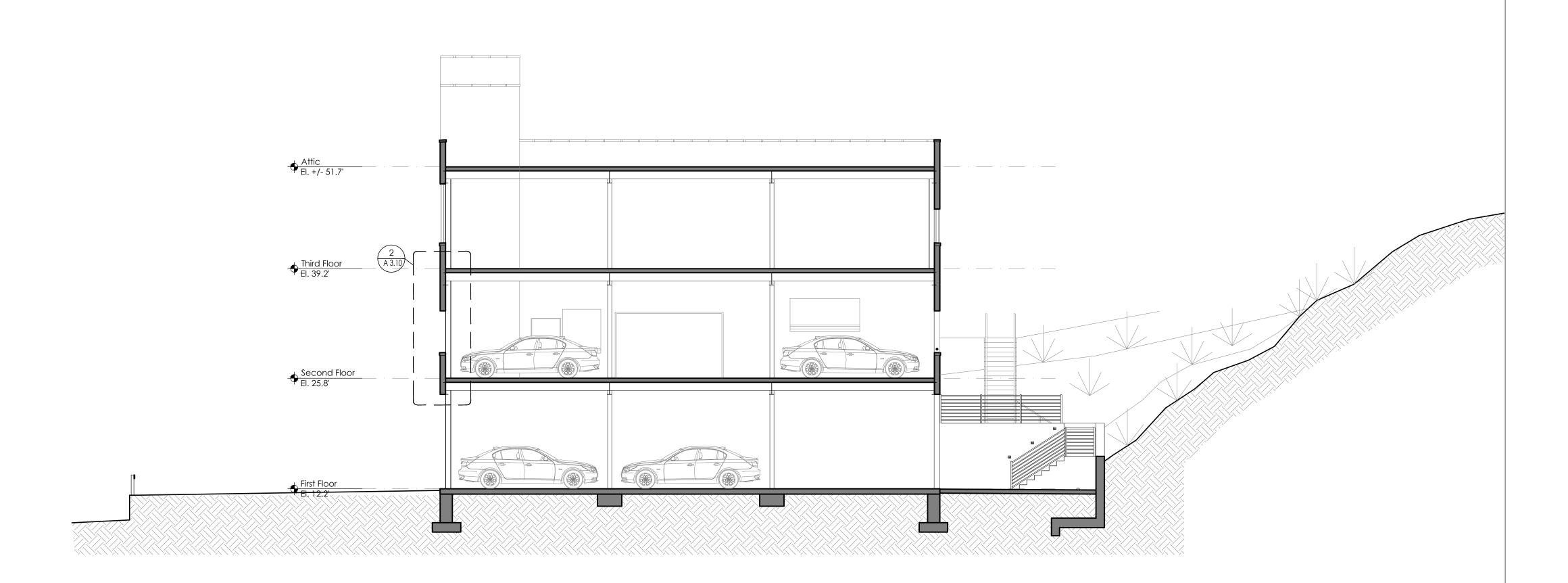
Proposed Elevations

SCALE: As Noted

DATE: 08/19/2020

JOB: 2005

A-3.0

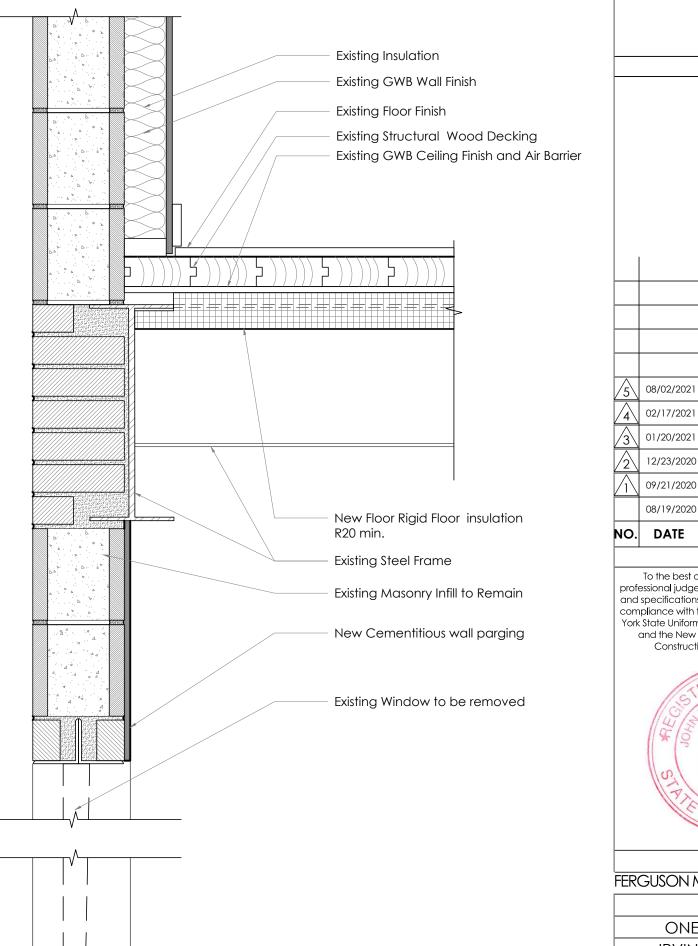


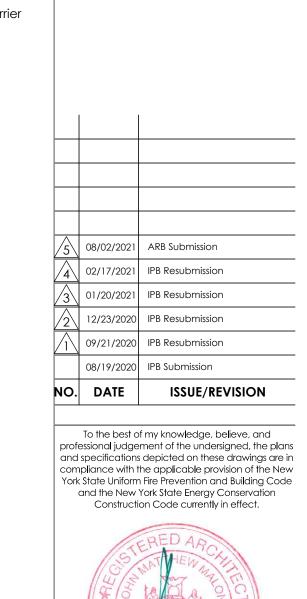
Building Section

1/8" = 1'-0"



2 Astor Place Irvington, NY

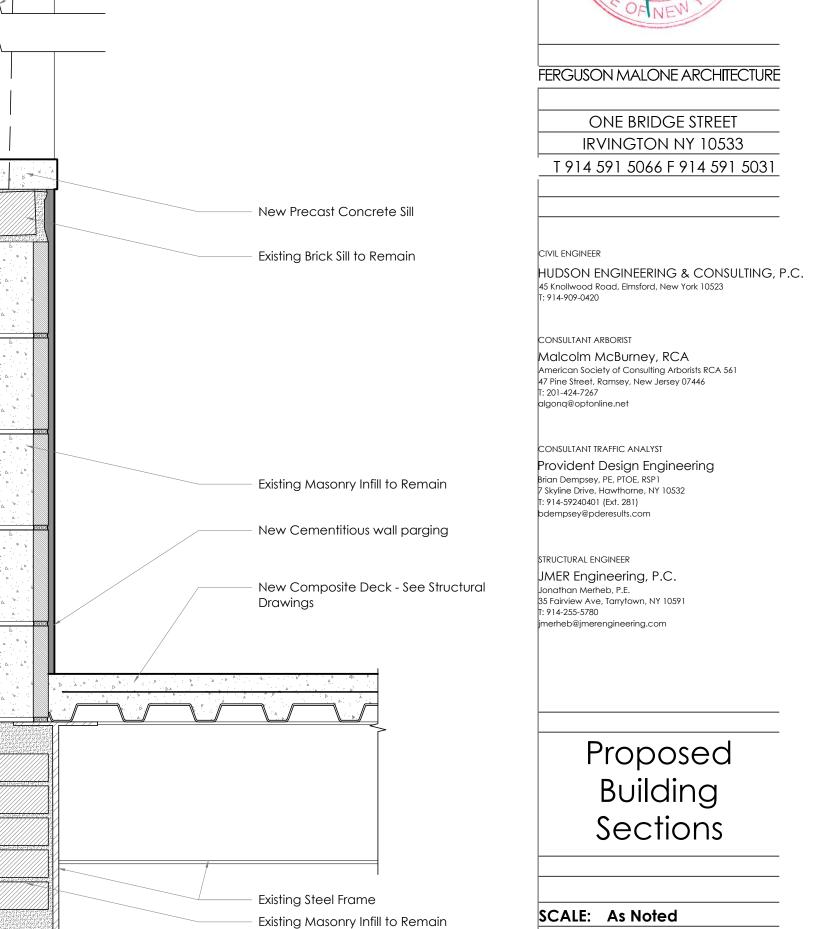




DATE: 08/19/2020

A-3.10

JOB: 2005

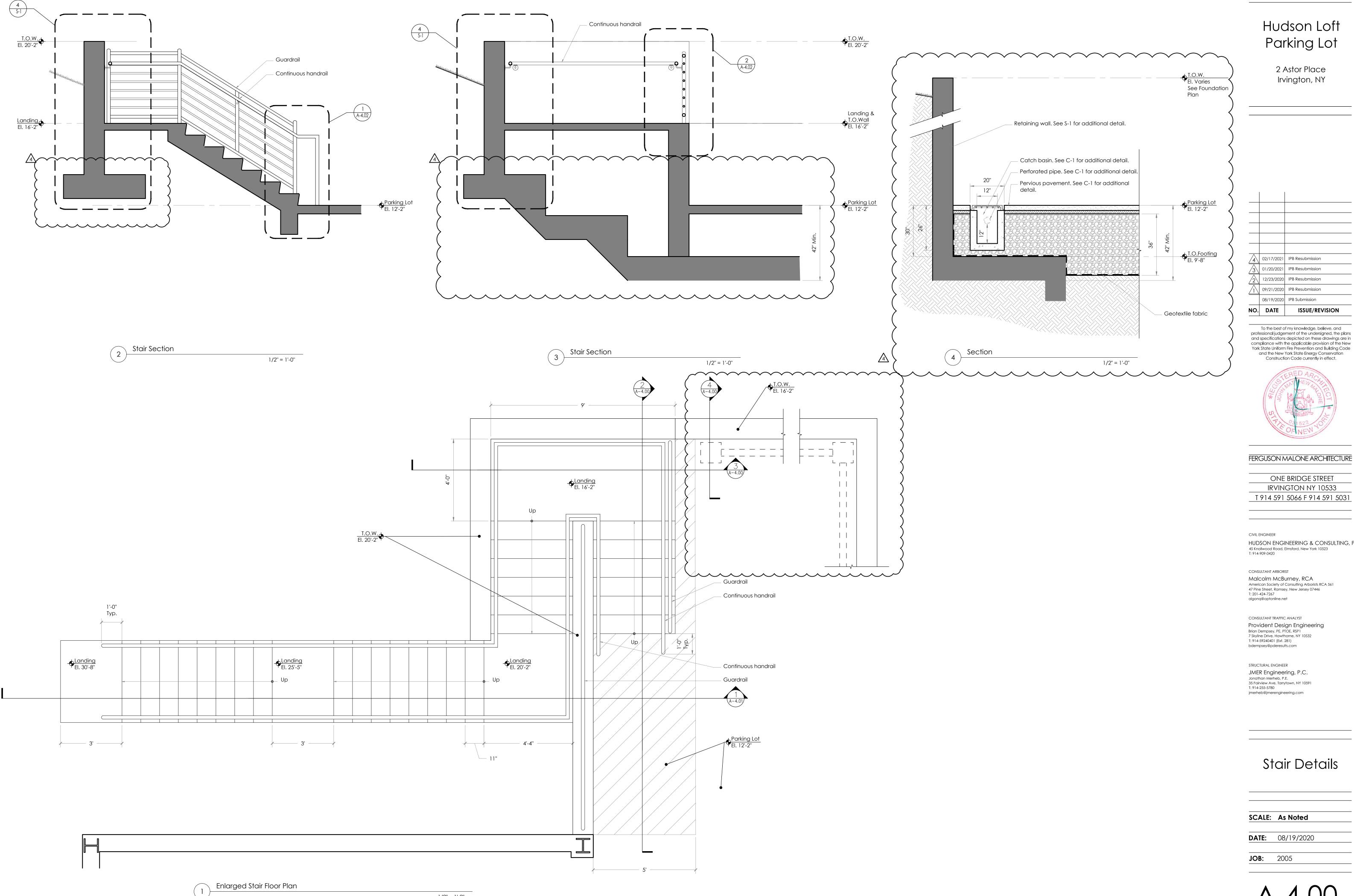


Install new steel masonry shelf

Partial Wallsection

- CMU non-structural wall to be removed

1 1/2" = 1'-0"



1/2" = 1'-0"

Parking Lot

ISSUE/REVISION

and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code

IRVINGTON NY 10533 T 914 591 5066 F 914 591 5031

HUDSON ENGINEERING & CONSULTING, P.C.

Continuous Handrail Continuous Handrail Guardrail Landing & Similar 1 A-4.02 Landing El. 16'-2" _ _ _ _ _ _ _ _ _ _ _ _ Parking Lot El. 12'-2" Stair Section

1/2" = 1'-0"

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

| 09/21/2020 | IPB Resubmission IPB Resubmission IPB Submission |
|------------|--|
| 7 | |
| 12/23/2020 | IPB Resubmission |
| | |
| 01/20/2021 | IPB Resubmission |
| 02/17/2021 | IPB Resubmission |
| | |
| | |
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| | |
| | 4 |

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Construction Code currently in effect.



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Stair Details

SCALE: As Noted

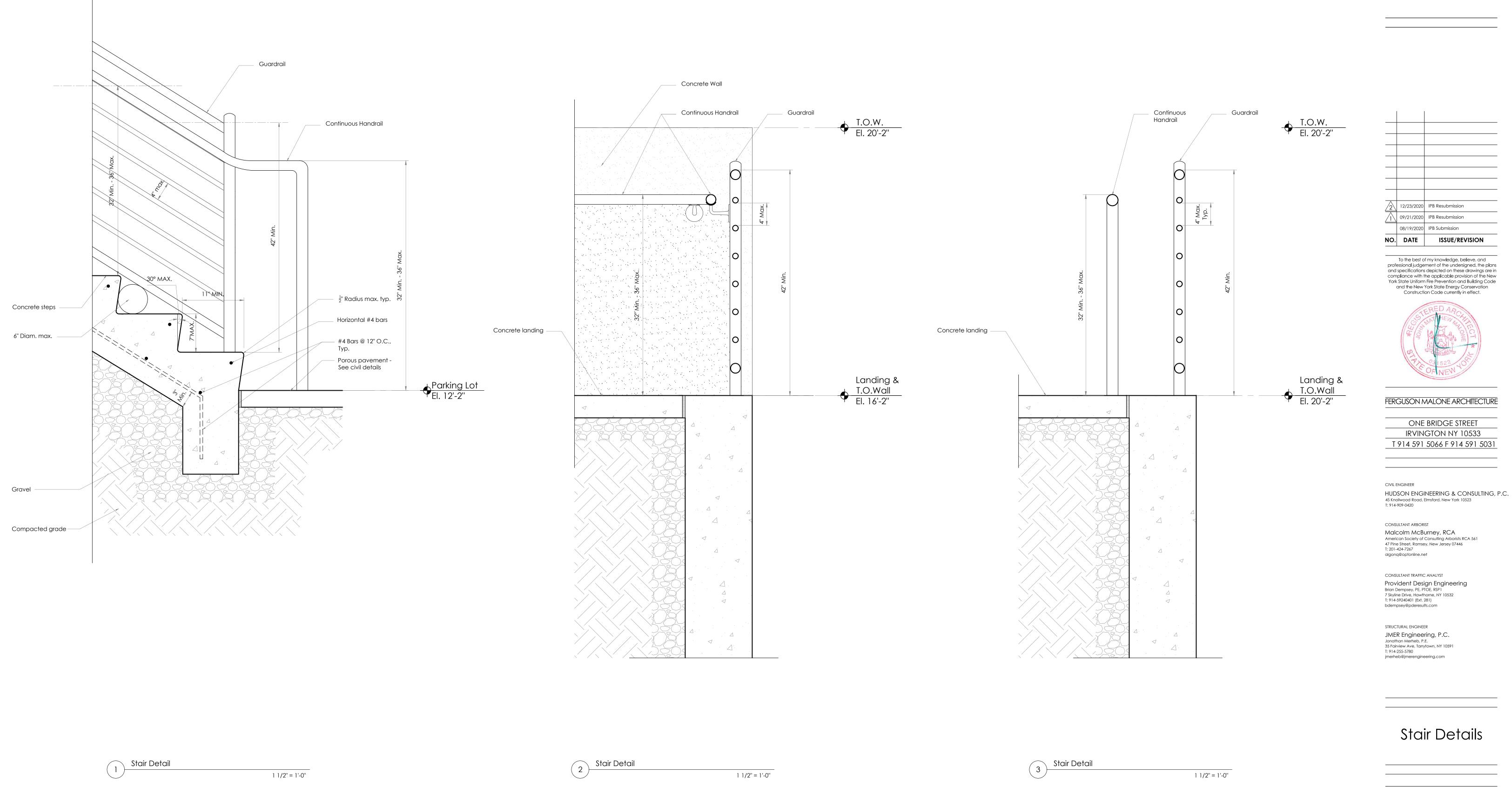
DATE: 08/19/2020

JOB: 2005

A-4.01

Hudson Loft Parking Lot

2 Astor Place Irvington, NY

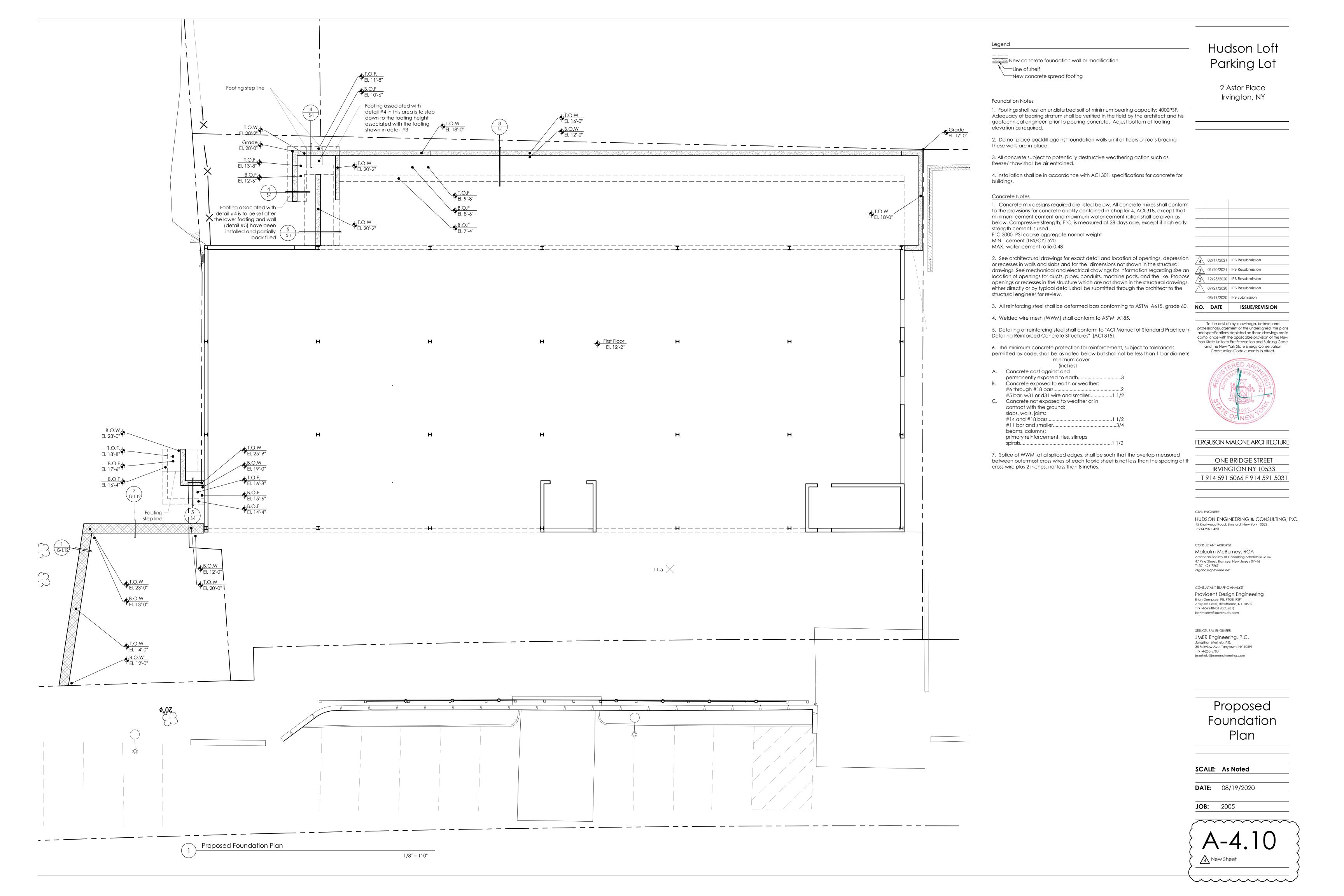


SCALE: As Noted

DATE: 08/19/2020

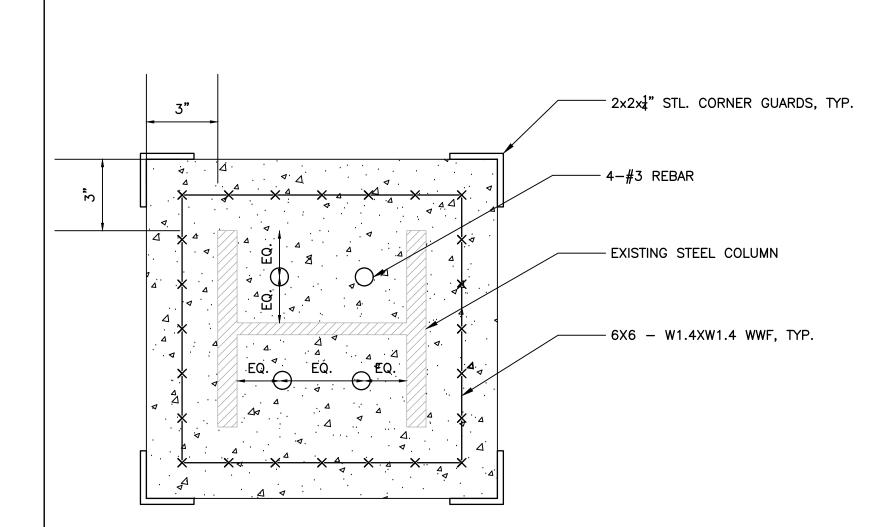
JOB: 2005

A-4.02



NOTES:

- 1. ALL WORK SHALL COMPLY WITH 2020 NEW YORK STATE BUILDING CODE, 2018 INTERNATIONAL BUILDING CODE & OSHA CODES.
- 2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 318-19. CONCRETE FOR FOOTINGS SHALL BE NORMAL WEIGHT & HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS.
- 3. ALL STEEL REINFOREMENT SHALL CONFORM TO ASTM-A615 & SHALL BE GRADE 60.
- 4. CONTRACTOR TO VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
- 5. RETAINING WALL FOOTINGS TO BEAR ON SOIL WITH MIN. 1.5 TSF ALLOWABLE BEARING PRESSURE.



2 CONCRETE ENCASED STEEL COLUMN SECTION

_EXISTING STEEL

COLUMN

 $\overline{}$ FILLET, TYP.

—4−#3 REBAR

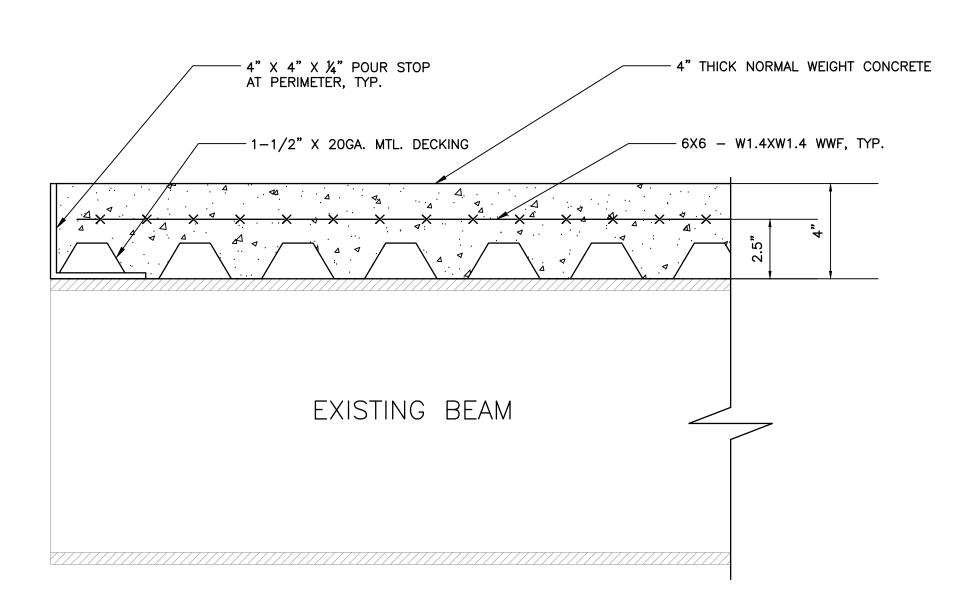
-6X6-W1.4XW1.4 WWF,

_2x2x‡" STL. CORNER GUARDS, TYP.

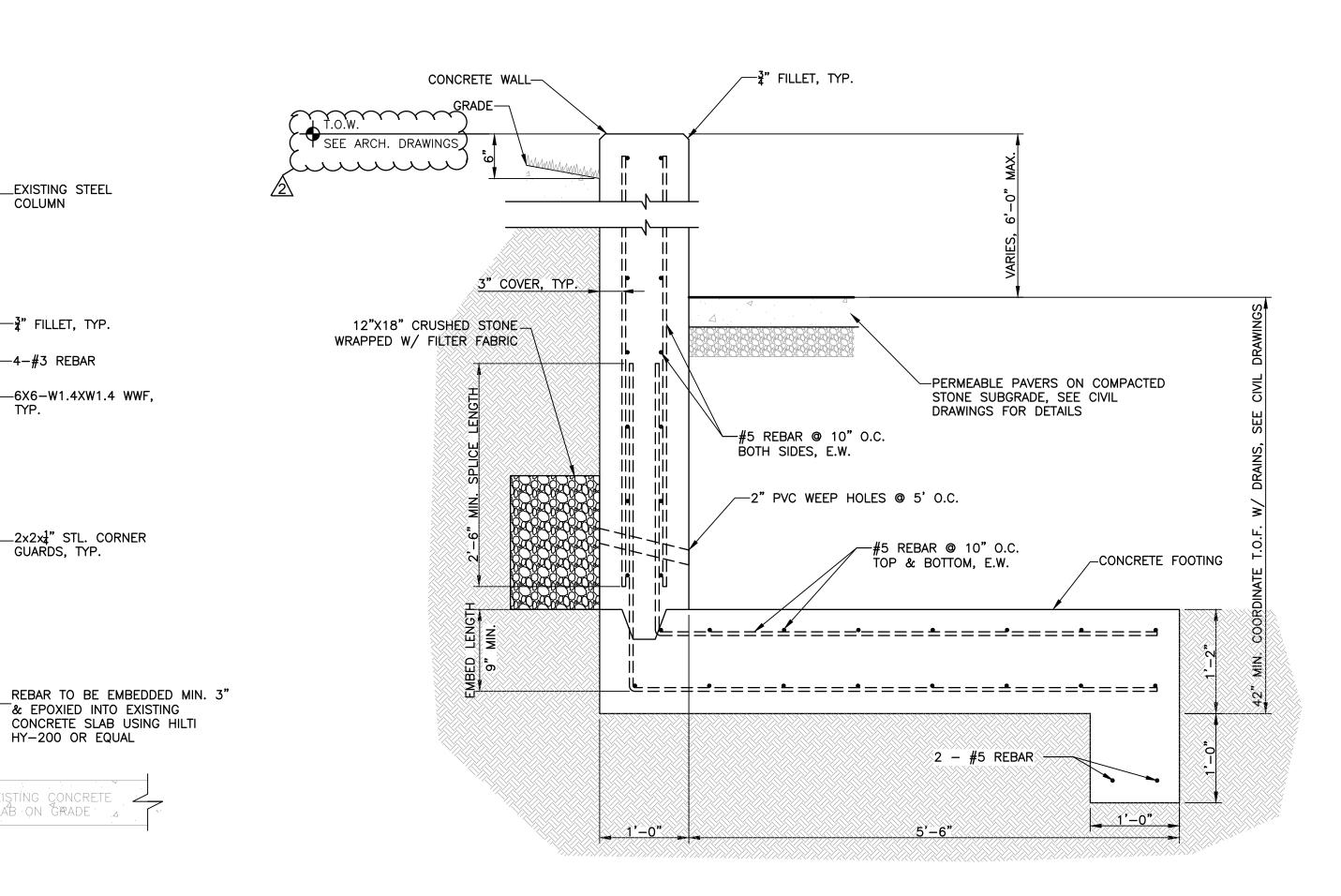
CONCRETE SLAB USING HILTI

HY-200 OR EQUAL

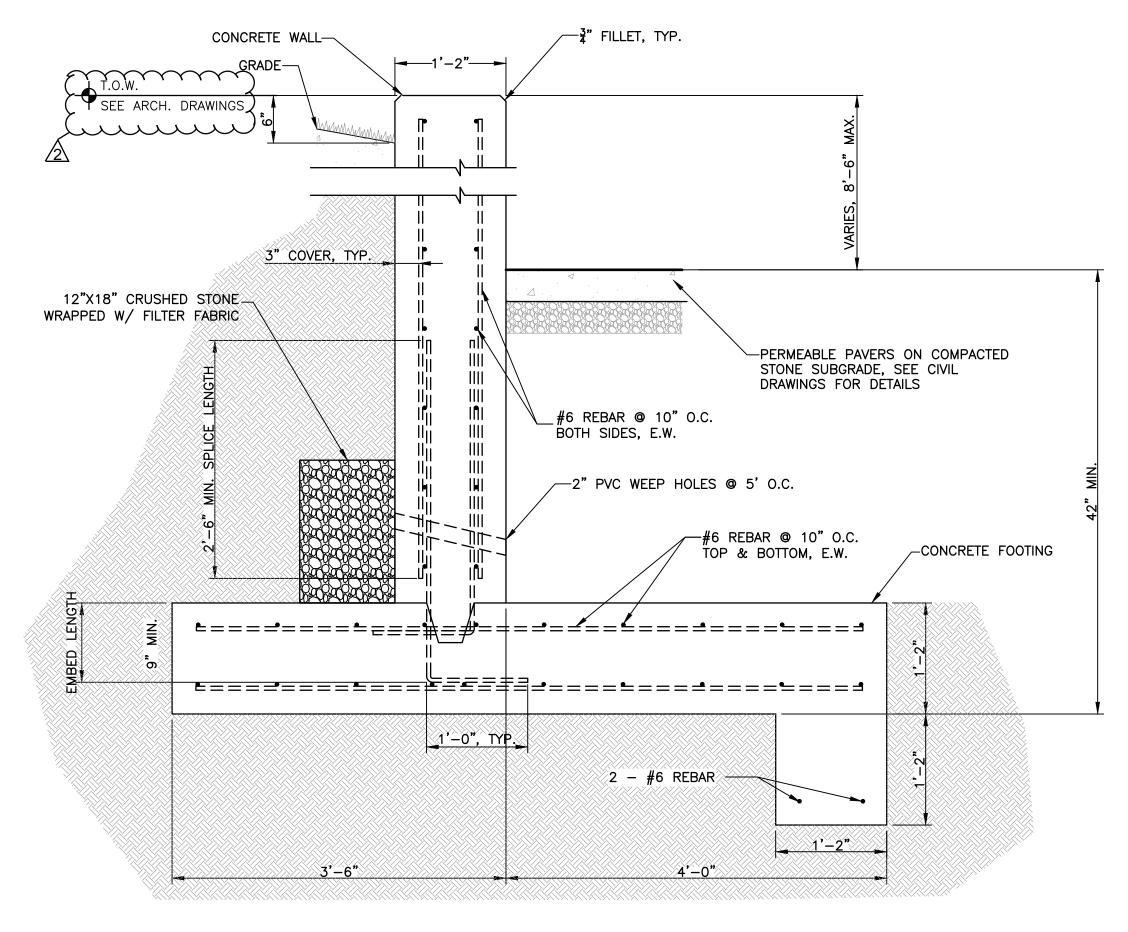
EXISTING CONCRETE SLAB ON GRADE A



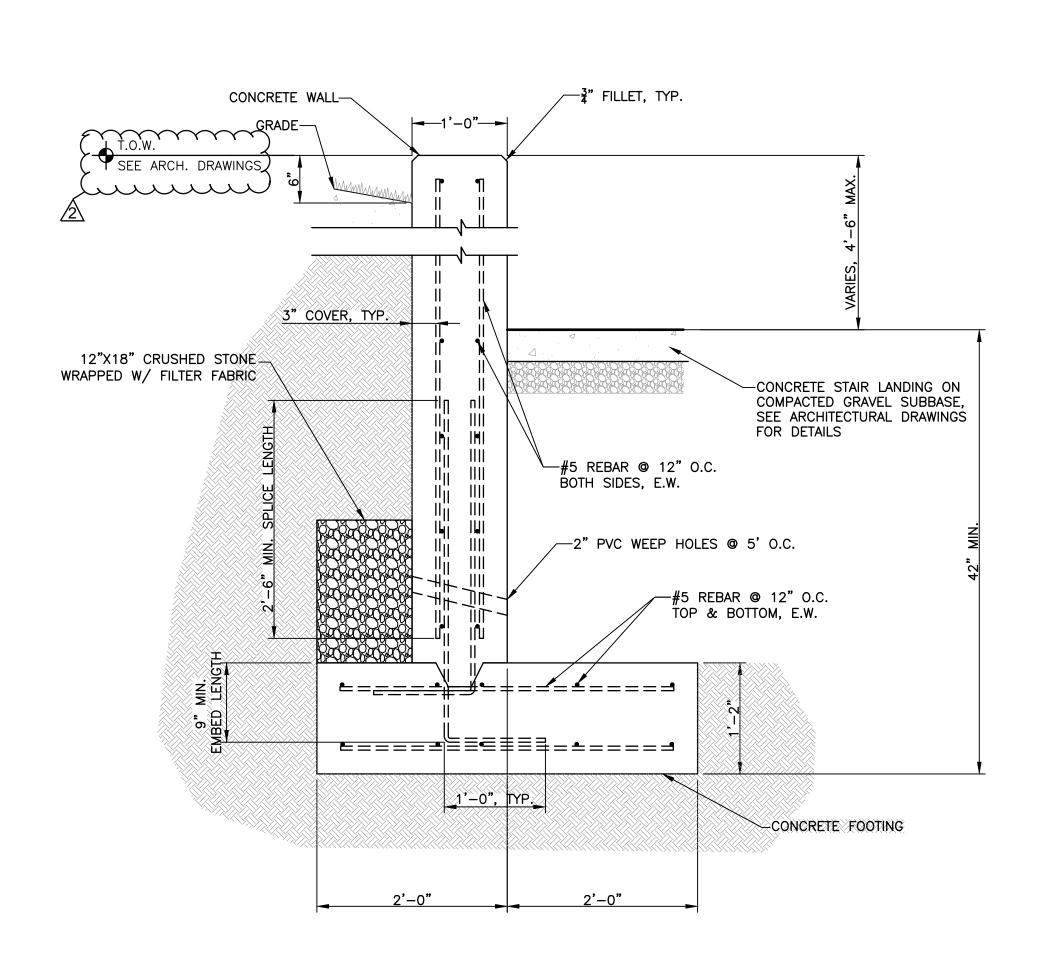
6 SLAB ON METAL DECK



3 CONCRETE RETAINING WALL



5 CONCRETE RETAINING WALL AT STAIRS S-1 SCALE: 1" = 1'



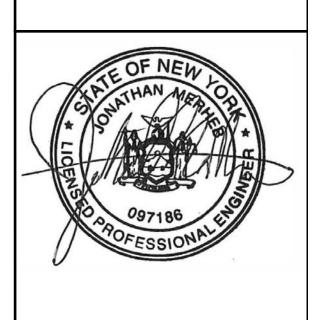
4 CONCRETE RETAINING WALL AT STAIR PERIMETER
S-1 SCALE: 1" = 1'



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35 FAIRVIEW AVE TARRYTOWN, NY 10591

PHONE: 914-255-5780



STRUCTURAL NOTES & DETAILS

9/21/20 **AS NOTED** 12/21/20 1/19/21

S-1

1 CONCRETE ENCASED STEEL COLUMN
S-1 SCALE: 1" = 1'