

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	771	Date:	07/30/2021
Job Location:	5 HARRIMANS KEEP	Parcel ID:	2.90-51-46
Property Owner:	XXXXXXXXXXXXXXXXXXXX , JANE AOYAMA-MARTIN	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Nina Lesser	
NINA LESSER RA	
161 VILLARD AVEHastings on Hudson NY 10706-1216	
9148265547	

Description of Work

Type of Work:	Deck	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	10000.00	Property Class:	1 FAMILY RES

Description of Work











The proposal is to replace an existing deck with a new deck of the same size and in same location as existing at the rear of the house .

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

www.irvingtonny.gov

Architect or Engineer NINA LESSER, RA Email Address shengandless@gmail.com
Phone # 914-826-5547 Cell # 914-826-5547 Fax # _____ N Y S Lic. # 040290

Ref.		Existing	Proposed		Two Family 1F-5	Multi Family 1F-10	1F-20	1F-40	1F-60	1F-80	Coverage Information			
224-4	Zoning District	1F-10	n/a								Structures			
224-10	Square feet of lot	2490	n/a	sf	5,000	10,000	20,000	40,000	60,000	80,000	Decks	363 sf 363 sf		
224-11	Front yard setback	30	17.16	ft	30	30	35	50	60	75	Patios, walks	no change		
224-11	Side yard setback 1	0	0	ft	10	15	15	25	30	50	Porches			
224-11	Side yard setback 2	0	0	ft	10	15	15	25	30	50	Floor overhangs			
224-11	Rear yard setback	27.72	27.72	ft	30	30	35	40	60	75	Swimming pools			
224-10	Lot width	30.67	30.67	ft	50	85	100	150	200	250	Other			
224-10	Lot depth	81.18	81.18	ft	100	100	125	150	200	200	Total (in Sq Ft)			
224-13	Lot coverage	44%	44%	sf	24% upto 5000 sqft	20% upto 10000sqft	16% upto 20000sqft	12% upto 40000sqft	8.33% upto 60000sqft	6.75% upto 80000sqft	Provide floor plan showing dimensions and Sq Ft			
224-13	Coverage Bonus over minimum lot size				16% over 5000 sqft	12% over 10000sqft	6% over 20000sqft	4% over 40000sqft	2% over 60000sqft	2% over 80000sqft				
224-11	Patios, sidewalks and other impervious surfaces			sf	15' from street line and 4 feet from all other property lines									
		Existing	Proposed		Applicable	Setback						Additional information required (**)		
224-149	View Preservation Overlay			yes	X	no	All properties west of Broadway					Survey showing all existing conditions		
224-50	Aqueduct buffer			yes	X	no	30'	All properties along Aqueduct					All easments and restrictions	
224-51 B	Broadway buffer			yes	X	no	50'	Existing properties along Broadway					Site plan showing all proposed improvments	
224-51 A	Cyrus Field Rd buffer			yes	X	no	75'	All properties along Cyrus Field Rd					Location of all trees in affected areas	
		Existing	Proposed											
224-134	Floor Area Ratio			(in sq ft - see Zoning Ordinance for definitions and exclusions)										

Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)
< 5,000	0.43	varies	21,000	0.198	4,158	38,000	0.164	6,232	55,000	0.1325	7,288	72,000	0.125	9,000
5,000	0.43	2,150	22,000	0.196	4,312	39,000	0.162	6,318	56,000	0.1305	7,308	73,000	0.125	9,125
6,000	0.39	2,340	23,000	0.194	4,462	40,000	0.1625	6,500	57,000	0.1285	7,325	74,000	0.125	9,250
7,000	0.36	2,520	24,000	0.192	4,608	41,000	0.1605	6,581	58,000	0.1265	7,337	75,000	0.125	9,375
8,000	0.33	2,640	25,000	0.19	4,750	42,000	0.1585	6,657	59,000	0.1245	7,346	76,000	0.125	9,500
9,000	0.3	2,700	26,000	0.188	4,888	43,000	0.1565	6,730	60,000	0.125	7,500	77,000	0.125	9,625
10,000	0.28	2,800	27,000	0.186	5,022	44,000	0.1545	6,798	61,000	0.125	7,625	78,000	0.125	9,750
11,000	0.2725	2,998	28,000	0.184	5,152	45,000	0.1525	6,863	62,000	0.125	7,750	79,000	0.125	9,875
12,000	0.265	3,180	29,000	0.182	5,278	46,000	0.1505	6,923	63,000	0.125	7,875	80,000 and above	0.125	10,000
13,000	0.2575	3,348	30,000	0.18	5,400	47,000	0.1485	6,980	64,000	0.125	8,000	F.A.R. Information Existing Proposed		
14,000	0.25	3,500	31,000	0.178	5,518	48,000	0.1465	7,032	65,000	0.125	8,125	Basement Sq Ft no change		
15,000	0.2425	3,638	32,000	0.176	5,632	49,000	0.1445	7,081	66,000	0.125	8,250	First Floor Sq Ft  		
16,000	0.235	3,760	33,000	0.174	5,742	50,000	0.1425	7,125	67,000	0.125	8,375	Second Floor Sq Ft  		
17,000	0.2275	3,868	34,000	0.172	5,848	51,000	0.1405	7,166	68,000	0.125	8,500	Attic Sq Ft  		
18,000	0.22	3,960	35,000	0.17	5,950	52,000	0.1385	7,202	69,000	0.125	8,625	Other Sq Ft  		
19,000	0.2125	4,038	36,000	0.168	6,048	53,000	0.1365	7,235	70,000	0.125	8,750	Total (in Sq Ft)  		
20,000	0.2	4,000	37,000	0.166	6,142	54,000	0.1345	7,263	71,000	0.125	8,875	Provide floor plan showing dimensions and Sq Ft		

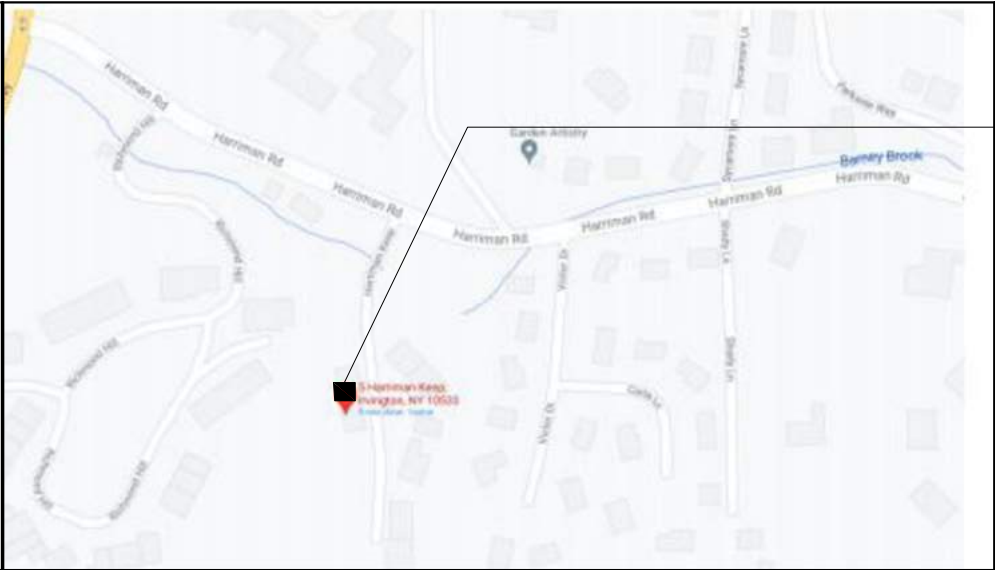
For additional information refer to 224-134 of the Village Zoning Code

(**) The Village Zoning Regulations should be consulted for additional requirements.

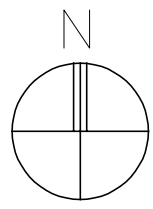
REAR DECK REPLACEMENT

5 HARRIMANS KEEP IRVINGTON, NY 10533

SITE PLAN



SITE



CODE DATA

PROJECT DESCRIPTION: REAR DECK REPLACEMENT

PROJECT LOCATION: 5 HARRIMANS KEEP, IRVINGTON, NY 10533
SBL 2.90-51-46, LOT 4B

CONSTRUCTION TYPE: NA (EXTERIOR ONLY)

PROPOSED:
NEW ENGINEERED WOOD DECK ON WOOD FRAMING AND CONCRETE FOUNDATION

ZONING

PER VILLAGE OF DOBBS FERRY ZONING AND LAND USE
APPENDIX B: DIMENSIONAL TABLES

BUILDING SETBACKS:	FRONT		
	EXISTING 17.16'	PROPOSED 17.16'	REQUIRED 30'
	REAR		
	EXISTING 27.72'	PROPOSED 27.72'	REQUIRED 30'
	SIDE (2 SIDES)		
	EXISTING 0'	PROPOSED 0'	REQUIRED 15**
BUILDING AREA:	EXISTING NO CHANGE	PROPOSED NO CHANGE	
LOT COVERAGE:	EXISTING 44%	PROPOSED 44%	ALLOWED EXIST'G LOT AREA = 2665 SF 1720 x .27 = 464 SF
NOTE: NO INCREASE IN IMPERVIOUS SURFACE AREA ** THE EXISTING HOUSE IS AN ATTACHED SINGLE FAMILY RESIDENCE			

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

GROUND SNOW LOAD	WIND SPEED (MPH)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDERLAYMENT REQUIREMENT	WIND SPEED (MPH)
			WEATHERING	FROST LINE DEPTH	TERMITE		
30	100	33	SEVERE	3'-6"	MODERATE	--	--

SCOPE OF WORK

REPLACE EXISTING WOOD DECK WITH NEW ENGINEERED WOOD DECK ON WOOD FRAMING AND CONCRETE FOUNDATION

DRAWING LIST

A-000 TITLE SHEET
A-001 SURVEY, SITE PLAN WITH SETBACKS
A-100 DEMOLITION AND PROPOSED PLANS
A-101 PROPOSED FRAMING PLANS AND DETAILS
A-200 EXTERIOR ELEVATIONS PROPOSED

GENERAL NOTES

1. ALL WORK TO BE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE EDITION OF THE RESIDENTIAL CODE OF NEW YORK STATE WITH NEW YORK'S SUPPLEMENTS AS AMENDED TO DATE, NEW YORK STATE MODEL ENERGY CODE AS AMENDED TO DATE AND ALL GOVERNMENT AUTHORITIES, LAWS, BY-LAWS, OR ORDINANCES, AND REGULATIONS HAVING JURISDICTION OVER THE PERFORMANCE OF THE WORK.

2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.

3. THE CONTRACTOR SHALL REVIEW THE DRAWINGS AND NOTES WITH ALL SEPARATE CONTRACT (PLUMBING, ELECTRICAL AND HVAC) AND TRADES AND SHALL BE RESPONSIBLE FOR COORDINATING THE WORK AMONG THE SEPARATE CONTRACT AND TRADES SO THAT INSTALLATION BY ONE SHALL NOT INTERFERE WITH THE WORK OF OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM THE VARIOUS SEPARATE CONTRACTS AND VARIOUS TRADES OF WORK REQUIRED DUE TO WORK WITH OTHER CONTRACTOR AND OR TRADES NOT SPECIFICALLY MENTIONED ON THE DRAWINGS.

4. PATCHING, EXTENDING AND MATCHING: WHERE REQUIRED PATCH WALLS, FLOORS AND CEILINGS WITH FINISH MATERIALS TO MATCH ADJOINING SURFACES WHERE DAMAGED DURING COURSE OF CONSTRUCTION.

5. PROVIDE FIRESTOPS WITHIN WALLS AT DIFFERENT FLOOR LEVELS IN ACCORDANCE TO UL DESIGN SYSTEMS AND THE REQUIRED RATING THAT MUST BE MAINTAINED.

6. PROVIDE 3/4" FRT PLYWOOD AT REAR OF ELECTRICAL PANEL OR TELEPHONE PANELS. SIZE TO ACCOMMODATE SIZE OF PANELS.

7. PROVIDE MISCELLANEOUS WOOD BLOCKING OR GROUNDS WITHIN WALLS FOR SECUREMENTS OF CABINETRY, (SUCH AS KITCHEN CABINETS) RAILINGS, FIXTURES ETC.

8. ALL DIMENSIONS AREA TAKEN TO FACE OF STUD WALLS AT EXTERIOR AND INSIDE FINISH FACE OF INTERIOR STUD WALLS.

9. DO NOT SCALE DRAWINGS, NUMERICAL VALUES GOVERN.

10. COORDINATE THE LOCATION AND PROVIDE ACCESS PANELS WITHIN THE WALLS, FLOORS, CEILINGS FOR VALVES, CLEANOUT. COORDINATE WITH DIFFERENT TRADES AND ARCHITECT BEFORE PROVIDING ACCESS PANELS

11. CONTRACTOR TO SUBMIT TO ARCHITECT, SHOP DRAWINGS OF ACTUAL CONNECTORS TO BE USED. SIMPSON OR APPROVED EQUAL.

12. PROVIDE PREFABRICATED METAL HANGERS FOR FRAMING MEMBERS WHICH DO NOT BEAR DIRECTLY ON TOP OF SUPPORTING MEMBERS. BEAM HANGERS SHALL BE TOP FLANGE BEARING. HANGERS SHALL BE AS MANUFACTURED BY SIMPSON STRONG - TIE CO, INC., SAN LEANDRO, CA.

13. PLUMBING AND ELECTRICAL CONTRACTORS TO BE LICENSED IN THE VILLAGE OF HASTINGS, TOWN OF GREENEBURGH, WESTCHESTER COUNTY.

16. PROVIDE SMOKE DETECTORS AND HEAT DETECTORS ELECTRICALLY CONNECTED AT EACH BEDROOM AND AT HALLS IN FRONT OF EACH BEDROOM.

17. PROVIDE CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS PER NYS CODE.

18. PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS THROUGHOUT ENTIRE DWELLING AS REQUIRED BY NYS CODE.

19. All materials, assemblies, forms and methods of construction and service equipment shall comply with the requirements of the New York State Building Construction Code and all other applicable codes having jurisdiction.

20. All Contractors shall furnish adequate liability insurance and bonding.

21. Any dimensional discrepancies between the plans, sections, elevations and details must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.

22. Any inconsistencies in the notes, symbols, legends must be brought to the attention of the Architect by the Contractor for resolution prior to the start of work or as soon as detected.

23. All Contractors and subcontractors must check and verify all existing conditions and dimensions and report any discrepancies to the Architect prior to the start of work.

24. Care shall be taken to protect the work area to be safe both interior and exterior.

25. Construction Contractor shall provide solid dustproof plywood enclosure (as described above) at all new window openings until installation of windows.

26. Damage to site and building property shall be corrected by the contractor so involved at no cost to the owner.

27. Construction Contractor shall provide portable toilets or as perscribed by OSHA at staging area for the use of all Contractor's employees.

28. Parking locations for Contractors' vehicles, acceptable hours for demolition, construction, and material delivery or removal, and any other special requirements are to be verified with the Municipality.

29. All Contractors shall comply with OSHA rules and regulations.

30. Unless a longer guarantee is specified, all work shall be guaranteed against defects for one year unless otherwise noted (i.e. product warranties). Any portions of the work which develop defects during the guarantee period shall be replaced or in a manner satisfactory to the Architect and Owner.

31. The Contractor shall maintain one set of all submissions (shop drawings, samples, product literature etc.) on the job site and available for reference. Mock-ups and accepted samples shall be available for reference. Contractors shall provide as many mock-ups or samples as necessary in order to obtain owner's/architect's approval.

32. Where designated on drawing "to match existing", the Contractor shall visit the site, obtain a sample or profile of the existing element, and duplicate. All custom fabrications shall be submitted for review by Architect.

33. Dimensions of new walls are taken to face of finish unless otherwise noted. All symbols and finish schedule designations of materials indicate new material unless otherwise noted.

34. All new installed equipment shall be UL labeled. All lighting fixtures shall be reviewed and approved by Architect and consulting engineer and shall have UL Label.

35. All field welding work shall be accompanied with a fire extinguisher and fire watch.

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TITLE SHEET

Revision

Issue for Plan Check

Date

24 JUL 2020

Scale:

NTS

Date:

210724

Drawn by:

NL

Checked by:

NL

Drawing number

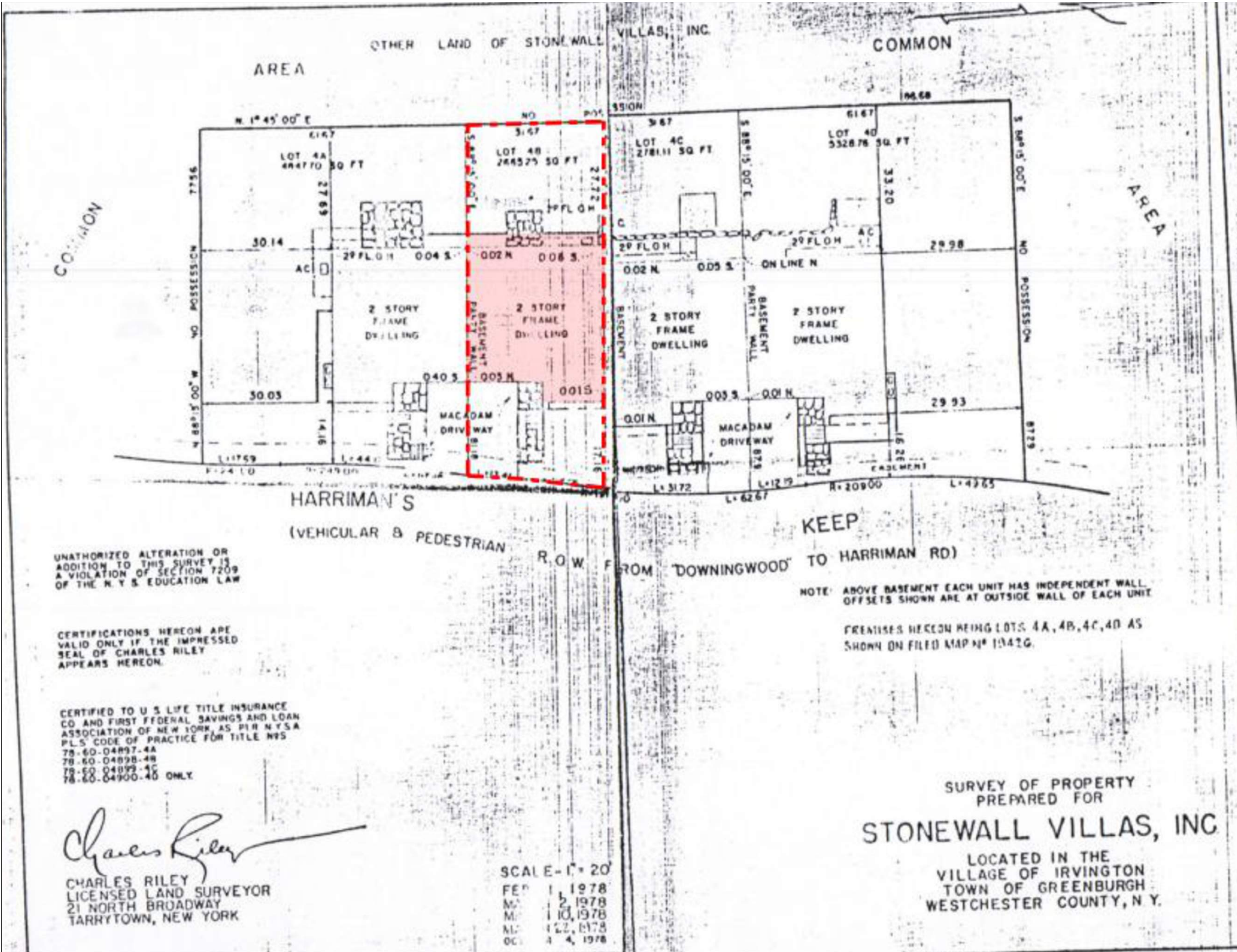
Rev. number

A000

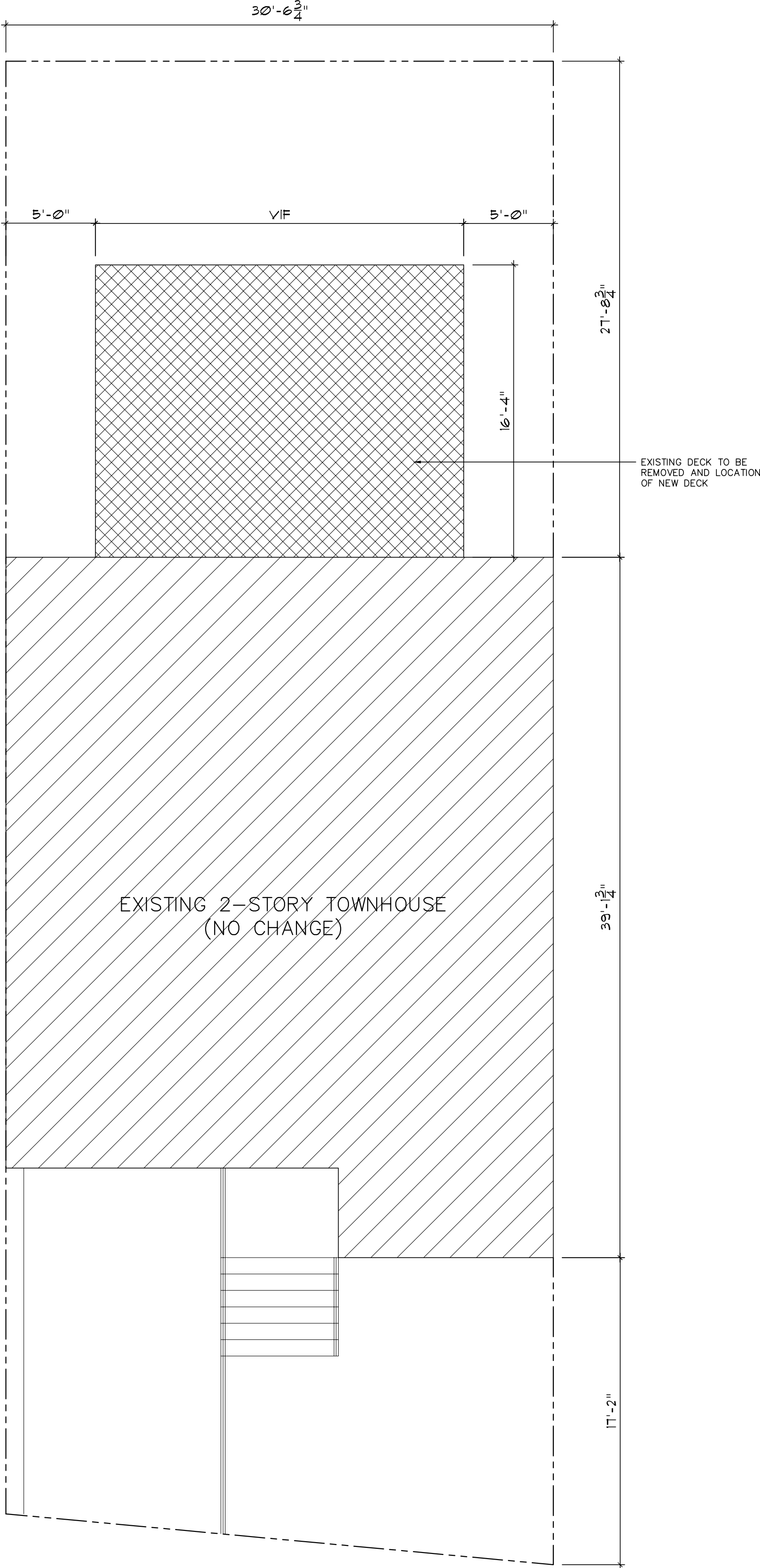
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ISSUE FOR PERMIT

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SITE SURVEY
NTS



SITE PLAN
3/32" = 1'-0"

Nina Lesser, RA, LEED AP

shengandlesser@gmail.com

DECK REPLACEMENT

5 Harrimans Keep
Irvington, NY 10533

Notes :

1. Figured dimensions are to be taken in preference to scaled. All dimensions should be checked by the contractors, and any discrepancies should be referred to the architect before the work commences on site. Do not scale drawing.
2. All 'l.b.c.' dimension to be confirmed by the contractor as correct to the architect. All 'EX' dimension to match existing.
3. All works to be prepared as shop drawings by the contractor for approval by the architect before the works commence on site.
4. All works by contractor unless otherwise noted.

Consultants

SITE SURVEY AND SITE PLAN

Revision	Date
Issue for Permit	26 JUL 2021

Scale:	NTS	Date:	201205
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
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A001

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ISSUE FOR PERMIT

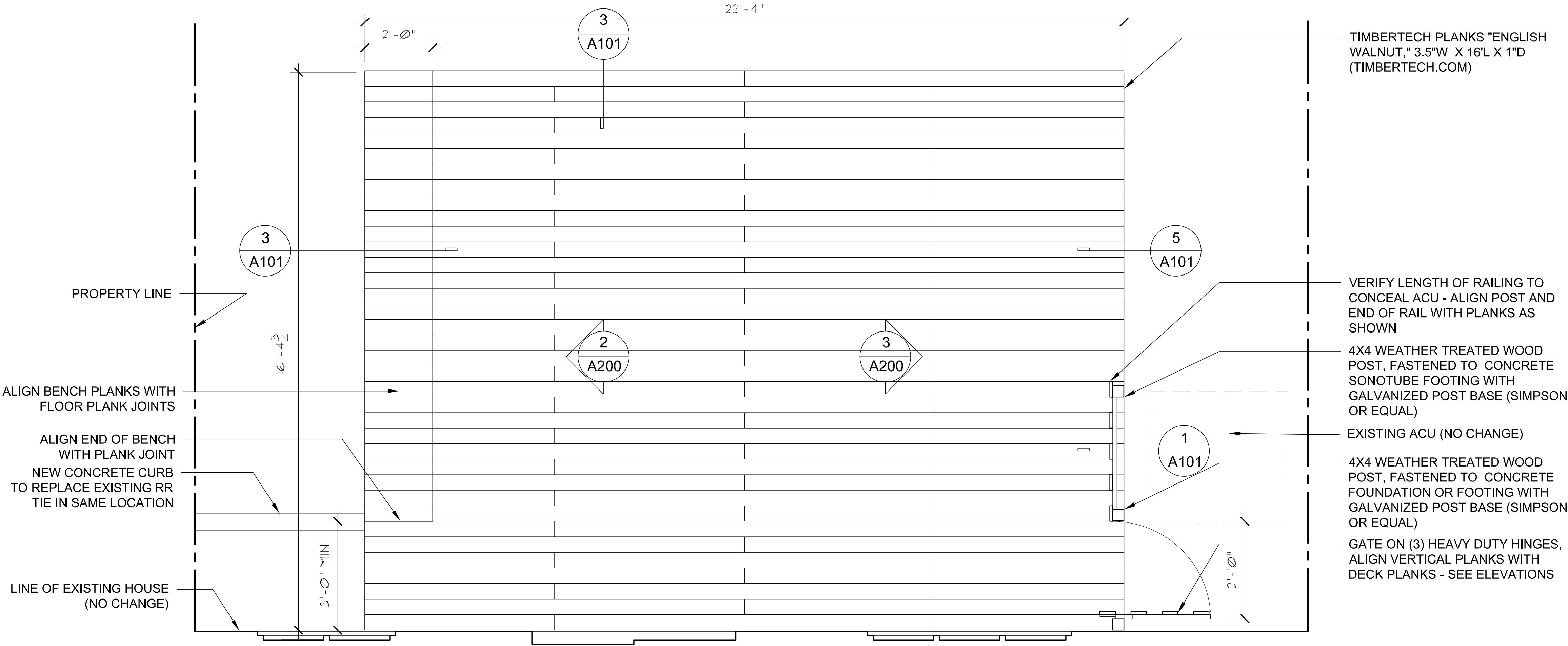
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REMOVE ALL POSTS, PLANKS,
RAILING STRUCTURE INLCUDING
ALL ASSOCIATED HARDWARE -
CLEAN AND LEVEL AREA FOR
EXCAVATION OF NEW FOUNDATION
WALLS AND DECK

REMOVE EXISTING RR
TIES AND PREPARE FOR
NEW CONCRETE CURB

EXISTING ACU (NO CHANGE)

1. EXISTING PLAN
1/4" = 1'-0"



2. PROPOSED PLAN
1/4" = 1'-0"

Nina Lesser, RA, LEED AP

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DECK REPLACEMENT
5 Harrimans Keep
Irvington, NY 10533

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EXISTING AND
PROPOSED PLANS

Revision		Date	
Issue for Plan Check		26 JUL 2021	

Scale:	NTS	Date:	210705
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
A100	-

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5 Harrimans Keep
Irvington, NY 10533

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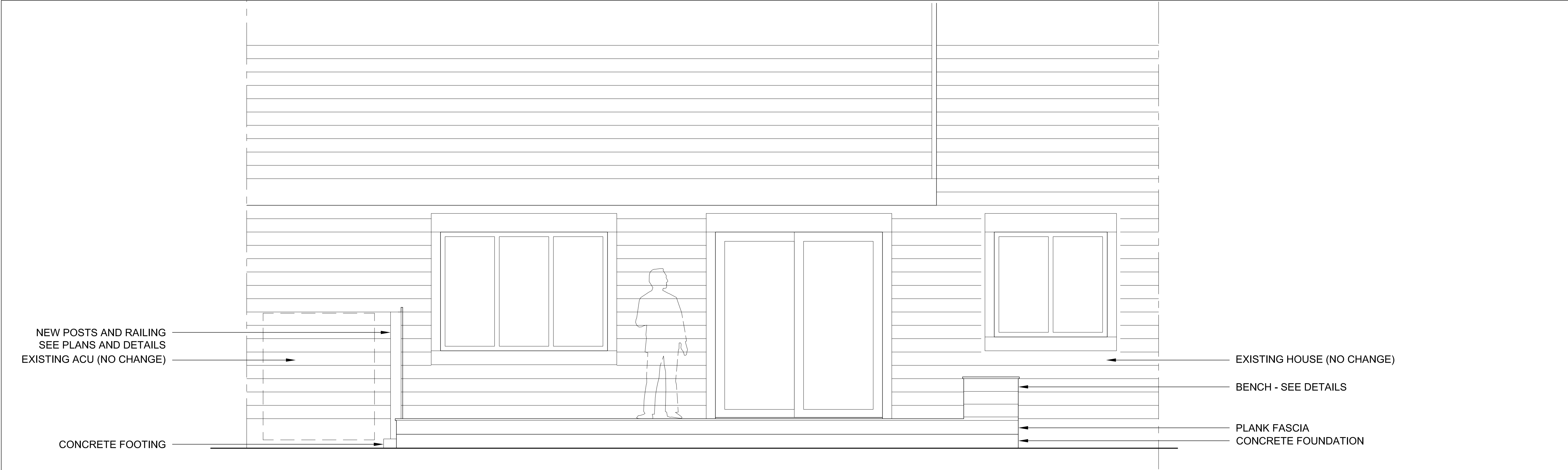
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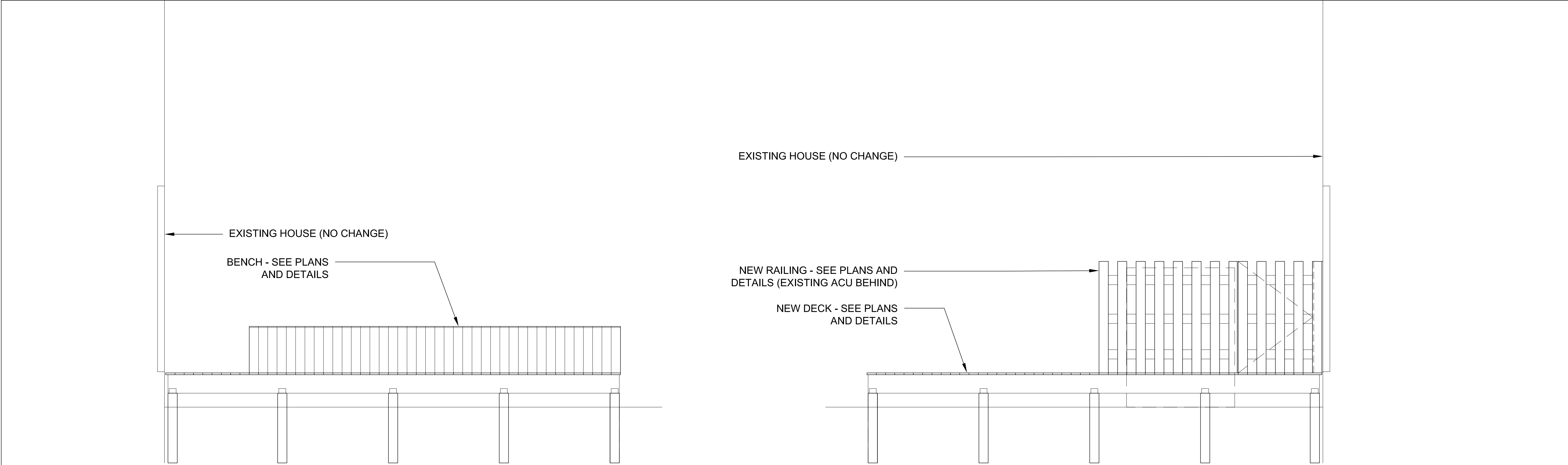
Revision	Date
Issue for Plan Check	26 JUL 2021

Drawing number	Rev. number
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1. EXTERIOR ELEVATION
1/4" = 1'-0"



2. EXTERIOR ELEVATION
1/4" = 1'-0"

3. EXTERIOR ELEVATION
1/4" = 1'-0"

Nina Lesser, RA, LEED AP

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DECK REPLACEMENT

5 Harrimans Keep
Irvington, NY 10533

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EXTERIOR ELEVATIONS

Revision		Date	
Issue for Plan Check		26 JUL 2021	
Scale:	NTS	Date:	210705
Drawn by:	NL	Checked by:	NL

Drawing number	Rev. number
A200	-

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