

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	770	Date:	07/30/2021
Job Location:	24 N ASTOR ST	Parcel ID:	04 04 0203 43
Property Owner:	Radoslav Opacic	Property Class:	APARTMENT
Occupancy:	Multi-Family	Zoning:	
Common Name:			

Applicant	Contractor
Radoslav Opacic	
Opacic Architects	
24 North Astor StreetIrvington New York 10533	
9145914306	

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Owner
Work Requested by:		In association with:	
Cost of Work (Est.):	175000.00	Property Class:	APARTMENT

Description of Work

Renovate two existing office spaces including layout and exterior elevation changes, to convert the larger space which currently accommodates the existing architectural office into a residence and the smaller adjacent existing space into the new office space for the existing architectural practice.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

AFFIDAVIT OF APPLICANT

I **Radoslav Opacic** being duly sworn, depose and says: That s/he does business as: **Opacic Architects** with offices at: **24 North Astor Street Irvington New York 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I **Radoslav Opacic** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- ☐ _____ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

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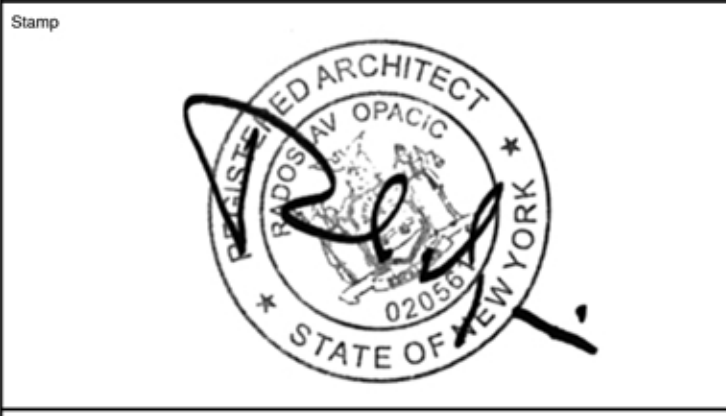


1 PROPOSED FLOOR PLAN
SCALE: 1/4"=1'-0"

No.	Date	Revision
1	08-02-21	ISSUED FOR ARB APPROVAL
2	02-08-21	ISSUED FOR ZONING BOARD APPROVAL
3	01-20-21	RE-ISSUED FOR PLANNING BOARD APPROVAL
4	12-22-20	ISSUED FOR PLANNING BOARD APPROVAL

Project Title
OPACIC RESIDENCE / STUDIO
24 NORTH ASTOR STREET, SUITE 13 & 13A
IRVINGTON, NY 10533

Architect
Opacic Architects
24 North Astor
Irvington, NY 10533
(914) 591-4306
(914) 591-4308



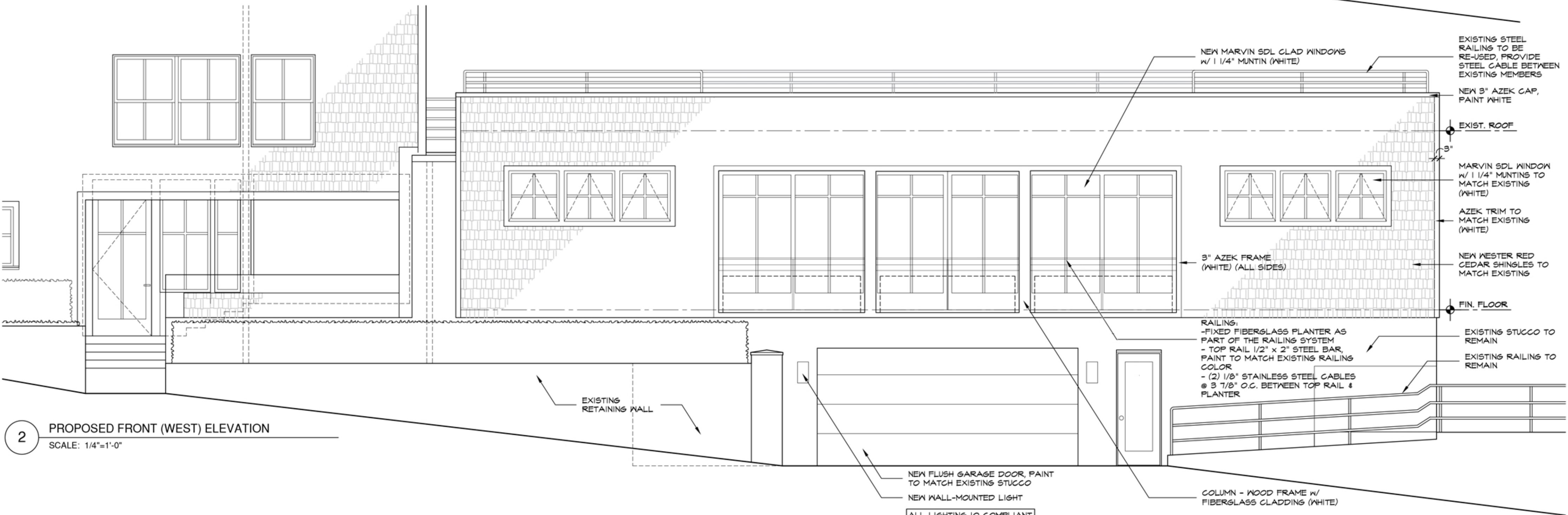
Drawing Title
PROPOSED FLOOR PLAN

Scale	Job no.	Issue Date	Drawing no.
AS NOTED	OA-01	12-22-20	A-1.0
Drawn By	Checked By	Approved By	
MM			

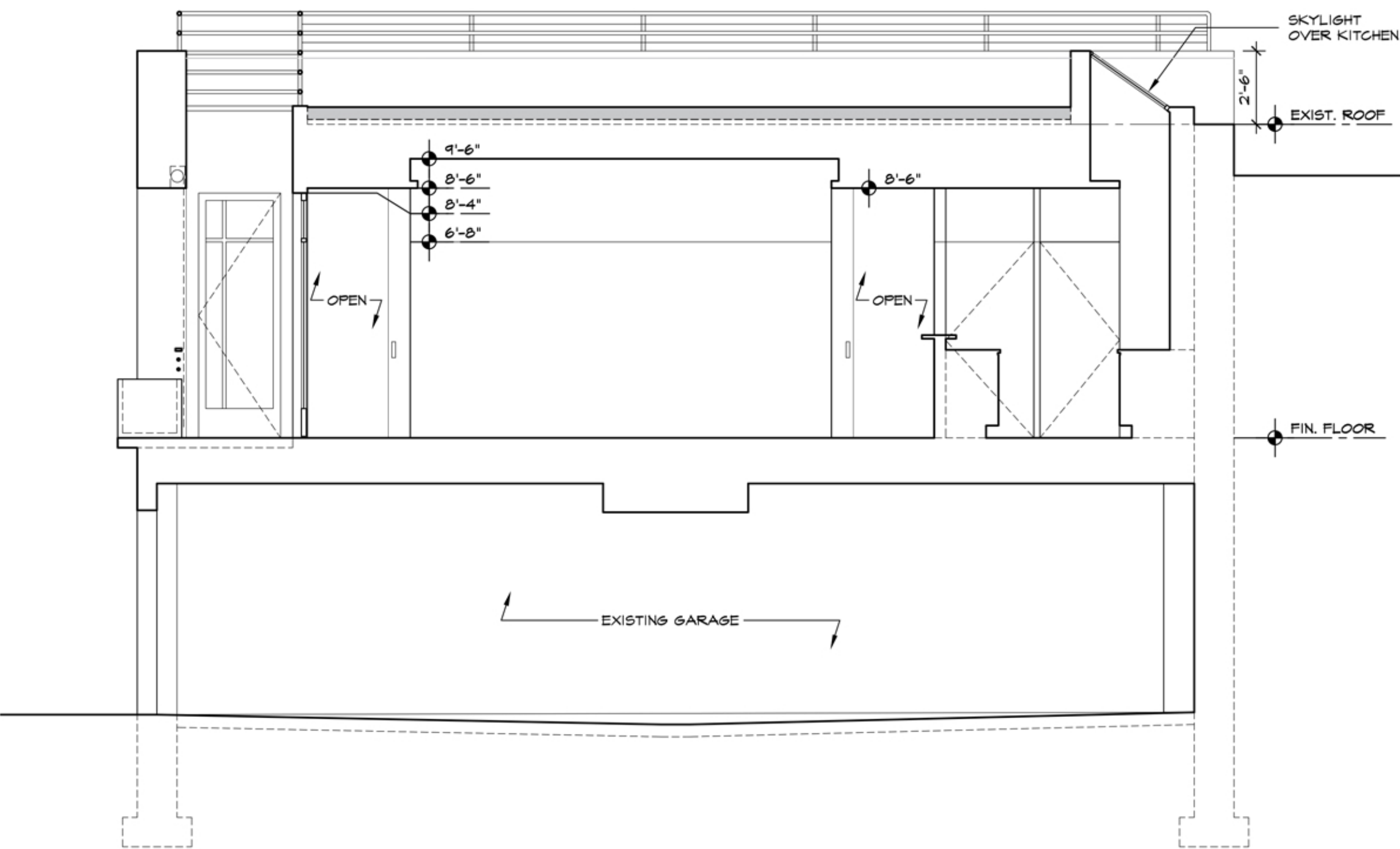
NOTE: "AS-BUILT" DRAWINGS OF THE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY



1 EXISTING FRONT (WEST) ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED FRONT (WEST) ELEVATION
SCALE: 1/4"=1'-0"



3 SECTION
SCALE: 1/4"=1'-0"

08-02-21 SUBMITTED FOR ARB APPROVAL

No. Date Revision

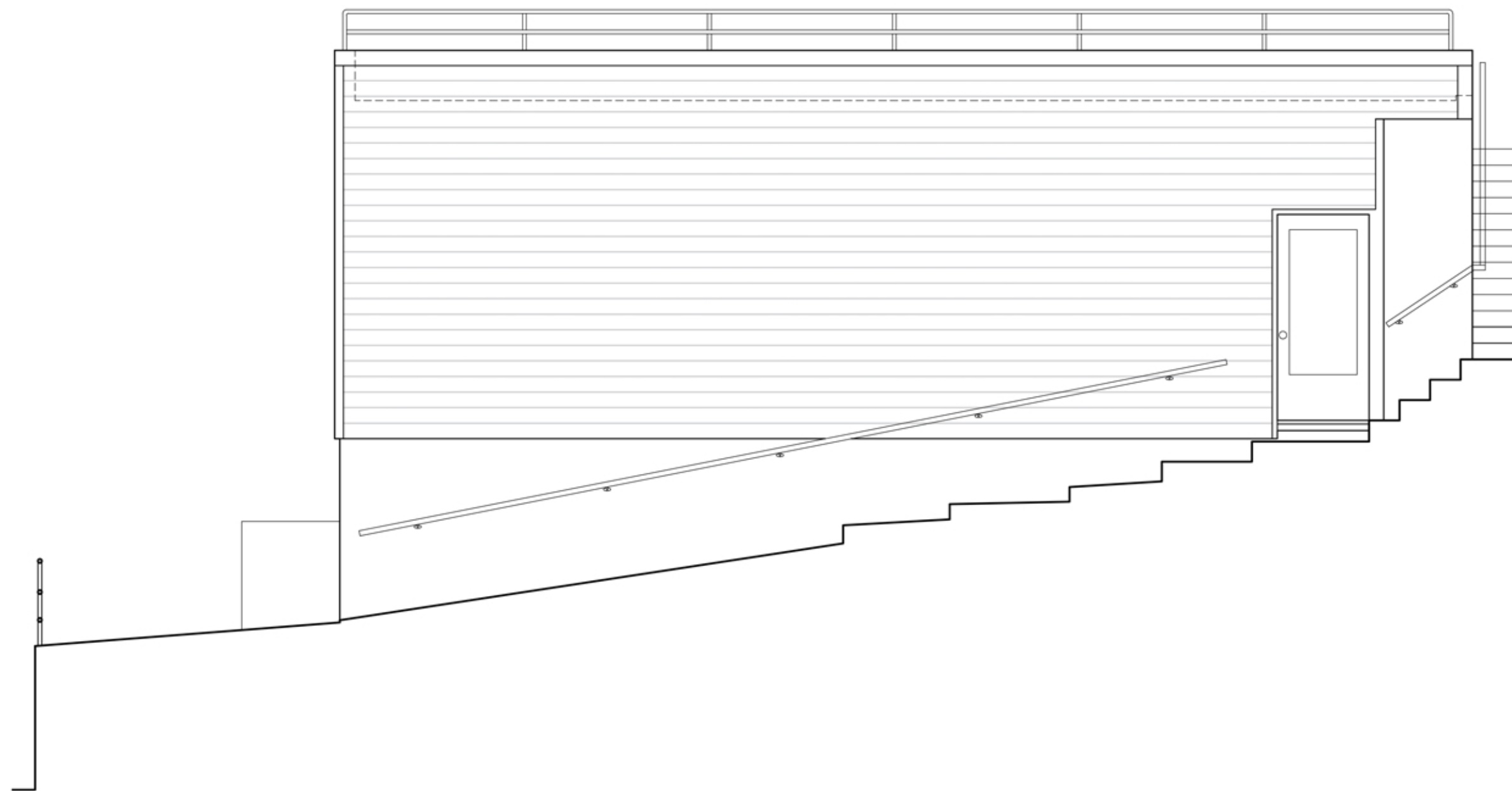
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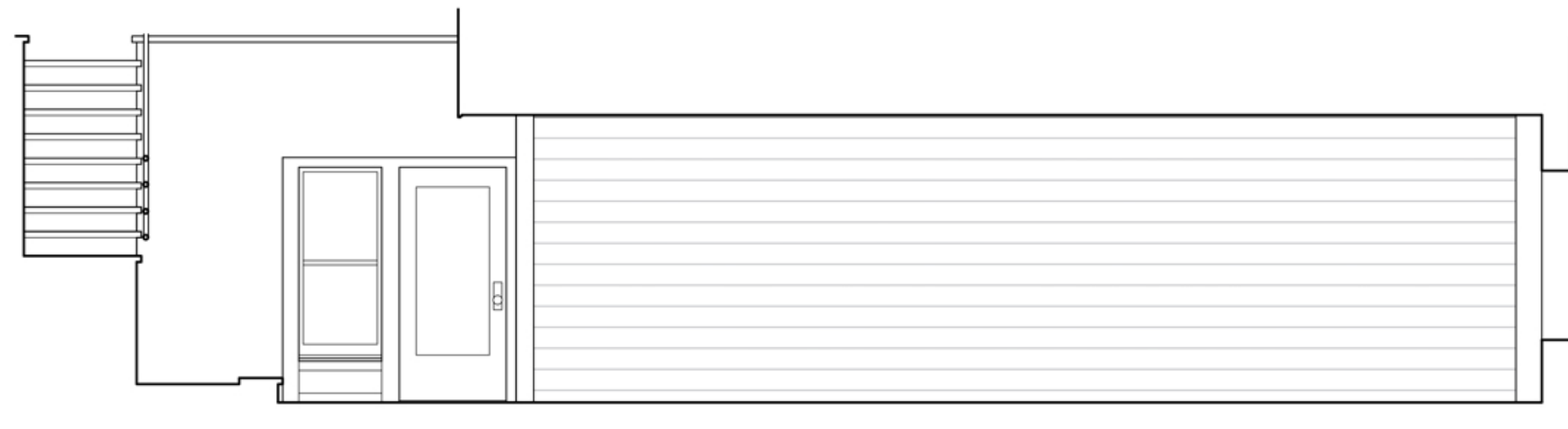


Drawing Title
ELEVATIONS

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Drawn By	Checked By	Approved By	
MM			



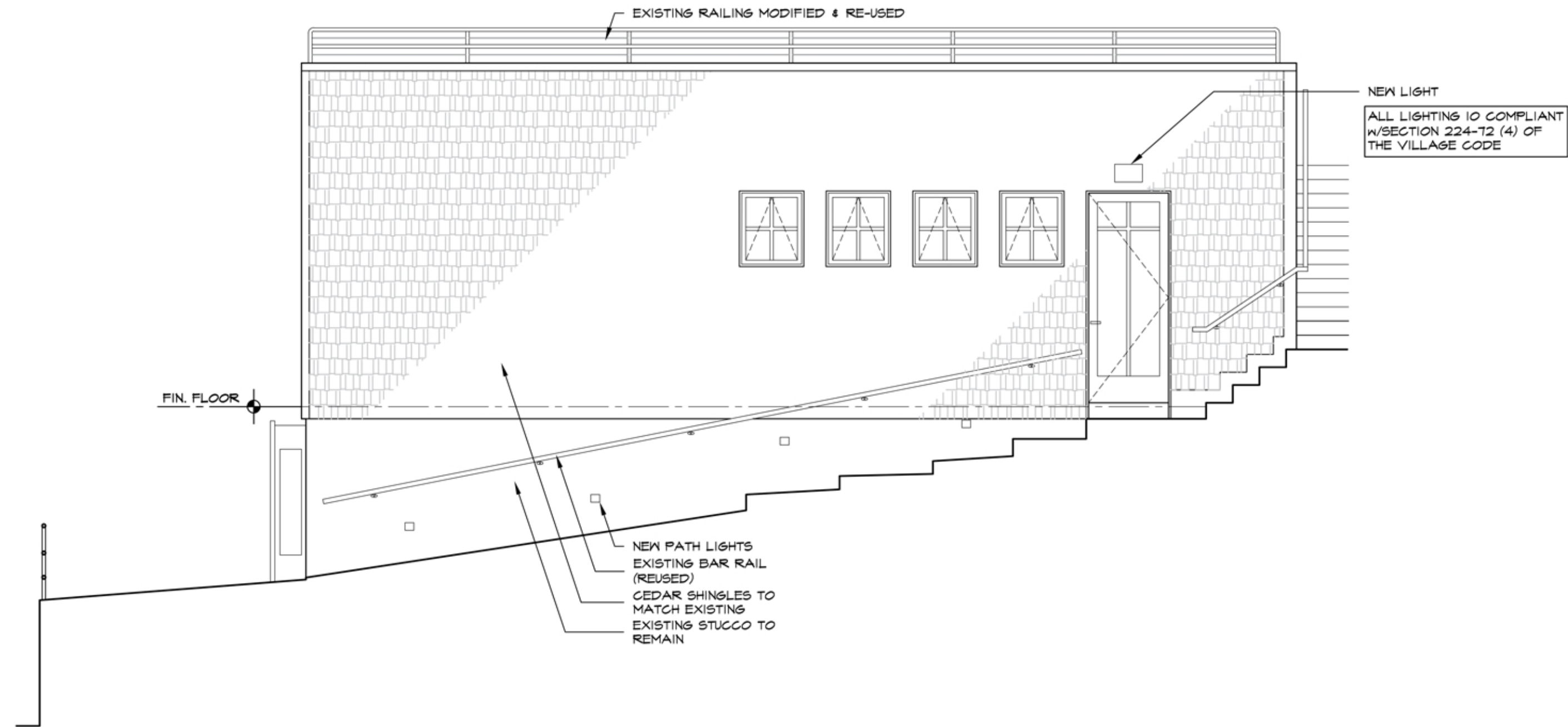
1 EXISTING SIDE (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"



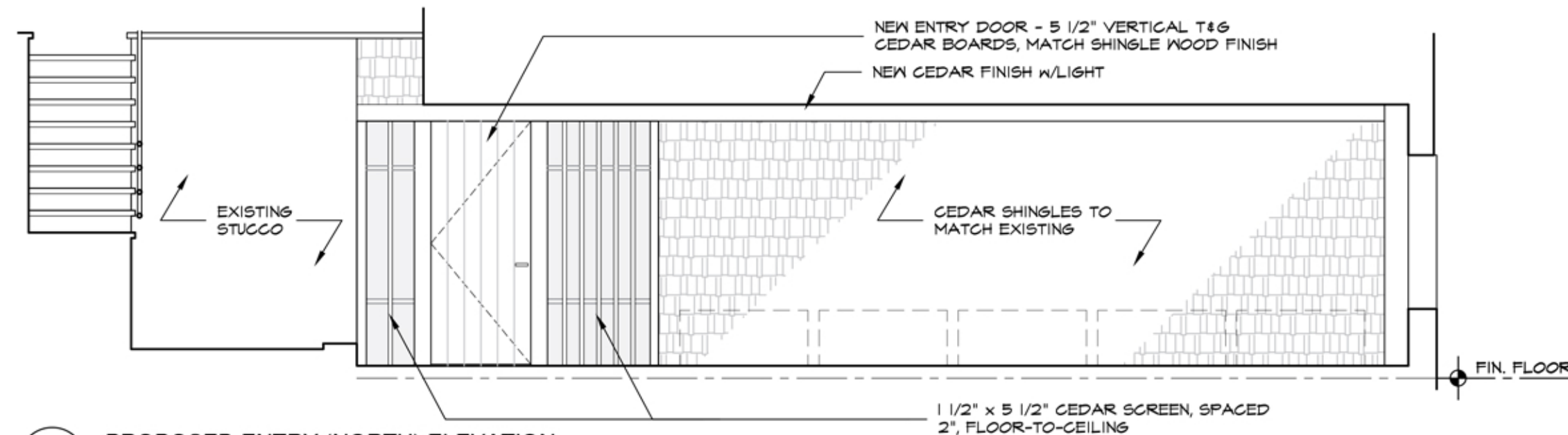
3 EXISTING ENTRY (NORTH) ELEVATION
SCALE: 1/4"=1'-0"



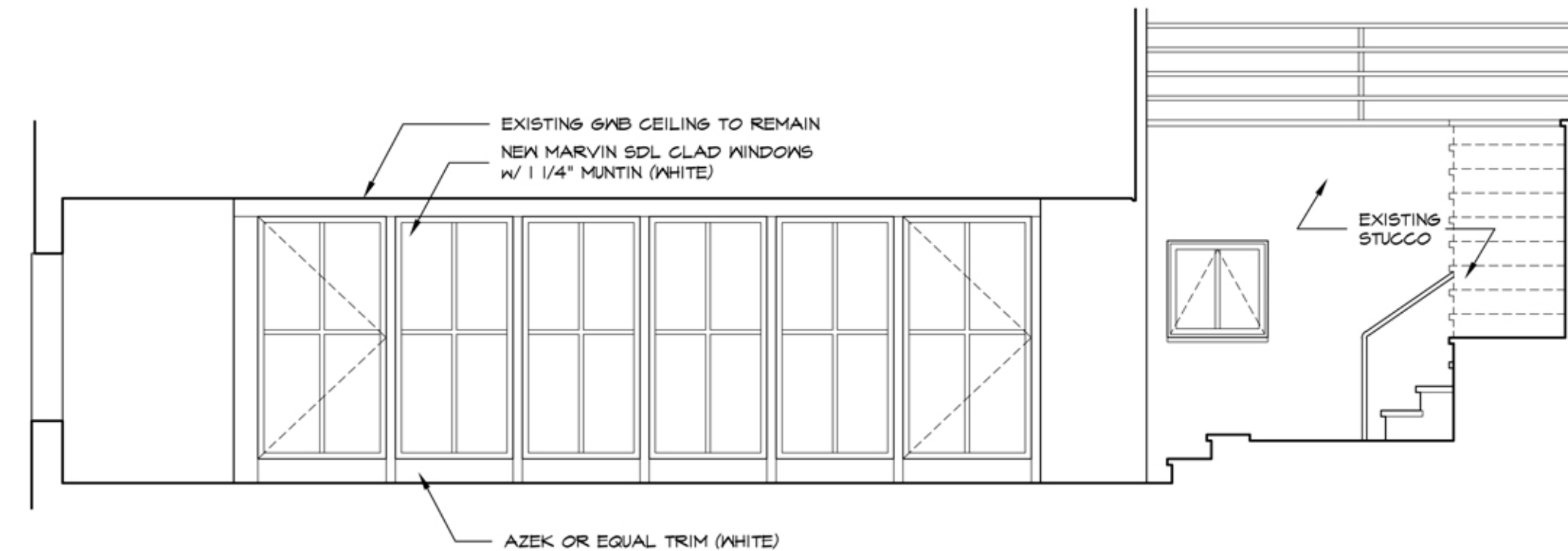
5 EXISTING STUDIO ENTRY (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED SIDE (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"



4 PROPOSED ENTRY (NORTH) ELEVATION
SCALE: 1/4"=1'-0"



6 PROPOSED STUDIO ENTRY (SOUTH) ELEVATION
SCALE: 1/4"=1'-0"

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No.	Date	Revision	
Project Title			
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Architect			
Opacic Architects 24 North Astor Irvington, NY 10533 (914) 591-4306 (914) 591-4308			
Stamp			
Drawing Title			
ELEVATIONS			
Scale	Job no.	Issue Date	Drawing no.
AS NOTED	OA-01	08-02-21	A-2.1
Drawn By	Checked By	Approved By	
MM	-	-	

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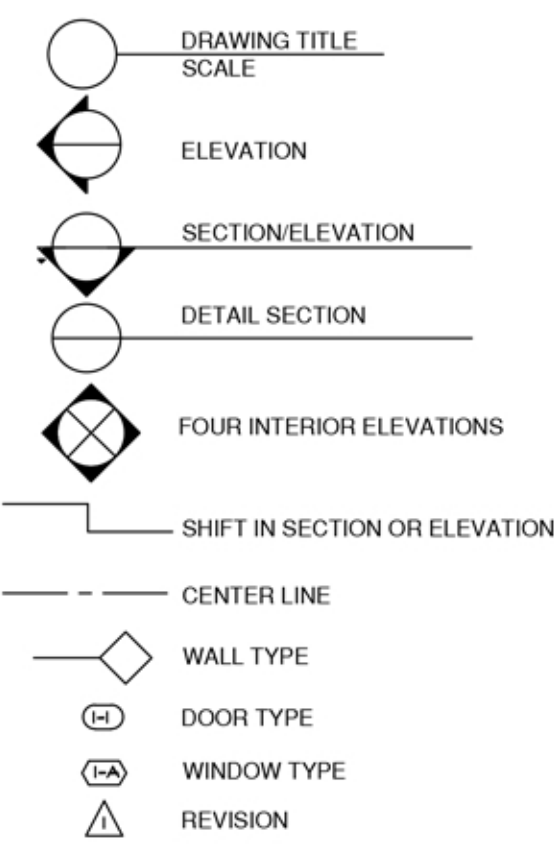
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IRVINGTON, NY. 10533

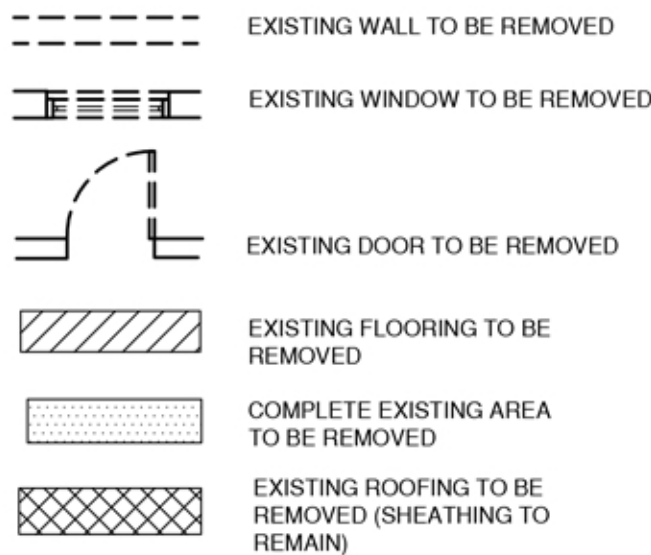
ARCHITECT
OPACIC ARCHITECTS
24 NORTH ASTOR
IRVINGTON, NY 10533
TEL: 914-591-4306 FAX: 914-591-4308

SYMBOLS:

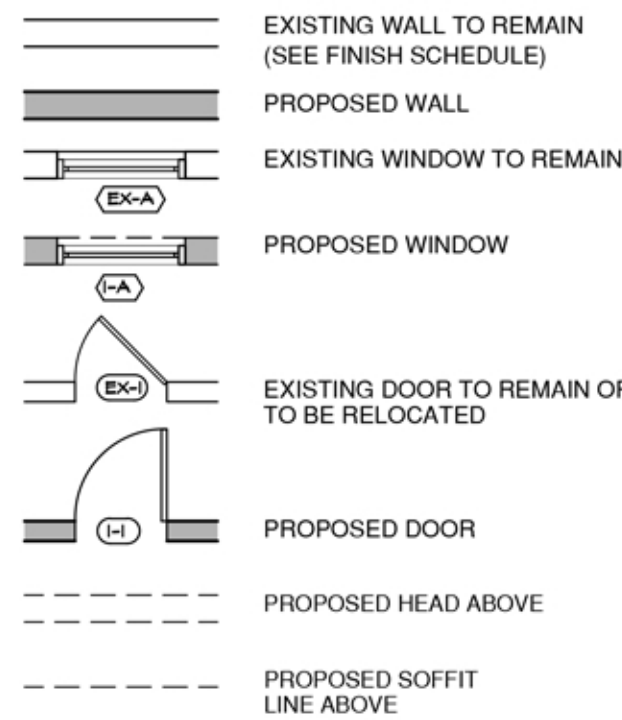
ARCHITECTURAL



DEMOLITION LEGEND:



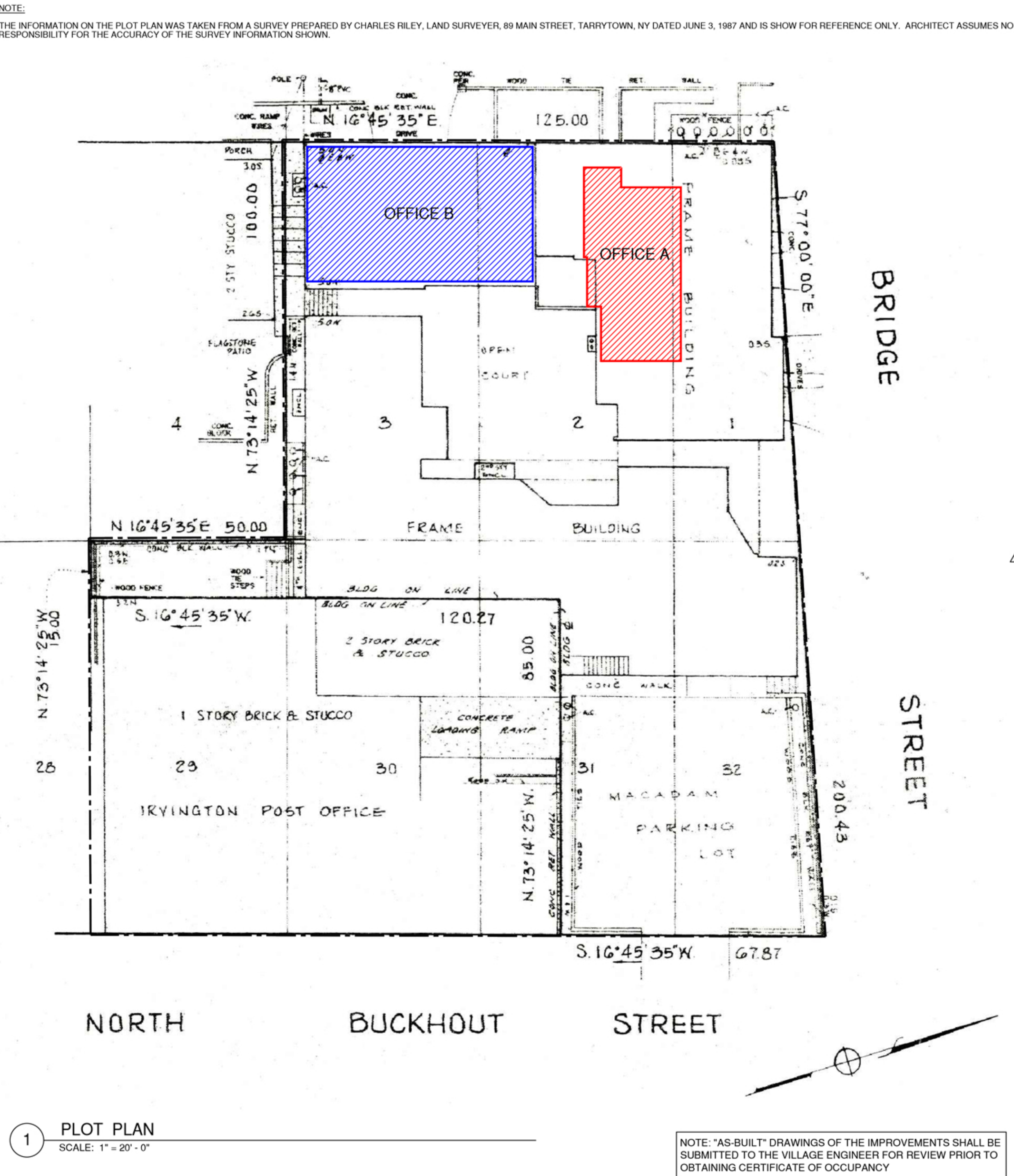
CONSTRUCTION LEGEND



GENERAL NOTES:

GENERAL
1) APPLICATION FOR PAYMENT SHALL BE SUBMITTED TO THE ARCHITECT, IN THE AIA G702.
2) CONTRACTOR SHALL COORDINATE ALL UTILITY INTERRUPTIONS INCLUDING WATER, GAS, SEWER AND ELECTRICAL. IF THE SITE IS INHABITED THE CONTRACTOR MUST SUPPLY TEMPORARY CONNECTIONS FOR UTILITIES THAT ARE DISCONNECTED FOR MORE THAN ONE DAY.
3) ALL ITEMS NOTED ON DRAWING AS "PROVIDED BY OWNER" SHALL BE INSTALLED BY THE CONTRACTOR.
4) CONTRACTOR SHALL PROVIDE "PORTABLE-JOHN" DURING CONSTRUCTION PERIOD.
5) THE ARCHITECT HAS THE AUTHORITY TO REJECT WORK THAT DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL WORK REJECTED WILL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR OR REPLACE.
6) IN MATTERS OF QUALITY, QUANTITY AND AESTHETIC VALUE, THE ARCHITECT DECISIONS WILL BE FINAL.
DEMOLITION
1) CONTRACTOR SHALL PROVIDE CONTINUOUS SHORING AND BRACING OF THE EXISTING STRUCTURE DURING DEMOLITION AND CONSTRUCTION. REMOVAL OF ALL BEARING WALLS WILL BE IN ACCORDANCE WITH STRUCTURAL PLANS. IF ANY CONDITIONS ARE DIFFERENT THAN SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY.
2) ITEMS NOTED TO BE SAVED SHALL BE REMOVED BY GENERAL CONTRACTOR AND STORED. STORAGE LOCATION BY OWNER.
WOODWORK
1) ALL WOODWORK AND MOLDING PROFILES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE MOCKUP IN THE FIELD FOR APPROVAL PRIOR TO ORDERING AND INSTALLING MOLDING.
2) ALL FINISH TRIM SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL TRIM SHALL BE DELIVERED TO THE SITE A MINIMUM 2 WEEKS PRIOR TO INSTALLATION. WOOD SHALL BE COMPLETELY PRIMED PRIOR TO INSTALLATION.
3) INTERIOR AND EXTERIOR TRIM SHALL BE GLUED AND NAILED AT ALL CONNECTIONS. ALL EXTERIOR GLUE SHALL BE WATER RESISTANT.
SITE WORK
1) CONTRACTORS SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. ALL TREES AND SHRUBS IN AREA OF NEW CONSTRUCTION SHALL BE REMOVED BY OWNER'S LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR NOT STORE ANY MATERIALS ON ANY LANDSCAPE AREAS.
ELECTRICAL
1) LIGHT FIXTURES SUPPLIED BY OWNER SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR. FIXTURES DELIVERED TO SITE BY OWNER OR OWNER'S REPRESENTATIVE SHALL BE ACCEPTED BY GENERAL CONTRACTOR AND SHALL BECOME CONTRACTOR'S RESPONSIBILITY TO PROTECT THROUGH JOB COMPLETION.
2) ALL ELECTRICAL WORK SHALL COMPLY TO THE REQUIREMENTS OF NATIONAL, STATE AND LOCAL ELECTRICAL CODES.
3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNER'S CONSULTANTS. CONTRACTOR SHALL NOTIFY OWNER WHEN THESE TRADES CAN BE SCHEDULED TO WORK.
PLUMBING
1) ALL PLUMBING WORK SHALL COMPLY WITH NYS PLUMBING CODE AND ALL STATE AND LOCAL REGULATIONS.
WORKMANSHIP
1) PROVIDE ALL MATERIAL, EQUIPMENT, LABOR AND METHODS OF CONSTRUCTION TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND DECIDED IN THE SPECIFICATION. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK STATE CODE, THE COUNTY OF WESTCHESTER, THE PRESIDING VILLAGE AND ANY OTHER APPLICABLE CODES HAVING JURISDICTION.
COORDINATION
1) THE CONTRACTOR SHALL CHECK AND VERIFY ALL NEW AND EXISTING CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR COMMENCING WORK IN THAT AREA.
2) ALL DIMENSION OF WALLS ARE TAKEN TO FRAMING MEMBERS FOR NEW CONSTRUCTION AND TO FINISH WALL FOR EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED.
3) ALWAYS USE GIVEN DIMENSIONS, DO NOT SCALE OFF OF DRAWINGS FOR CONSTRUCTION PURPOSES.
4) SUBMIT SHOP DRAWINGS AS REQUESTED BY THE SPECIFICATIONS AND OR DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.
5) ALL COLORS TO BE APPROVED BY ARCHITECT. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. MINIMUM SIZE 12" X 12". (SEE SPEC.)
CHANGES
1) ALL CHANGE ORDERS SHALL BE SUBMITTED IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO START OF WORK (AIA DOCUMENT G701).
2) ANY DEVIATION FROM WHAT IS SHOWN OR STIPULATED IN THE DRAWINGS OR THE SPECIFICATION MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK.
3) ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
SAFETY
1) THE CONTRACTOR AND ALL OF THE SUBCONTRACTORS INVOLVED IN THIS PROJECT ARE TO BE SAFELY WORKING WITHIN THE GUIDELINES SET FORTH BY LOCAL MUNICIPALITIES AND NEW YORK STATE.
RESPONSIBILITY
1) EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR DURING THIS CONTRACT.
2) THE CONTRACTOR AND SUBCONTRACTORS MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT FROM COMMENCEMENT TO COMPLETION. THE CONTRACTOR MUST PROVIDE THE OWNER WITH A RIDER STATING THE OWNER AND THEIR PROPERTY IS CO-INSURED. FAILURE TO FOR FILL THIS OBLIGATION DOES NOT OBLIVATE THE CONTRACTOR FROM RESPONSIBILITY.
3) THE CONTRACTOR AND ALL SUBCONTRACTORS MUST CARRY WORKER'S COMPENSATION IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS.
4) CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE OF DANGEROUS DEBRIS AND THAT THE BUILDING IS SECURE AT THE END OF EACH WORKING DAY.
5) THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY HAZARDOUS MATERIAL FOUND DURING THE COURSE OF THIS PROJECT. IF ANY MATERIAL IS DISCOVERED, IT SHALL BE REMOVED BY THE OWNER UNLESS OTHERWISE STATED.
WARRANTIES
1) ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL PAYMENT. UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS, ANY REPAIR OR REPLACEMENT REQUIRED MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

PLOT PLAN:



BUILDING CODE CRITERIA

CONSTRUCTION TYPE: TYPE 5B (FRAME CONSTRUCTION)
OCCUPANCY: R-3
FIRE RESISTANCE: FLOOR: 3/4 HOUR
ROOF STRUCTURE: COMBUSTABLE
OTHER STRUCTURAL ELEMENTS: 3/4 HOUR
DESIGN LOADS: ROOF: DEAD: 15PSF LIVE: 30PSF TOTAL: 45PSF
FLOOR: DEAD: 20PSF LIVE: 40PSF TOTAL: 60PSF
ATTIC: DEAD: 20PSF LIVE: 30PSF TOTAL: 50PSF
DECKS: DEAD: 15PSF LIVE: 60PSF TOTAL: 75PSF
STAIRS: DEAD: 15PSF LIVE: 75PSF TOTAL: 75PSF

SOIL BEARING CAPACITY SHALL BE IN COMPLIANCE WITH THE RESIDENTIAL CODE OF THE STATE OF NEW YORK

BUILDING CODE COMPLIANCE NOTES:

ALL PLANS ARE DESIGNED IN ACCORDANCE WITH THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

ALL PLANS ARE DESIGNED IN ACCORDANCE WITH THE PRESCRIPTIVE ENERGY REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

ALL PLANS ARE DESIGNED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE NFPA 70, 2014 EDITION.

ENGINEERED LUMBER (FLOOR AND ROOF FRAMING) SHALL BE PLACARDED AND WILL BE POSTED ON SITE PER NYS DOS

LOCATION MAP:



ZONING INFORMATION:

PROPERTY INFORMATION TABLE

MUNICIPALITY	VILLAGE OF IRVINGTON, WESTCHESTER COUNTY, NEW YORK
ADDRESS	24 NORTH ASTOR STREET, UNIT 13 & 13A, IRVINGTON, NEW YORK 10533
TAX ID #	SECTION: 2.40 BLOCK: 12 LOT: 1.13
OWNER	RADOSLAV OPACIC, 34 DEVOE STREET, DOBBS FERRY, NY 10522
APPLICANT	RADOSLAV OPACIC, 34 DEVOE STREET, DOBBS FERRY, NY 10522
DISTRICT	B BUSINESS DISTRICT

SCHEDULE OF ZONING DISTRICT REGULATIONS

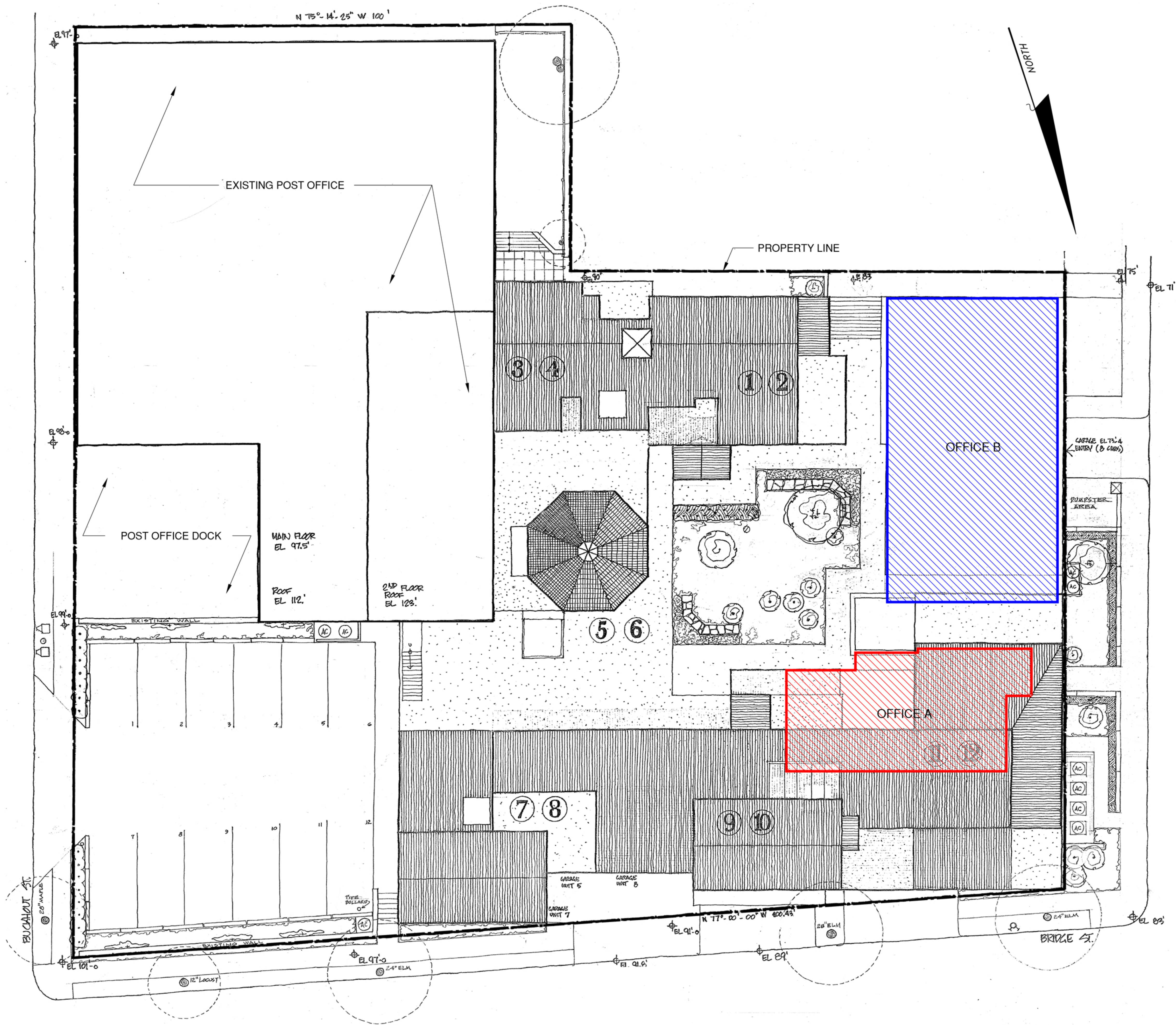
REGULATION ITEM	REQUIRED/ALLOWED	EXISTING	PROPOSED
USE	BUSINESS/DWELLING	BUSINESS/DWELLING	BUSINESS/DWELLING
MIN. LOT AREA	--	21,091.03 SF	21,091.03 SF
MIN. LOT WIDTH	--	125.0'	125.0'
MIN. LOT DEPTH	--	200.48'	200.48'
MIN. YARDS	4' WIDE MIN. IF REQUIRED	EXISTING	EXISTING
MAX. BUILDING HEIGHT	3 STORIES-BASEMENT / 35'	EXISTING	EXISTING
MAX. BUILDING COVERAGE	70% OF LOT AREA/14,763.72SF	20,252 SF	20,252 SF
MAX. LOT COVERAGE	80% OF LOT AREA/16,872.82SF	25,013 SF	25,013 SF
MAX. FAR	1.4xNET BUILDABLE SITE	39,970 SF	40,356.37 SF
DENSITY FACTOR	2,500 SF	12 DWELLING UNITS	13 DWELLING UNITS
PARKING	1.5 / 2 BEDROOM 2 / 3 BEDROOM 1 / 150 SF RETAIL/SERVICE 1 / 150 SF RETAIL/SERVICE	27 SPACES	27 SPACES

DESIGN REQUIREMENTS:

DESIGN REQUIREMENTS FOR THE RESIDENTIAL CODE OF NEW YORK VILLAGE OF SCARSDALE CLIMACTIC AND GEOGRAPHIC DESIGN CRITERIA										
GROUND SNOW LOAD	WIND	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMP.	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX
	SPEED (MPH)		WEATHERING CONCRETE	FROST LINE DEPTH	TERMITE	DECAY				
45 PSF	100-110	C	SEVERE	42"	MODERATE/ HEAVY	SLIGHT/ MODERATE	7 DEGREES F	YES	NO	618

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02-08-21 ISSUED FOR ZONING BD. APPROVAL
01-20-21 RE-ISSUED FOR PLANNING BD. APPROVAL
12-22-20 ISSUED FOR PLANNING BD. APPROVAL

No.	Date	Revision
Stamp		
Drawing Title		
TITLE SHEET		
Scale	Job no.	Issue Date
AS NOTED	OA-01	12-22-20
Drawn By	Checked By	Approved By
NW, MM		
T-1.0		



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SITE PLAN

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