

LETTER OF TRANSMITTAL

To: The Architectural Review Board
Village of Irvington, NY

Date: September 7, 2021

Project: Modifications to 12 Maple Street

The following materials are enclosed / attached:

Quant.	Description	Date	Item No.	Notes
3	Building Permit Application	9/7/21		1 original, signed and notarized
3	Sets Architectural Drawings	9/7/21		4 sheets per set, 3 sets are signed and sealed
3	Surveys	10/26/19		
3	Exterior Material Cut Sheets			5 sheets
1	Check for fees	9/7/21		To "Village of Irvington" for \$4,385.00
1	USB Drive with PDF's of items above			

By Hand

The materials listed above are submitted for the Architectural Review Board meeting scheduled for September 27, 2021

Cc: Teresa & Robert Forster, Owners

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	884	Date:	09/07/2021
Job Location:	12 MAPLE ST	Parcel ID:	2.80-35-7
Property Owner:	Teresa & Robert Forster	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Michael Lewis	
Michael Lewis Architects	Sunrise Building
145 Palisade Street, Suite 307Dobbs Ferry NY 10522	510 North State Road Briarcliff Manor NY 10510
914 231 7700	914-762-8453

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	225000.00	Property Class:	1 FAMILY RES

Description of Work

Demolition of an existing shed, wood deck, and concrete walkways in the rear yard, and a 1-story sunroom at the rear of the house. Construction of proposed 2-story addition to include a sunroom, powder room, and pantry on the main level, and a primary bedroom, bathroom, and closets on the 2nd level.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 12 MAPLE ST

Parcel Id: 2.80-35-7

AFFIDAVIT OF APPLICANT

I **Michael Lewis** being duly sworn, depose and says: That s/he does business as: **Michael Lewis Architects** with offices at: **145 Palisade Street, Suite 307 Dobbs Ferry NY 10522** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.


That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 7 day of Sept of 2022



STEVEN SECON
Notary Public, State of New York
No 01SE6216355
Qualified in Westchester County
Commission Expires January 11 2022

Notary Public / Commission of Deeds



Applicant's Signature

OWNER'S AUTHORIZATION

I **Teresa & Robert Forster** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- ☐ _____ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a licensed professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
\$3,825

• Inspection Fees (as applicable)

• Insulation: \$50

• Solid Fuel: \$50

• Foundation and footing drain: \$50

• Energy Code Compliance: \$50

• Sediment and erosion control: \$50

• Footing: \$50

• Preparation for concrete slabs and walls: \$50

• Footing: \$50

• Preparation for concrete slabs and walls: \$50

• Framing: \$50

• Building systems, including underground and rough-in: \$50

• Fire resistant construction and penetrations: \$50

• Final Inspection for C.O.: \$50

• State and local laws (per re-inspection): \$50

Total Inspections _____ **\$250**

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

\$225

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

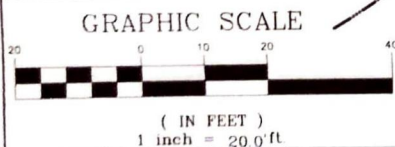
* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total _____ **\$4,385**

**(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)**

- LEGENDS:**
- C.L.F. CHAIN LINK FENCE
 - BLDG. BUILDING
 - GV GAS VALVE
 - O 4N NORTH
 - DI DRAINAGE INLET
 - W I F WROUGHT IRON FENCE
 - N / F NOW OR FORMERLY
 - O H W OVER HEAD WIRES

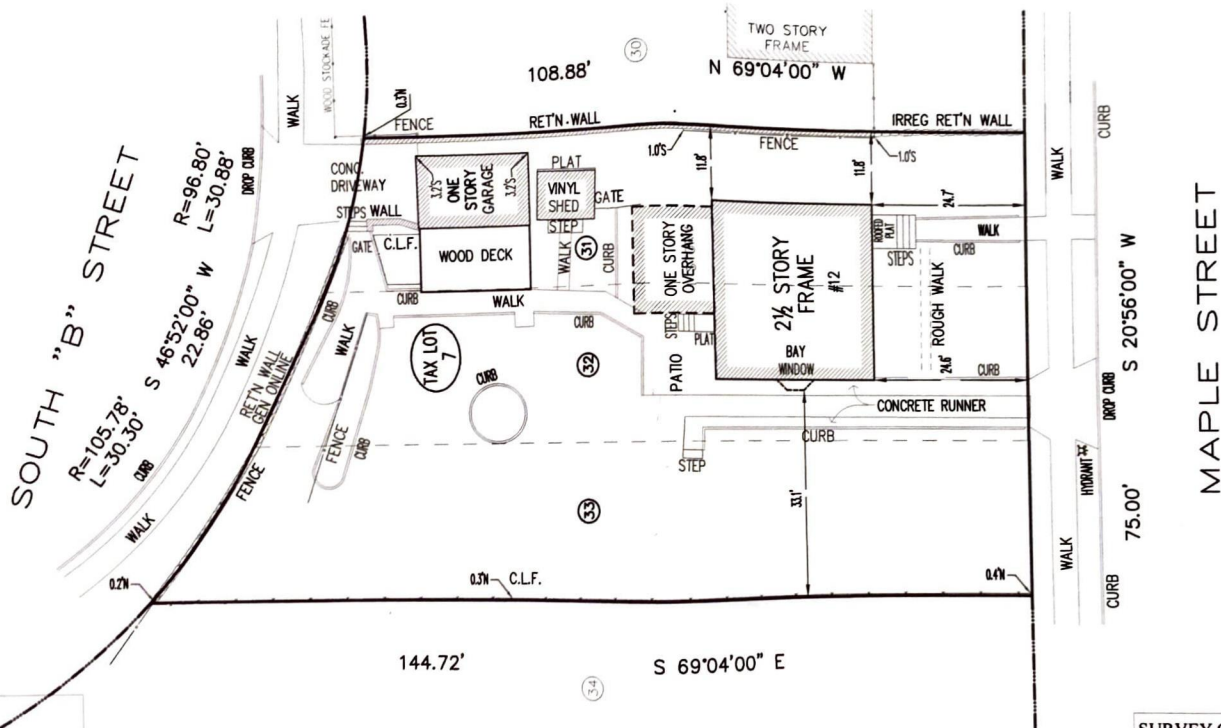
DO NOT SCALE



BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED, A DEED OF THE SUBJECT PROPERTY WAS NOT PROVIDED

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYORS SEAL IS VIOLATION OF §209, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL NOT BE CONSIDERED TO BE A TRUE AND VALID COPY



Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed herein. The certifications are not transferable.

NOT FOR TITLE TRANSFER.

SCALE: 1"= 20.0'
Measurement in U.S. Standard.

DATE: OCTOBER 26, 2019.

JOB NUMBER
WCRO2921-31

SURVEY OF
TAX LOT 7 IN BLOCK 35, SECTION 2.80
AS SHOWN ON THE OFFICIAL TAX MAPS OF
VILLAGE OF IRVINGTON

LOCATED AT
VILLAGE OF IRVINGTON
TOWN OF GREENBURGH
WESTCHESTER COUNTY STATE OF NEW YORK.

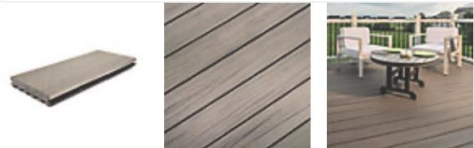
Being Lots 31, 32 & 33 as shown on, "Sudivision map of property belonging to the Spiro Park Realty Corp.", and said map is filed in the County Clerk's office, Division of Land Records, Westchester County, New York, as Map Number 2921.

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This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

Summit Land Surveying P.C.
21 Drake Lane
White Plains NY 10607
(914) 629-7758
Info@summitsurveyingpc.com



TREX ENHANCE® COMPOSITE DECKING SAMPLE IN ROCKY HARBOR

12 Inch Composite Deck Board Sample

 Add to compare list

SKU: RHE92000

Free shipping

Price: \$5.00

QTY:

ADD TO CART

- Overview
- Specifications

COLOR STORY

A contemporary changing neutral, Rocky Harbor adds sandy undertones to a rustic slate grey, featuring a low-maintenance, wood-like grain pattern.

- The beauty of wood with the ease of composite
- Made of high-performance composite for durability; won't rot, warp or splinter, unlike wood
- Protective outer shell resists fading and staining; no sanding or painting required
- Quality low-maintenance material; cleans easily with soap and water
- Easy-to-build decking; no specialty tools required
- Lightweight scalloped profile for easy handling
- Made of 95% recycled materials, with a low carbon footprint
- Backed by 25-year Limited Residential and Fade & Stain warranties
- Available in grooved-edge boards for our hidden deck fasteners or square-edge for traditional installation
- Made in USA

SPECIFICATIONS

1 INCH x 6 INCHES x 12 INCHES



Roll over image to zoom in

Bestshared Farmhouse Gooseneck Barn Light, Outdoor Wall Sconce, 1-Light Outdoor Black Finish Lantern for Porch with Contrast Color Interior

[Visit the Bestshared Store](#)
★★★★★ 402 ratings | 18 answered questions

2 Price Changes

Price: \$48.99 ✓prime & FREE Returns

Thank you for being a Prime member. Get a \$100 Gift Card: Pay \$0.00 upon approval for the Amazon Prime Rewards Visa Card.

May be available at a lower price from other sellers, potentially without free Prime shipping.

Power Source	AC
Material	Metal
Style	Contemporary
Special Feature	/
Color	Black Exterior+ Copper Interior

About this item

- Simple Industrial Design: The simple, traditional design of this light fixture looks great with any style of decor
- Black Finish with Copper Interior: the Black Finish fit any decor while the copper interior reflects light perfectly to form a extremely accent contrast
- Bulb Requirement: Hard wired. Requires 1x E26 base bulb(Max.100W). BULB NOT INCLUDED.
- ETL Listed Certification Easy Installation: Essential installation accessories included.
- 3 Year After-sale: Contact our customer service if you have any questions with our outdoor lights.

› [See more product details](#)

Technical Details

Brand	Bestshared
Manufacturer	bestshared
Item Weight	3.16 pounds
Product Dimensions	11.5 x 13.1 x 13.5 inches
Assembled Height	13.5 inches
Assembled Length	11.5 inches
Assembled Width	13.1 inches
Style	Contemporary
Color	Black Exterior+ Copper Interior
Shape	/
Material	Metal
Finish Types	Oil Rubbed
Number of Lights	1
Included Components	Light kit included
Maximum Compatible Wattage	100 Watts
Voltage	120 Volts
Specific Uses	Indoor/Outdoor
Special Features	/
Shade Material	NO
Light Direction	Downlight
Power Source	AC
Batteries Required?	No
Type of Bulb	Max 100 watt E26 base bulb (not included)
Wattage	100 watts

Timberline® HDZ™ Shingles

The look people know and love, now featuring LayerLock™ Technology

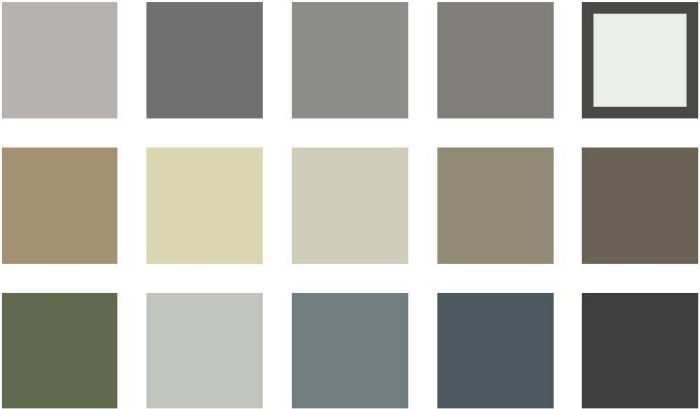


Color/Finish: Weathered Wood



SIDING COLORS

Arctic White



[Request a Quote >](#)

[Request a Sample >](#)

Colors shown may vary due to screen resolution. Please see actual product sample for true color.

AVAILABLE SIZES

THICKNESS: 0.25"	WIDTHS: 15.25" EXPOSURES: 6.976"
LENGTH: 48" boards	

[Warranty Information >](#)

WOODWRIGHT® DOUBLE-HUNG FULL-FRAME WINDOWS

FEATURES

Frame

❶ Perma-Shield® exterior cladding protects the frame — beautifully. Best of all, it's low maintenance and never needs painting.

❷ For exceptional long-lasting performance, sill members are constructed with a wood core and a Fibrex® material exterior.

❸ Natural wood stops are available in pine, oak, maple and prefinished white. Wood jamb liners add beauty and authenticity to the window interior.

❹ A factory-applied rigid vinyl flange on the head, sill and sides of the outer frame helps secure the unit to the structure.

❺ Multiple weatherstrip systems help provide a barrier against wind, rain and dust. The combination of spring tension vinyl, rigid vinyl and flexible bulb weatherstrip is efficient and effective.

❻ For units with white exterior color, exterior jamb liner is white. For all other units, the exterior jamb liner is gray.

Sash

❿ Balancers in the sash enable contractors to screw through the jamb during installation without interfering with the window's operation.

Wood Jamb Liner



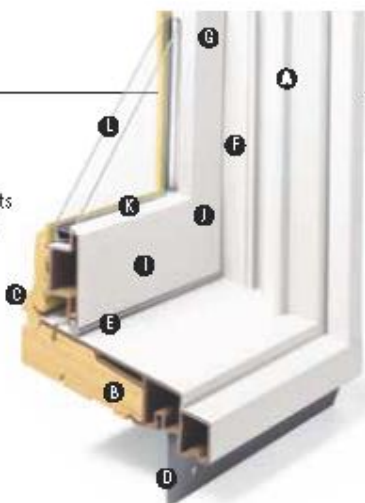
❶ Natural wood sash interior with classic chamfer detailing. Available in pine, oak, maple or prefinished white.

❷ Low-maintenance sash exterior provides long-lasting protection and performance. Sash exteriors on most units include Fibrex material.

❸ Sash joints simulate the look of traditional mortise-and-tenon construction inside and out.

Glass

❹ Silicone bed glazing provides superior weathertightness and durability.



❶ High-Performance glass options include:

- Low-E4® glass
- Low-E4 HeatLock® glass
- Low-E4 Sun glass
- Low-E4 SmartSun™ glass
- Low-E4 SmartSun HeatLock glass

Tempered glass and other glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

Hardware



Standard lock and keeper design provides an easy tilt-to-clean feature integrated into the lock.



Performance Grade (PG) Upgrade

Performance upgrades are available for select sizes allowing these units to achieve higher performance ratings. Performance Grade (PG) Ratings are more comprehensive than Design Pressure (DP) Ratings for measuring product performance. Use of this option will subtract 3/8" (16) from clear opening height. Contact your Andersen supplier for availability. For up-to-date performance information of individual products, visit andersenwindows.com.

Visit andersenwindows.com/coastal for more information on Stormwatch Protection.

EXTERIOR



INTERIOR



Naturally occurring variations in grain, color and texture of wood make each window one of a kind. All wood interiors are unfinished unless prefinished white is specified.

HARDWARE FINISHES



Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

DOUBLE-HUNG HARDWARE

STANDARD Lock & Keeper



Antique Brass | Black | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Gold Dust | Oil Rubbed Bronze
Polished Chrome | Satin Nickel | Stone | White

OPTIONAL DOUBLE-HUNG HARDWARE™

TRADITIONAL



Antique Brass | Black | Bright Brass | Brushed Chrome | Distressed Bronze | Distressed Nickel
Gold Dust | **Oil Rubbed Bronze** | Polished Chrome | Satin Nickel | Stone | White

CLASSIC SERIES™



Stone | White

CONTEMPORARY



Antique Brass | Black | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Gold Dust
Oil Rubbed Bronze | Polished Chrome
Satin Nickel | Stone | White

ESTATE™



Antique Brass | Bright Brass
Brushed Chrome | Distressed Bronze
Distressed Nickel | Oil Rubbed Bronze
Polished Chrome | **Satin Nickel**

Bold name denotes finish shown.

* Visit andersenwindows.com/warranty for details.

** Hardware sold separately.

Dimensions in parentheses are in millimeters.

Printing limitations prevent exact replication of colors and finishes.

See your Andersen supplier for actual color and finish samples.

FRENCHWOOD® HINGED INSWING PATIO DOORS

FEATURES

Frame

A The sill is made with three-piece construction. The subsill is made of Fibrex® material, and the sill step is solid oak. The exterior sill member is made of extruded aluminum with an attractive wear-resistant, heat-baked finish in a neutral color. This combination of materials combines durability and low maintenance with excellent insulating characteristics.

B All basic exterior frame members are fiberglass reinforced composite, which maintains an attractive appearance while minimizing maintenance.

C The exterior frame members are attached to a water-repellent preservative-treated wood subframe for long-lasting* protection and performance. The subframe is grooved to accept extension jams.

Panel

D The exterior of the wood door panel is protected with a long-lasting** urethane base finish in white, Sandtone, Terratone or forest green.

E Panel interior surfaces are unfinished pine veneer. Unfinished oak and maple veneers are available as options. Low-maintenance prefinished white interiors are also available.

Hinged inswing operating panels are left-hand active, right-hand active or two-panel active-passive jamb hinged.

F A factory-applied, one-piece compression-type rubber weatherstrip continues in one plane around the panel to provide maximum effectiveness against water and air infiltration. The corners of the weatherstrip are welded to eliminate gaps between the panel and the frame/sill shoulder.



Mortise-and-Tenon Joints



Mortise-and-tenon joints prevent panel sag and maintain smooth operation.

Adjustable Hinges

Adjustable hinges are standard on inswing patio doors and have ball-bearing pivots for smooth, frictionless movement. Features easy horizontal and vertical adjustment, plus quick-release feature for easy panel removal. This release feature is ideal for transporting large units up stairs or to other hard-to-reach areas.



Shown in gold dust finish.

Gold dust finish is standard on wood interior doors. For units with prefinished white interior, white is standard. Also available in finishes that coordinate with hardware.

Glass

G Panels are silicone bed glazed and finished with an interior wood stop.

H High-performance glass options include: Low-E4® tempered, Low-E4 HeatLock® tempered, Low-E4 Sun tempered, Low-E4 SmartSun™ tempered and Low-E4 SmartSun HeatLock tempered glass.

Additional glass options are available. Contact your Andersen supplier.

A removable translucent film helps shield the glass from damage during delivery and construction and simplifies finishing at the jobsite.

Patterned Glass

Patterned glass options are available. See page 12 for more details.

Hardware

Multi-Point Locking System



The multi-point locking system, with a look bolt above and below the center dead bolt, provides a weathertight seal and enhanced security.

EXTERIOR



INTERIOR



Prefinished white interiors are only available on units with white exteriors. Naturally occurring variations in grain, color and texture of wood make each door one of a kind. All wood interiors are unfinished unless prefinished white is specified.

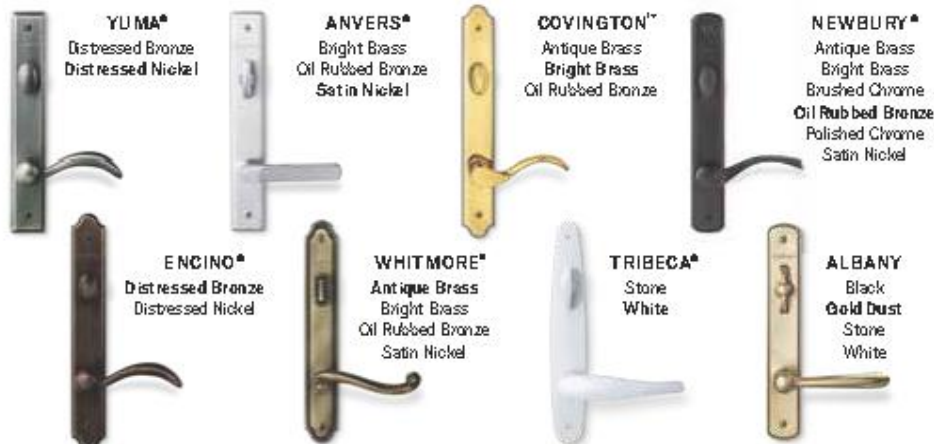
HARDWARE FINISHES



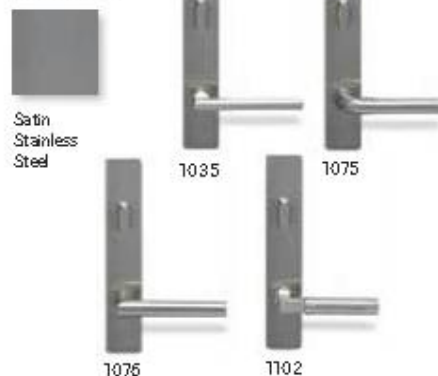
Distressed bronze and oil rubbed bronze are "living" finishes that will change with time and use.

HINGED PATIO DOOR HARDWARE OPTIONS*

Bold name denotes finish shown.



FSB® HARDWARE



* Visit andersenwindows.com/warranty for details.

** Hardware sold separately.

Dimensions in parentheses are in millimeters.

"FSB" is a registered trademark of Franz Schneider Brakel GmbH & Co.

Mix-and-match interior and exterior style and finish options are available.

Bright brass and satin nickel finishes feature a 10-year limited warranty.

Tribece and Albany hardware are zinc die cast with powder-coated durable finish. Other hardware is solid forged brass. Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

Modifications to 12 Maple Street

12 Maple Street
Irvington, NY 10533

VILLAGE OF IRVINGTON LOT AND ZONING INFORMATION

VILLAGE OF IRVINGTON, WESTCHESTER
12 Maple Street
Irvington, NY 10533

Section: 2.80
Block: 35
Lot: 7

ZONING DISTRICT: IF-5

(View Preservation Overlay District)

GENERAL LOT DIMENSIONS

	REQUIRED/ALLOWED	EXISTING	PROPOSED
LOT AREA	5,000 SF	9,219 SF	NO CHANGE
LOT WIDTH	50'0"	75'0"	NO CHANGE
LOT DEPTH	100'0"	124'0"	NO CHANGE

YARD SETBACKS OF MAIN LOT

	REQUIRED/ALLOWED	EXISTING	PROPOSED
FRONT	30'0"	24'8"	NO CHANGE
REAR	30'0"	48'1"	42'1"
SIDE ONE	10'0"	11'9"	NO CHANGE
SIDE TWO	20'0"	33'2"	NO CHANGE

COVERAGE

BUILDING COVERAGE	1,875 SF (24%+16%>5K)	2,077 SF (EXTG. N.C.) 202 SF OVER	1,728 SF (-349 SF) 147 SF UNDER
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BUILDING HEIGHT

	REQUIRED/ALLOWED	EXISTING	PROPOSED
STORIES	2 1/2	2 1/2	NO CHANGE
FEET (FROM LOWEST GRADE)	35'0"	32'4"	NO CHANGE

OCCUPANCY AND USE

	REQUIRED/ALLOWED	EXISTING	PROPOSED
CURRENT USE	SINGLE FAMILY	SINGLE FAMILY	NO CHANGE

FLOOR AREA

	REQUIRED/ALLOWED	EXISTING HOUSE	PROPOSED
CELLAR FLOOR AREA	N/A	NOT REQ.	NOT REQ.
1ST FL FLOOR AREA	N/A	975 SF	1,061 SF
2ND FL FLOOR AREA	N/A	714 SF	1,020 SF
ATTIC FLOOR AREA	N/A	335 SF	335 SF

TOTAL FLOOR AREA	N/A	2,042	2,416 SF
FLOOR AREA RATIO	0.3 (2,766 SF)	0.22	0.26

VILLAGE OF IRVINGTON COVERAGE INFORMATION

ZONING DISTRICT: 1F-5

12 MAPLE STREET
IRVINGTON, NY 10533

Section: 2.80
Block: 35
Lot: 7

COVERAGE

ALLOWABLE	EXISTING	PROPOSED TOTAL / (+ADDITION)
LOT AREA: 9,219 SF	MAIN HOUSE 974 SF SHED 77 SF	1,060 SF (+66 SF) 0 SF (-77 SF)
COVERAGE 24% up to 5,000 SF ALLOWED: 16% over 5,000 SF	GARAGE 217 SF WALKS 409 SF GARDEN & RET. WALLS 208 SF STOOPI/STEPS 47 SF PATIO 145 SF HVAC PAD 0 SF	217 SF (NO CHANGE) 62 SF (-347 SF) 186 SF (-22 SF) 43 SF (-4 SF) 145 SF (NO CHANGE) 15 SF (+15 SF)
TOTAL: 1,875 SF (20%)	2,077 SF 110.7% OF ALLOWED	1,728 SF (-394 SF) 92.2% OF ALLOWED

DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
T-000.00	Title Sheet & Notes	9/7/21	
A-101.00	Demolition & Construction Plans	9/7/21	
A-201.00	Framing, Foundation, & Elec. Plans	9/7/21	
A-501.00	Exterior Elevations	9/7/21	

EXCAVATION NOTES AND EROSION CONTROL

1. VERIFY LOCATIONS & PROTECT ALL EXIST UTILITIES AND SEWER. ONE EXISTING TREES IS PROPOSED TO BE REMOVED. PROTECT EXISTING TREES TO REMAIN - DO NOT RUN HEAVY EQUIPMENT WITHIN TREE DRIP LINE / ROOT AREA DURING EXCAVATION. PERFORM ALL EXCAVATION BY HAND WHERE EXCAVATION WITHIN DRIP LINE IS INDICATED. PROTECT TREE ROOT SYSTEM FROM DAMAGE DURING WORK.
2. CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE.
3. PROVIDE SILT FENCE PERIMETER AT ALL AREAS OF EXCAVATION AND AT SOIL STOCKPILES. FULLY EMBED STAKES SO AS TO PROVIDE FULL BRACING AGAINST STORM EVENTS.
4. WHEREVER PRACTICAL, STAGE EXCAVATION WORK FROM PAVED AREA OR TRAFFIC PAD. PROVIDE FOR CLEANING MUD FROM VEHICLE TIRES PRIOR TO LEAVING SITE.

UTILITIES

1. CONTRACTOR TO VERIFY LOCATION OF PUBLIC UTILITIES AND PROVIDE PROTECTION IF / AS REQ'D.
2. CONTRACTOR TO COORDINATE SHUT OFF AND/OR DISCONNECTION OF UTILITIES IF / AS REQUIRED.
3. NO EXTG UTILITIES TO BE IMPACTED. NO EXTG UTILITIES RUN THROUGH AREA OF NEW WORK.
4. A CODE 53 WILL BE CALLED IN PRIOR TO CONSTRUCTION FOR SURVEY OF EXTG UNDERGROUND UTILITIES.

SITE PLAN NOTES:

1. SITE PLAN INFORMATION TAKEN FROM SURVEY BY SUMMIT LAND SURVEYING, DATED OCTOBER 26, 2019.
2. TOPO INFORMATION TAKEN FROM WESTCHESTER GIS, 3/20/21
3. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
4. AS BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
5. EXTG. GUTTER LEADERS AT EAST AND SOUTH SIDE OF HOUSE TO REMAIN. PROPOSED GUTTERS AT WEST SIDE OF ADDITION TO DRAIN INTO YARD.
6. TOTAL LIMIT OF DISTURBANCE: 2,400 SF

VIEW PRESERVATION OVERLAY DISTRICT

1. NO NEGATIVE IMPACT ON HUDSON RIVER VIEWS WILL RESULT FROM THE PROPOSED IMPROVEMENTS. PROPOSED STRUCTURE IS LOWER THAN EXISTING HOUSE.

LANDSCAPING NOTES

1. ALL LANDSCAPING WITHIN AND OUTSIDE OF WORK AREA IS EXISTING TO REMAIN.
2. NO TREES ARE PROPOSED TO BE REMOVED FOR THIS PERMIT.

CONSTRUCTION SEQUENCE

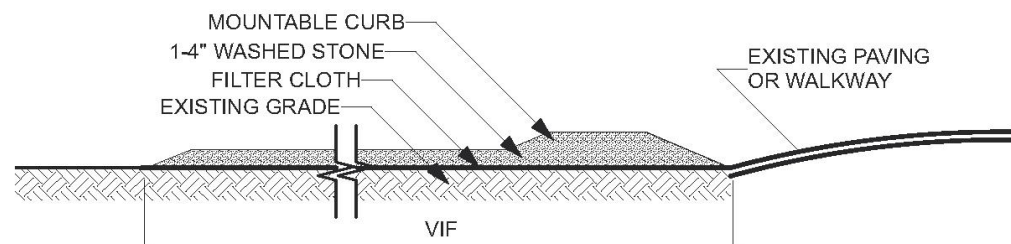
1. INSTALL SILT FENCE & OTHER PROTECTIVE MEASURES AS REQUIRED AT LIMITS OF CONSTRUCTION.
2. DEMOLISH EXTG. SUNROOM, DECK AND SHED AS INDICATED. REMOVE SITE WALKS AND GARDEN WALLS AS INDICATED.
3. EXCAVATE FOR CONCRETE FOOTINGS
4. INSTALL C.I.P. CONCRETE FOOTINGS.
5. CONSTRUCT PROPOSED WOOD FRAME ADDITION
6. COMPLETE ALL FINISHES, DOORS, WINDOWS, FIXTURES, HARDWARE & EQUIP.

Tree Schedule

Item No.	Size of Tree (DBH)	Genus/Species
T-1	14"	JAPANESE MAPLE
T-2	9"	DOGWOOD
T-3	11"	NORWAY SPRUCE
T-4	9"	DOGWOOD
T-5	10"	DOGWOOD
T-6	9"	JAPANESE MAPLE
T-7	11"	NORWAY SPRUCE
T-8	8"	DOGWOOD
T-9	10"	JAPANESE MAPLE

REMARKS:

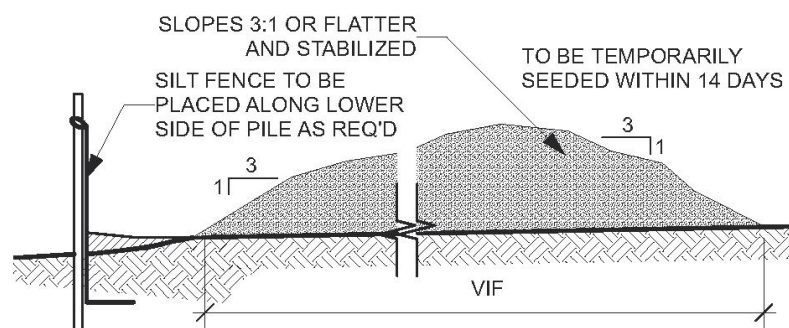
INFORMATION VERIFIED BY MICHAEL LEWIS ARCHITECTS, 8/11/21



1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
2. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
3. PERIODIC INSPECTION & NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

Tracking Pad Detail

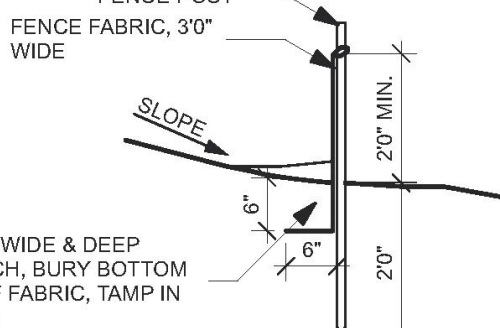
Scale: 1/2" = 1'-0"



1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:3
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED. SEE SILT FENCING DETAIL, THIS SHEET.

Soil Stockpile Detail

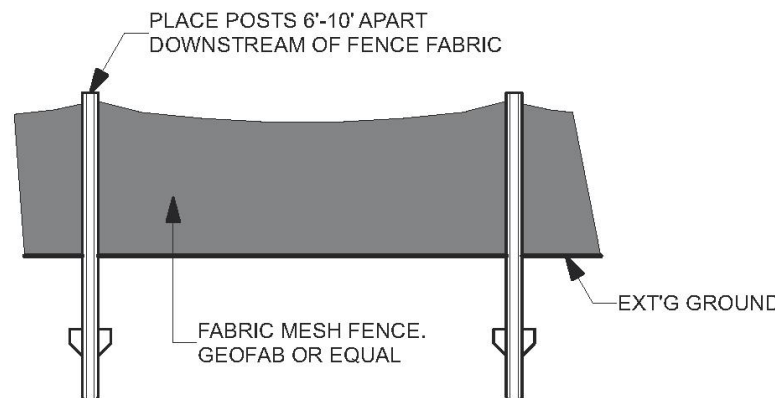
Scale: 1/2" = 1'-0"



- NOTE: SILT FENCE TO COMPLETELY SURROUND ALL AREAS OF EXCAVATION. AT THE COMPLETION OF THE PROJECT AND AFTER SOIL STABILIZATION AND VEGETATIVE GROWTH HAVE BEEN ASSURED, THE SILT FENCE MUST BE COMPLETELY REMOVED AND THE EMBEDMENT TRENCH RESTORED TO A NATURAL CONDITION.

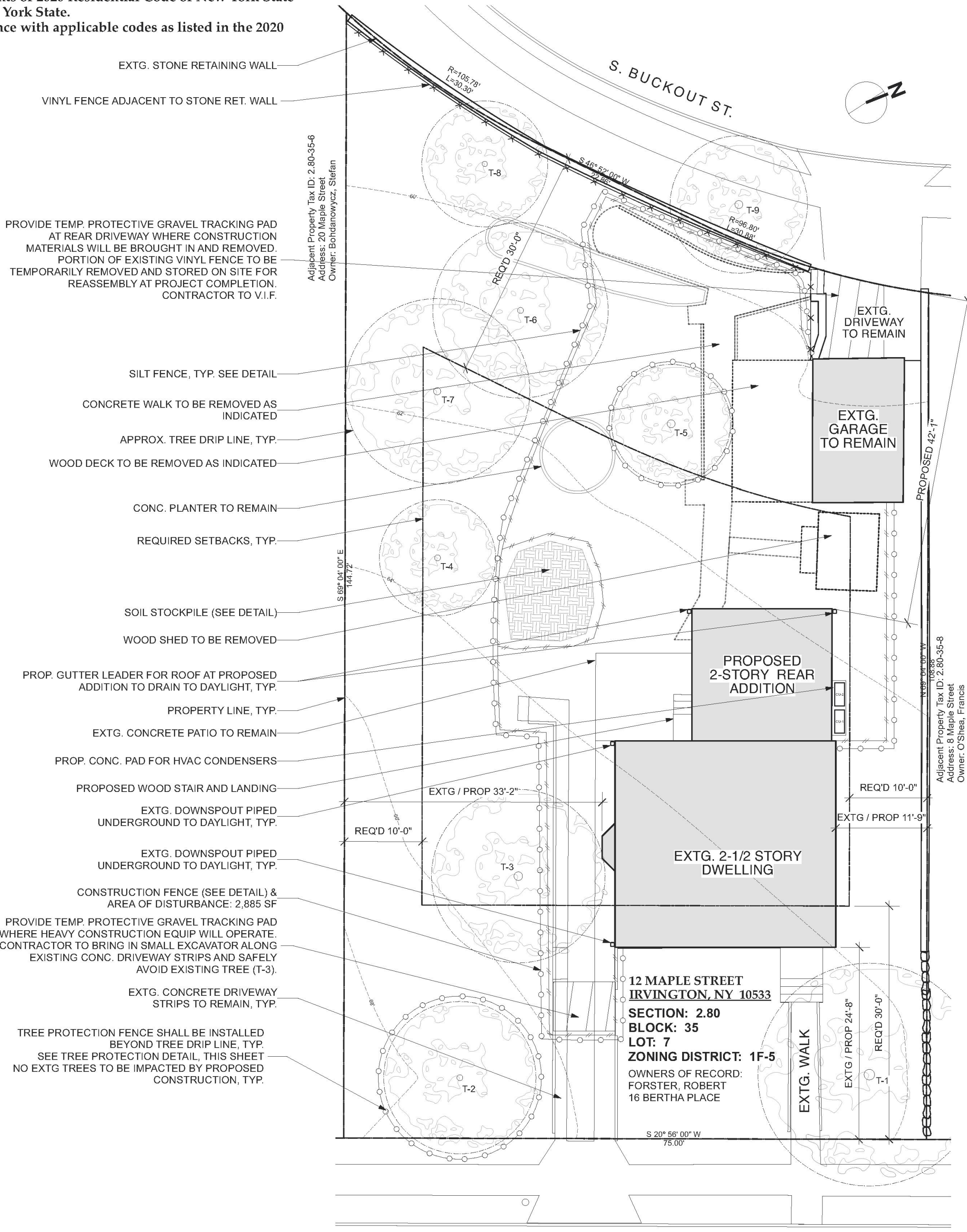
Silt Fence Detail

Scale: NTS



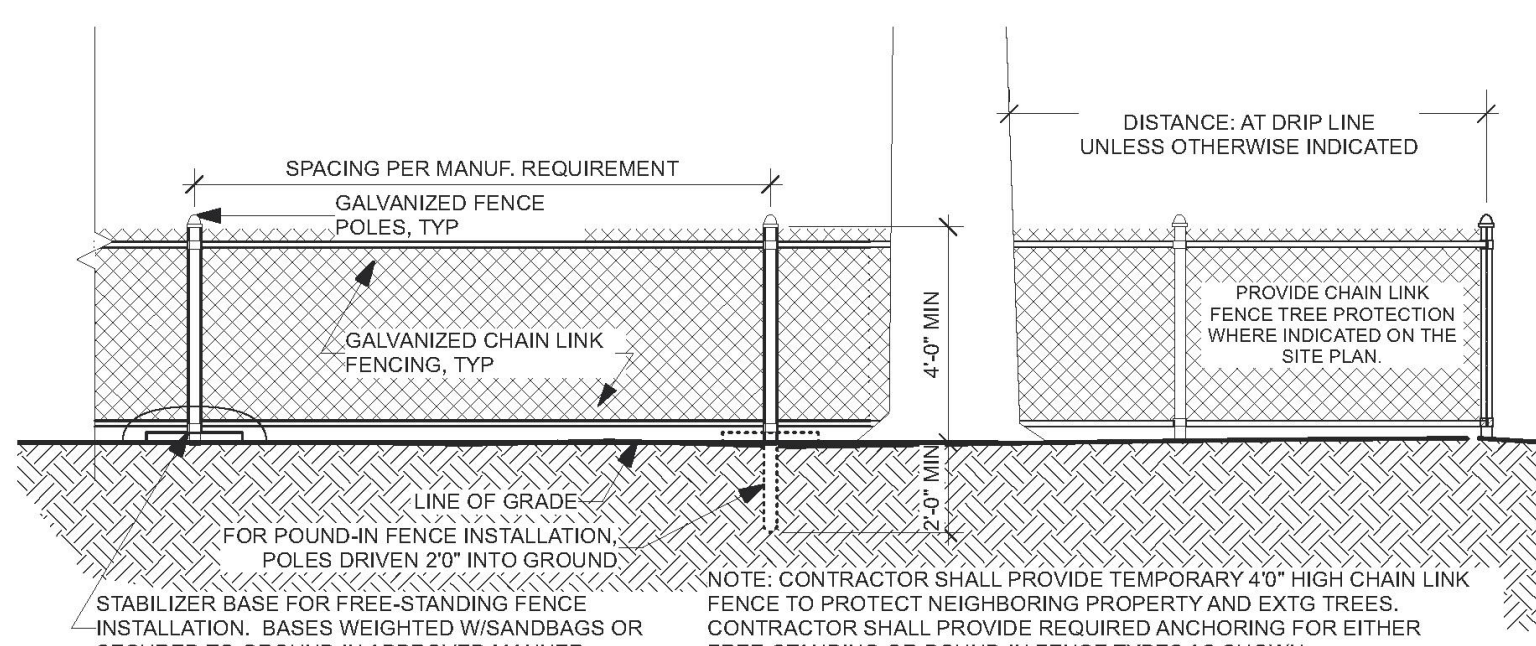
Proposed Plot Plan

Scale: 3/32" = 1'-0"



Proposed Plot Plan

Scale: 3/32" = 1'-0"



Construction Fence & Tree Protection Detail

Scale: 1/2" = 1'-0"

2020 RESIDENTIAL CODE OF NYS ENERGY EFFICIENCY NOTES

WESTCHESTER NY: CLIMATE ZONE 4A

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*

CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT* U-FACTOR	GLAZED FENESTRATION SHGC**	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT* WALL R-VALUE	SLAB* R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5 ^b	8/13	19	5/13 ^c	0	5/13
4 except Marine	0.32	0.55	0.40	49	20 or 13 + 5 ^b	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5 ^b	13/17	30 ^d	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20 + 5 ^b or 13 + 10 ^b	15/20	30 ^d	15/19	10, 4 ft	15/19
7 and 8	0.30	0.55	NR	49	20 + 5 ^b or 13 + 10 ^b	19/21	38 ^d	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

NR = Not Required.

- a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.

e. Reserved.

f. Reserved.

g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.

h. The first value is cavity insulation with the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.

i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

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NO. REVISIONS DATE

NO. ISSUE DATE

1 **ARB / PERMIT SET** 9/7/21

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PROJECT:

Modifications to 12 Maple St.

12 Maple St.
Irvington, NY 10533

DRAWING TITLE:

Title Sheet & Notes

FILE NAME:

DRAWN BY: MM	DRAWING NUMBER
SCALE: As Noted	T-000.00
DATE: 9/7/21	
PROJECT ID: 2039A	

Schedule Of Windows and Exterior Doors - Verify All Units Prior to Final Order. (UPDATED 2/10/21)										
No.	Loc.	Description	Manuf.	Model No.	R.O. Width	R.O. Height	Bot. of Hgt. AFF	Jamb	Glass	Remarks
101	REAR ENTRY	SWING	ANDERSEN 400 Series	PW1018BAL	3'11"	6'8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
102	SUNROOM - 108	DOUBLE HUNG	ANDERSEN 400 Series	(3)-TW2666	8'0 5/8"	5'8 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
103	SUNROOM - 108	DOUBLE HUNG	ANDERSEN 400 Series	(2)-TW2666	5'1 3/8"	5'8 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
104	SUNROOM - 108	DOUBLE HUNG	ANDERSEN 400 Series	(2)-TW2666	5'1 3/8"	5'8 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
105	SUNROOM - 108	DOUBLE HUNG	ANDERSEN 400 Series	(3)-TW2666	8'0 5/8"	5'8 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
201	STAIR HALL	CASEMENT	ANDERSEN 400 Series	CK14	1'9"	4'0 1/2"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
202	MAIN BATH - 205	AWNING	ANDERSEN 400 Series	AK281	2'8"	1'9"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
203	MAIN BEDROOM - 206	DOUBLE HUNG	ANDERSEN 400 Series	(3)-TW2666	8'0 5/8"	4'8 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	
204	MAIN BEDROOM - 206	DOUBLE HUNG	ANDERSEN 400 Series	(2)-TW2666	5'4 3/8"	7'0 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	ALL 4 UNITS GANGED TOGETHER TRANSOM UNITS
205	MAIN BEDROOM - 206	DOUBLE HUNG	ANDERSEN 400 Series	(2)-TW2662	5'4 3/8"	7'0 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	ALL 4 UNITS GANGED TOGETHER TRANSOM UNITS
206	MAIN BEDROOM - 206	DOUBLE HUNG	ANDERSEN 400 Series	TW3848	3'10 1/8"	4'8 7/8"	6'8"	4 9/16"	LOW-E4 SMART SUN / 28	EGRESS UNITS

- NOTES**
- A. WINDOWS SHALL BE ANDERSEN 400 SERIES CLAD EXTERIOR AND PRIMED WOOD INTERIOR UNLESS OTHERWISE NOTED. COLOR AND HARDWARE TO BE APPROVED BY ARCHITECT
- B. FOR CASEMENT SWING DIRECTION REFER TO EXTERIOR ELEVATION DRAWINGS
- C. CONTRACTOR SHALL VERIFY DIMENSIONS FOR EACH MODEL NO.
- D. CONTRACTOR SHALL VERIFY ROUGH OPENING REQUIREMENTS FOR ALL INSTALLATIONS FROM MANUFACTURER
- E. CONTRACTOR SHALL PROVIDE SCREENS FOR ALL OPERABLE UNITS

Skylights - Verify All Units Prior to Final Order

No.	Loc.	Description	Manuf.	Model No.	OUTSIDE FRAME WIDTH X HEIGHT	ROUGH OPENING/ FINISHED FRAME	Glass	Remarks
207	MAIN BEDROOM - 206	FIXED CURB MOUNTED SKYLIGHT	VELUX	G04	21 1/2" X 38 3/8"	21" X 37 7/8"	LOW-E	
208	MAIN BEDROOM - 206	FIXED CURB MOUNTED SKYLIGHT	VELUX	G04	21 1/2" X 38 3/8"	21" X 37 7/8"	LOW-E	
209	MAIN BEDROOM - 206	FIXED CURB MOUNTED SKYLIGHT	VELUX	G04	21 1/2" X 38 3/8"	21" X 37 7/8"	LOW-E	

- NOTES**
- A. CONTRACTOR SHALL VERIFY DIMENSIONS FOR EACH MODEL NO.
- B. CONTRACTOR SHALL VERIFY ROUGH OPENING REQUIREMENTS FOR ALL INSTALLATIONS FROM MANUFACTURER
- C. CONTRACTOR SHALL FULLY WATERPROOF ALL OPENINGS ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

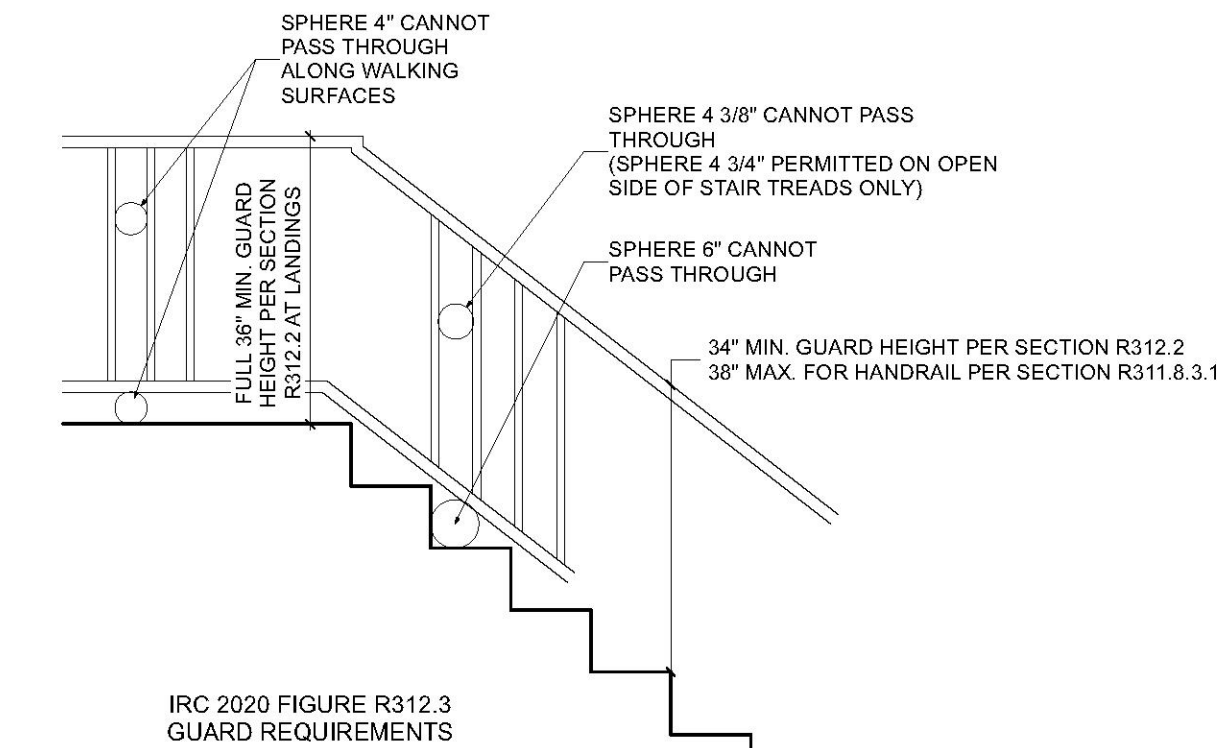
Schedule Of Interior Doors - Verify All Units Prior to Final Order

No.	Loc.	Door Type	Mat.	Width	Height	Thick	Frame Type	Mat.	Sill	HRDW	Remarks
1.01	PANTRY - 108	C	WD	20"	8'8"	1 3/4"	POCKET	WD	N/A	E	
1.02	SUNROOM - 108	C	WD	30"	6'8"	1 3/4"	POCKET	WD	N/A	F	
1.03	SUNROOM - 108	C	WD	30"	6'8"	1 3/4"	POCKET	WD	N/A	F	
1.04	PWDR RM - 108	C	WD	24"	6'8"	1 3/4"	SWING	WD	N/A	D	
2.01	MAIN BEDROOM - 206	D	WD	32"	6'8"	N/A	C.O.	N/A	N/A	N/A	
2.02	MAIN BATH - 205	C	WD	24"	6'8"	1 3/4"	SWING	WD	N/A	D	
2.03	CLOSET	C	WD	40"	6'8"	1 3/4"	SWING BI-PARTY	WD	N/A	G	
2.04	CLOSET	C	WD	40"	6'8"	1 3/4"	SWING BI-PARTY	WD	N/A	G	

- Door Type Key**
- A. FLUSH STEEL INSULATED ENTRY DOOR SYSTEM, FIRE RATED WHERE INDICATED
- B. FLUSH HOLLOW METAL DOOR AND FRAME, 1 HOUR FIRE RATED WHERE INDICATED
- C. FLUSH, SOLID-CORE WOOD DOOR, PAINT GRADE
- D. CASED OPENING, PAINT-GRADE W/ CASINGS
- E. CUSTOM DOOR AS SHOWN OR DESCRIBED
- F. REFURBISHED DOOR FROM THE HOUSE
- Hardware Key**
- A. ENTRY - AS PER SPEC
- B. DUMMY - AS PER SPEC
- C. PASSAGE - AS PER SPEC
- D. PRIVACY - AS PER SPEC
- E. PASSAGE POCKET - AS PER SPEC
- F. PRIVACY POCKET - AS PER SPEC
- G. BI-PARTY - AS PER SPEC
- H. SLIDING - AS PER SPEC

Light and Ventilation Calculations

Room (Floor)	Floor Area (Square Feet)	Light (8%-Required)	Light (Provided)	Ventilation (4%-Required)	Ventilation (Provided)	Compliance
Sunroom - 008	200	16 sq. ft. = 8%	103.9 sq. ft. = 51.95%	8 sq. ft. = 4%	58.8 sq. ft. = 29.4%	Compliant
Main Bedroom - 206	203	16.24 sq. ft. = 8%	73.47 sq. ft. = 36.2%	6.12 sq. ft. = 4%	41.89 sq. ft. = 20.63%	Compliant

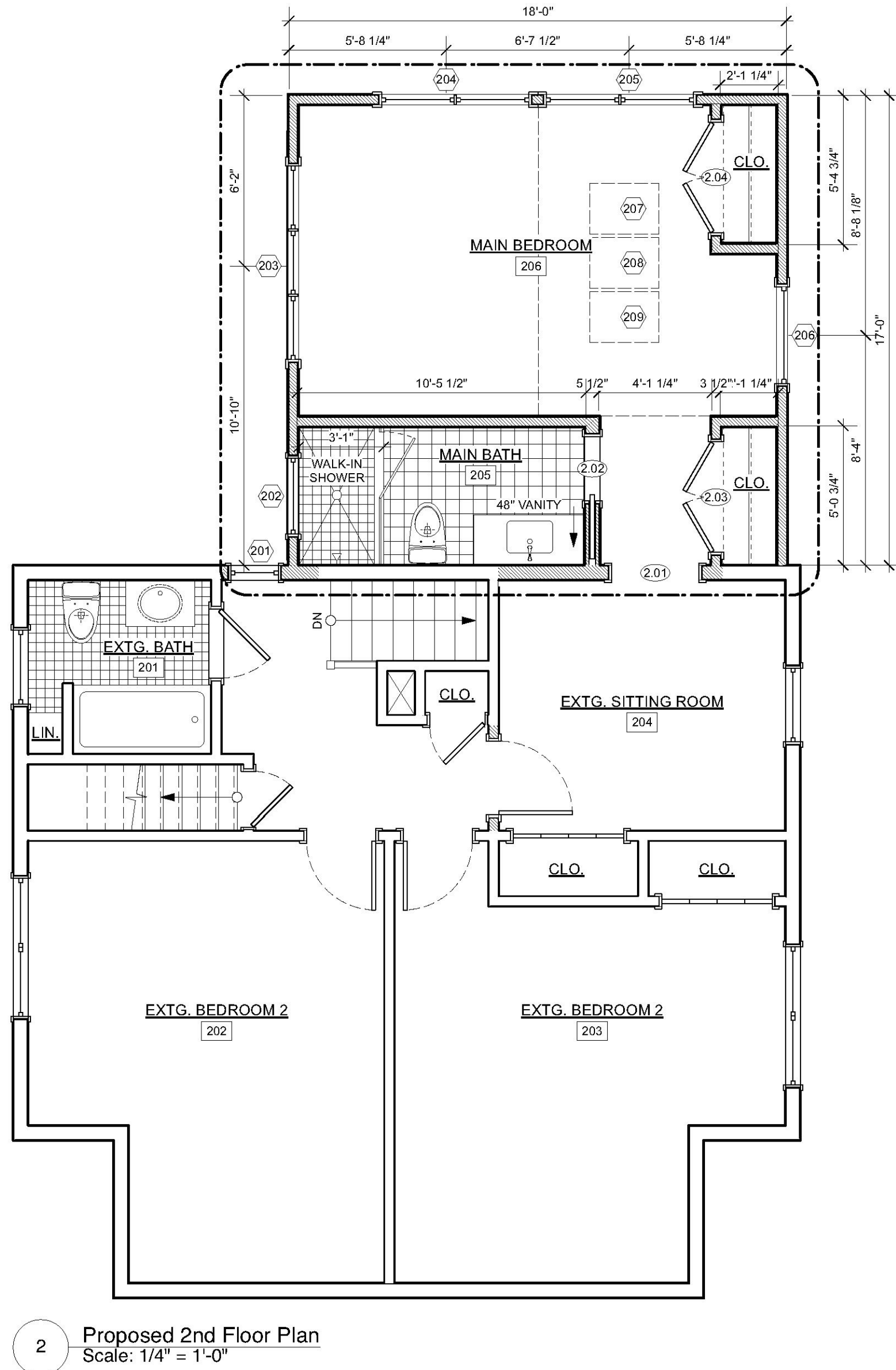
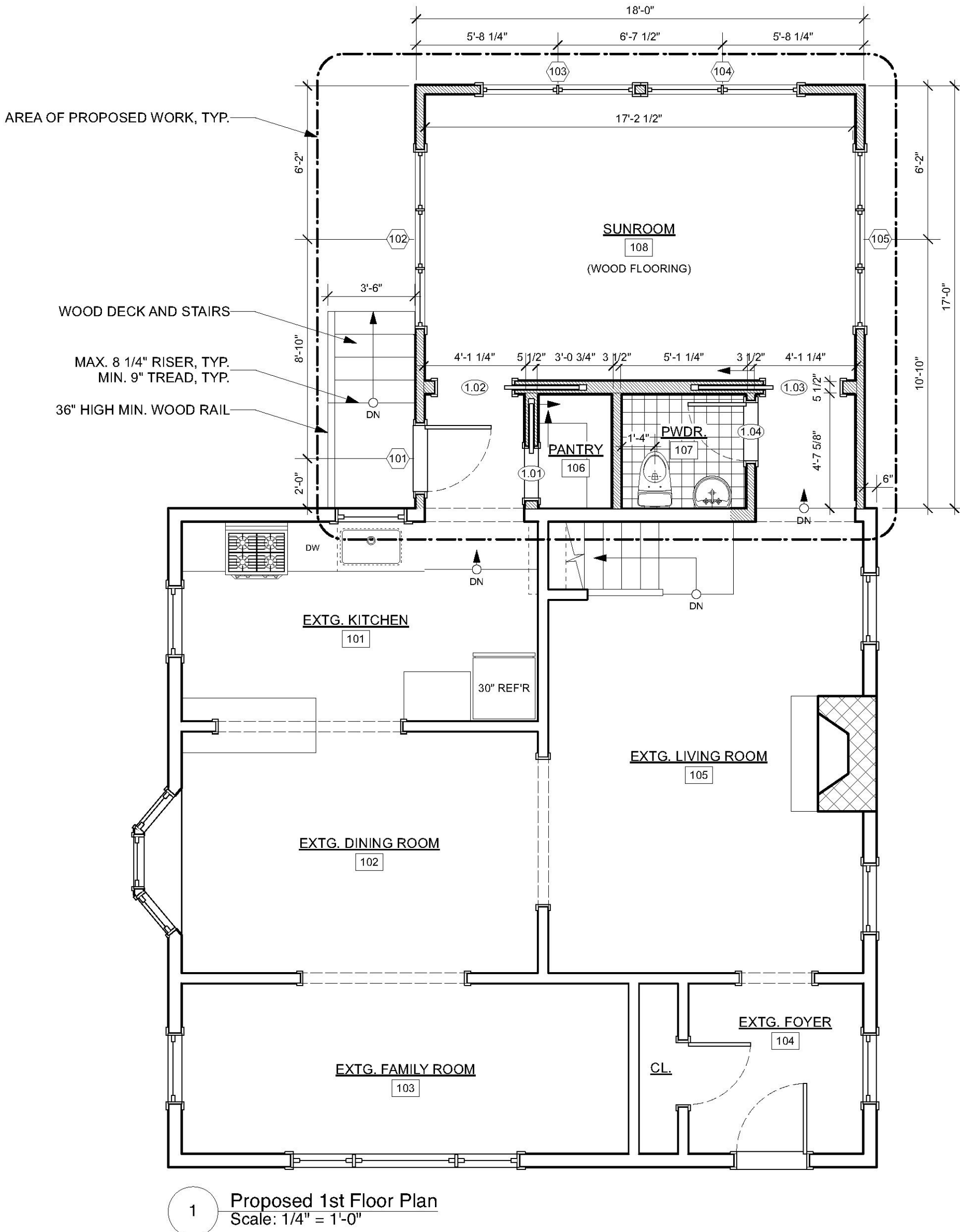
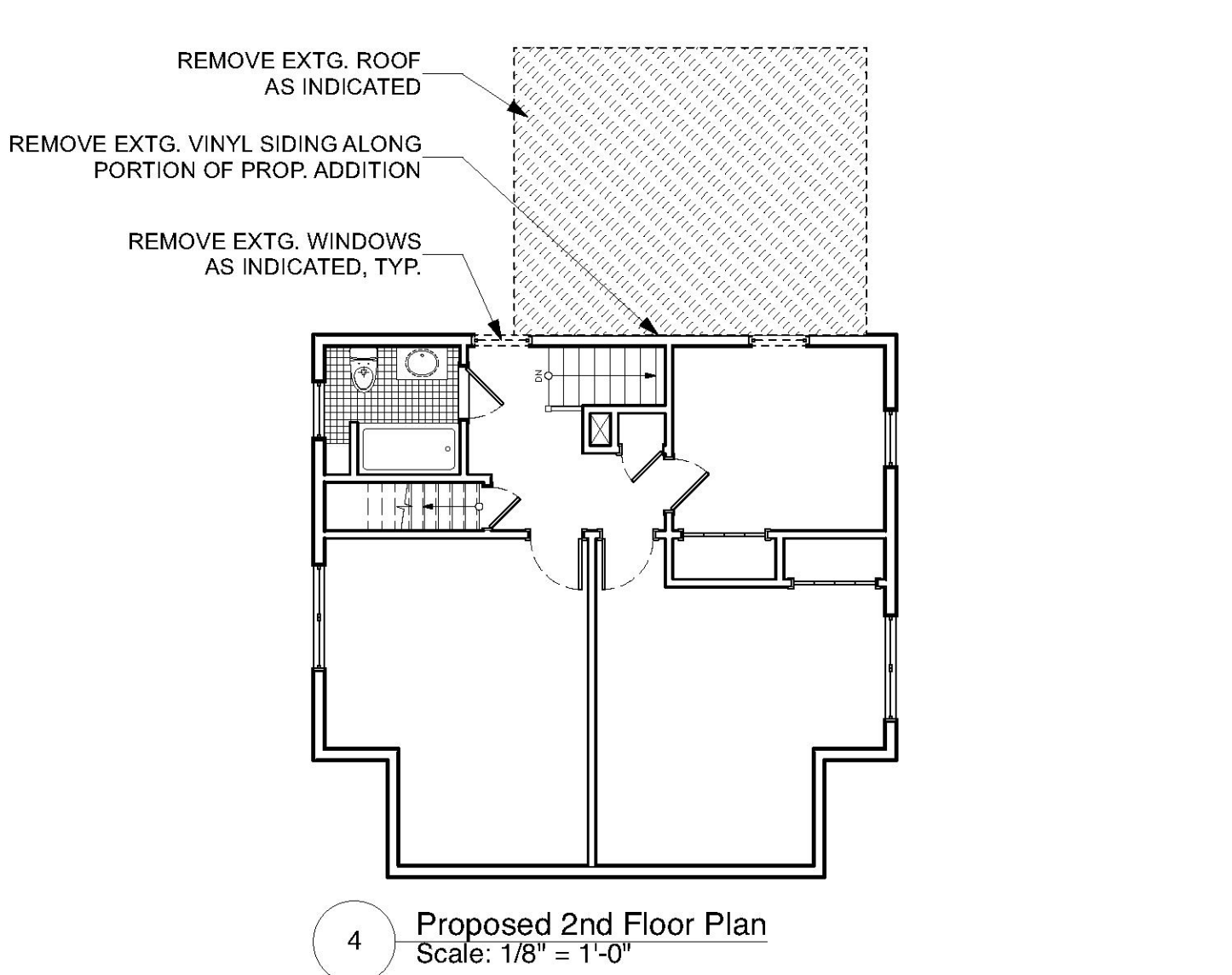
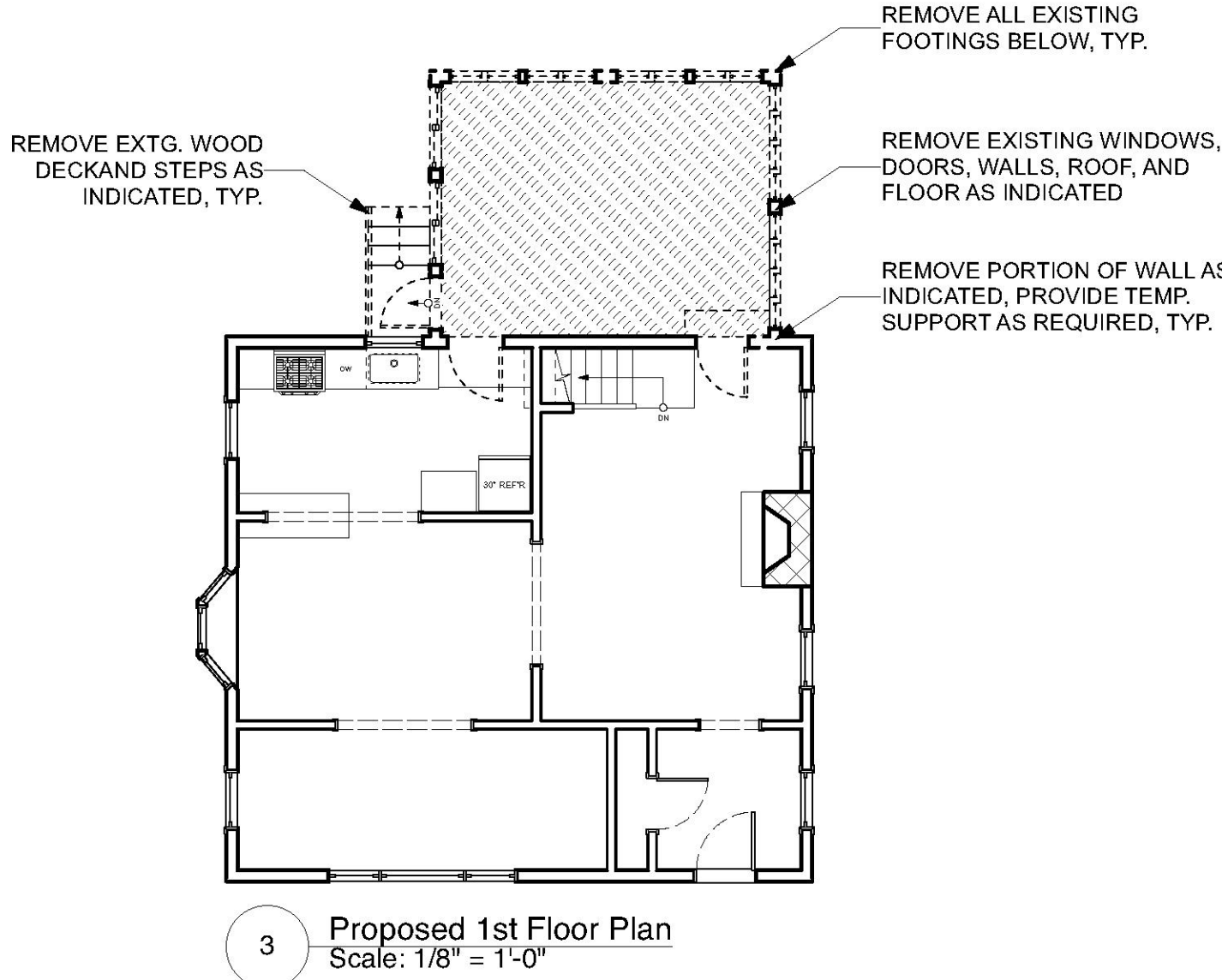


CONSTRUCTION PLAN GENERAL NOTES

- NEW EXTERIOR WALLS TO BE 2X4 STUDS @ 16" O.C. W/ 5/8" GWB INTERIOR FINISH AND 5/8" PLYWOOD EXTERIOR SHEATHING, MOISTURE BARRIER, AND APPROVED CLADDING.
- WHERE EXTERIOR WALL IS EXPOSED, PROVIDE NEW FOAM INSULATION AS PER SPEC TO MEET CODE REQUIREMENTS. PROVIDE SOUND BATTEN INSULATION IN INTERIOR WALLS & CEILINGS WHERE PRACTICABLE IN AREAS OF NEW WORK.
- ALL INTERIOR PARTITIONS TO BE 1 LAYER OF 5/8" GWB ON EACH SIDE OF 2X4 STUDS @ 16" O.C. UNLESS OTHERWISE NOTED.
- ALL WALLS & CEILINGS ARE TO BE FINISHED WITH 3 COATS OF SPACKLE AND PAINT UNLESS NOTED.
- FLOORS AT AREAS OF NEW WORK ARE TO BE 3/4" HARDWOOD STRIP TO MATCH EXISTING UNLESS OTHERWISE NOTED. LEVEL ALL NEW FLOORS. SAND, STAIN & FINISH THROUGHOUT. REPLACE EXISTING SUBFLOORS AS REQUIRED W/ APPROVED SUBSTRATE MATERIALS & CONSTRUCTION.
- ALL TILE FLOORS TO BE INSTALLED OVER REINFORCED CEMENT SETTING BED & WATERPROOF MEMBRANE.
- ALL INTERIOR MOLDINGS & TRIM ARE TO BE PAINTED WOOD PER SPECIFICATIONS. CONTRACTOR TO SUBMIT PROFILE SAMPLES FOR APPROVAL PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE & MAINTAIN TEMPORARY BARRIERS TO PROTECT AREAS OUTSIDE OF WORK FROM DUST & DEBRIS THROUGHOUT DURATION OF WORK. EXTENT OF BARRIERS TO BE VERIFIED IN FIELD.
- AS-BUILT FOUNDATION SURVEY REQUIRED PRIOR TO THE COMMENCEMENT OF FRAMING PER VILLAGE REQUIREMENTS.

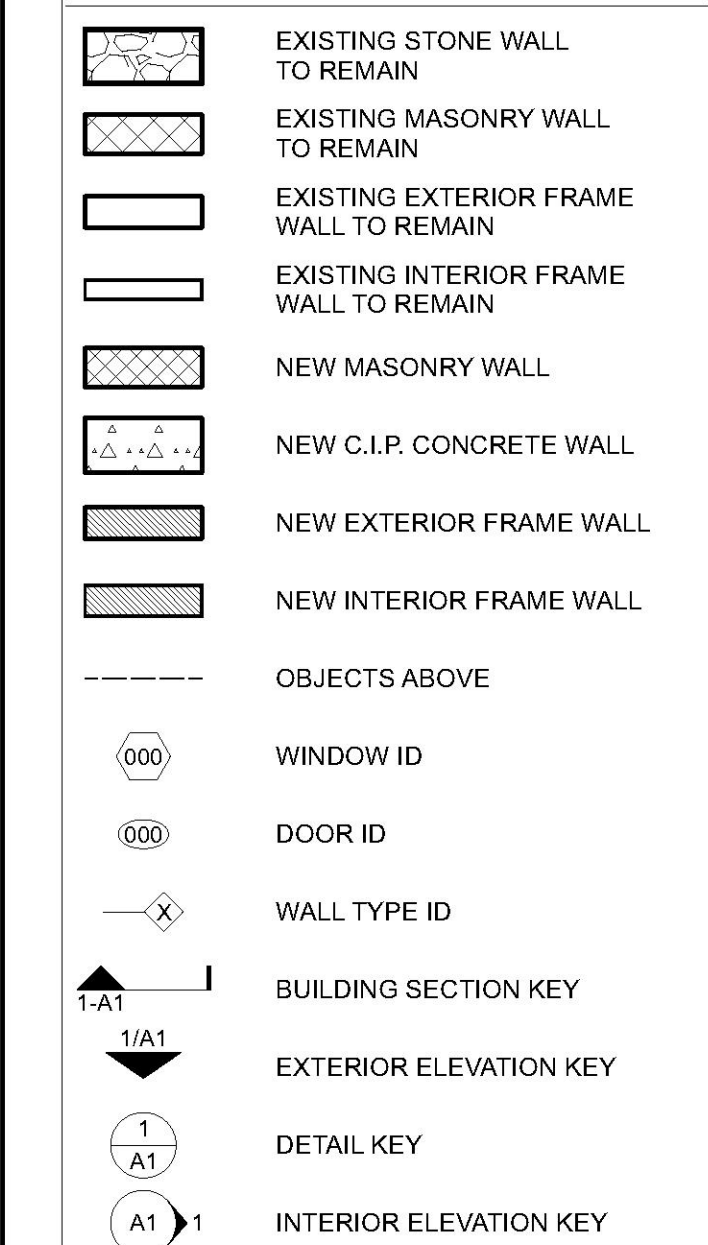
DEMO PLAN GENERAL NOTES

- ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.
- ALL SHOWN DIMENSIONS ARE SUBJECT TO VERIFICATION IN FIELD.
- CONTRACTOR SHALL ESTABLISH CONSTRUCTION BARRIERS TO PROTECT AREAS OF NO OR LIMITED WORK PRIOR TO COMMENCEMENT OF DEMOLITION.
- CONTRACTOR SHALL PROVIDE NEAT CUTS & BOUNDARIES AT LIMITS OF DEMOLITION.
- CONTRACTOR TO PROTECT EXISTING FINISHES TO REMAIN.
- CONTRACTOR TO PROVIDE FULL SUPPORT & BRACING PRIOR TO DEMOLITION OF ALL EXISTING WALLS OR STRUCTURAL ELEMENTS.
- CONTRACTOR TO SAVE EXISTING DOORS, FIXTURES & APPLIANCES FOR RE-USE AS DIRECTED BY THE OWNER UNLESS OTHERWISE DIRECTED IN THE FIELD BY OWNER OR ARCHITECT.



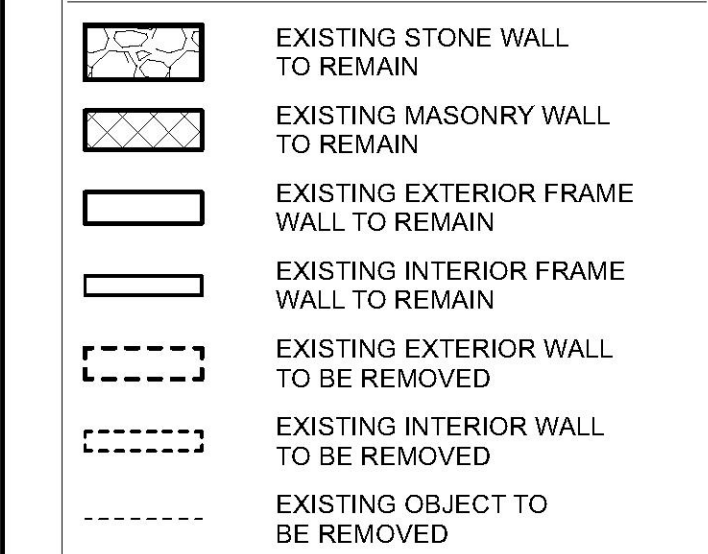
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CONSTRUCTION PLAN LEGEND



NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

DEMOLITION PLAN LEGEND



NOTE: ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.

NO. REVISIONS DATE

NO. ISSUE DATE

1 **ARB / PERMIT SET** 9/7/21

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PROJECT:

Modifications to 12 Maple St.

12 Maple St.
Irvington, NY 10533

DRAWING TITLE:

Demolition & Construction Plans

FILE NAME:

DRAWN BY: MM **DRAWING NUMBER**

SCALE: As Noted **A-101.00**

DATE: 9/7/21

PROJECT ID: 2039A

STRUCTURAL / FRAMING NOTES

- FOR WALL AND FOOTING DETAILS SEE SECTION 1/A-201, 2/A-201
- ALL FRAMING EXPOSED TO THE ELEMENTS OR IN CONTACT W/ MASONRY OR CONCRETE SHALL BE PRESSURE TREATED, TYP.
- ALL LVL'S TO BE 2.0E, TYP.
- ANY BEAMS BUILT UP 3 OR MORE MUST BE BOLTED OR EQUIVALENT, TYP., SEE DETAIL ON A-201
- ANY STUDS BUILT UP 3 OR MORE MUST BE MECHANICALLY FASTENED, TYP., SEE DETAIL ON A-201
- ALL REINFORCING WITHIN FOOTINGS TO BE FULLY BONDED AND GROUTED, TYP.

MECHANICAL NOTES

- ALL MECHANICAL DEVICES, FIXTURES, AND EQUIPMENT LOCATIONS ARE SHOWN SCHEMATICALLY. LOCATIONS, CONFIGURATIONS AND CLEARANCES ARE TO BE VERIFIED IN FIELD W/ARCHITECT PRIOR TO INSTALLATION. PRIOR TO WORK CONTRACTOR SHALL INSPECT EXISTING CONDITIONS IN ORDER TO DETERMINE GENERAL RECOMMENDATIONS FOR EQUIPMENT AND DUCT CONFIGURATION.
- COORDINATE FRAMING, FINISHES AND ALL TRADES WITH HVAC SYSTEMS TO BE DESIGNED AND LAID OUT BY HVAC SUBCONTRACTOR WITH ARCHT ON SITE.
- ALL HVAC EQUIPMENT SHALL BE ENERGY STAR RATED WITH SEER RATINGS OF 16.0 OR GREATER.

SMOKE & CARBON MONOXIDE ALARM NOTES

- CONTRACTOR SHALL PROVIDE SMOKE AND CO DETECTORS THROUGHOUT AS REQUIRED BY THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.
- SMOKE DETECTORS SHALL MEET ALL REQUIREMENTS OF SECTION R314 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE AND NFPA 72. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN ALL SLEEPING ROOMS AND IN AREAS IN THE IMMEDIATE VICINITY OF SLEEPING ROOMS. SMOKE DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACK UP AND INTERCONNECTED. SMOKE DETECTORS SHALL BE PERMITTED TO BE BATTERY WHERE EXISTING INTERIOR WALL OR CLG FINISHES ARE NOT REMOVED TO THE STRUCTURE.
- CARBON MONOXIDE DETECTORS SHALL MEET ALL REQUIREMENTS OF SECTION R315 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN THE IMMEDIATE VICINITY OF ALL SLEEPING AREAS. MORE THAN ONE CARBON MONOXIDE DETECTOR SHALL BE PROVIDED AS REQUIRED TO ASSURE THAT NO SLEEPING AREA IS MORE THAN 10 FEET FROM ALARM. DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACK UP.

ELECTRICAL NOTES

- ALL EQUIPMENT, DEVICE, AND FIXTURE LOCATIONS ARE SCHEMATIC ONLY. DEDICATED AND GFCI OUTLET LOCATIONS SHOWN ON PLANS. GC SHALL PROVIDE FOR ALL OTHER REGULAR DUPLEX OUTLETS AS REQUIRED BY CODE. FINAL LOCATIONS TO BE DETERMINED IN FIELD WITH OWNER OR ARCHITECT. PRIOR TO ROUGH-IN, TYP. THROUGHOUT. ELECTRICAL WORK INSTALLED WITHOUT PRIOR APPROVAL SHALL BE SUBJECT TO RELOCATION AT NO ADDITIONAL CHARGE.
- PROVIDE ALL ELECTRICAL SUPPLY AND SHUTOFF AS REQUIRED BY CODE, TYP. FOR ALL EQUIPMENT, TYP. THROUGHOUT.
- ALL LIGHT FIXTURES ARE TO BE BOUGHT BY OWNER AND INSTALLED BY CONTRACTOR (BOIC). CONTRACTOR TO PROVIDE ALL OTHER MATERIALS AND DEVICES UNLESS NOTED. CONTRACTOR SHALL INSTALL DIMMERS, BOIC, IN PLACE OF SWITCHES WHERE REQUESTED BY OWNER THROUGHOUT THE NEW WORK.
- ALL EXISTING ELECTRICAL FIXTURES ARE TO REMAIN UNLESS NOTED OTHERWISE.

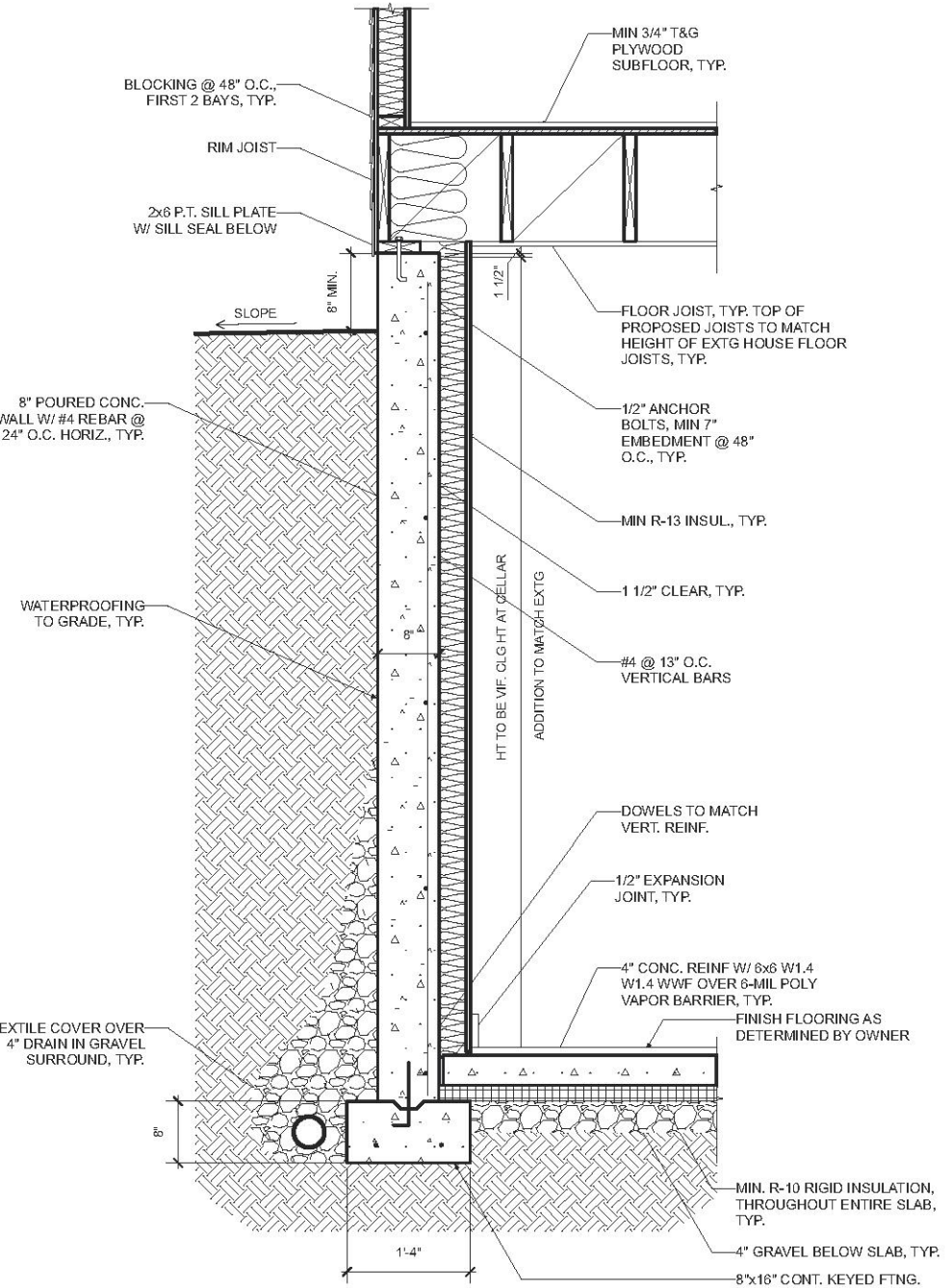
STRUCTURAL SYMBOL LEGEND	
	TYPICAL JOIST OR RAFTER
	ENGINEERED WOOD BEAM
	POST OR COLUMN DOWN
	POST OR COLUMN ABOVE, UP
	POST OR COLUMN DOWN AND ABOVE
	STEEL PIPE COLUMN

- ASPHALT COMPOSITE SHINGLES TO MATCH EXTG.
UNDERLAYMENT EQUAL TO WEATHERSHIELD ICE BARRIER AS MANUFACTURED BY GAF® @ ALL ROOF EAVES & VALLEYS THROUGHOUT, TYP.
5/8" PLYWOOD SHEATHING, TYP.
PROVIDE FIRE BLOCKING AT ALL SOFFITS THROUGHOUT, TYP.
"Z-MAX" TIE BY SIMPSON STRONG TIE, OR EQUIVALENT TIE DOWN @ EA RAFTER, TYP.
PROP. ALUM. GUTTER
FINISHED FASCIA DETAIL TO MATCH EXTG, TYP.
FINISHED SOFFIT
EXTERIOR 2x6 FRAME WALL
APPROVED MOISTURE BARRIER
5/8" PLYWD SHEATHING
"HARDIE" SIDING AT PROP. ADDITION, TYP.
- 2X12 ROOF RAFTERS @ 16" O.C. TYP.
CLOSED CELL FOAM INSULATION @ CLG. TO "FILL" ALL VOIDS AT AREAS OF PROPOSED WORK, MIN. R-49
5/8" GWB FIN ON WALLS & CLGS, TYP.
CLOSED CELL FOAM INSUL. AT WALL, MIN. R-20, TYP.

10 Roof Detail @ Prop. Addition
Scale: 1/2" = 1'-0"

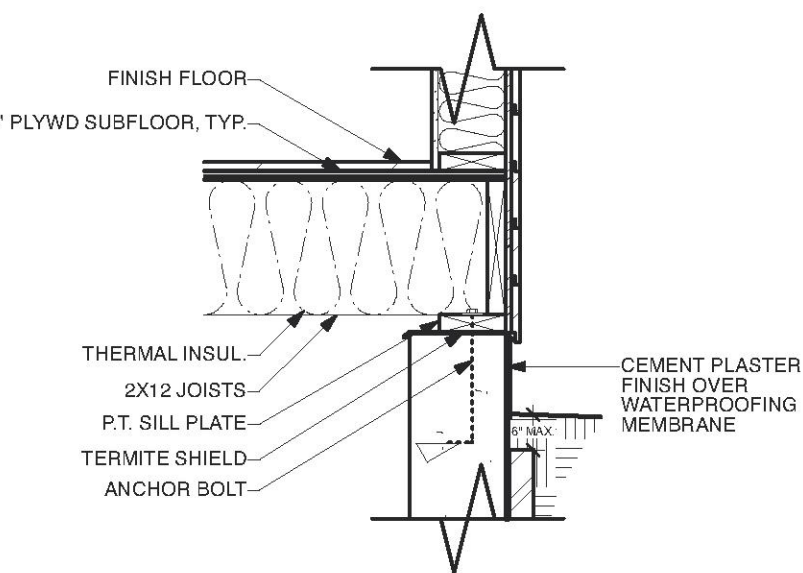
- LINE OF PROPOSED 1F EXTERIOR WALL ABOVE, TYP.
PROPOSED 8" C.I.P. CONC. FOUNDATION WALL, TYP. SEE DTL 1/A-00
PROPOSED FOOTING BELOW, TYP.
2" RIDIG INSULATION AT INTERIOR, TYP.
SLAB BELOW, TYP.
PROPOSED FTNG KEYED INTO EXTG FTNG W/ MIN (2) #4, MIN 8" EMBEDMENT, TYP.
VERTICAL STEP IN FTNG. STEP FTNG DOWN TO MATCH EXTG FTNG @ BASEMENT WALL. VERIFY DIMS AND CONFIG IN FIELD W/ ARCH.
EXISTING FOUNDATION WALL, TYP.
PROVIDE 5/8" GWB CEILING ABOVE MECHANICALS WITH 3" CLEARANCE AROUND, VIF
PRESUMED LINE OF EXTG FOOTING, TYP. TO BE VIF
- 11 7/8" TJI-360 FLOOR JOISTS @ 16" O.C.
3'-6" V.I.F.

3 Partial Cellar Plan w/ 1st Floor Framing Above
Scale: 1/4" = 1'-0"



6 Typ. Conc. Fndn. Wall Dtl.
Scale: 1/2" = 1'-0"

7 Section Through Prop. Deck Stair
Scale: 1/2" = 1'-0"



11 Typ. 1F Frame to Fndn. Dtl.
Scale: 3/4" = 1'-0"

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TERMITE SHIELD
ANCHOR BOLT
CEMENT PLASTER
FINISH OVER
WATERPROOFING
MEMBRANE

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NO.	REVISIONS	DATE
1	Planning Board Resubmission	8/18/21

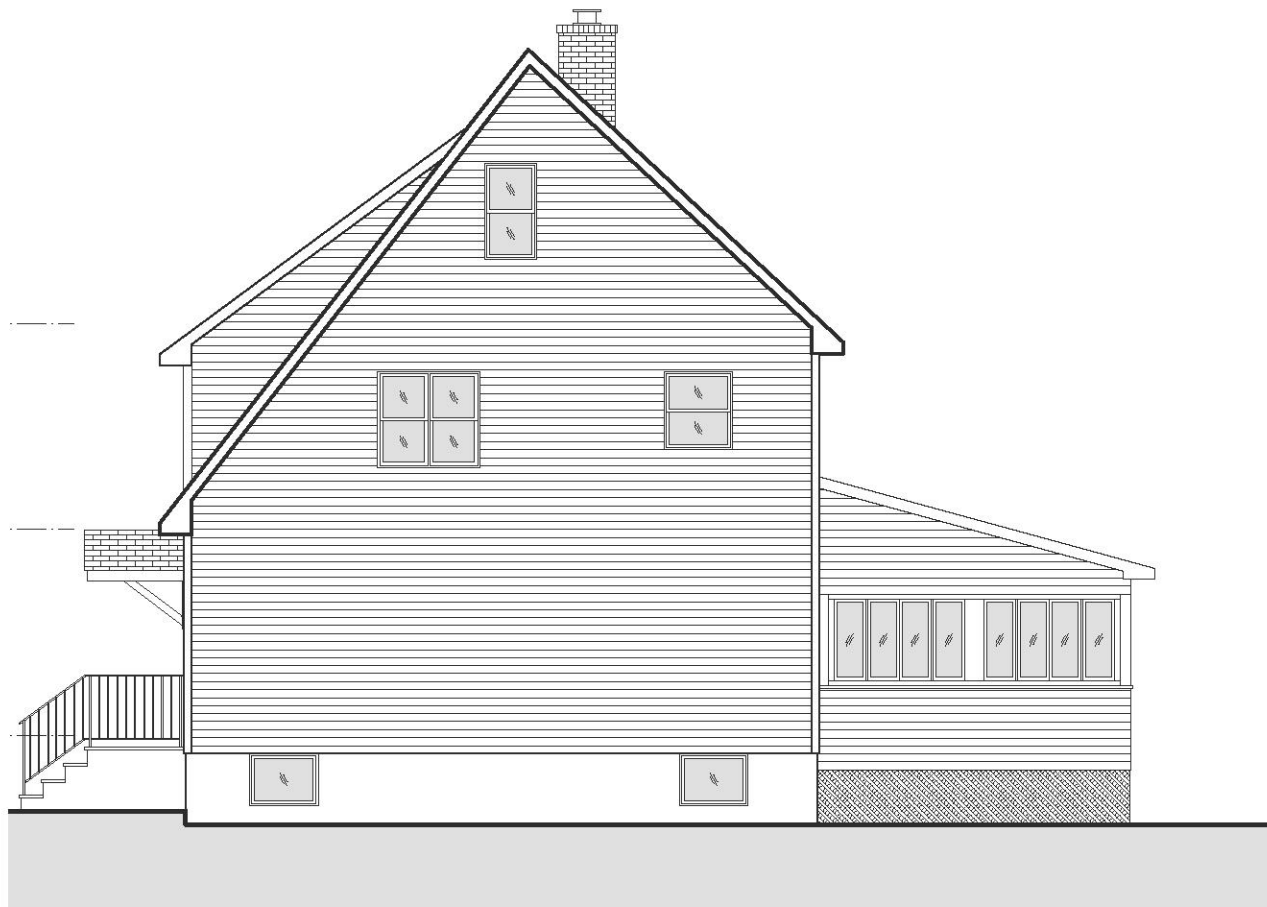
NO.	ISSUE	DATE
1	ARB / PERMIT SET	9/7/21

Michael Lewis Architects PC
145 Palisade St. Suite #307
Dobbs Ferry, NY 10522
tel 914-231-7700, fax 914-231-7701
info@mlarchitect.com
www.mlarchitect.com

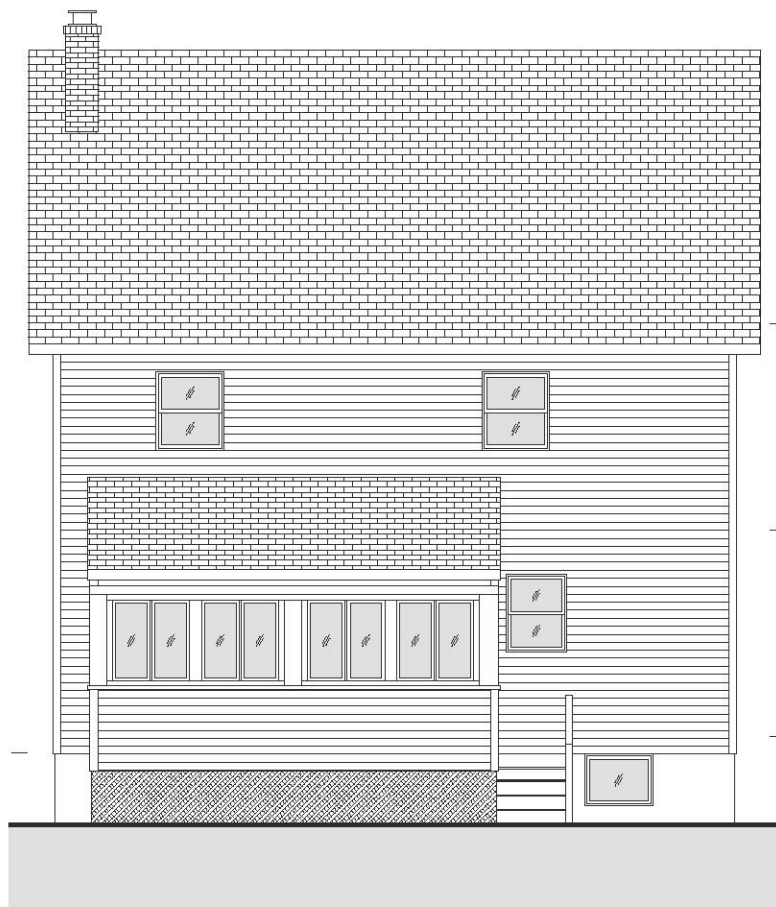
PROJECT:
Modifications to 12 Maple St.
12 Maple St.
Irvington, NY 10533

DRAWING TITLE:
Exterior Elevations

FILE NAME:	
DRAWN BY: MM	DRAWING NUMBER
SCALE: As Noted	A-501.00
DATE: 9/7/21	
PROJECT ID: 2039A	



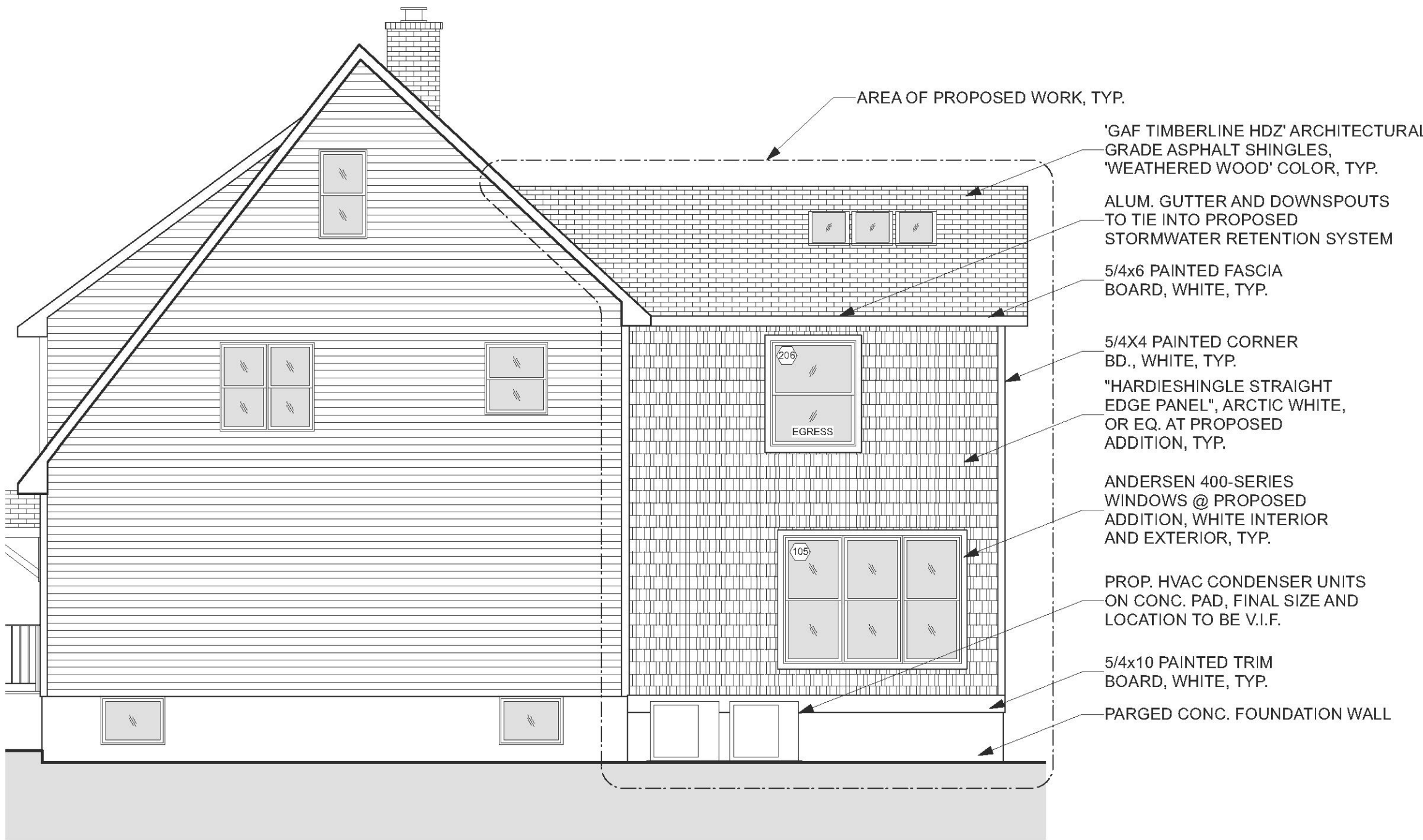
6 Existing North Elevation
Scale: 1/8" = 1'-0"



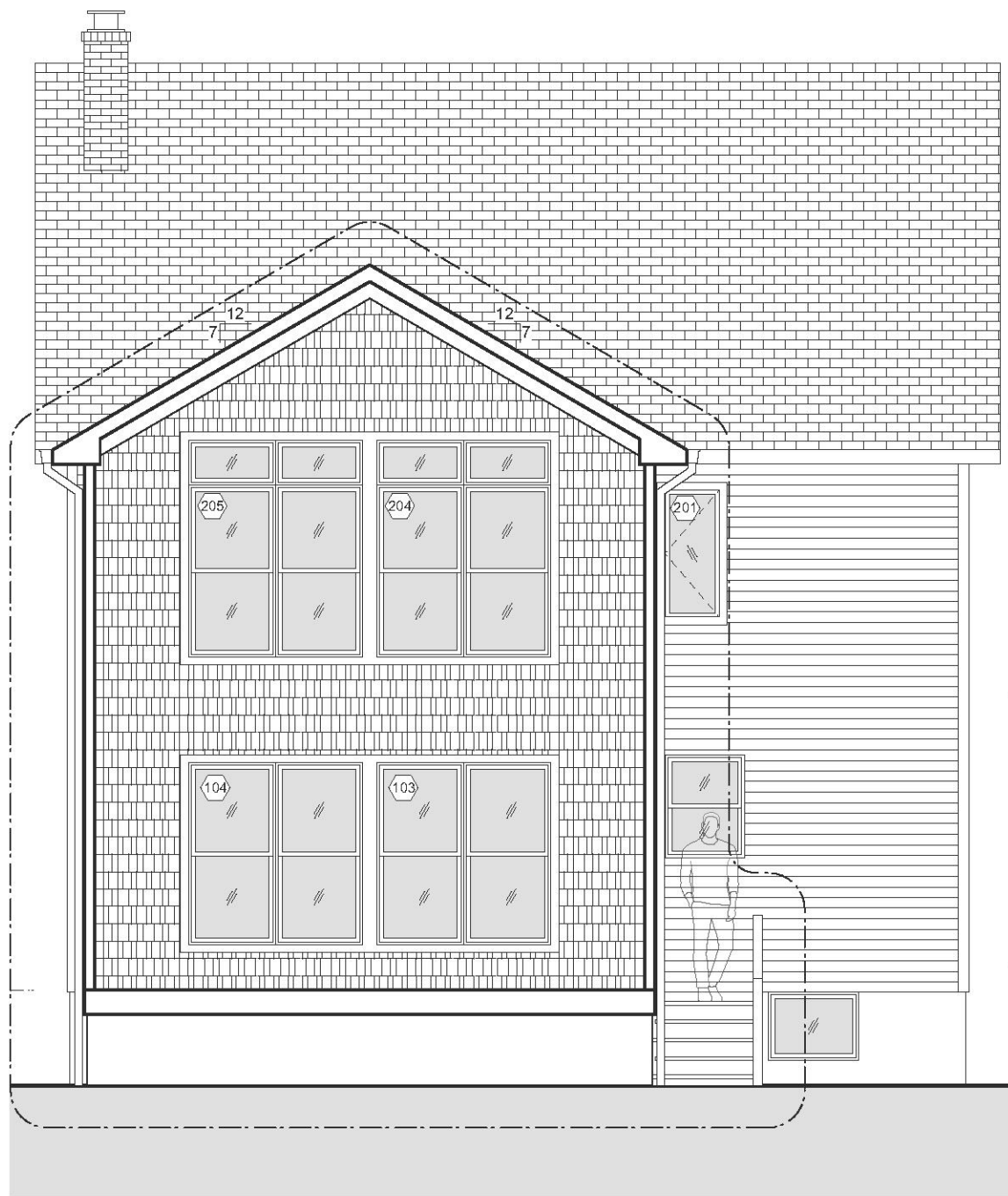
5 Existing West Elevation
Scale: 1/8" = 1'-0"



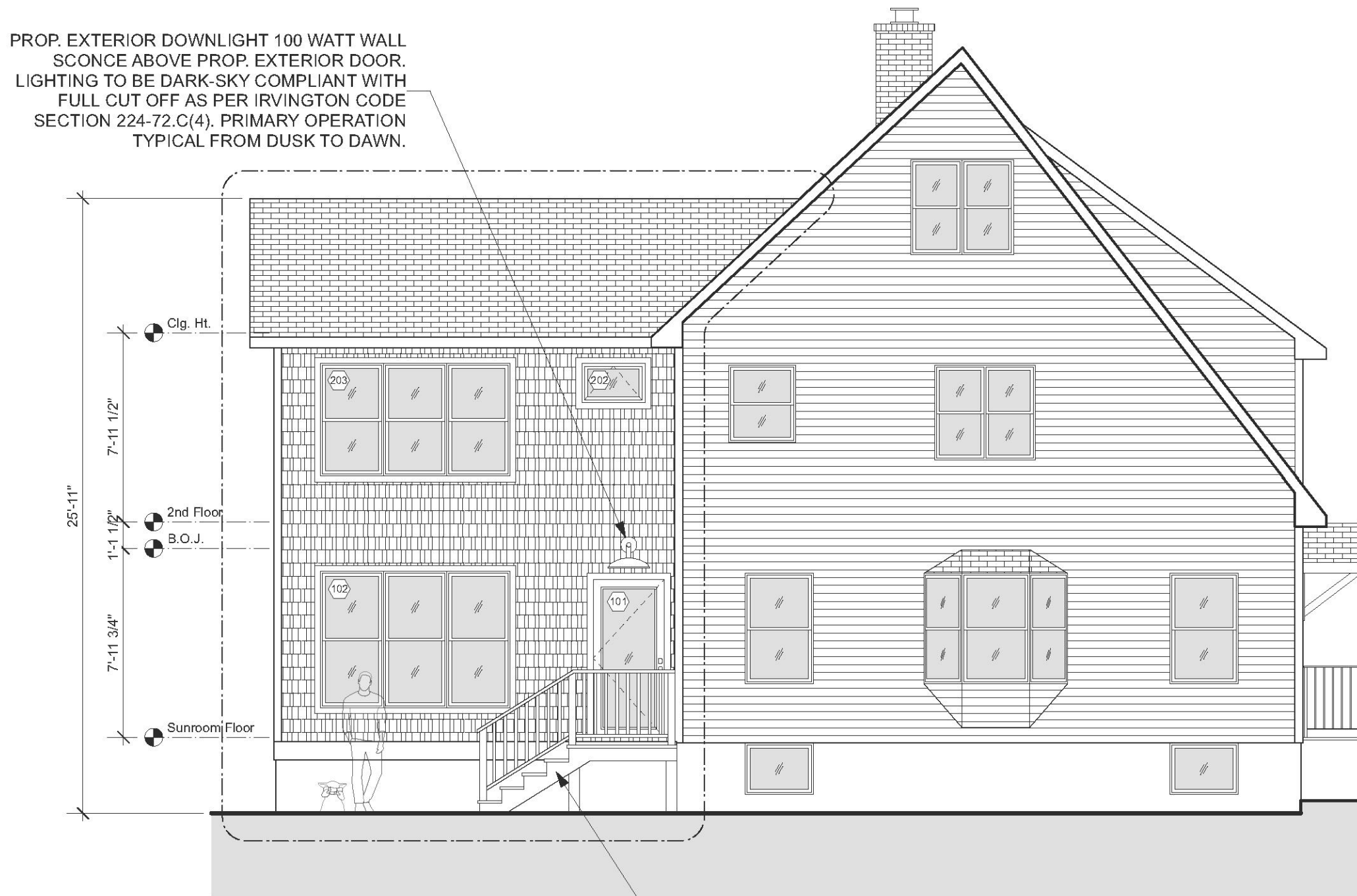
4 Existing South Elevation
Scale: 1/8" = 1'-0"



3 Proposed North Elevation
Scale: 3/16" = 1'-0"



2 Proposed West Elevation
Scale: 3/16" = 1'-0"



1 Proposed South Elevation
Scale: 3/16" = 1'-0"