APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	962	Date:	09/28/2021
Job Location:	47 STATION RD	Parcel ID:	2.80-34-6
Property Owner:	MAILLET, DANIEL J & MAILLET, DOROTHY	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:	Maillet Residence		

Applicant	Contractor
John Malone	
Ferguson Malone Architecture	
One Bridge Street-Suite 29Irvington NY 10533	
9145643166	

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	250000.00	Property Class:	1 FAMILY RES

Description of Work

Proposed extension of existing residence at basement level and main floor level, including a new patio.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 47 STATION RD

Parcel Id: 2.80-34-6

AFFIDAVIT OF APPLICANT

I John Malone being duly sworn, depose and says: That s/he does business as: Ferguson Malone Architecture with offices at: One Bridge Street-Suite 29 Irvington NY 10533 and that s/he is:

	I he owner of the property described herein.
	The of the New York Corporation with offices at:
	duly authorized by resolution of the Board of Directors, and that
	said corporation is duly authorized by the owner to make this application.
X	A general partner of and that said Partnership is duly authorized by the Owner to make this application. The Lessee of the premises, duly authorized by the owner to make this application. The Architect o f Engineer duly authorized by the owner to make this application. The contractor authorized by the owner to make this application.
kno Uni Iaw Sw Not	at the information contained in this application and on the accompanying drawings is true to the best of his owledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State iform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other respertaining to same, in the construction applied for, whether or not shown on plans or specify in this application. Form to before me this day of <u>OCTODER</u> of <u>2021</u> Jessica Emilia Baran NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01BA6355917 Qualified in Westchester County Commission Expires March 20, 2025 R'S AUTHORIZATION
	_ET, DANIEL J & MAILLET, DOROTHY as the owner of the subject premises and have authorized the contractor

OV

IM named above to perform the work under the subject application.

Owner phone number (347) 351-7929 <u>3 Donthy Maillet</u> I hereby acknowledge that it is my responsibility as the property owner X to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation/may be placed on the property for which this permit is being requested. of Sworn to before me thi of otary Public / Commission of Deeds Applicant's Signature

INSTRUCTIONS REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

- 1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
- 2. One (1) property survey (signed and sealed), reflecting existing conditions.
- 3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
- 4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
- 5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
- 6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
- Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
- 8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
- 9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

- 10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
- 11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
- 12. Copy of Contractor's Westchester County Home Improvement License.
- **13.** All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
- 14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule	ŧ
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Building Permit (Non-Refundable)

- * Application fee \$85
- * Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

Inspection Fees (as applicable)

- Insulation: \$50
- Solid Fuel: \$50
- Foundation and footing drain: \$50
- Energy Code Compliance: \$50
- Sediment and erosion control: \$50
- Final Inspection for C.O.: \$50
- Footing: \$50Preparation for concrete slabs and walls: \$50
- State and local laws (per re-inspection): \$50

Total Inspections _

85

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00 * Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

• Preparation for concrete slabs and walls: \$50

• Fire resistant construction and penetrations: \$50

• Building systems, including underground and rough-in: \$50

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

• Footing: \$50

• Framing: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior toapplying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

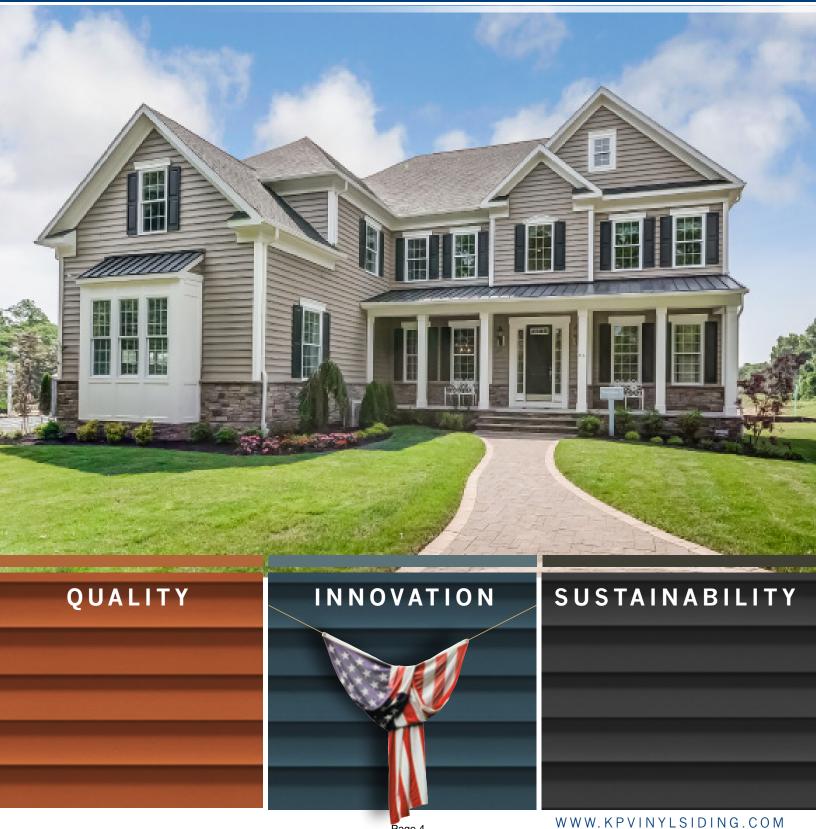
(To be collected at time of submission of application)Total

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit Any permit that expires will be subject to additional fees.)





PRODUCT CATALOG



Page 4

Table of Contents

KP Norman Rockwell	4-5
KP Ashbury i/s	6-7
KP Ashbury	8-9
KP Adirondack	10-11
KP Maxim & Maxim XL	12.13
KP Maxim XL PLUS	14-15
KP Maxim Board & Batten	16-17
KP Maxim Beaded	18-19
KP Northern Star	20-21
KP Northern Star Rustic.	22-23
KP Dakota	24-25
KP Hudson Bay	26-27
KP Vertical Sidings	28-29
KP Perfection Shingles	30-31
KP Soffits	32-33
KP TrimFX Decorative Trim System	34-35
KP Aluminum Siding	36
KP Aluminum Soffits	37
KP Aluminum Trims & Accessories	38-39
KP Aluminum Accessories	40-41
KP Rainware	42-43
KP Rainware/Aluminum Specifications.	44-45





SPECTRASHIELD Armor for your home.

Market Trends

Designers and industry experts predict that the most popular color trends for home exteriors are dark, bold colors.

Intense heat from the sun's rays can take a toll on the exterior of your home. This can cause panels to distort and fade. Darker colors present an even bigger challenge because they absorb more of the sun's damaging rays. KP's research and development team aggressively tested dark colored vinyl siding in laboratories and field tests, in order to combat these issues.

Being at the forefront of the industry, KP is pleased to introduce SpectraShield[™] Technology to enhance overall product performance. The results prove that its unique properties and heat resistance capabilities are ideal for these new color trends.



Why KP Building Products?

In a marketplace full of choices, why would you prefer a certain brand? Why would you trust us to bring the most benefit to your business and why would you continue to rely on us when new choices offer new promises? All fair questions...and we've got the answers you've been searching for.

Singular Style & Selection

Whatever the architectural style of the home, the customer's personal taste, or the size of the new construction, KP has a siding choice that will fit perfectly. From the truly distinctive KP Norman Rockwell Collection that offers deeper, richer colors to the low maintenance advantages of KP Perfection Shingles, we have siding solutions that rival any competitor.

Innovation

Our name and reputation have been built on creating quality products and we never stop blazing the trail toward leading-edge innovations so you and your customers can enjoy the very best vinyl siding options. Want richer colors that last longer? You got it! KP's ChromaLock™ process fuses the molecular structure of acrylic and vinyl to produce more fade resistant colors. Worried about the sun's damaging rays affecting your siding? We've got you covered! KP's SpectraShield Technology will absorb and disperse those harmful rays. Want a promise of durability that your siding will last for years to come? No problem! KP's Cyclone System[™] was invented to provide extra rigidity and wind resistance and our Ultra-Vinyl[™] UV technology means superior weatherability and color retention. Of course, you want your siding to look great, so your wish is our command! KP's Insta-Lock[™] system promotes a tighter panel lock for a better fit and smoother look. We could go on, but the bottom line is this - you can rest assured you're getting the best because we're working tirelessly to offer you the most innovative siding solutions.

Page 5

Quality, Heritage & Customer Satisfaction

In the siding business for 5 decades, KP Building Products has been around the house for quite a long time! We take special pride in our quality heritage and proven track record of customer satisfaction. KP Vinyl

Products are manufactured using some of today's most advanced vinyl technologies and we consistently exceed industry standards for performance.

Solid Support All the Way

Understanding that your selling efforts need solid, continuous support, KP will be providing you with effective marketing tools and know-how every step of the way. From traditional to digital marketing, KP will help you impress even the most demanding customer. We want to ensure we give you our most up-to-date information about KP and share some content we have created that may be of interest to you as a professional.

Please visit www.kpvinylsiding.com for tools such as our Design Center, Technical Information and

Digital Tool Kits. In other words, we have everything it takes to bring your business to the next level.

Welcome to KP Building Products. We look forward to partnering with you!



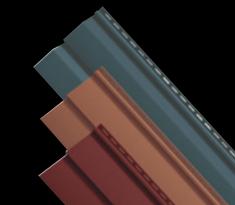




KP Norman Rockwell[™]

The first vinyl siding to make a bold statement with colors as rich as nature's own.

Each KP Norman Rockwell™ **color** has been developed by industry-leading experts to reflect the most time-tested hues, offering you traditional colors that will be appreciated for years to come. So whether it's dreamy ocean blue, intense barn red, or tranquil forest green you're going for, these distinctive colors will set any home apart from the rest.



FEATURES:

- 1) Heavy duty thickness offers outstanding impact resistance.
- 2) Double thick 0.092" KP Cyclone System™ nail hem provides extra rigidity and wind resistance.
- 3) Rich, distinctive colors protected by KP's **ChromaLock™** technology, which enhances long-term weatherability and delivers superior color retention.
- 4) Authentic, low gloss cedar texture is taken from actual panels to ensure authenticity.
- 5) **KP Insta-Lock™** system provides for precise horizontal alignment and easy installation.



COLORS (0.044" Thickness)



D4

Code #VNR2D40
Length
PCS/CTN24
CTNS. Per Crate 12
Avg. WT/CTN (lbs)115
Finish Woodgrain

D4.5 Dutchlap

Code #	VNR2D45D
Length	12'1½"
PCS/CTN	
CTNS. Per Crat	te12
Avg. WT/CTN (lbs)111
Finish	. Woodgrain

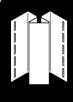


3/4" Inside Corner

Code #.....VCG2INP PCS/CTN.....10 CTNS. Per Crate..... 30 Avg. WT/CTN (lbs)....22 FinishMatte Finish

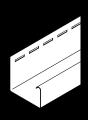
3/4" Outside Corner

Code #..... VCG2NN3 PCS/CTN.....10 CTNS. Per Crate. 14 Avg. WT/CTN (lbs)....40 Finish Woodgrain





3/4" J-Channel Code #..... VJB341F CTNS. Per Crate. 30 Avg. WT/CTN (lbs)....55 Finish Brush Finish



Undersill Trim

Code #.....VTGTR CTNS. Per Crate. 42 Avg. WT/CTN (lbs)....38 FinishMatte Finish



Steel Starter

Code # VT2SS	3
Length)'
PCS/CTN)
CTNS. Per Crate 108	3
Avg. WT/CTN (lbs)46	ŝ
Finish Mil	





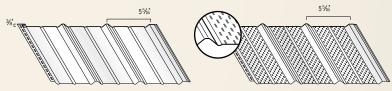


KP's aluminum products give you even more options for home finishing, offering siding, soffits, fascia, trims, coils, and rainware with the durability and appeal of aluminum.

All our aluminum accessories are designed to coordinate perfectly with our vinyl siding products, so you can choose just the right colors to complement your design and complete your home siding project.

Available in an array of styles and colors coordinated to match or complement KP vinyl and aluminum siding.

Never needs painting. Available in regular and heavy gauge (*HG) for lasting performance and durability.



SP-600 16"	Solid Soffi
Code # 06	06
sq ft/CTN1	92
panels/CTN	12
ength	12'



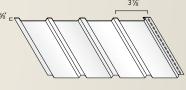
12" Vented Aluminum 3-Panel Soffit HG 9517 sq ft/CTN 192 panels/CTN . . . 16

12" Vented	Aluminun
3-Panel So	ffit 9519
sq ft/CTN	192
panels/CTN	. 16
Length	.12'

12" Solid Aluminum 3-Panel Soffit HG 9518 sq ft/CTN 192 panels/CTN . . . 16

Horizontal 8"	Horizontal D4.75	D4.75D Futura	Vertical 8"	SP-600 16" S
Smooth	Smooth	Code # 0032	Driftwood	Code #0606
Code # 0010	Code # 0041	sq ft/CTN 203	Code # 0211	sq ft/CTN 192
sq ft/CTN 194	sq ft/CTN 187 3 ³ / ₄ *	panels/CTN 26 334.	sq ft/CTN 97 334*	panels/CTN 12
panels/CTN 24 8	panels/CTN 24	Length 12'6"	panels/CTN 15	Length
Length 12'1"	Length 12'6"	31/1	Length 9'8"	6'
12	5%	344	374 J	
Horizontal 8" Driftwood	Horizontal D4.75 Driftwood	Vertical 8" 8 Smooth	Vertical 7.5" 334' V-Groove 334'	
Code # 0022	Code # 0043	Code # 0200	Smooth	
sq ft/CTN 194	sq ft/CTN 187 3¾*	sq ft/CTN 97	Code #0222 sq ft/CTN97	
panels/CTN 24 8"	panels/CTN 24	panels/CTN 15		
Length 12'1"	A CONTRACTOR OF A CONTRACTOR OFTA CONTRACTOR O			
	Length 12'6" 334'	Length 9'8"	panels/CTN 13 Length 12'	

1/3"



Quad 4 Solid 0612 sq ft/CTN 192 panels/CTN 12

Quad 4 Solid HG 0626 sq ft/CTN 192 panels/CTN 12

Quad 4 Center Vent 0611

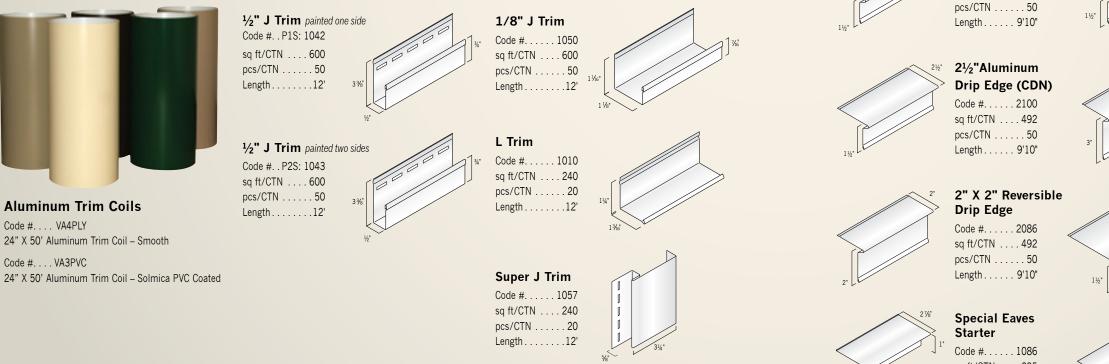
sq ft/CTN 192 panels/CTN 12

Quad 4 Center Vent HG 0614 sq ft/CTN 192 panels/CTN 12



Aluminum Accessories limitless design possibilities and quality withstands the test of time.

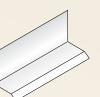
Color matched to KP's aluminum and KP aluminum accessories are coated with the same thermo-setting polyester polycoat 9000[™] topcoat used on KP aluminum siding for a durable and fade highest abrasion-resistant factor on the market. **Complete color coordinated range of accessories.*



Note – Direct contact of aluminum products with certain dissimilar materials or contact with the water run off from such materials is likely to result in corrosion. Therefore care should be exercised to avoid contact of aluminum with any corrosive materials during installation including but not limited to: pretreated lumber, concrete, masonry cement, stucco, salt, corrosive chemicals, dissimilar metals (copper, zinc, steel, etc.)

Drip Cap





2" Drip Cap Code #.....1181 sq ft/CTN360





 Image: 14 style
 Gable Trim

 Code #.....1070
 sq ft/CTN600

 pcs/CTN50
 Length12'

pcs/CTN 50 Length 12'



Code #..... 1086 sq ft/CTN 295 pcs/CTN 30 Length 9'10"



Page 8

Outside Corner
Code #1100
sq ft/CTN98
pcs/CTN 10
Length 9'10
Inside Corner
Code #1110
sq ft/CTN 98
pcs/CTN 10
Length 9'10"
Undersill Trim
Code #1060
sq ft/CTN 240
pcs/CTN 20
Length

 Starter Strip

 Code #.....1082

 Length.....10'

 PCS/CTN....30

 CTNS. Per Crate108

 Avg. WT/CTN (lbs)30

 Finish Mill

3" Aluminum Drip Edge

Code #..... 2084 sq ft/CTN 393 pcs/CTN 40 Length 9'10"

3" X 3" Reversible Drip Edge

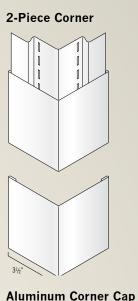
Code #..... 2085 sq ft/CTN 394 pcs/CTN 40 Length 9'10"

4" Aluminum Drip Edge

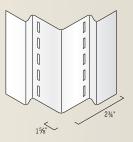
Code #..... 2092 sq ft/CTN 491 pcs/CTN 50 Length 9'10"

Regular Eaves Starter

Code #. 1084 sq ft/CTN 236 pcs/CTN 24 Length 9'10"

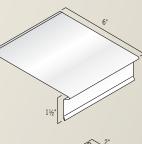


Code #..... 1113 (requires 1112) sq ft/CTN 100 pcs/CTN 10 Length 10'



Vinyl Base Corner

Code #. 1112 (requires 1113) sq ft/CTN 100 pcs/CTN 10 Length 10'



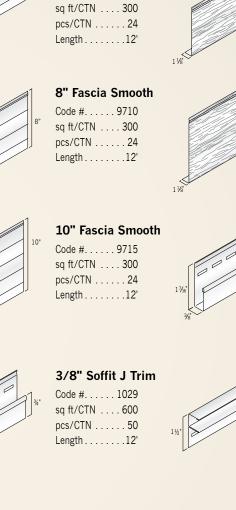
2"]1 1/6 1/6

6" Aluminum Drip Edge

Code #. 2093 sq ft/CTN 196 pcs/CTN 20 Length 9'10"

Aluminum Roof Edge





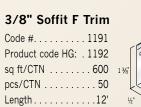
4" Fascia Smooth

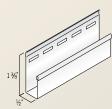
Code #..... 9700 sq ft/CTN 300

pcs/CTN 24

6" Fascia Smooth

Code #..... 9705





4" Cedar Embossed Fascia

Code #......9701 sq ft/CTN300 pcs/CTN24 Length12'

6" Cedar Embossed Fascia

Code #..... 9716 sq ft/CTN 300 pcs/CTN 24 Length 12'

8" Cedar Embossed Fascia

Code #..... 9711 sq ft/CTN 300 pcs/CTN 24 Length 12'

3/8" Soffit J Trim Eco

Code #..... 1028 sq ft/CTN 900 pcs/CTN 75 Length 12'

9/16" Soffit F Trim

Code #..... 1194 sq ft/CTN 480 pcs/CTN 40 Length 12'

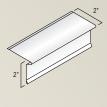
1/2" J Trim

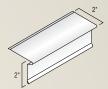
	Painted one side					
	P1S Code #1042					
1	sq ft/CTN 600					
	pcs/CTN 50					
	Length					

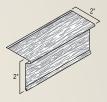
¹/₂" J Trim

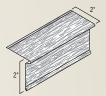
Painted two sides

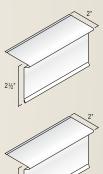
P2S Code # 1043	
sq ft/CTN 600	
pcs/CTN 50	
Length	

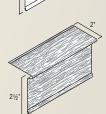


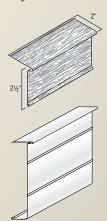












2" Smooth Drip Edge

Code #97	40
sq ft/CTN6	00
pcs/CTN	50
Length	12'

2" Smooth Drip Edge HG

Code #					9745
sq ft/CTN					.600
pcs/CTN .					50
Length					. 12'

2" Cedar Embossed Drip Edge

Code #9	742
sq ft/CTN	600
pcs/CTN	. 50
Length	12'

2" Cedar Embossed Drip Edge HG

Code #
sq ft/CTN600
pcs/CTN50
Length

21/2" Smooth Drip Edge

Code #9	741
sq ft/CTN	480
pcs/CTN	. 40
Length	12'

21/2" Smooth Drip Edge HG

Product Code # 9746
sq ft/CTN480
pcs/CTN40
Length

2¹/₂" Cedar Embossed Drip Edge

Code #
sq ft/CTN
pcs/CTN40
Length

2¹/₂" Cedar Embossed Drip Edge HG

Code #	8
sq ft/CTN48	0
pcs/CTN4	0
Length 12	2'

Gable Rake Trim

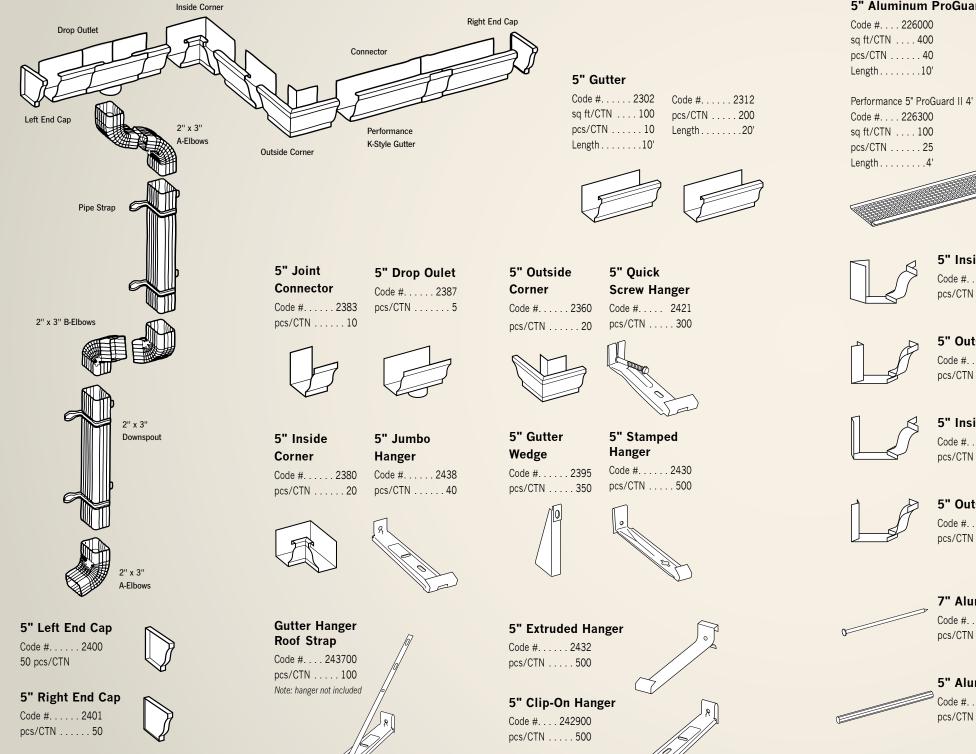
Code #.....1210 sq ft/CTN192 pcs/CTN16 Length12'



System designed for durability and

ease of installation, KP's performance aluminum rain

carrying system provides a complimentary finish and the proper protection to any home's exterior. Coated with KP's polycoat 900 topcoat, performance aluminum rainware is corrosion-resistant and maintains a freshly painted look year-after-year.

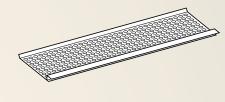


5" Aluminum ProGuard II

Code #.... 226000 sq ft/CTN 400 pcs/CTN 40 Length 10'

6" Aluminum ProGuard II

Code #.... 226200 sq ft/CTN 300 pcs/CTN 30 Length 10'



Code #.... 2381 pcs/CTN 20

5" Inside Strip Miter

6"Inside Strip Miter Code #..... 2385 sq ft/CTN 20

5" Outside Strip Miter Code #..... 2382 pcs/CTN 20

6" Outside Strip Miter Code #..... 2386

pcs/CTN 20

5" Inside Bay Miters Code #..... 2379 pcs/CTN 20

5" Outside Bay Miters Code #..... 2378 pcs/CTN 20

6" Left End Cap Code #..... 2402 pcs/CTN 50



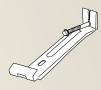


Code #..... 2350 pcs/CTN 1000

Page 10



Performance 6" ProGuard II 4' Code #.... 226400 sq ft/CTN 100 pcs/CTN 25 Length 4'6"



6" Quick Screw Hanger

Code #..... 2422 pcs/CTN 200





6" Premium Clip-On Hanger Code #..... 2427 pcs/CTN 450





8" Aluminum Spikes Code #..... 2341 pcs/CTN 500



6" Right End Cap Code #..... 2403 pcs/CTN 50

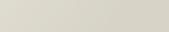


6" Jumbo Hanger Code #..... 2445 pcs/CTN 400



6" Aluminum Ferrules

Code #..... 2351 pcs/CTN 1000



					3" Square Do Code # 2128	wnspout* 3" Square Elbow*	3" X 4" Downs Code # 2125
sq ft/CTN 98 pcs/CTN 10 Length 8' Code # 2120 sq ft/CTN 98 pcs/CTN 10 Length 9'10"	A-Elbow 2" X 3" B-Elbow 30 degrees 	2" x 3" B-Drop Code #2570 pcs/CTN30 Code #257001 Dutlets Code #257001 pcs/CTN100	21½" Square D	ownspout 2½" Square Elbow Code #2513 pcs/CTN pcs/CTN 2½" x 2½" B-Drop Code #2581 pcs/CTN pcs/CTN 30	sq ft/CTN12 Length9'-10"	Code #	sq ft/CTN 118 pcs/CTN 12 Length 8' Code # 2124 sq ft/CTN 118 pcs/CTN 102 Length 9'10"
Pipe Strap 2" X 3" Code #2540 30 degr pcs/CTN100 Code # Code # pcs/CTN	2515 Code # 257300	2" X 3" Tile Cover Code #8420	Pipe Strap Code # 2540 pcs/CTN 100	21/2" X 21/2" Tile Cover Code #8421	3" square products are Speci	al Order only.	KP Building Product Aluminum Siding, Sot

KP Aluminum



Aluminum Gutter Coil Code #..... 0785

width 11.875" lbs per roll..... 300 Code #..... 0787

lbs per roll 300

PVC Trim Coil

Code #.... VA3PVC roll/ctn 1 CTNS. Per palette . 32 Avg. WT/CTN (lbs). 27 Length 24" X 50'

Polyester Trim Coil

Code #.....VA4PLY roll/ctn 1 CTNS. Per palette . 32 Avg. WT/CTN (lbs)...4 Length 24" X 50'



icts Aluminum Specifications

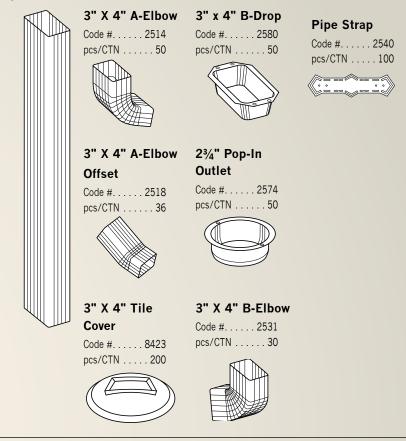
A. Material specifications

KP Siding, Soffit and Fascia are made of 3105 or 3003 Alloy aluminum sheet or equivalent, meeting or exceeding the specifications set forth in AAMA Report Number 1402-86. KP Rain Carrying Products meet or exceed the requirements set forth in AAMA Report Number 1405.1-1976. All Stated aluminum thicknesses are nominal and the standard tolerance for products from aluminum sheet shall be +0.000", -0.003". KP Aluminum, shall have a minimum ultimate tensile strength of 29,000 psi, and a minimum vield strength of 25.000 psi.

B. Code Compliance and technical specifications

- 1. The surface of the KP Aluminum sheet is commercially free of streaks, blistering and other imperfections. The aluminum sheet is thoroughly cleaned, dried and coated with a pretreatment coating to assure maximum paint adhesion on both sides of the metal.
- 2. KP Aluminum sheet is protected by an especially formulated paint system Polykote 1200, a thermo setting polyester and is roller coated and baked on the metal to allow exceptional forming flexibility, cleanability, stain and mar resistance in exterior applications.
- 3. Color is controlled per ASTM D-1729-64, by approved color difference meter and by visual match standards in a Mac-beth Booth.
- 4. Specular gloss is determined per ASTM D523 at a gloss meter angle of 60 degrees.
- 5. Pencil hardness is equal to Eagle Turquoise HB minimum pencil per NCAA Technical Bulletin 11-12
- 6. Cure Test per NCCA Technical Bulletin 11-18 and able to withstand 100 double rubs of M.E.K. using cheese cloth mesh size 28x24.
- 7. Humidity resistance test as per ASTM D-2247-87 and having no blistering, cracking, peeling loss or softening of the finish after 1,000 hours of exposure to 100% humidity at 100 degrees F + 5 degrees
- 8. Formability there is no removal of finish with 610 Scotch tape on a 2T bend. NCCA test 11-19.

spout



Soffit. Rainware and Accessories

9.	Salt spray resistance samples diagonally scored and subjected to a neutral salt
	solution spray per ASTM B-117, then taped with Scotch #610 cellophane tape or
	equivalent for 1000 hours over aluminum- no blistering and no loss of adhesion
	greater than 1/32" from score line.

- 10. Accelerated weathering has no cracking, blistering or adhesion loss of external coating system and no chalking greater than #8 rating after 500 HR as measured by ASTM D-4214-89.
- 11. Dry Film Thickness .7-.9 Mils.
- **C. Types of applications**—KP Siding panels are designed for use in residential and light commercial applications with elevations up to 40' (12.191m). For applications of a different nature, contact KP for further details and information concerning suitability.
- **D. Accessories**—All accessories used with KP Aluminum Siding shall be KP accessories designed for use with the siding and having the same finish.
- E. Horizontal Panels—Horizontal siding panels shall have interlocking horizontal edges, 3/8" (9.525mm) butt and a .094" (2.388mm) diameter circular weep holes spaced approximately 8" (203.2mm) centers in a shadow leg of every panel, thus allowing the wall to breathe and to permit condensation and water vapor within the wall to escape. Elongated nailing slots shall be provided on approximately 1 1/4" (31.75mm) centers in the nail hem of all panels to permit proper expansion and contraction on the wall. The nail hem and bottom lock of all panels shall be notched on both ends to provide for the proper overlapping of adjacent panels.
- F. Fire Resistance Properties—as per CAN/ULC·5102. Flame Spread : 11 Smoke Density : less than 5% Ignition Properties : Self ignition did not occur. When ignited with a fire, after 15 seconds continued to burn for 2 feet (.6 m) for one minute and then extinguished. KP aluminum does not support combustion.
- G. Protection-Direct contact of aluminum products with certain dissimilar materials or contact with the water run off from such materials is likely to result in corrosion. Therefore care should be exercised to avoid contact of aluminum with any corrosive materials during installation including but not limited to: pretreated lumber, concrete, masonry cement, stucco, salt, corrosive chemicals, similar metals (copper, zinc, steel etc.).



(Colors shown are mechanically reproduced. For accuracy please see actual product sample.)

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The Norman Rockwell trademark is owned by the Norman Rockwell Family Agency , KP Building Products are officially licensed.

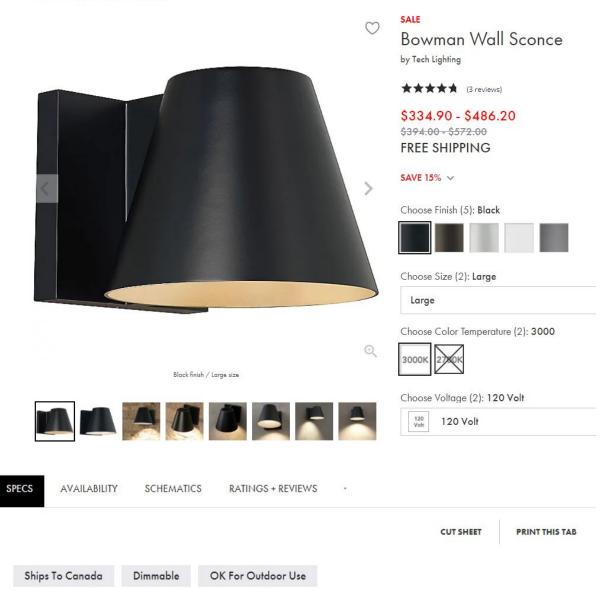
VINYL SIDING INSTITUTE





Made in the U.S.A.

Outdoor Lighting / Outdoor Wall Lights



The soft silhouette of classic table lamp shades is referenced and transformed into a sleek LED wall sconce fixture suitable for both indoor and outdoor applications. The Bowman Wall Sconce by Tech Lighting's die-cast metal body houses a powerful LED light source for plentiful illumination on even the darkest of nights.

Founded in 1987, Tech Lighting is the leading brand for modern decorative and specification grade architectural lighting. With a passion for innovation, original design and uncompromising quality, Tech Lighting delivers iconic and timeless indoor and outdoor lighting collections. By collaborating closely with lighting and interior designers to understand their needs and to solve their toughest challenges, the company has developed a reputation for excellence in contemporary lighting designs and low voltage lighting systems. Lighting is the only design element that impacts every other design element in a space and the Illinois-based company has applied that same standard to a growing collection of decorative and functional lighting. Their solutions range from modern chandeliers to LED undercabinet to architectural-grade outdoor lighting with a focus on quality and innovation.

Cut Sheet Preview

Customius Add custom contact info, project, logo and more.

IGHTING

Call Us 866.428.9289

Bowman Outdoor Wall Sconce By Tech Lighting

Product Options

Finish: Antique Bronze , Black , Silver , White , Charcoal Size: Small , Large Color Temperature: 2700, 3000 Voltage: 120 Volt , 277 Volt

Details

- Suitable for outdoor use (IP65 rating)
- · Designed in 2014
- · Material: Die-Cast Metal
- · Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Include d1
- · Dark Sky compliant, Title 24 compliant
- · ETL Listed Wet
- · Made In China

Dimensions

Small Option Backplate: Height 4.5" Small Option Fixture: Height 4.5", Depth 6.7", Diameter 4.5", Weight 3Lbs Large Option Backplate: Height 6"

Large Option Fixture: Height 6", Depth 9", Diameter 7.5", Weight 3.4Lbs

Lighting

- Small Option: 17.8 Watt (699 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Small Option: 17.8 Watt (699 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Small Option: 17.8 Watt (699 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- · Small Option: 17.8 Watt (699 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Large Option: 18 Watt (1163 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Large Option: 18 Watt (1163 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Large Option: 18 Watt (1163 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Large Option: 18 Watt (1163 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K

Additional Details

Product URL: https://www.ylighting.com/bowman-wali-sconce-by-tech-lighting-TECP89764.html Rating: ETL Listed Wet

Product ID: TECP89764



Notes:



təllibM Residence

47 Station, NY Irvington, NY

Submission for Site Development Plan Approval **May 19, 2021**

June 23, 2021 Revelopment Plan Approval \triangle

Re-Submission for Site Development Plan Approval

Submission for ARB Approval Revision \triangle

PROJECT NO.: 2034

FERGUSON MALONE ARCHITECTURE

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108: 5034							
DATE: 03/03/2021							
SCALE: As Noted							
General Notes & List of Drawings							
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New York State (IRC 2018/New York State Amendments) which includes Chapter 1 1 Energy Efficiency.					10/04/2021	3	
In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State					10/04/2021	3	
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		ДЯАҮ	۲D. ۲D.	PLASTIC LAMINATE	.MAJ.9	EVCE OF ENISH	.A.O.F
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		WINDOW WATER HEATER	.H.W	ОРЕИІИБ ОРРОЗІТЕ НАИД ОРИБ.	.H.O	EINI2H EFOOB CABINET	FIN. FL.
		MOOD	MD	OFFICE		FIRE EXTINGUISHER	F.E.C.
		MATER CLOSET	M.C.	OUTSIDE DIAMETER OFF.	.O.D.		F.E.
		MITH WEST	/M (M)	ON CENTER OVERALL	.A.O .D.O	FIRE ALARM FABRICATE	F.ALM. FABR.
Proposed Framing Plans	10.1-2		M		0		E 1111
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Proposed Foundation Plan	00.1-2						

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EXX

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EQUIPMENT TAG

MINDOM TYPE

DOOK NNWBEK

- DKAWING NUMBER

- DKAWING NUMBER

redeuq auq symbols

– DETAIL NUMBER

PLUMBING FIXTURE TAG

590.0
81/01
s-Aalne Space Mall

http://www.floodmap.floodsimple.com/ **State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site

Ocation: Village of Irvington Subject to Damage From													
Lemp Annual Mean	Air Freezing Air Freezing	Flood Hazards	Ice Barrier Underlayment Reqd	Climate Sone	ətimıəT	Frost Line Frost Line	Weathering	Seismic Design Category (RCNY Only)	əmod-bniW əno∑ sindəO	Special Wind Secial Wind	Topo Effects	(ydw) pəədş	snow Load Ground
9.12	5000	**Firm Community - Panel Map # 36119C0261F Effective Date, 9-28-2007	səY	$\forall 1$	Moderate to Heavy	45	Severe	C	οN	səY	οN	*Special Wind Region	30

ROOM NAME	ROOM TAG
X	WALL TYPE
\bigotimes	KEA NOIE
X	SAT HRINH
DETAIL	

Detail
ELEVATION

A-4.00	Proposed Wall Details
10.E-A	Proposed Elevations
00.E-A	Proposed Elevations
10.2-A	Proposed Floor Plans - First & Second Floor
00.2-A	Proposed Floor Plans - Basement
[[.[-A	snoitaval3 gnitsix3
01.1-A	snoitaval3 gnitsix3
00.1-A	Existing Floor Plans
ΓΓ.0-A	alubado? wobniW
01.0-A	Door Schedule
10.0-A	Property Analysis (Not included on ARB Submis
G-1.20	Existing Exterior Pictures
01.1-Ə	Site Details
G-1.02	Architectural Site Plan & Planting Plan
ເ0 ເ-ອ	Site Demolition and Tree Protection Plan
00°1-9	sisylanA gninoS
C-0.00	General Notes and List of Drawings
SHEET NO.	TITLE

LIST OF DRAWINGS

#2 auq Jarger 2-0" #**4** aug swaller]-]/5,,

At concrete surfaces to be exposed to weather: Interior face 3/4" "2/I-I Exterior face :sllbW rootings ..0-£ "2/I-I geaws

Slabs reinforcement as follows:

Provide clearances from faces of concrete to Slabs-on-grade reinforcement shall be 6" x 6" - 10/10 gauge welded wire mesh.

All reinforcing bars shall be new billet deformed steel conforming to ASTM 615 grade 60.

of 2,500 psi at a slump of 5" +/- 1".

cement ratio which has been shown by previous CBE to produce satisfactory concrete concrete. Average concrete shall have a mix proportion and a water Concrete slabs on grade at sidewalks, concrete fill and pads shall be average

NY state building code shall govern. verification. Concrete work shall conform to ACI 318-63. in cases of conflict the Soil bearing value assumed to be min. 2 tons per square foot subject to field

Concrete:

for the work until turned over to the owner. materials of any kind on the premises, and shall provide all necessary protection destroyed in the process of the work. Contractor will be responsible for property and Contractor will be responsible for repairing any damages or replacing any items

No alcohol nor drug use shall be permitted.

Contractor's personnel will be admitted to the property upon permission of the owner. obstructions or impediments to full instant use in the case of fire or other emergency.

All exits, and ways of approach thereto shall be continuously maintained free from all materials or trash from the site at the end of each working day.

and kept free from waste and rubbish during the entire construction period. Remove The entire areas and the job site shall be maintained in a neat and orderly condition

Standards to prevent injury to all workers and persons visiting the site. Contractors shall provide on site first aid facilities and protective gear required by Osha

minimum standard appropriate for the respective purpose.

waste. Materials used for construction, tabrication or tinishes shall be approved per ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL all paint and suspected hazardous materials to be removed prior to commencement during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test the protection of all persons from hazards during demolition and construction and The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for

Contractor shall exercise strict control over safety and security of the site.

All local ordinances regarding noise and nuisance shall be respected.

Construction work shall be done on regular work hours except as directed by owner.

dimensions needing clarification with architect prior to construction. The contractor shall not scale drawings for purposes of construction and shall verify any

any portion of work cannot be performed as specified. and field conditions before commencing the work and notify architect immediately if

Contractor shall notify the architect of any discrepancies in drawings, specifications

and quantity of work.

Contractor shall verify all field conditions and dimensions and be responsible for field fit

architect and Building Dept. personnel. specifications at the construction site during all phases of construction for use of trades, The contractor shall maintain a current and complete set of construction drawings and

NASDOS.

All work with engineered lumber and/ or truss construction must be placarded as per

contractors.

All work, including plumbing and electrical work, shall be performed by licensed

abbloved.

inspections. Work shall not be closed or covered until it has been inspected and

personnel shall be notified a minimum of five days prior to proposed date of

stages of the work as required by code and by the local building inspector. Inspection

inspections with the building inspector and other regulating authority at appropriate Contractor shall obtain all permits as required prior to start of work and schedule regulations.

November 2019 addition, and all applicable local jurisdiction and fire department

All work shall be in accordance with the 2020 New York State Building Code and the

Construction Requirements **Abbreviations**

Existing and proposed occupancy is 1-Family

Existing and proposed building construction to be Type 5 B: Wood-Framed, combustible. *

Blower door test @50 Pa. <=5 ach in Climate Zones 1–2, and <=3 ach in Climate Zones 3–8. *

Air barrier and thermal barrier to be installed per manufacturer's instructions. *

* All ceiling insulation to be installed per manufacturer's instructions. Blown insulation marked every 300 sq/ft.

* All wall insulation to be installed per manufacturer's instructions.

Plans have been designed in accordance with the National Electrical code NFPA 70 2014 Edition. *

Plans have been designed in accordance with the prescriptive energy requirements of the 2020 Energy Conservation Constructio

*

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	Table R402.1.4 Equivalent U-Factors													
	10'S FT	£1/01	61	El/8	20 or 13 + 5	64	4.0	0.55	25.0	Aħ				
		tuəuoc	imo⊃ yd str	on Requireme	and Fenestratic	ooitotlusul 9	Table R402.1.2							
Crawl S	Depth R-Value & Slab	K-Value Wall Basement	K-Value Floor	K-Aalue Mall Mass	K-Value Wall Wood	Qnili∋⊃ 9∪l¤V-Я	SHGC Fenestration Glazed	Skylight Skylight	Fenestration U-Factor	Climate Zone				

Insulation and Fenestration Requirements by Component

derived values takes from Section 1609 of to IBC and Figure R301.2(4) A of the IRC are likely to occur and should be considered in the design. *115 MPH to 120 MPH. The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind Speeds higher than the

Climate and Geographic Design Criteria (Effective 10/3/2016)

3\4"

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E, EXIST.

.НХЭ

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. ГЕ

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ELEVR.

(E.) Elec.

DKW.

DMC.

DК[.] DИ[.]

DIA.

.MID

DIY.

D.F.

DEI.

D.A.

D

CW.

СТR. СТВ.

С.Т. С.Т.

COB.

CONI.

CONST.

СОИИ.

CONC.

CLR. OPG.

(OK CEIF')

CEIFING

CALKING

CERAMIC

CABINET

BASEMENT

BRONZE

BRACKET

BLOCKING

BUILDING

BOARD

ABOVE

FLOOR

АND

ABOVE FINISH

AVERAGE

DITAMOTUA

ARCHITECTURAL

ARCHITECT or

TAMIXO999A

APPROVED

ANODIZED

ALTERNATE

ALUMINUM

ADJUSTABLE

ADDITION(AL)

ACOUSTICAL

ACOUSTICAL TILE (OR

AIR CONDITIONING

CENTER LINE

CENTER TO CENTER

COF.

CLR.

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BD.

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ELECTRICAL

EXTERIOR

EXPOSED

EXPANSION EXPOS. EXISTING TSUAHXE EQUIPMENT MM HT.M EQUAL MUL ENCINEEK MID **ELEVATOR** DSIM **ELEVATION** NIW ELECTRIC WC TZAE WEZ MTL. M.C DKAWER WEC DKAWING (AM DOOK IIAM DOMN DIAISION DIWENZION DIAMETER '∧∀7 ΝΙΑΤΝυΟη .н.ј -R. (DKINKING DETAIL ۲¥W DEPARTMENT DONBLE DOUBLE-ACTING DBL. ИАL **CARBON MONOXIDE** COLD WATER CENTER СОЛИТЕВТОР .INI COKRIDOR СОВИЕВ INFC CONTINUOUS IИСI I'D' I CONSTRUCTION CONNECTION CONNECT OR CONCRETE W.H COLUMN CLEAR OPENING CLEAR ∀ЛН CLOSET НОК

Irvington, NY 47 Station Road

ISSUE/REVISION NO. DATE noissimdu2 891 [202/91/20 / 06/23/2021 IPB Re-Submission

Construction Code currently in effect. and the New York State Energy Conservation York State Unitorm Fire Prevention and Building Code compliance with the applicable provision of the New and specifications depicted on these drawings are in professional judgement of the undersigned, the plans To the best of my knowledge, believe, and



FERCUSON MALONE ARCHITECTURE

IKVINGTON NY 10533 ONE BRIDGE STREET

1914 591 5066 F 914 591 5031

gninoZ RiaylpnA _____

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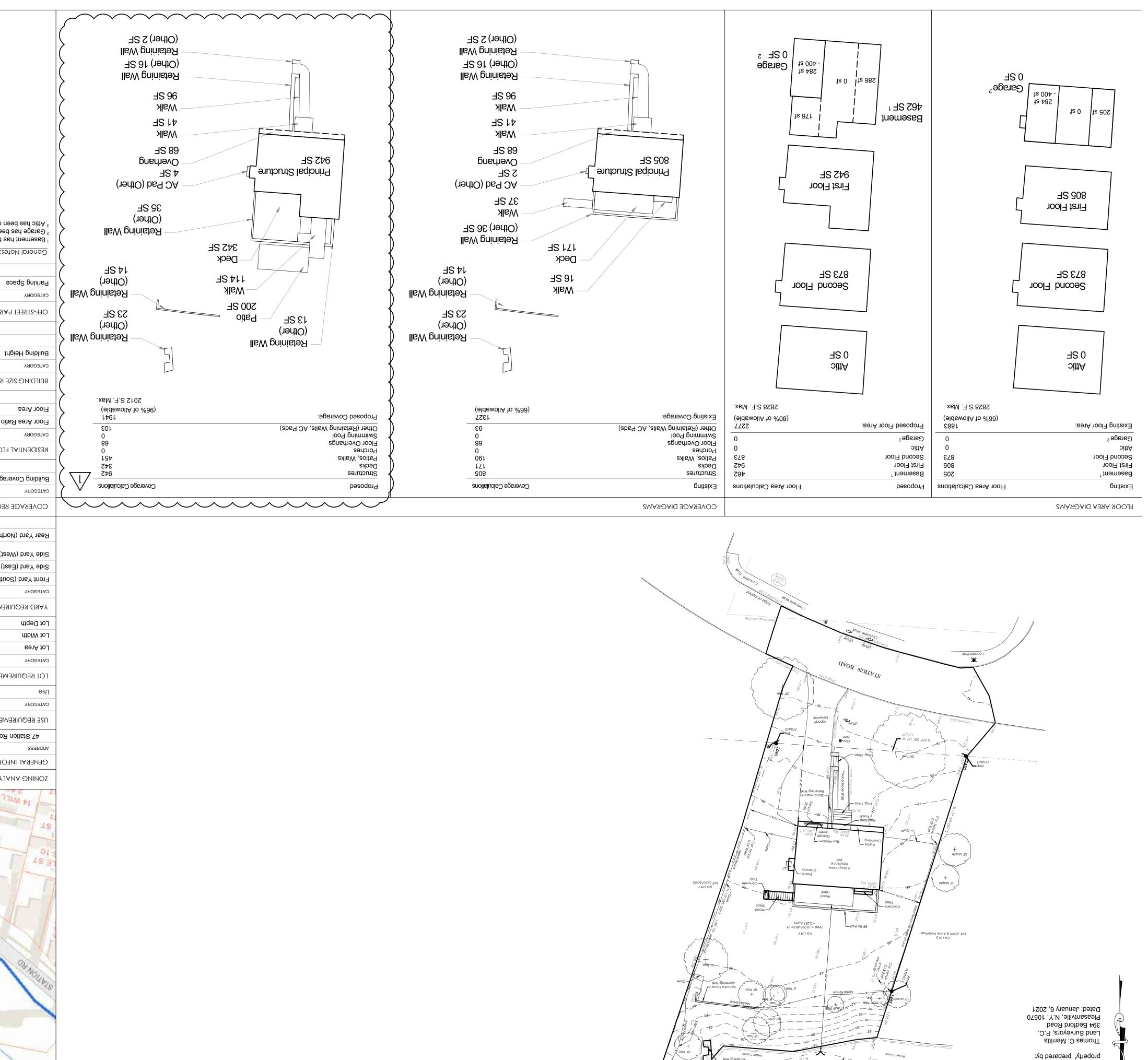
108: 5034

DATE: 03/03/2021

SCALE: As Noted



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				DEWVDK
	QUIREMENTS - AS PER SECT	10N 224-14		
				-
ц	2.5 STY/ 35 FT	32'-6	33,3"	
	ΓΕΟΟΙΚΕD / ΑΓΓΟΜΕD	EXISTING	PROPOSED	REMARK
E KEQUIREN	VENTS - AS PER SECTION 224-3	٤		
	.xsM .7.8 8282	1883 SF	32 <i>77</i> SF	
oite	.xsM 82.0	61.0	0.23	
	ΒΕΟΛΙΒΕD / ΑΓΓΟΜΕD	EXISTING	PROPOSED	ХАМЭЯ
FLOOR ARI	атіо кедиікемент	S - AS PER SECTION 224-136		
rage	.xbM .7.8 2102	1327 SF		
	ΒΕΩ ΟΙΒΕD / ΑΓΓΟΜΕD	EXISTING	РЕОРОЗЕД	ААМАК
KEQUIKEMI	NTS - AS PER SECTION 224-13		$\langle \rangle$	$\overline{\langle l \rangle}$
				V
orth) FT.	.niM '05	58.54'	'80.74	
est) FT.	.niM '81	,96 [.] 91	15.00'	
.TA (tea	.niM '81	19.92'	No Change	
· · · · (.niM '05	30.43'	No Change	
.T٦ (dtuo	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
T∃ (dtuo				
	'S BEB SECTION 224-1 1			
	100.00' Min.	.SZL	No Change	
kements - /		.921 .92	No Change No Change	
FT. Rements - A	.niM '00.001			
ет. ет. емеитs - <i>к</i>	.niM '00.88 .niM '00.001	.9 <i>L</i>	No Change	ЯАМЭЯ
S.F. FT. FT. FT.	10,000 S.F. Min. 85.00' Min. 100.00 Nin.	۶۲ ۲۵,099 SF	No Change No Change	ЯАМЭЯ
S.F. FT. FT. FT.	рек SECTION 224-10 85.00' Міп. 10,000 S.F. Міп. 85.00' Міп.	کو، 40'000 کا באופדואפ	No Change	REMARK
S.F. FT. FT. FT.	Опе-Family PER SECTION 224-10 70,000 S.F. Min. 85.00' Min. 100.00' Min.	One-Family Exisтис 75' 75'	No Change No Change No Change	
емеит5 - A5 п В.F. FT. FT.	кесоляер / Алгомер Опе-Family Рек 56Стіон 224-10 70,000 S.F. Міп. 85.00' Міп.	کو، 40'000 کا באופדואפ	No Change	ЯЕМАЯК
емеит5 - AS F EMEUT5 - AS F FT. FT. FT.	ее SECTION 224-8 Рев SECTION 224-8 Рев SECTION 224-10 85.00' Міп. 85.00' Міп.	EXISTING One-Family EXISTING 75'	PROPOSED No Change No Change	
емеит5 - A5 п В.F. FT. FT.	ее SECTION 224-8 Рев SECTION 224-8 Рев SECTION 224-10 85.00' Міп. 85.00' Міп.	1F-10 ExisTiNG Cone-Family ExistiNG 75'	2.80-34-6 Ркорозер No Сћалде Корозер Сћалде Сћалде Сралде	
емеит5 - AS F EMEUT5 - AS F FT. FT. FT.	الأدمار، ע۲ الأدمار، ע۲ الأدمار، ע۲ الأدمار، ע۲ الأدمار، ערי الأدمار، ערי الأدمار، ערי الأدمار، ערי الأدمار، ערי الأدمار، ערי ו ו וערי וערי וו וערי וערי ו וערי ו וערי וערי	EXISTING One-Family EXISTING 75'	PROPOSED No Change No Change	



Side Yard (Wes Side Yard (East Front Yard (Sou

> Lot Depth Lot Width

LOT REQUIREM **CATEGORY**

A noitetS 74

GENERAL INFC

2CVFE 1,,=30,

General Note

Site plan is based on a topographic survey of

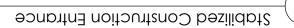
0'.70° 5 74° 1 1° 20° E

Tax Lot 8 Janet L. N/F David P. & Janet L. Mrzemienski

23, 56, 40, E-

3 "01 '64 °18 N=

13'13, M 28, 11, 10, E - Concrete - Retaining Wall



<u>Section</u>

Finished grade

Plan

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C-1.01

108: 5034

DATE: 03/03/2021

SCALE: As Noted

Protection Plan Series Se noitilomed eti2

1914 591 5066 F 914 591 5031

IKVINGTON NY 10533

ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

Construction Code currently in effect.

and the New York State Energy Conservation

York State Uniform Fire Prevention and Building Code

compliance with the applicable provision of the New

auq sbecitications depicted on these drawings are in

ISSUE/REVISION

professional judgement of the undersigned, the plans To the best of my knowledge, believe, and

05/19/2021 IPB Submission

/ 06/23/2021 IPB Re-Submission

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Irvington, NY

47 Station Road

Residence

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NO. DATE

existing paved surface Begin stabilized construction entrance at

/

storage for reinstallation.

🔞 Waterial Storage Area

at least 10' away from inlets, water- courses and property lines. -See Detail 8 on sheet G-1.10

ground. Settled, hardened concrete should be broken up,

concrete liquids to pool, evaporate, dry out or soak into the

Construction Entrance - install construction entrance - see detail

Line of root zone for existing trees - Radius = 1.5 x 12 x caliper

(0) Compaction Protection - install construction fence in area of

TRXX - MM TRXX

L_____

proposed stormwater to protect against compaction of soil.

Tree to remain

рәлошәл

removed

Structure or

Demolition and Tree Protection Key

Existing tree to be

pardscape to be

Structure to remain.

(1) Concrete Washout Area - Designated area which allows

[10] Fence Removal - Temporarily remove fence - protect and

removed and disposed as garbage or recycled properly. Locate

CONST. ENTRANCE INSTALLATION NOTES

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see detail 5

see detail 4

detail 3

detail 2

Root Compaction Protection -

- Tree Armor Type Protection -

Snow Type Protection - see

Protected tree to remain.

tape. Metal Chainlink -see

Protected tree to remain.

Chainlink fence with caution

Protected tree to remain.

Extend of Tree

sqinta boow "8

5:1 slopes will be permitted.

9 anots "S\[-[920 - 9zis 9not? .[

2. Length - As required, but not less than 15 feet

3. Thickness - not less than 4 inches

.2.T.N

5. Filter cloth - will be placed over entire area

Root Compaction Protection Detail

təət č.7 - AtbiW .4

Compacted subgrade

Geo-textile filter fabric

occnr each rainfall event

trapping device.

removed thoroughly.

9. Periodic inspection and needed maintenance shall

stone and which drains into an approved sediment

washed or tracked onto public right of way must be

used to trap sediment, all sediment spilled, dropped,

sediment onto public right of way. This may require

condition which will prevent tracking or flowing of

demand and repair and/or cleanout of any measures

periodic top dressing with additional stone as conditions

7. Maintenance - The entrance shall be maintained in a

entrance. If piping is impractical, a mountable berm with

toward construction entrances shall be piped across the

6. Surface water - all surface water flowing or diverted

is required, it shall be done on an area stabilized with prior to entrance onto public right of way. When Washing

8. Washing - Wheels shall be cleaned to remove sediment

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Backfill

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-08) MAterial Storage Area

[09] Constrcution Entrance

(1) Concrete Washout Area

09 Compaction Protection

-03 Soil Stockpiling Area

905 Toos (70

-{03] Demo 2tair

10 Fence Removal

A noitoe2

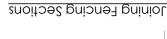
10" Tree

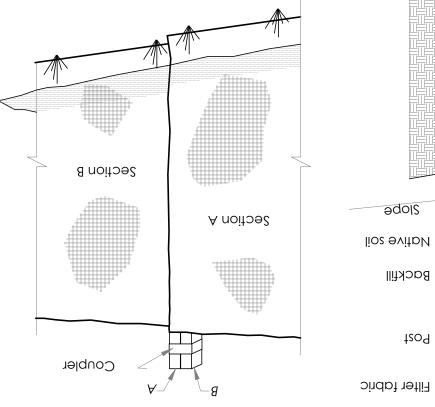
10" Tree

Support net

stsog

Section B





packtill the trench and tap the soil. the undisturbed bottom of the trench, 4. Lay the toe-in flap of fabric onto

steeper slopes require an intercept

5. Join sections as shown above.

trench.

the trench bottom. the netting is approx. 2 inches from 3. Drive the post into the ground until

.2.T.N

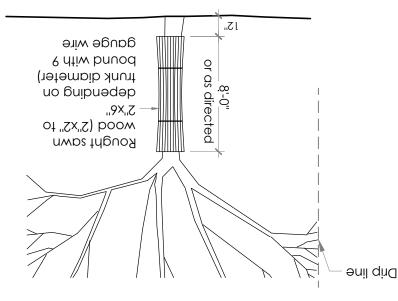
side away from direction of flow) (downstream) wall of the trench (net position the posts against the back Unroll a section at a time and

the lower perimeter of the site. Excavate a 4" x 4" trench along

SILT FENCE INSTALLATION NOTES

.2.T.N Armor Type - Tree Protection Type Detail

Individual Tree Armor Type



surrounded with silt fencing, then covered. 4 - Upon completion of soil stockpiling, each pile shall be 3 - Maximum slope of stockpile shall be 1:2. .91I

tilling activities should be located on level portions of the 2 - Soils or fill to be stockpiled on site during cutting and dry and stable. J - Area chosen for stockpiling operations shall be

03 Soil Stockpiling Area Existing concrete steps to be demolished in their entirety.

(3) Existing rail road tie wall to be demolished in their entirety.

their entirety. (3) Existing wood stair and concrete pad to be demolished in

(0) Existing deck to be demolished in its entirety.

Key Notes

--- --- Limit of Disturbance line Construction fencing təədz sidt

Property Line

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unforeseen siltation and erosion of disturbed soils. erosion control measures if deemed appropriate to mitigate The Building Inspector or Village Engineer may require additional

900 Root Zone

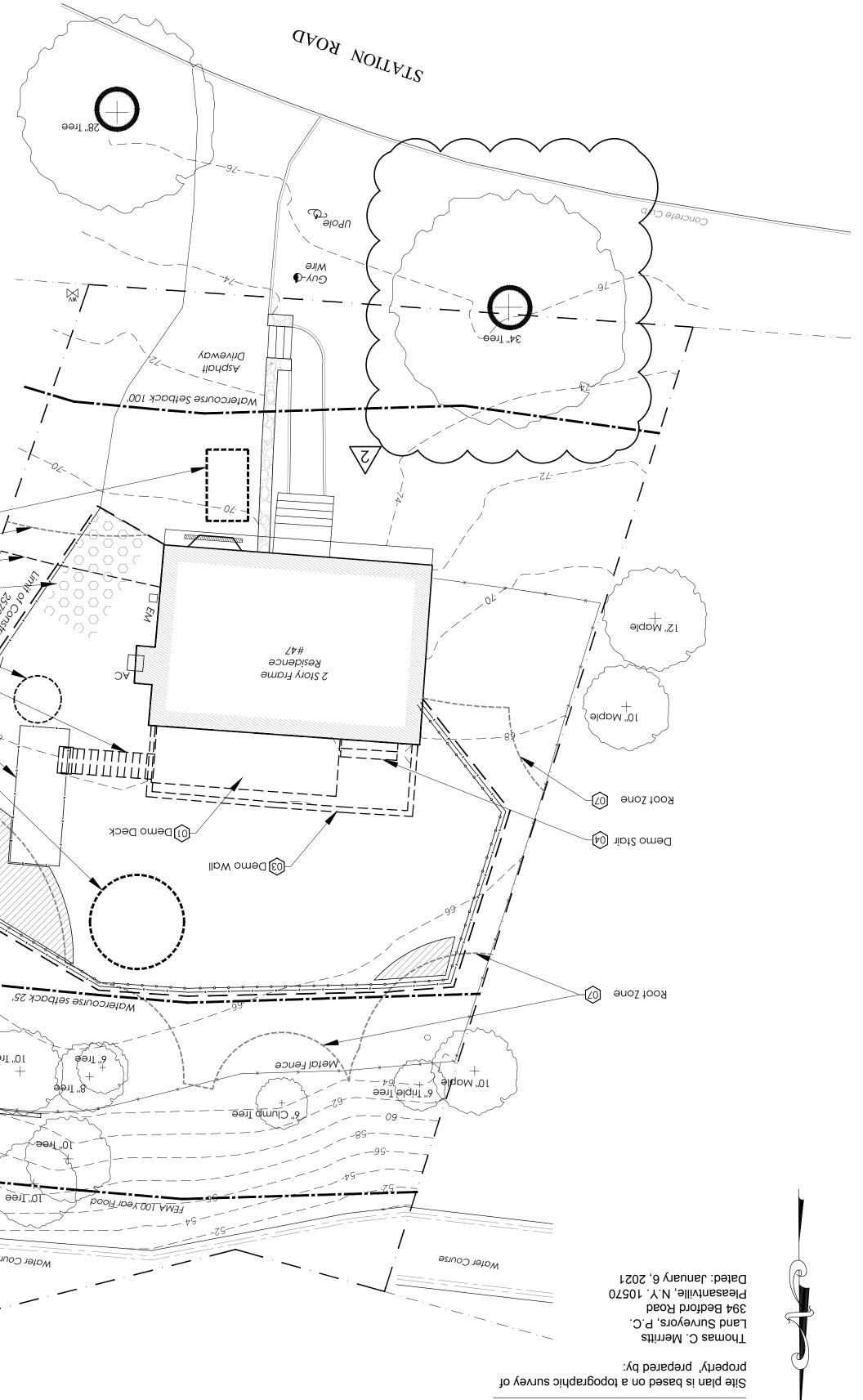
9≜1T "∂_ 10" Tree

General ECM Notes

Page 18

Site Demolition and Tree Protection Plan





General Note



C-1.02

Plan

Site & Planting

Architectural

1914 591 5066 F 914 591 5031

IRVINGTON NY 10533

ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

Construction Code currently in effect.

and the New York State Energy Conservation

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sompliance with the applicable provision of the New

and specifications depicted on these drawings are in

professional judgement of the undersigned, the plans

To the best of my knowledge, believe, and

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47 Station Road

Residence

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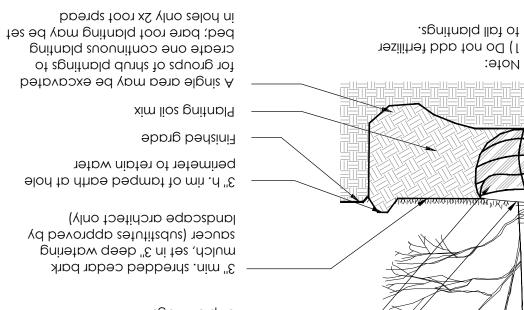
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108: 5034

DATE: 03/03/2021

SCALE: As Noted



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MUICY

Finish grade

from stems

to and after every \mathbb{N} " or greater rainfall event.

site is stabilized with vegetation

12. Construct building additions

8. Rough grade site

around toe of slip

galleries. Ensure grass stand is achieved

11. Excavate and construct foundations for addition

Install tree protection on trees an noted on plans

10. Install all pretreatment devices, catch basins and piping

completion of construction and the site is stabilized

mix), see specs for further

-Planting mix b (perennial

_ 3,, 3µreqqeq ceqar park

sides to promote rooting

landscape plantings. Spread salt hay over seeded areas

2011 erosion and sediment control maintenance mnst occur weekly and brior

16. Remove all temporary soil erosion and sediment control measures atter the

15. Install 4"-6" of topsoil, fine grade, seed in all disturbed areas and install 14. Unplug stormwater sytem. Install and connect all roof drain leaders.

13. Fine grade and seed all disturbed areas. Clean drain lines and exfiltration

and requirements. Storwater units shall be temporarily plugged until the

3. Excavate and install stormwater units per manufacturer's recommendations

removed on the construction documents, and dispose of off site

e. Strip topsoil and stockpile at the locations specified on the plans (up

7. Demolish any existing site features and/or structures noted as being

all blaut tags rootball; loosen all ties, remove To $\frac{1}{5}$ dot mort entities two from top $\frac{1}{5}$ of

apone âlaqe where plant was dug 2et tob ot rootpall at or slightly

tantisə

24" Min. for perennials - 12" Min. for groundcovers

> shall be designed to the minimum level required for health and safety and shall shall utilize light shields as necessary to reduce light trespass and glare. Lighting All lighting shall be dark-sky compliant. All lighting fixtures shall be full cutoff and

 $\sqrt{5}$

All outdoor lighting to be dark-sky compliant and to meet requirements of Section

Establish construction staging area in driveway.

5. Install silt tence down slope of all areas to be disturbed as shown on plans

(hydroseed during May 1st through October 31st planting season or by

portion of the tence may be removed and reinstalled post construction.

covering with a tarpaulin(s) November 1st through April 30th) install silt tence

gradient of erosion control measures). Temporarily stabilize topsoil stockpiles

2. Install construction entrance to the development area The existing gate or a avoid compaction . Place orange construction tencing around areas to be used for infiltration to

Construction Sequencing

on Sheet G-1.10.

building department.

Key Notes

architectural plans for more information

DS Proposed Leader - New leader location

[15] Outlet Protection - provide riprap outlet protection see detail 7 on sheet G-1.10
 Image: Sterior Light - Outdoor wall Sconce Dark Sky compliant - WAC WS-W15708-BZ
 $\left(j \right)$ Area Drain - NDS 12x12 catch basin with metal grate - 6" pipe diameter

stormwater units. existing outlets as indicated. Modify as necessary to avoid proposed Existing SW Piping - Existing piping connected to existing leaders terminated at

(1) Stormwater Piping - 6" & HDPE N-12 @1% Min.

10 Inspection Port - See detail #6 on this sheet Campbell Frame and Cover No. 2800 o.a.e.; see detail #6 on sheet G-1.10

(0) Sump Box - 12 x12 precast sump box with 24" sump below invert of pipe.

extending to existing outlet.

(0) Existing Leader - Existing leader - Connected to underground piping and

🚺 Wall - Proposed retaining wall - Refer to Detail #3 on Sheet G-1.10.

06 Patio - Proposed bluestone patio - See Detail # 1 on Sheet G-1.10

O3 Deck Stair - Proposed stairs down to grade from root deck - Refer to

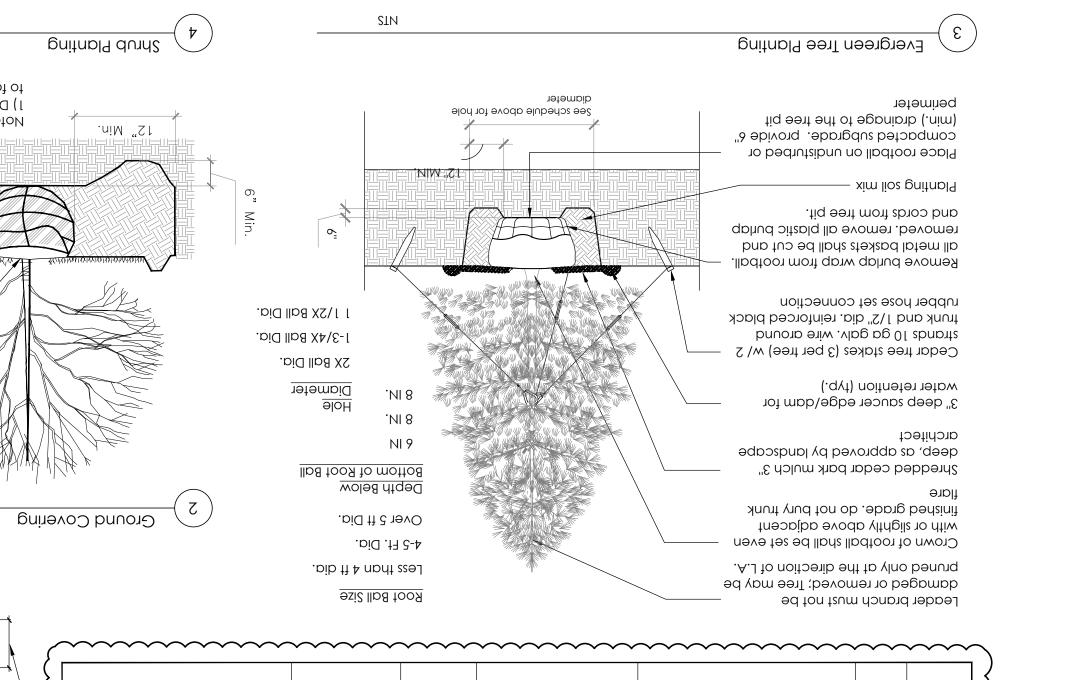
()) Stormwater Chambers - See Detail #5 on sheet G-1.10 for additional

() Malk - Proposed Bluestone walk from basement door to patio - See Detail # 1

be performed prior to construction, results of which are to be provided to the

information and capacity calculations. A deep pit test and infiltration test is to

(3) Stair - Proposed stone steps and landing to patio - Refer to Detail #2 on Sheet



							2
2 plants per SF, Native	''	3.,	Wild Ginger	Asarum canadense L.	AC	18 SF	2
Native	54"	15.	Cinnamon Laurel	Osmundastrum cinnamomeum	OC	9	\7/{
Native	<i>9</i> E	8L	Ostrich Fern	Matteuccia struthiopteris	SW	3	$\langle \vee$
				roundcover		Perennia	}
Autive	,71	3,	.eat Laurel	Rhododendron Maximum	EW	<u> </u>	
Native	12,	3,	onutain Laurel	Kalmia latifolia Ma	KL	9	
Shade compatible, Deer resistant	١Ź	4,	:hip Laurel	Linnus Laurocerasus Sc	٦d	8	
Native	3,	Σ,	cberry Holly	llex Calpra In	ଚା	8	
					prubs	Trees & S	
Native, 1 plant/SF	8l	12"	suusylvania Sedge	Carex Pensylvanica Pe	СЬ	01	
		I		1	Cover	Ground (
gemarks	Size (Mature)	(batnalq) əsi	mmon Name	Botanical Name Co	key	Qty.	
						Plant List	

. 9tia

not exceed five footcandles.

224-72.C (4) of the Village Code.

Site Lighting General Notes

cleanly and bridge when possible.

No trees are to be removed or disturbed.

-14 Exterior Light

19(2)

(3)IC

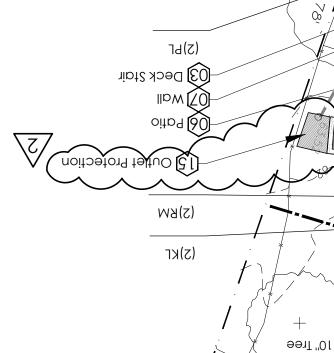
Ø

priqi9 W2 pritsix3 10 Inspection Port

Iuv. (gravel) = 62.0' '0.48 = (tinu) .vnl '0.46 = (ni) .vnl O) 2tormwater Chambers '2.28 = qm∪ĉ

'∂.,2.4.5 = .vnl '0.76 = miЯ xog duns 60

()) Stormwater Piping



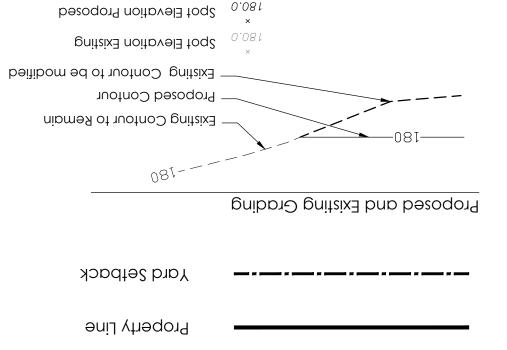
Myeu tree roots are encountered during excavation, they shall Infiltration system access ports shall be shown on the "As-Built". the village engineer for review prior to obtaining certificate of As-built drawings of the site improvements shall be submitted to **General Notes**

Existing utilities will not be disturbed by proposed work.

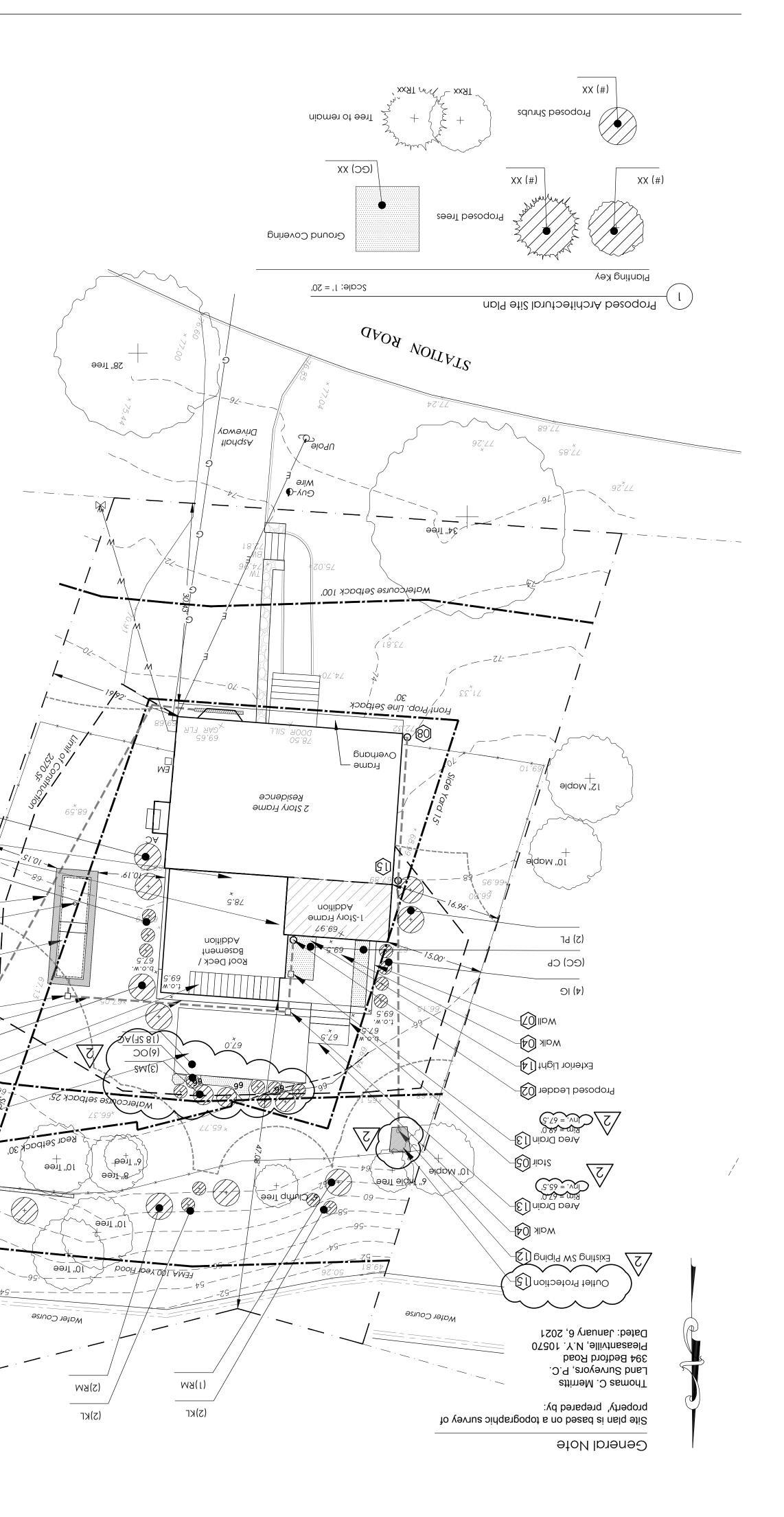
Cut/fill material shall not be imported to or exported from the

Excavation within tree drip lines shall be completed by hand.

never be pulled with machinery. Where necessary cut roots

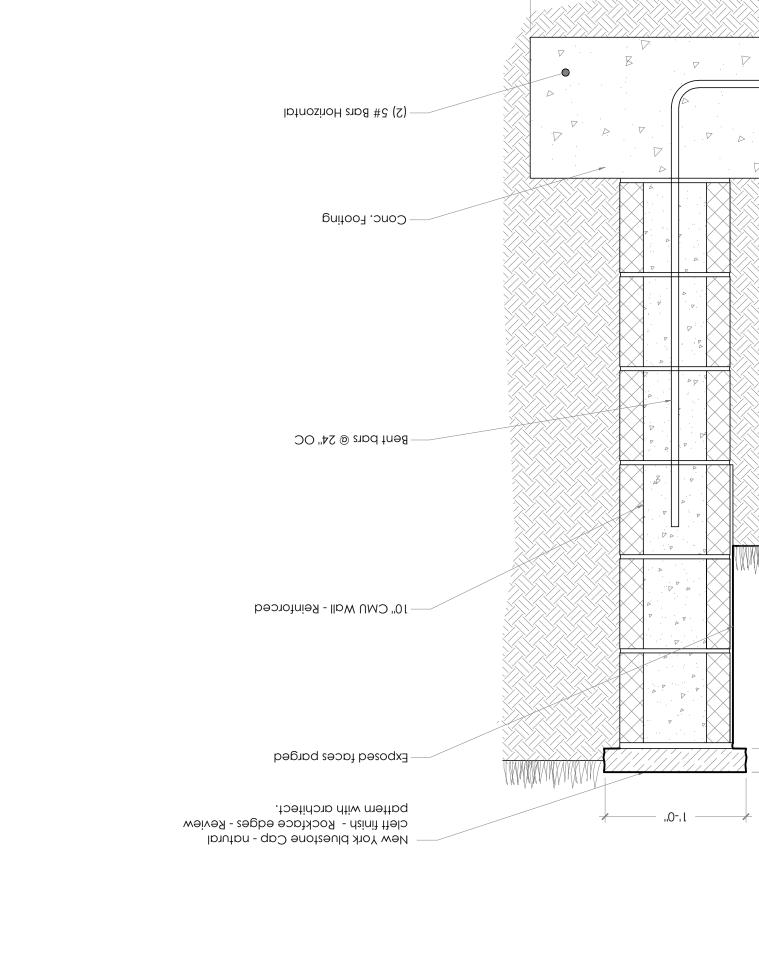


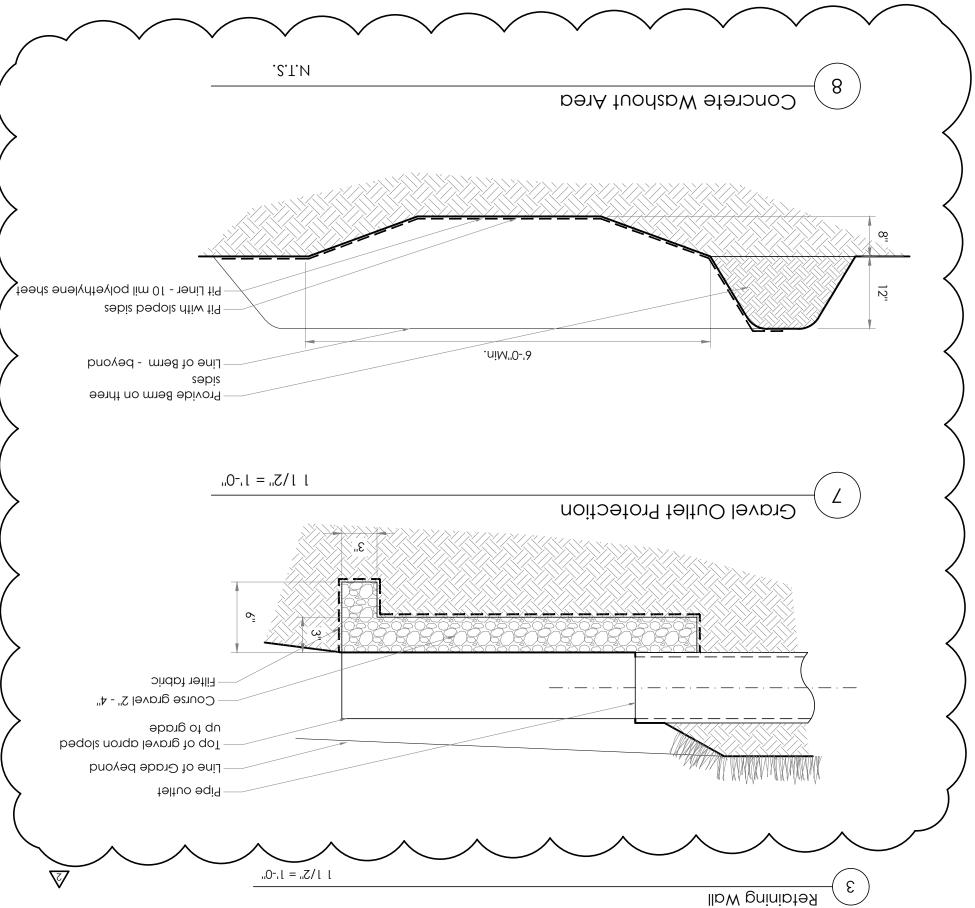
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47 Station Road





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C-1.10

108: 5034

DATE: 03/03/2021

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Site Details

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IBVINGTON NY 10533

ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

Construction Code currently in effect. and the New York State Energy Conservation

York State Unitorm Fire Prevention and Building Code

compliance with the applicable provision of the New

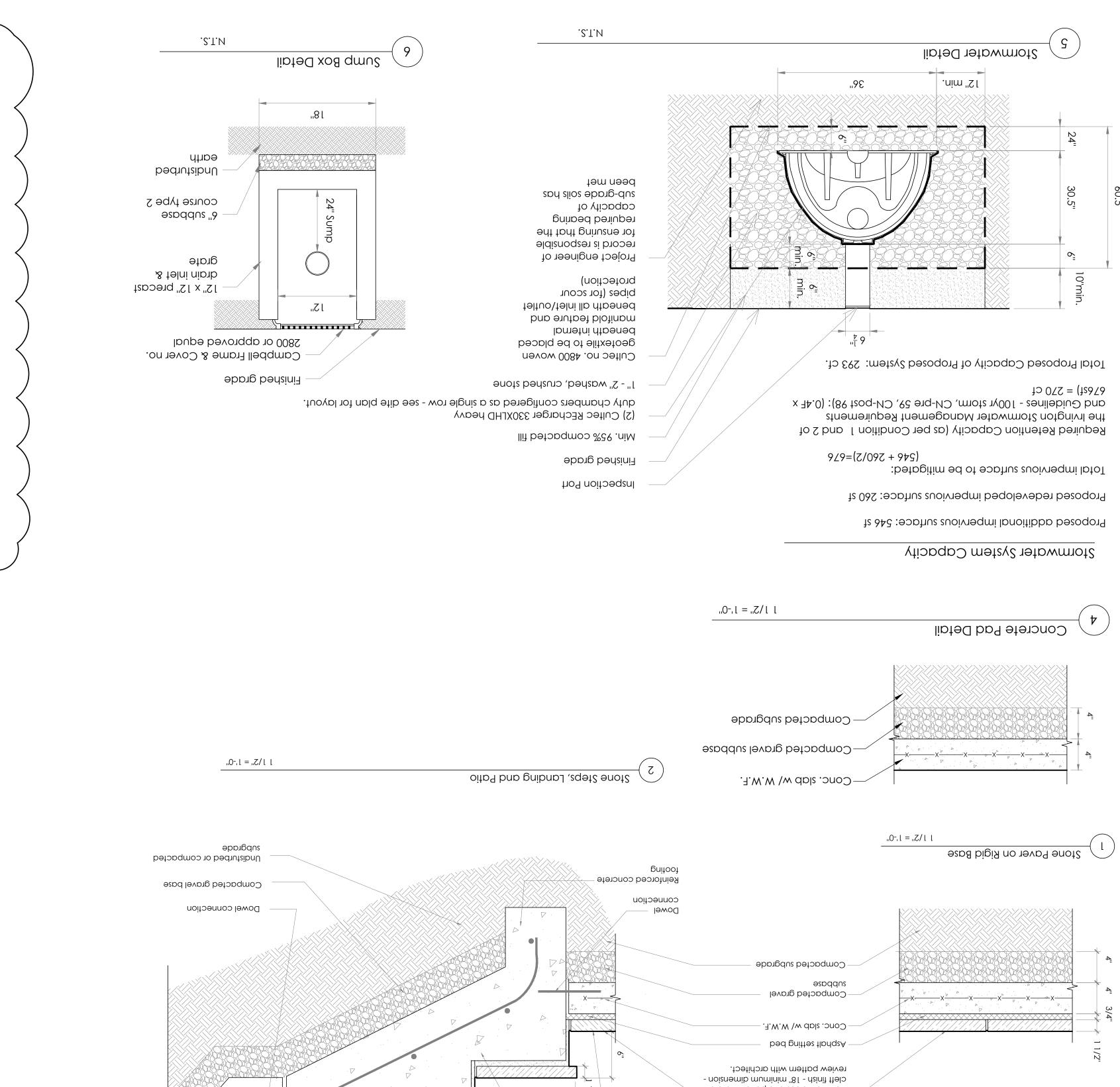
and specifications depicted on these drawings are in protessional judgement of the undersigned, the plans

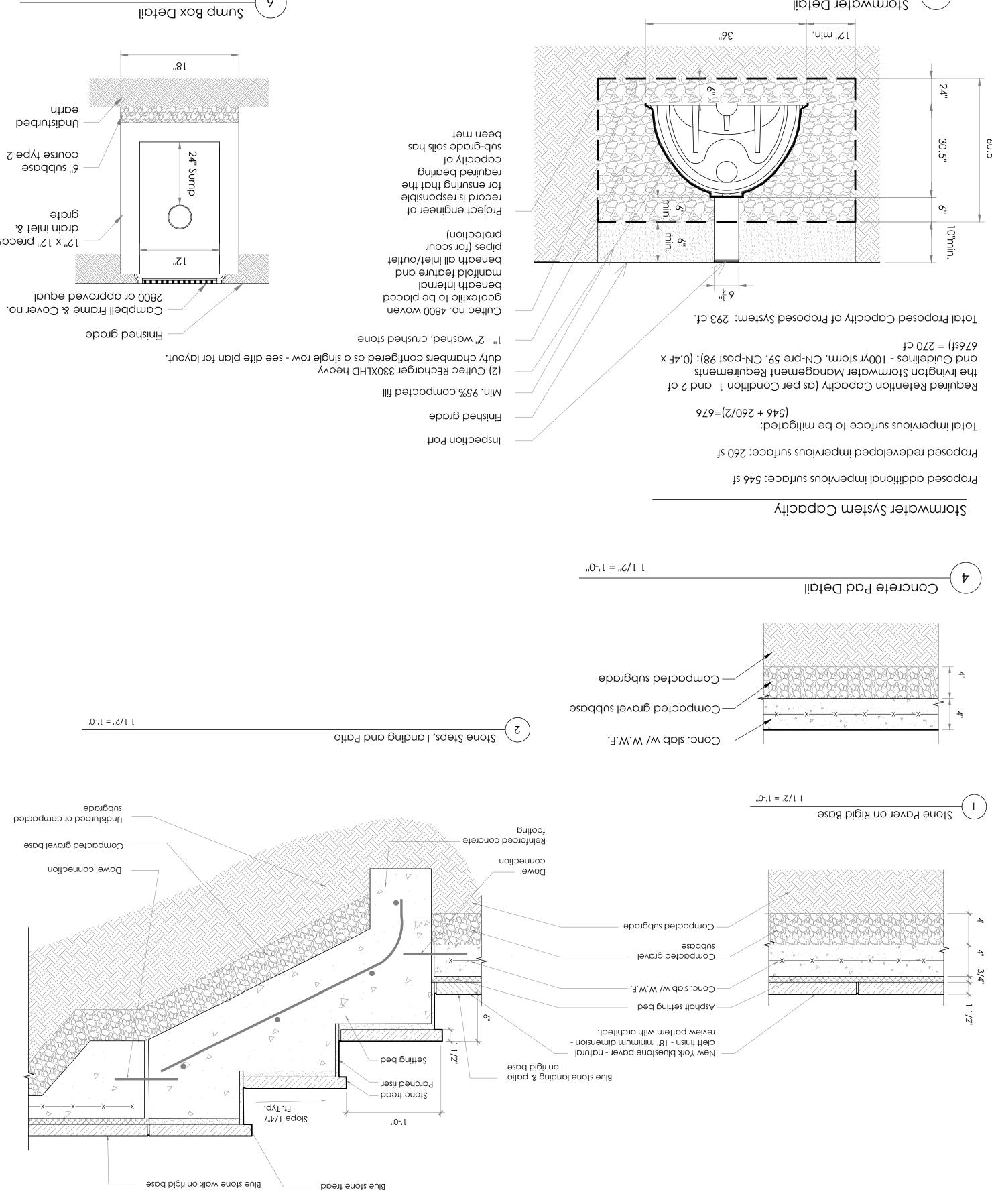
To the best of my knowledge, believe, and

05/19/2021 IPB Submission 06/23/2021 IPB Re-Submission 07/21/2021 IPB Re-Submission

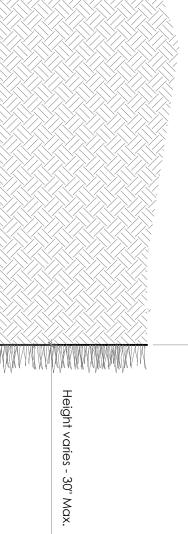
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.2.T.N



(3) Existing North facade

.2.T.N

Existing Exterior Pictures

1914 591 5066 F 914 591 5031 IRVINGTON NY 10533 ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and New York State (IRC 2018/New York State New Arate (IRC 2018/New York State Efficiency.

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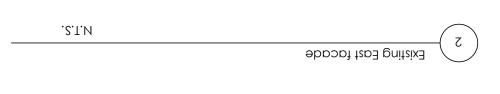
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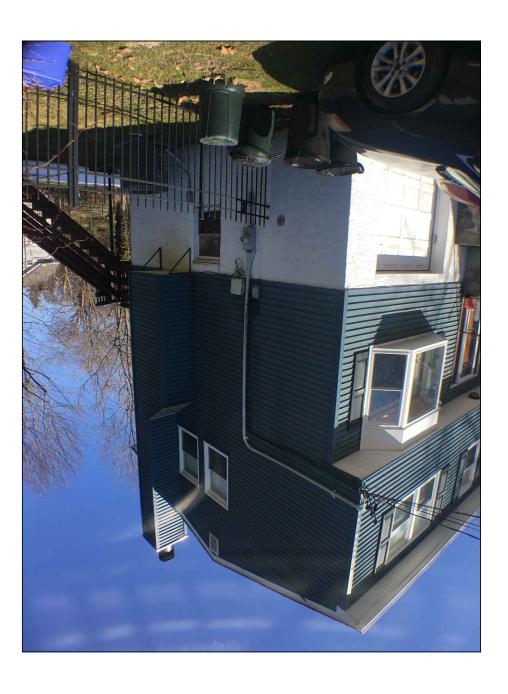
Existing Siding, Window and Trim

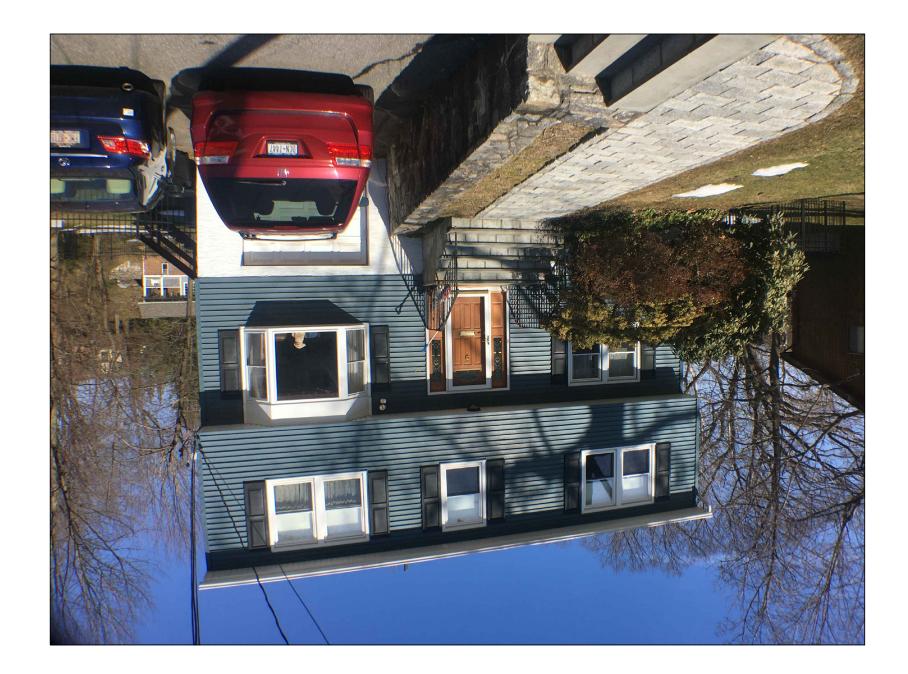
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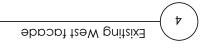
Existing Siding, Sliding Door and Trim



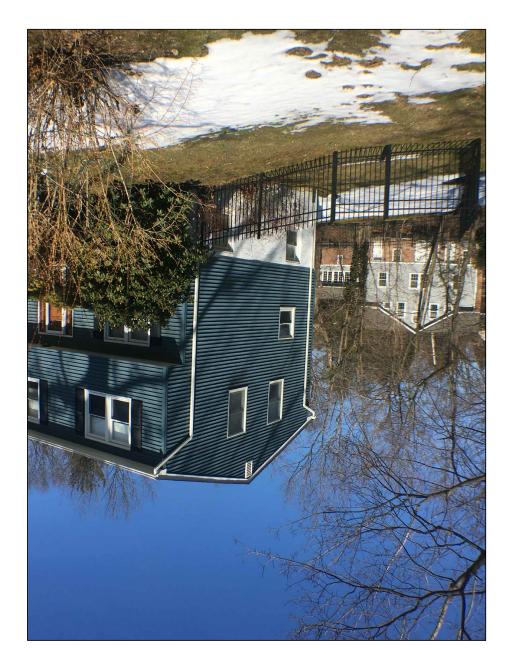








.2.T.N



.S.T.N Existing South Facade

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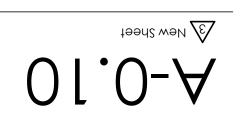
s plans and specifications for the tect has taken into account and municipal building laws and and municipal building laws and and municipal building laws and municipal building sections of a sections and account and and account and and account and and account and and account and and account and and account and account and	ect, the Archi vlicable state vrions, includ v York State (II	proj dpp v9V Vev
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FERCUSON MALONE ARCHITECTURE

19145915066F9145915031 IRVINGTON NY 10533 ONE BRIDGE STREET

Door Schedule

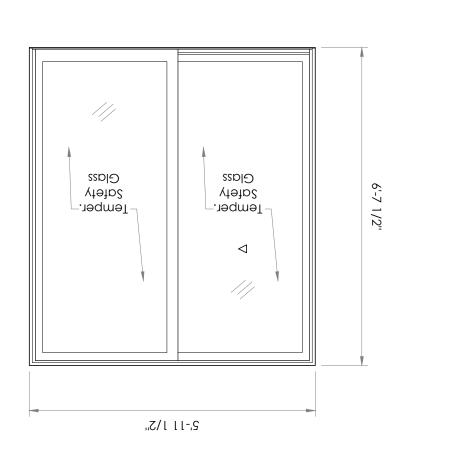
DATE: 03/03/2021 SCALE: As Noted



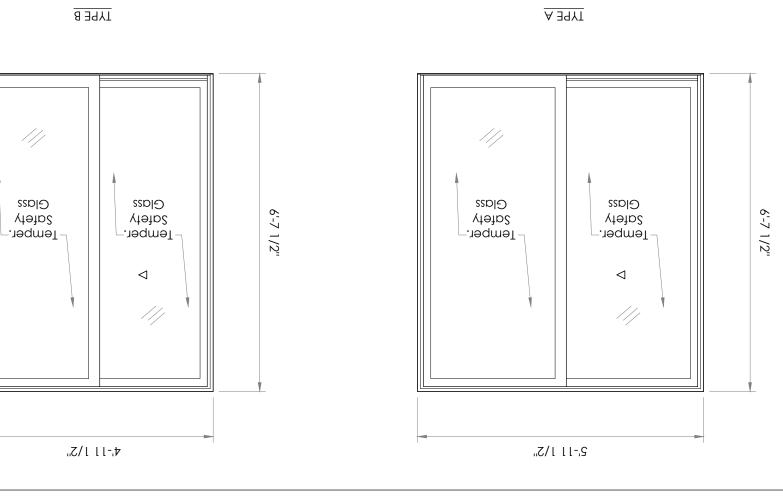
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		1					
With screen.	stinW snot2	Ultrex-Fiber Glass	"4""	E22PD6068 XO	Marvin Essential Sliding Pation Door	Exterior Sliding Door	С
With screen.	stinW snot2	Ultrex-Fiber Glass	1-3\ ⊄ "	E22PD5068 XO	Marvin Essential Sliding Pation Door	Exterior Sliding Door	В
With screen.	ətirlW ənot2	Ultrex-Fiber Glass	''4''	E22PD6068 XO	Marvin Essential Sliding Pation Door	Exterior Sliding Door	¥
Kemark	Asini٦	Material	AtbiW	Product No.	Manufacturer	Description	θdγ
						. Type Schedule	Door







/5 Þ	By Manufacturer	∀/N	Exterior	Slider	See door type elevation	С	201
/5 9	By Manufacturer	A\N	Exterior	Slider	See door type elevation	В	101
/5 9	By Manufacturer	A\N	Exterior	Slider	See door type elevation	\forall	100
biW	Asini٦	Material	Ape	Function	əzi2	aqyT	Number
	Door Frame						
	Exterior Door Schedule						Exterior [

YN ,notgnivn 47 Station Road

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Efficiency. regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy applicable state and municipal building laws and In developing the plans and specifications for the project, the Architect has taken into account



FERGUSON MALONE ARCHITECTURE

19145915066F9145915031 **IBVINGTON NY 10533** ONE BRIDGE STREET

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Operable windows hardware to be selected by homeowner. Nerk and are to have a U-factor of 0.55 or less and SHGC of 0.7 or less. York and are to have a U-factor of 0.55 or less and SHGC of 0.7 or less.

Verify rough opening and wall thickness for window jam dimensions in

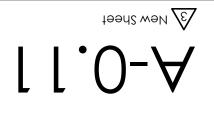
required * Standard size - operator, stationary - tempered recommended or

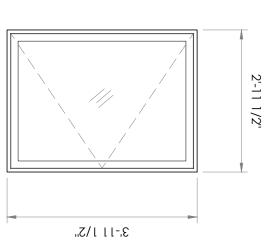
architects approval. Submit window and hardware specifications and shop drawings for

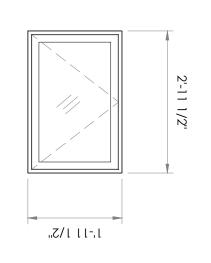
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Ultrex acrylic finish, stone white interior, stone white exterior

Ultrex acrylic finish, stone white interior, stone white exterior

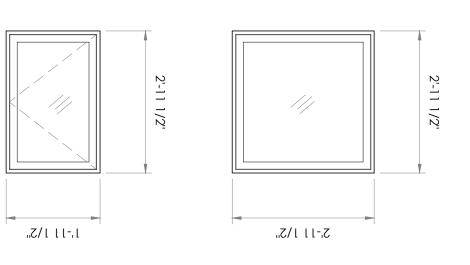
Ultrex acrylic finish, stone white interior, stone white exterior

Ultrex acrylic finish, stone white interior, stone white exterior

Ultrex acrylic finish, stone white interior, stone white exterior

Finish/Color

Ultrex acrylic tinish, stone white interior, stone white exterior - Egress



TYPE D

TYPE E *

TYPE D1

RH operable w/screen.

LH operable w/screen.

Operable w/screen.

RH operable w/screen.

Kewark

LH - RH operable w/screen.

see elevations

see elevations

see elevations

see elevations

see elevations

see elevations

Frame Dimensions

Page 23



Picture

Casement

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Casement

Casement

Tag Description

Window Schedule

TYPE A

DJ Casement

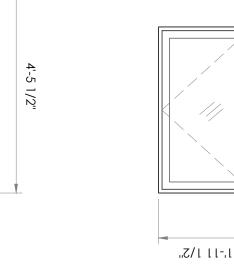
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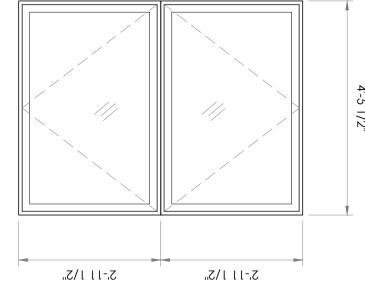
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Marvin Windows - Essential Picture

Marvin Windows - Essential Casement

Marvin Windows - Essential Casement

Marvin Windows - Essential Double Casement

Marvin Windows - Essential Awning

Marvin Windows - Essential Casement

Manufacturer/Style

IAPE C

ESCAP3030

E2CV5030

E2CV5030

ESAWN4030

(S) E2CY3049

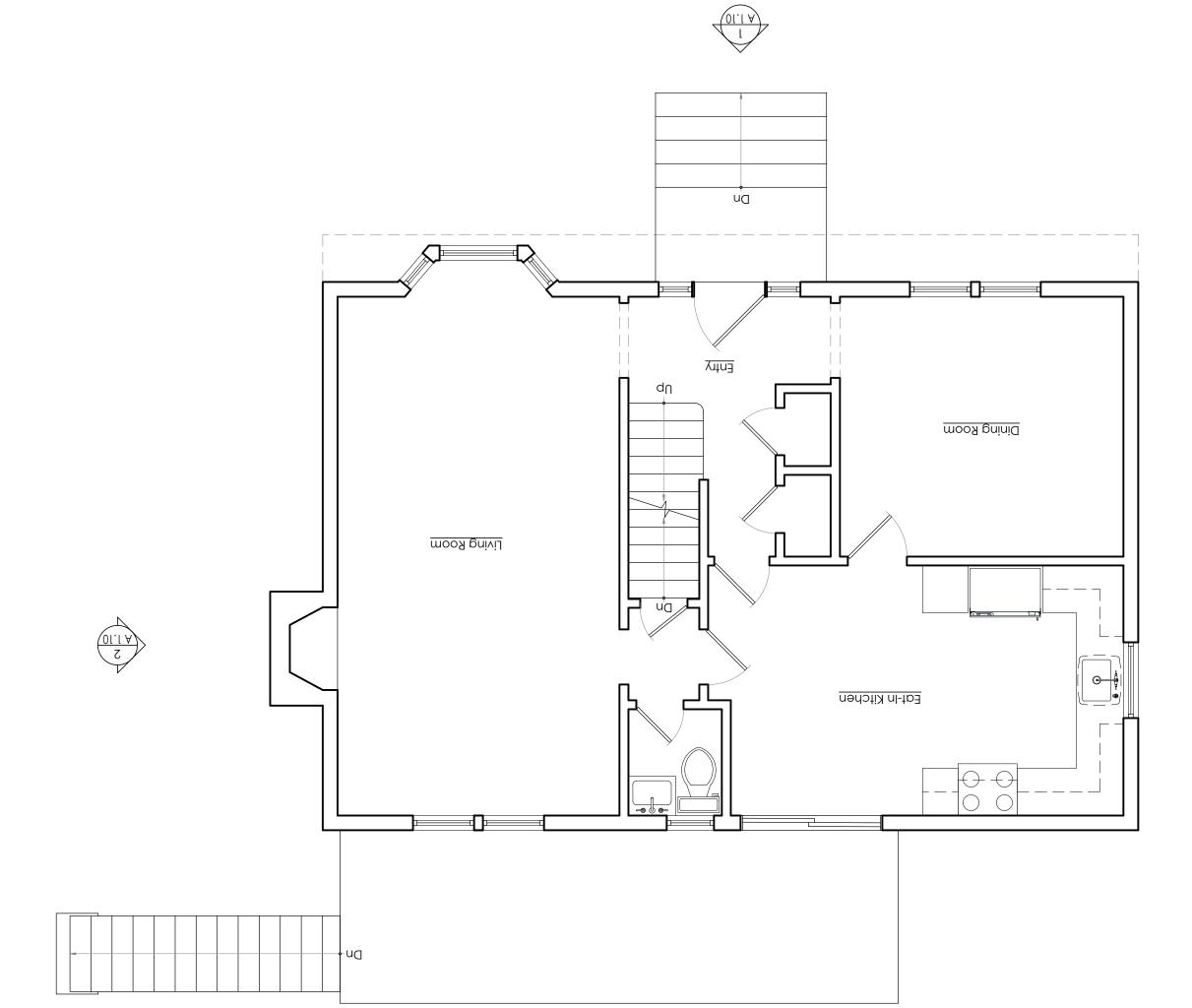
Product Name / Number

ESCA2036



Maillet Residence

47 Station Road Irvington, NY



Existing Floor Plans

1 814 281 2099 E 814 281 2031 IBAINGLON NJ 10233 ONE BBIDGE 216EEL

FERCUSON MALONE ARCHITECTURE

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and New York State (IRC 2018/New York State Nem Andments) which includes Chapter 11 Energy Efficiency.

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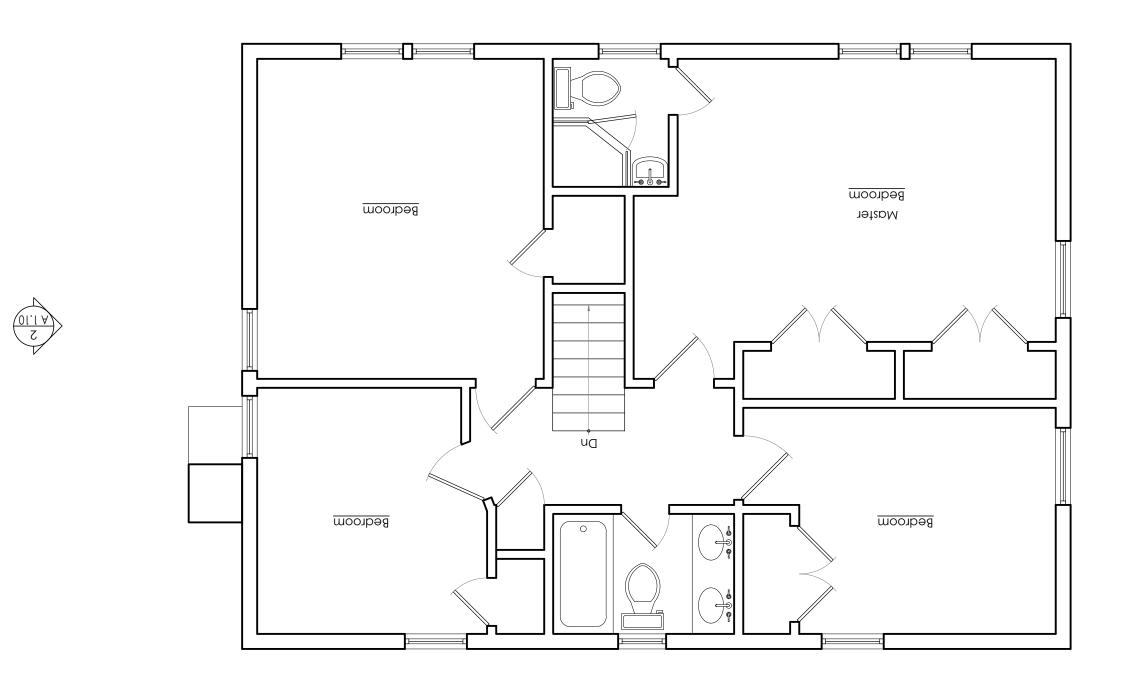
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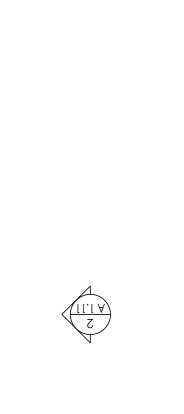
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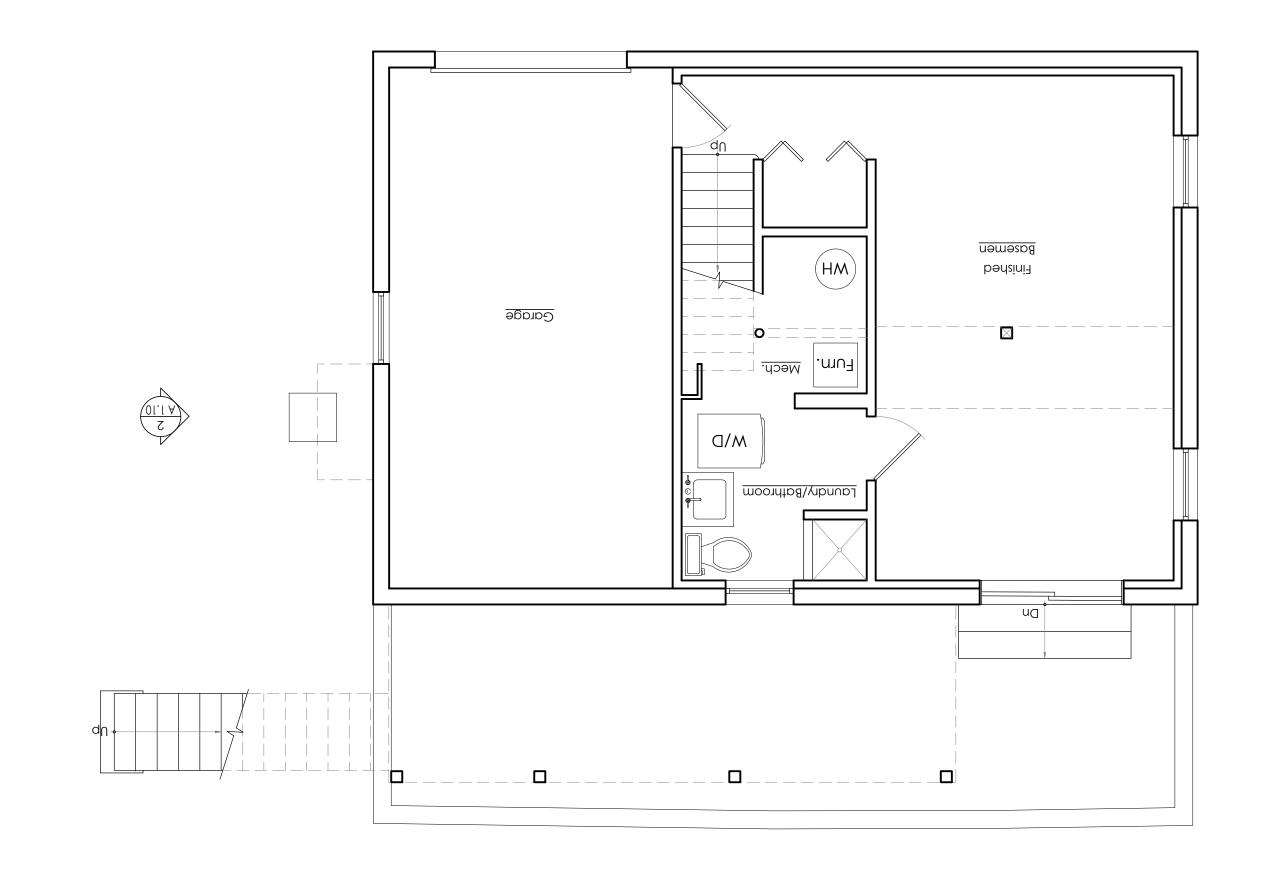
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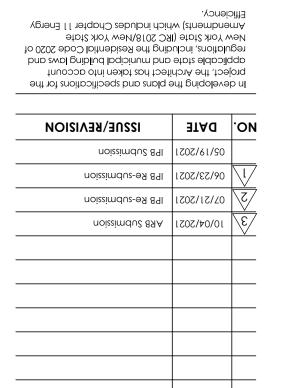








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FERGUSON MALONE ARCHITECTURE

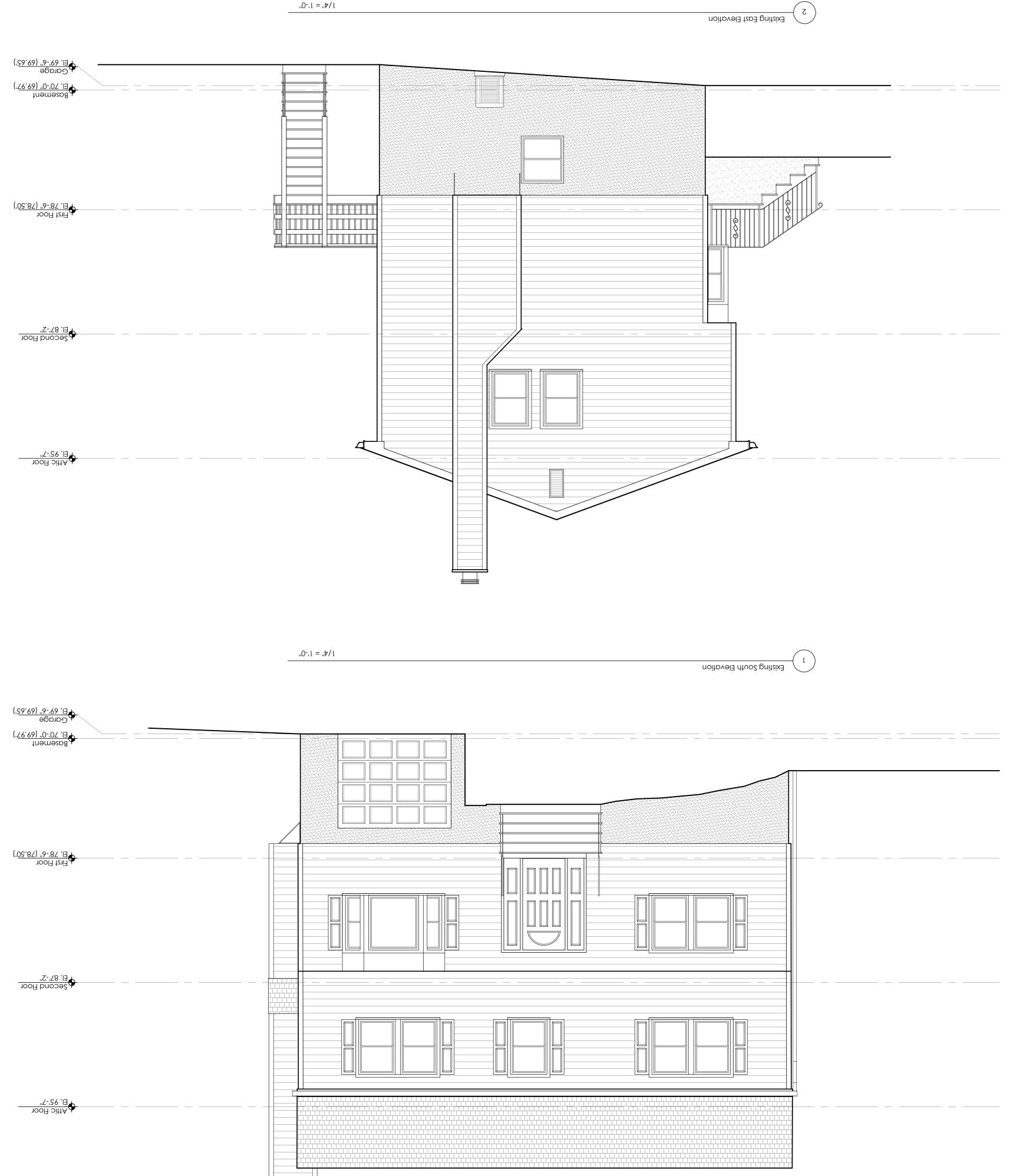
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Existing Exterior Elevations

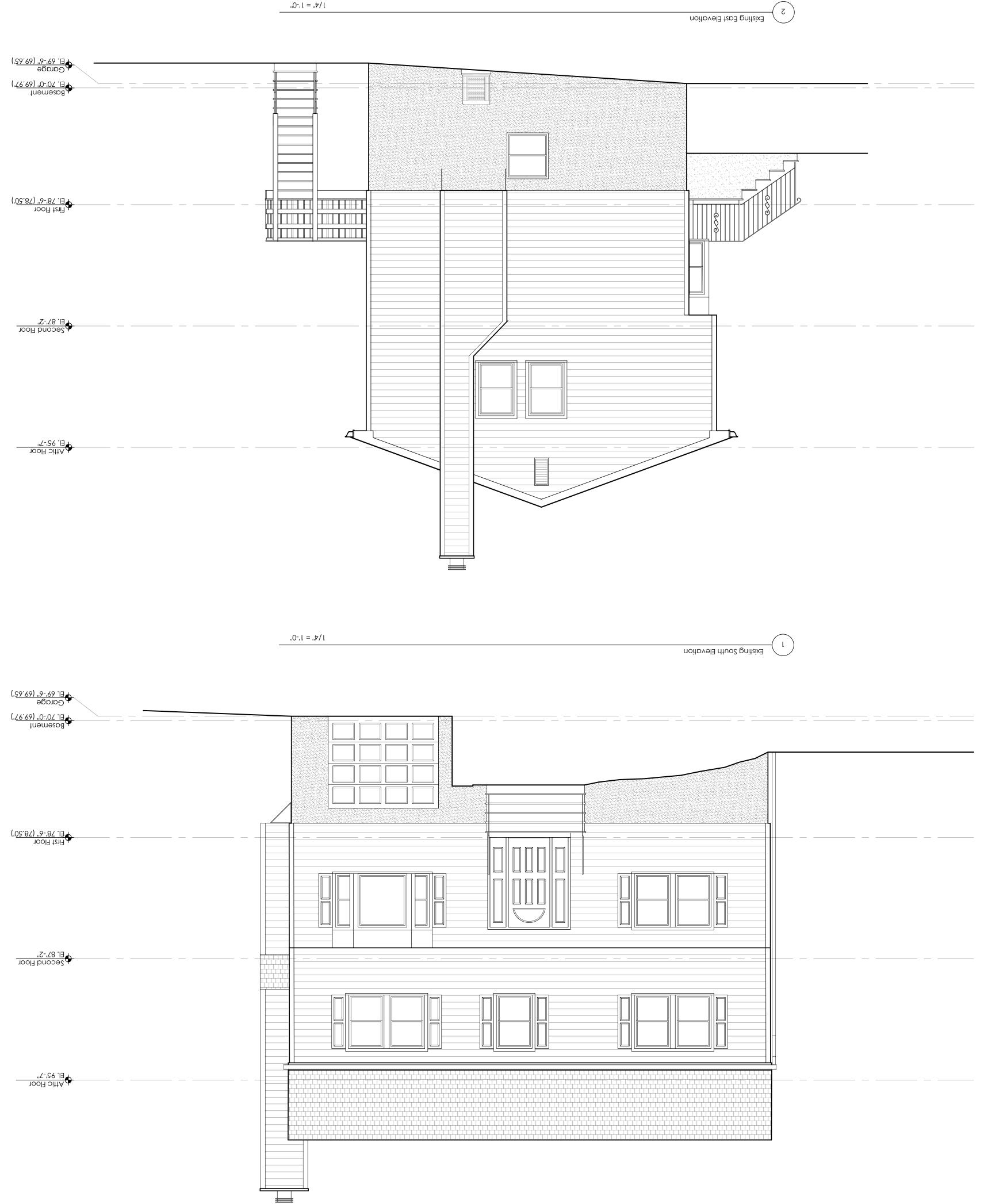
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Maillet Residence

47 Station Road Irvington, NY

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FERGUSON MALONE ARCHITECTURE

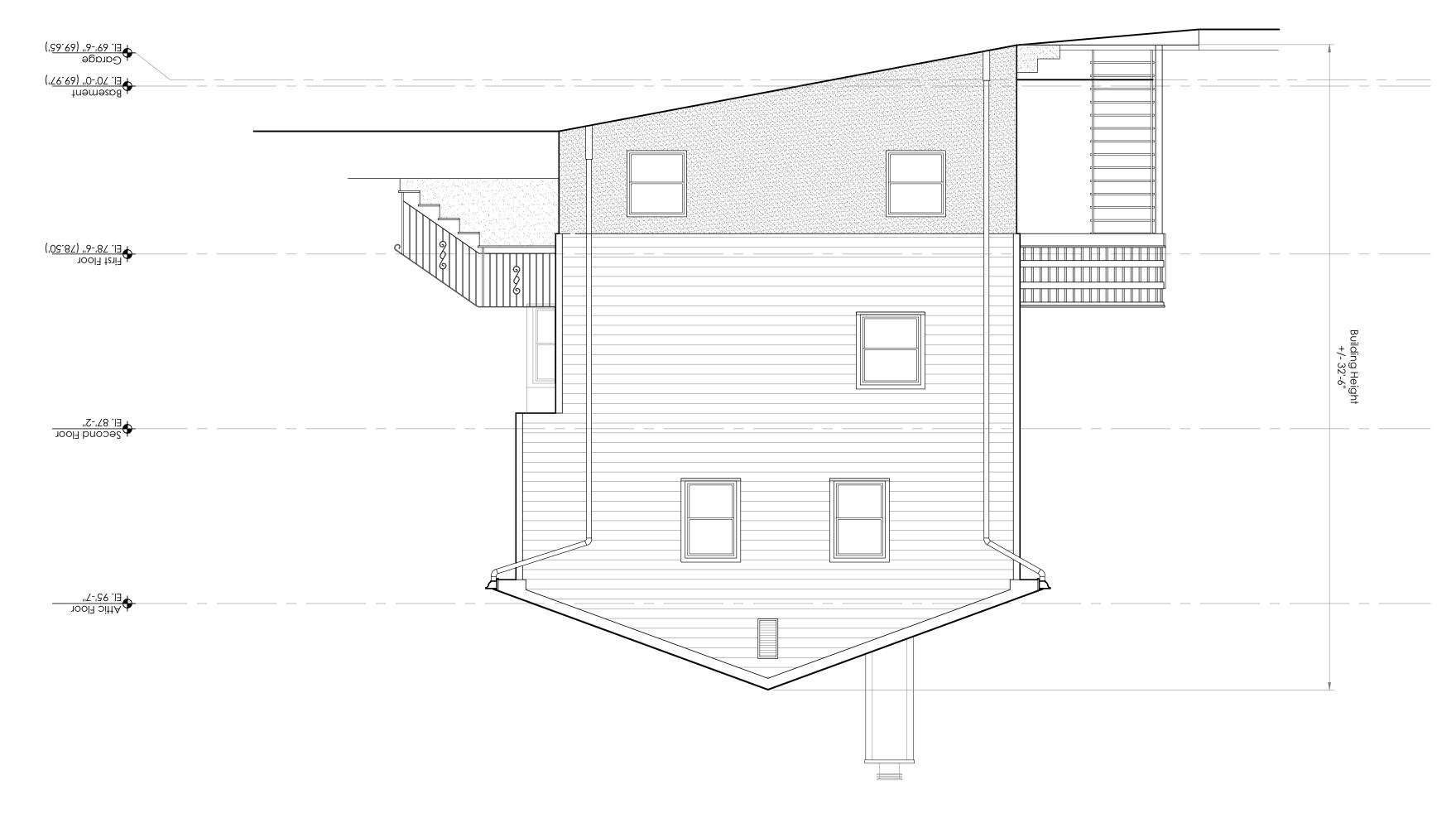
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Existing Exterior Elevations

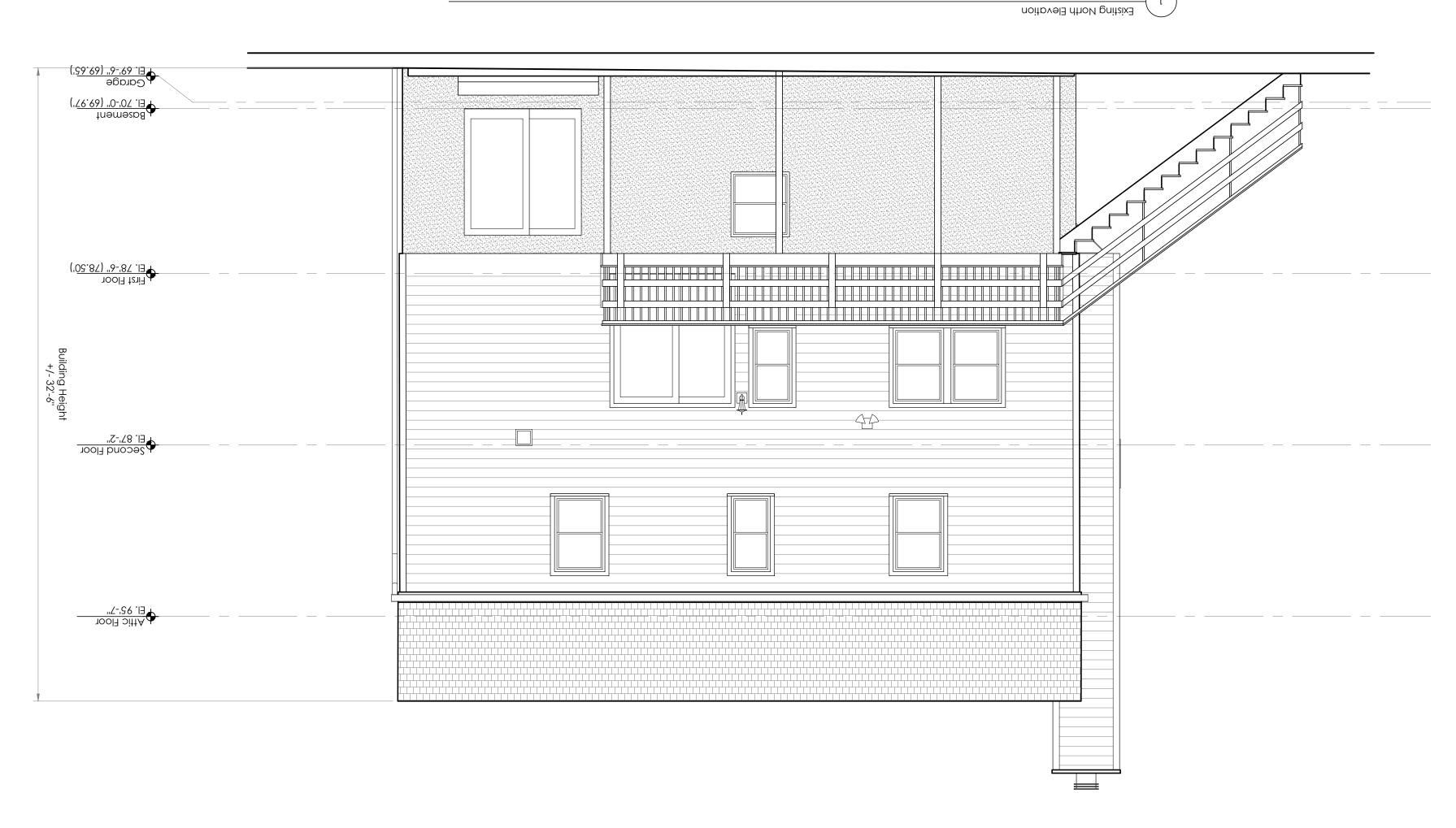
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General Notes

requirements as per the 2020 residential code of New York State. Proposed renovation and addition will comply with the energy efficiency code

insulated as per Section N1109.1.1 Exceptions 2 and 5. Any existing wall, ceiling or floor cavities exposed during construction will be

building thermal envelope. qualified testing agency, at any time after creation of all penetrations of the a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a accordance with RESNET/ICC 380, ASTM E779 of SDYM E1827 and reported at to exceeding three air changes per hour. Testing shall be conducted in The dwelling unit is to be stested and verified as having an air leakage rate not

Partition Notes

New York State. C1396. And shall be installed in accordance w/ The 2010 Residential Code of C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR All gypsum board materials and accessories shall conform to ASTM C36, C79,

Use moisture resistance GWB at all wet areas including bathrooms.

Dimensions are from finish to finish unless otherwise noted. Use cement board as substrate for tile in all showers.

Contractor shall use corner beads at all exposed corners at softits and ends in

specifications and building code requirements. drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum

not be closed-in until the lines have been tested. otherwise specified. Where such are to be sealed, partitions or ceilings shall All mechanical, plumbing and electrical lines are to be concealed unless

Partition Types

	One layer of 5/8" GWB on one side, 2x4 wood studs & 16" o.c., from
10	Full Height Furring Partition
	One layer of 5/8" moisture resistant CWB on side facing wet area and one 5/8" CWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
03	Moisture Resistant Partition
	One layer of 5/8" GWB on one side, 2x wood studs & J6" o.c., from floor to ceiling.
05	Full Height Partition
	One layer of 5/8" GWB on each side, 2x wood studs & 16" o.c., from floor to ceiling.
10	Full Height Partition

floor to ceiling.

Key Notes

- () Wechanical Equipment Existing mechanical equipment and all necessary
- components to remain See mechanical plans for more information.
- information. necessary, according to proposed plans - See plumbing plans for more (2) Mater Heater - Existing water heater to remain. Re-route piping as
- (3) Proposed Wall Fill foundation wall opening with CMU wall construction.
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- (5) Proposed Window See window schedule for more information.
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- be wood, mahogany, painted white to match trim Wood balusters bottom rail, Mahogany - Painted white to match existing trim. Handrail to B Proposed Railing - Wood railing assembly, solid wood posts, top and
- wood handrail, mahogany, stained to match decking. Proposed Stair - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Continuous
- (10) Proposed Shingle Roof Asphalt roof shingles to match existing.
- Libert of the state of the stat
- (13) Broposed Leader Proposed leader to match existing.

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Floor Plans

Proposed

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IBVINGTON NY 10533

ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

Amendments) which includes Chapter 11 Energy New York State (IRC 2018/New York State regulations, including the Residential Code 2020 of

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In developing the plans and specifications for the

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47 Station Road

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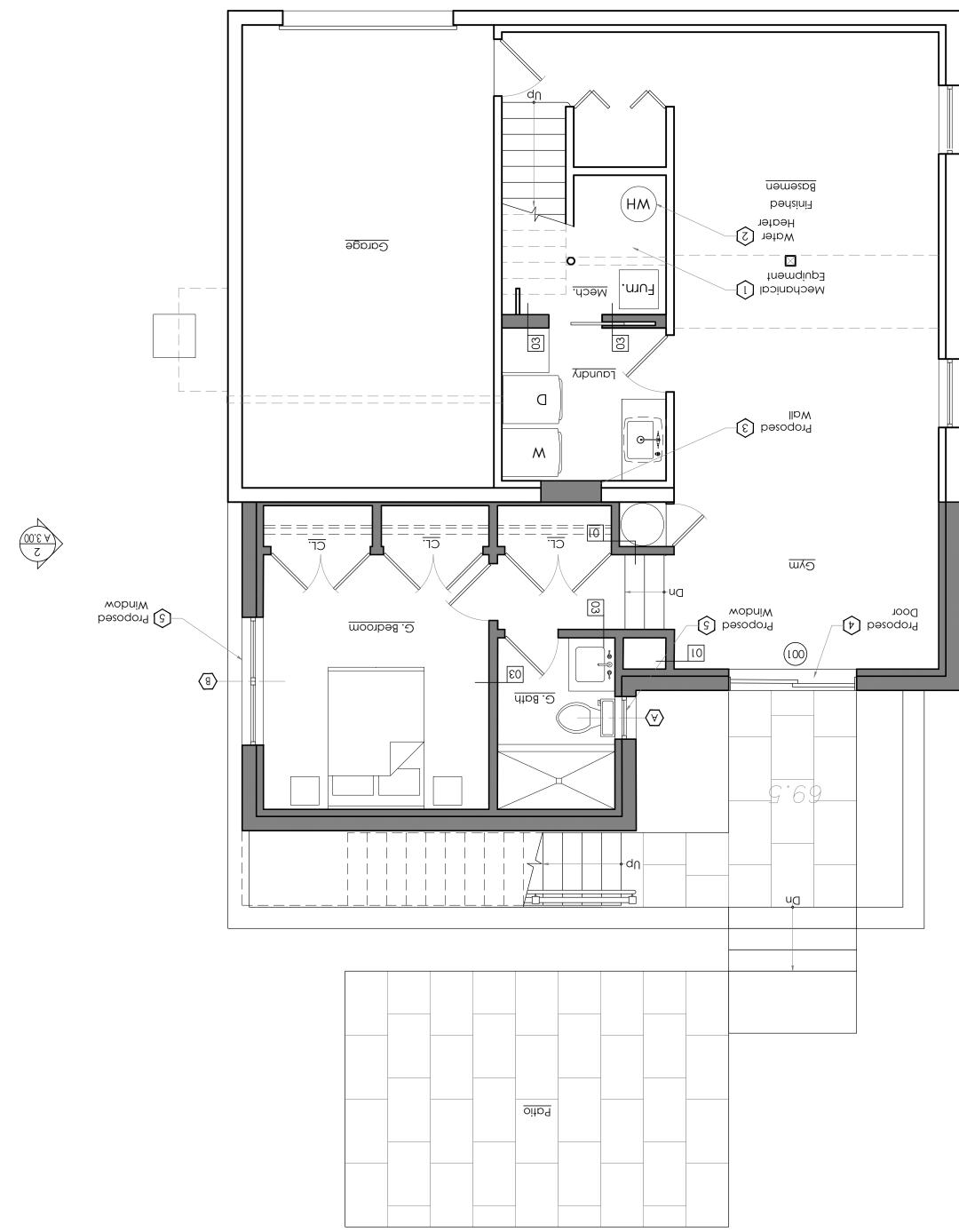
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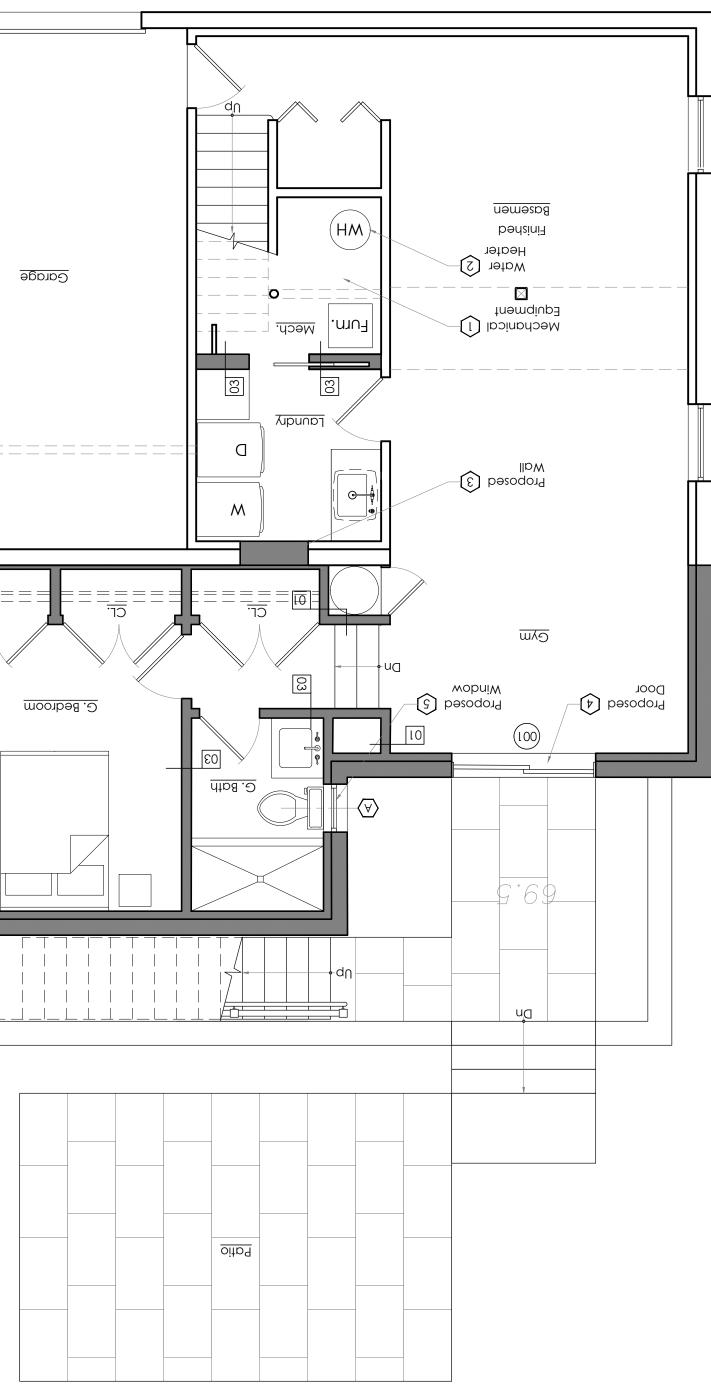
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Page 27

Proposed Basement Plan







General Notes

requirements as per the 2020 residential code of New York State. Proposed renovation and addition will comply with the energy efficiency code

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Full Height Furring Partition	10
One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.	
Moisture Resistant Partition	03
One layer of 5/8" GWB on one side, کx wood studs & ۱۵" o.c., from floor to ceiling.	
Full Height Partition	20
One layer of 5/8" GWB on each side, کx wood studs & کا 6" o.c., from floor to ceiling.	
Full Height Partition	lO

Key Notes

floor to ceiling.

- () Mechanical Equipment Existing mechanical equipment and all necessary
- components to remain See mechanical plans for more information.
- information. necessary, according to proposed plans - See plumbing plans for more $\overline{(5)}$ Mater Heater - Existing water heater to remain. Re-ronte piping as
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- B Proposed Railing Wood railing assembly, solid wood posts, top and qecking above
- painted white to match trim. be wood, mahogany, painted white to match trim - Wood balusters bottom rail, Mahogany - Painted white to match existing trim. Handrail to
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- Proposed Shingle Roof Asphalt roof shingles to match existing.
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- Lobosed Leader Proposed leader to match existing.
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Floor Plans

Proposed

1914 591 5066 F 914 591 5031

IRVINGTON NY 10533

ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

Amendments) which includes Chapter 11 Energy New York State (IRC 2018/New York State regulations, including the Residential Code 2020 of applicable state and municipal building laws and project, the Architect has taken into account In developing the plans and specifications for the

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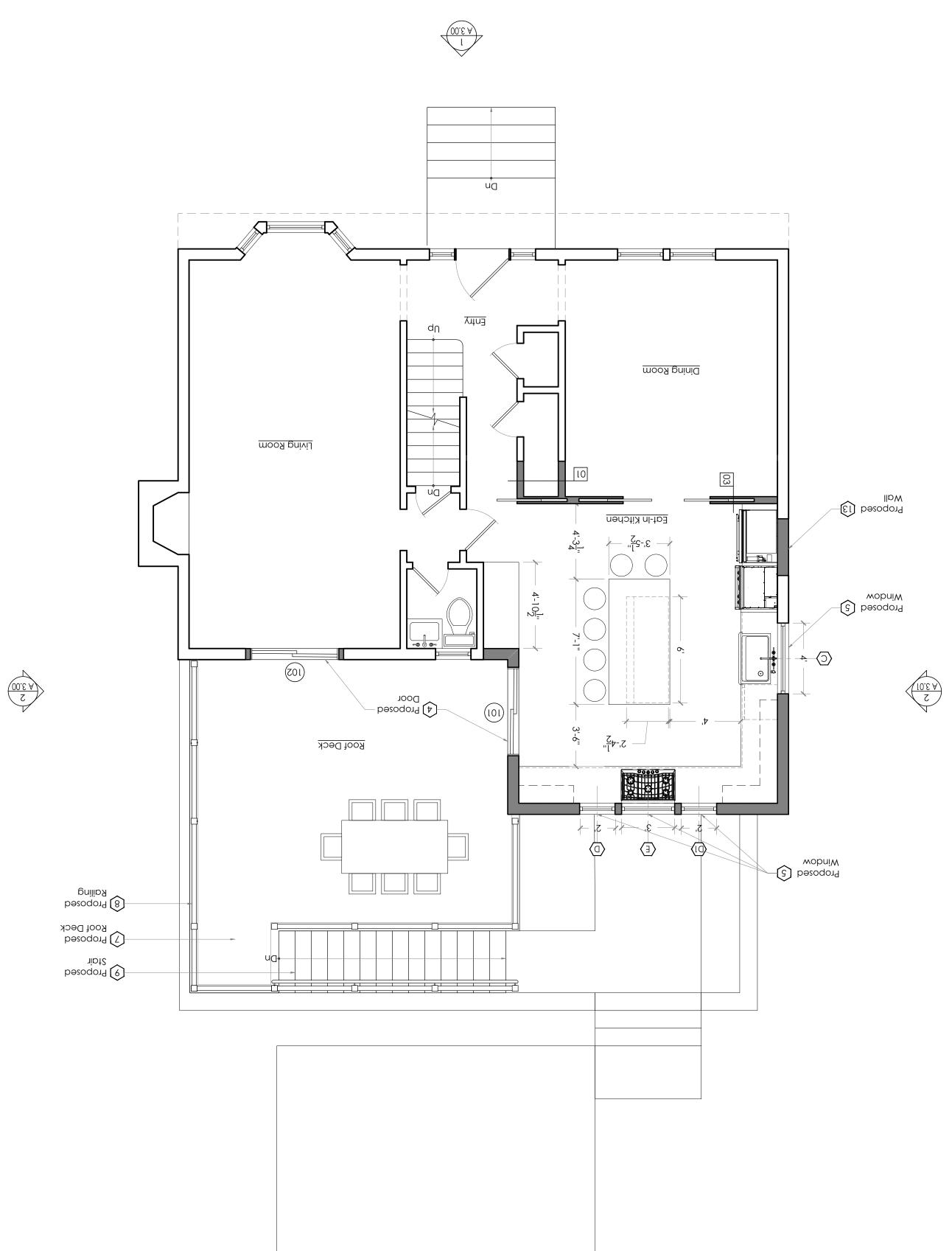
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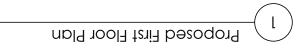
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Partition Types

	from floor to ceiling.
	one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c.,
	One layer of 5/8" moisture resistant GWB on side facing wet area and
03	Moisture Resistant Partition
	floor to ceiling.
	One layer of 5/8" GWB on one side, 2x wood studs & 16" o.c., from
05	Full Height Partition
00	
	floor to ceiling.
	One layer of 5/8" GWB on each side, 2x wood studs & 16" o.c., from
10	Full Height Partition
10	

Key Notes

floor to ceiling.

04 Full Height Furing Partition

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- (0) Proposed Shingle Roof Asphalt roof shingles to match existing.
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ONE BRIDGE STREET

FERGUSON MALONE ARCHITECTURE

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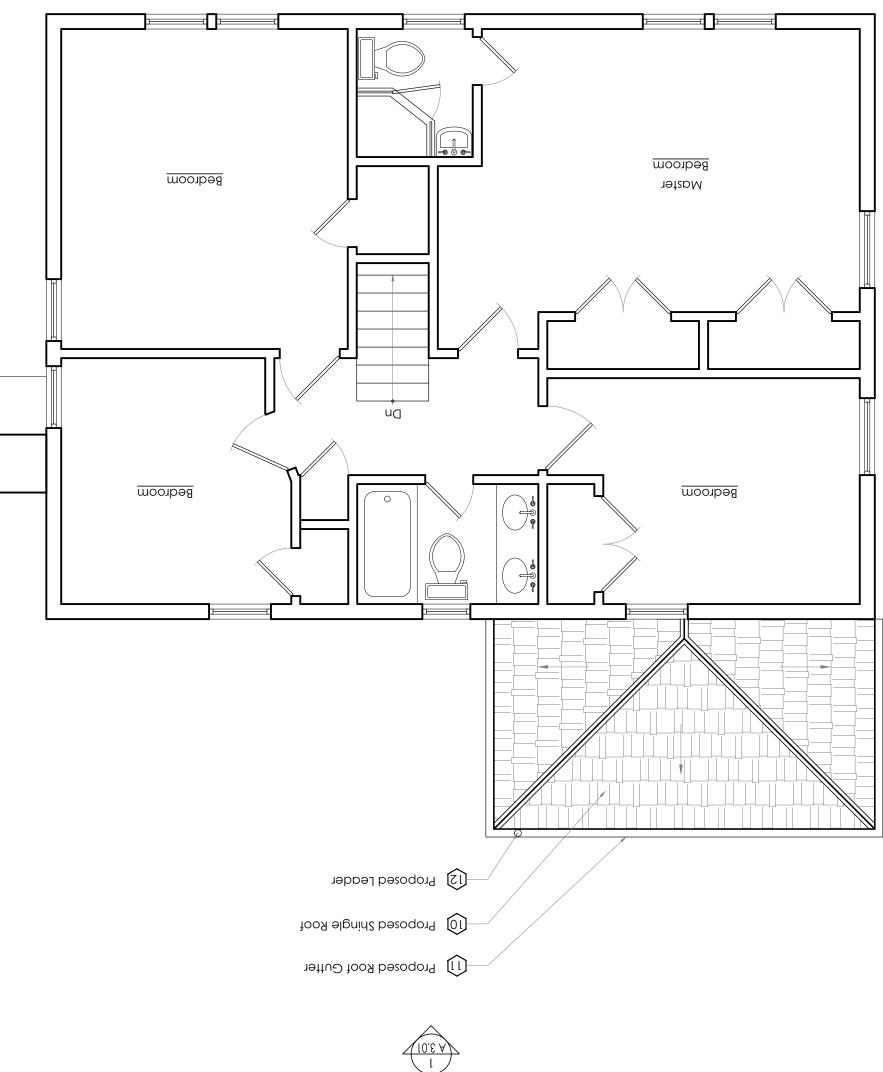
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Floor Plans Proposed

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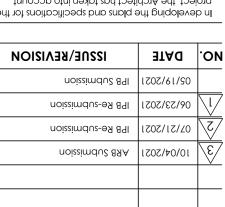
Proposed Roof Plan at Second Floor



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Key Notes

- Proposed Door See door schedule for detailed information.
- Broposed Siding Siding to match existing. Proposed Window - See window schedule for detailed information.
- Proposed Roof Asphalt shingle roof to match existing.
- (\mathfrak{f}) Proposed Trim/Molding 1X Solid wood , mahogany, painted white to match existing trim.
- Proposed Lattice Cedar wood lattice, painted white to match trim.
- match trim. Proposed Deck and Exterior stair - $\frac{5}{4}$ solid wood mahogany decking. Risers and stringers painted white to stain - Stain - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to
- balusters painted white to match trim. white to match existing trim. Handrail to be wood, mahogany, painted white to match trim - Wood B Proposed Railing - Wood railing assembly, solid wood posts, top and bottom rail, Mahogany - Painted
- Broposed Gutter Metal gutter to match existing.
- 10 Proposed Leader Leader to match existing.
- D Proposed Foundation Wall CMU parched foundation wall.
- (13) Proposed light fixture Proposed dark sky complaint exterior fixture.
- Detail 3, Sheet G-1.10 for more information.
- الم) Proposed steps Proposed concrete steps w/bluestone treads & parched risers. See Detail ک، Sheet G-1.10 for more information.



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FERGUSON MALONE ARCHITECTURE

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Elevations Exterior Proposed

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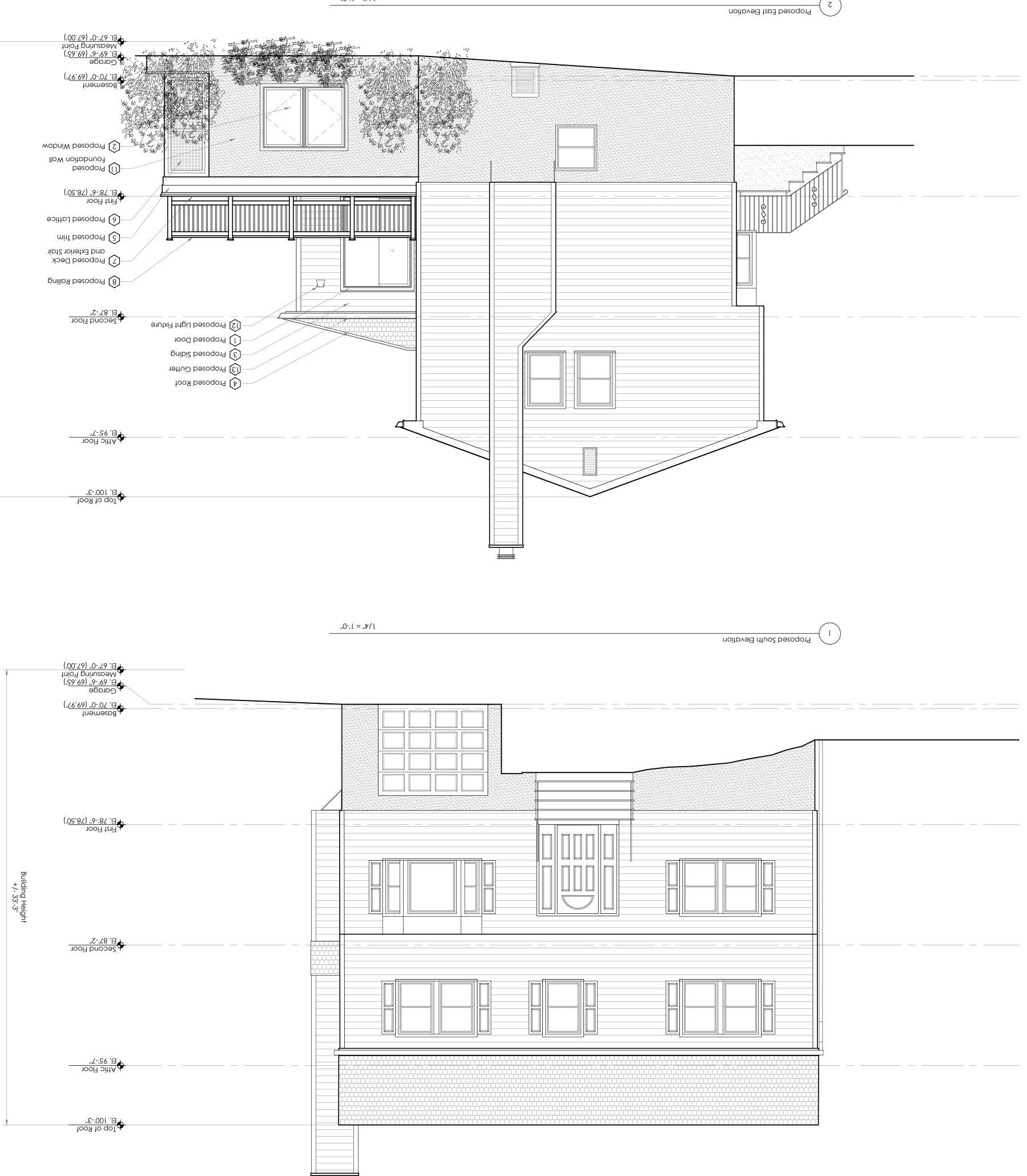
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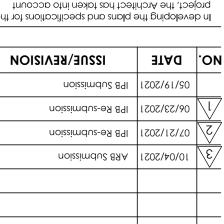




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Key Notes

- \int Proposed Door See door schedule for detailed information.
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47 Station Road

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FERGUSON MALONE ARCHITECTURE

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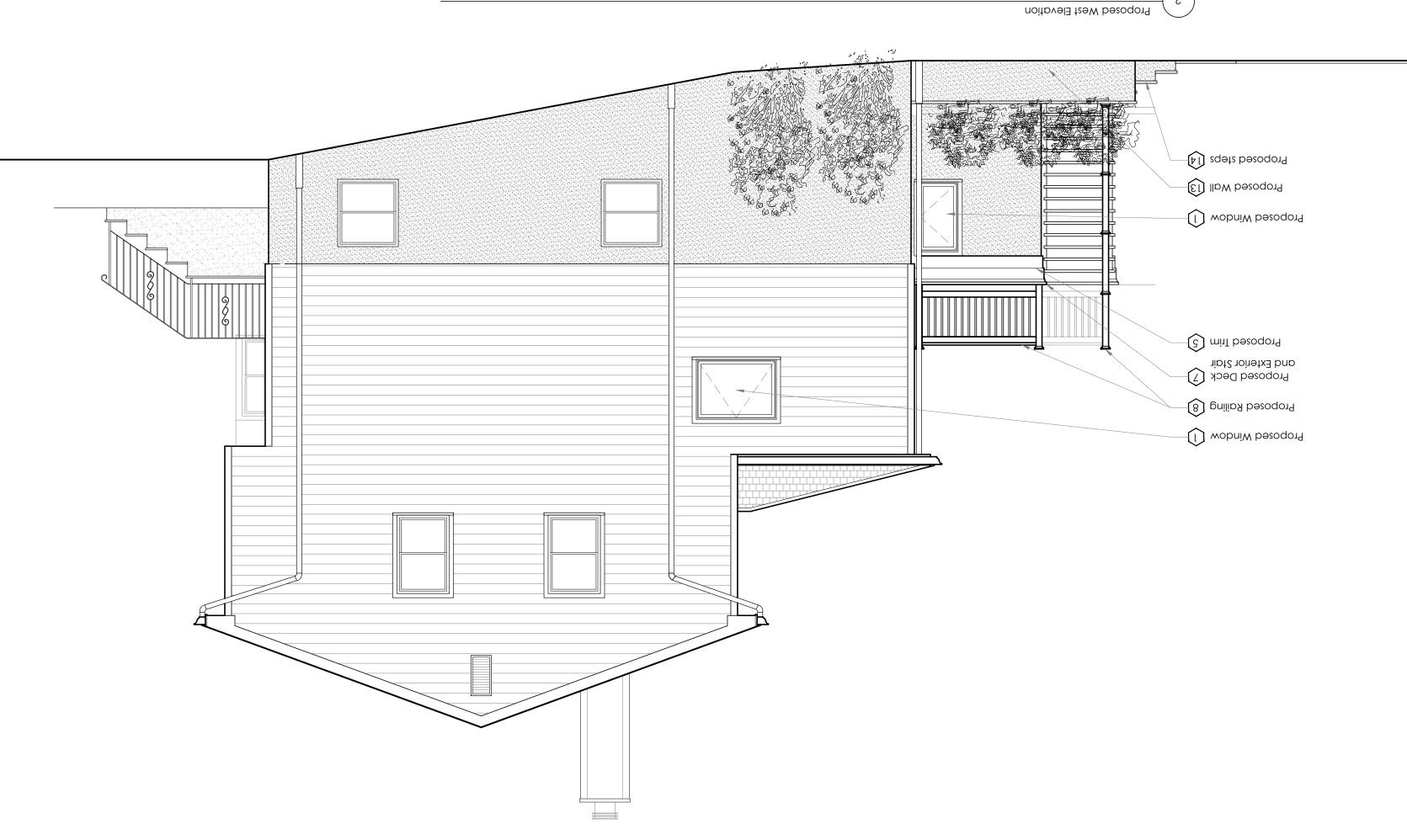
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snoitbval3 Exterior Proposed

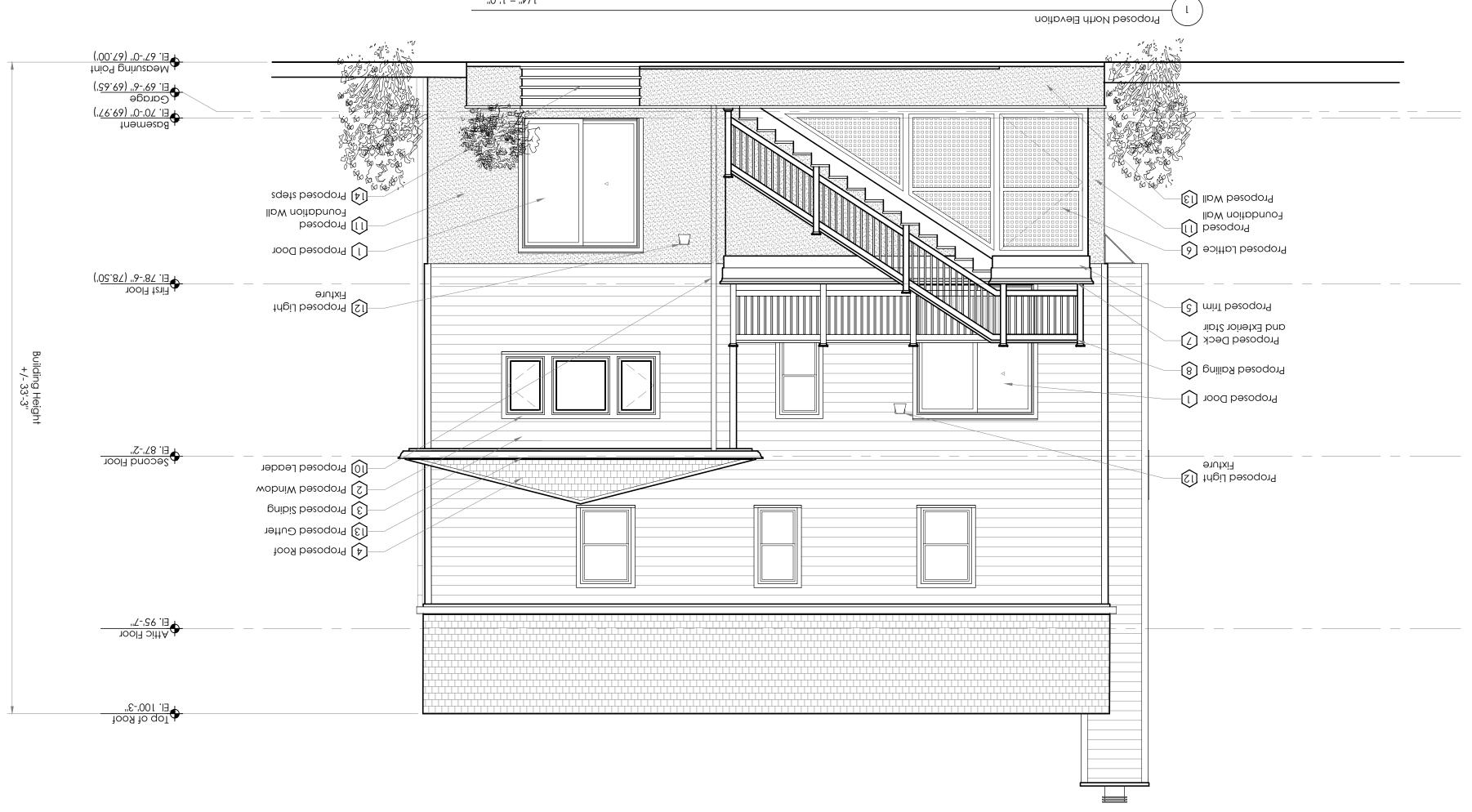
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Efficiency.

FERGUSON MALONE ARCHITECTURE

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Proposed Wall Details

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🔶 See Fndn Plan

#4 Bar Horizontal as indicated #4 Bar Horizontal @24" oC Concrete Footing - See Structural Dwgs.

connect to existing footing drain system footing drain - w/ filter fabric sleeve New Footing Drain - 4" perforated PVC

Gravel

Filter Fabric

#4 Bar Bent 24" OC foundation where visible. paintable, ptd to match existing above ground application, must be pased designed for both below and Foundation Waterproofing - Cement

#4 Bar Vertical 24" OC - Horizontal Reinforcing 24" o.c. see Structural Drawings CMU Foundation - Cells grouted Solid -

€I: 70' - 0'' Basement FF €I. 69' - 10 1/2''

1-Bolt - 7" embedment Termite shield 71 Plate - 2x6 PT Wall Framing - 2x8 @ 16" o.c. typ. .niM - Insulation - Fiberglass insulation - R-21 Exposure 1 plywood, typ. Wall Sheathing - 7/16" APA Rated C class Wrap, OAE Weather Resistive Barrier - Typar House Ptd. to match existing foundation

> Humicane Tie Aêtal Connector - Simpson H2.5A

Stucco - Three Coat stucco on wire lathe,

Rim Joist - See Structural Dwgs.

celled foam insulation, R-21 min. ±4" Rim Insulation - Spray applied closed €I. 78' - 6'' First Floor FF 0.0. Frmg

- Metal Connector - Simpson H2.5A Hurricane Tie

Wall Framing - 2x8 @ 16" o.c. typ. .niM

- Insulation - Fiberglass insulation - R-21

Exbosnie j plywood, typ. Wall Sheathing - 7/16" APA Rated C class

Wrap, OAE Weather Resistive Barrier - Typar House

bnibliud Vinyl Siding - Siding to match existing

Humicane Tie

Actal Connector - Simpson H2.5A trim to match existing painted to match exist. OR fiber cement – Fascia Trim - Solid wood, mahogany

> - Fascia Blocking - 2x match existing.

- profile, material , gauge and color to - Gutter - Match existing aluminum gutters _____

+ Finish Ceiling

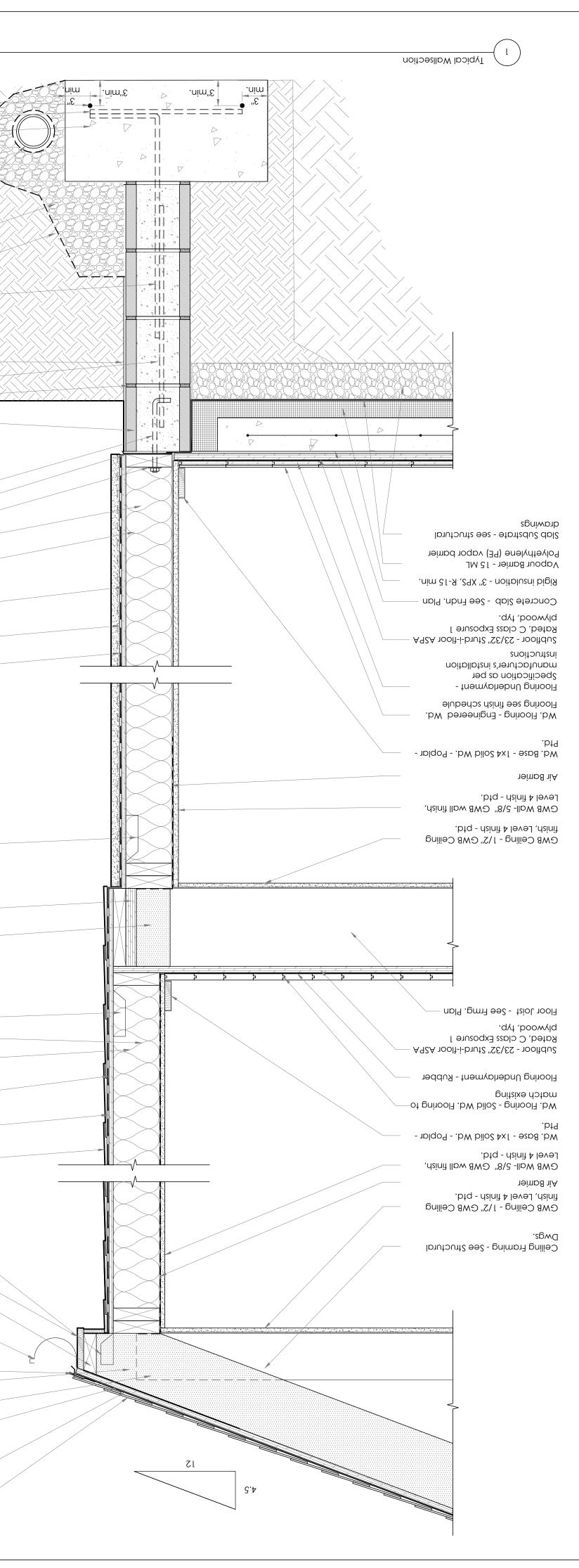
finish to match existing metal roof trim. Drip Edge - Aluminum Drip Edge, Type D, - Roof Ratter - See Structural Drawings.

"∂.\± .nim 84-9 ,noitolusni mbot b9ll90 Roof Insulation - Spray applied closed

class Exposure 1 plywood, typ. - Roof Sheathing - 9/32 " APA Rated C

GAF stormguard, oae. Barrier at roof edges - 2'-0" min. width manutacturer's instructions - Provide Leak GAF Deck Amour, oae - installed as per - Underlayment - Synthetic Underlayment -

> manufacturer's instructions. match existing roof - installed as per Roofing - Asphalt Shingle Roofing to



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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of		
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noissimdus-99 891	06/23/2021	<u>l</u>
noissimdus-99 891	1202/12/20	$\overline{}$
noizzimdu2 89A	10/04/2021	3

Amendments) which includes Chapter 11 Energy

New York State (IRC 2018/New York State

Efficiency.

FERGUSON MALONE ARCHITECTURE

1914 591 5066 F 914 591 5031 **IBVINGTON NY 10533** ONE BRIDGE STREET

Plan Foundation Proposed

SCALE: As Noted

108: 5034 DATE: 03/03/2021

<u>S-7.00</u>

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modification

New concrete slab

- New Concrete Footing

New CMN foundation wall or

enitoo7 pnitsix3 -

foundation wall

Existing Concrete

conform to the provisions for concrete quality contained in chapter 4, ACI 318, 1. Concrete mix designs required are listed below. All concrete mixes shall Concrete Notes

except if high early strength cement is used. be given as below. Compressive strength, F 'C, is measured at 28 days age, except that minimum cement content and maximum water-cement ration shall

the structural drawings. See mechanical and electrical drawings for information

depressions, or recesses in walls and slabs and for the dimensions not shown in

84.0 water-cement ratio 0.48

MIN. cement (LBS/CY) 520

F 'C 3000 PSI coarse aggregate normal weight

2. See architectural drawings for exact detail and location of openings,

submitted through the architect to the structural engineer for review. shown in the structural drawings, either directly or by typical detail, shall be pads, and the like. Proposed openings or recesses in the structure which are not regarding size and location of openings for ducts, pipes, conduits, machine

3. All reinforcing steel shall be deformed bars conforming to ASTM a 615, grade

Welded wire mesh (WWM) shall conform to ASTM a 185.

5. Detailing of reinforcing steel shall conform to "ACI Manual of Standard

Practice for Detailing Reinforced Concrete Structures" (ACI 315).

diameter. permitted by code, shall be as noted below but shall not be less than 1 bar 6. The minimum concrete protection for reinforcement, subject to tolerances

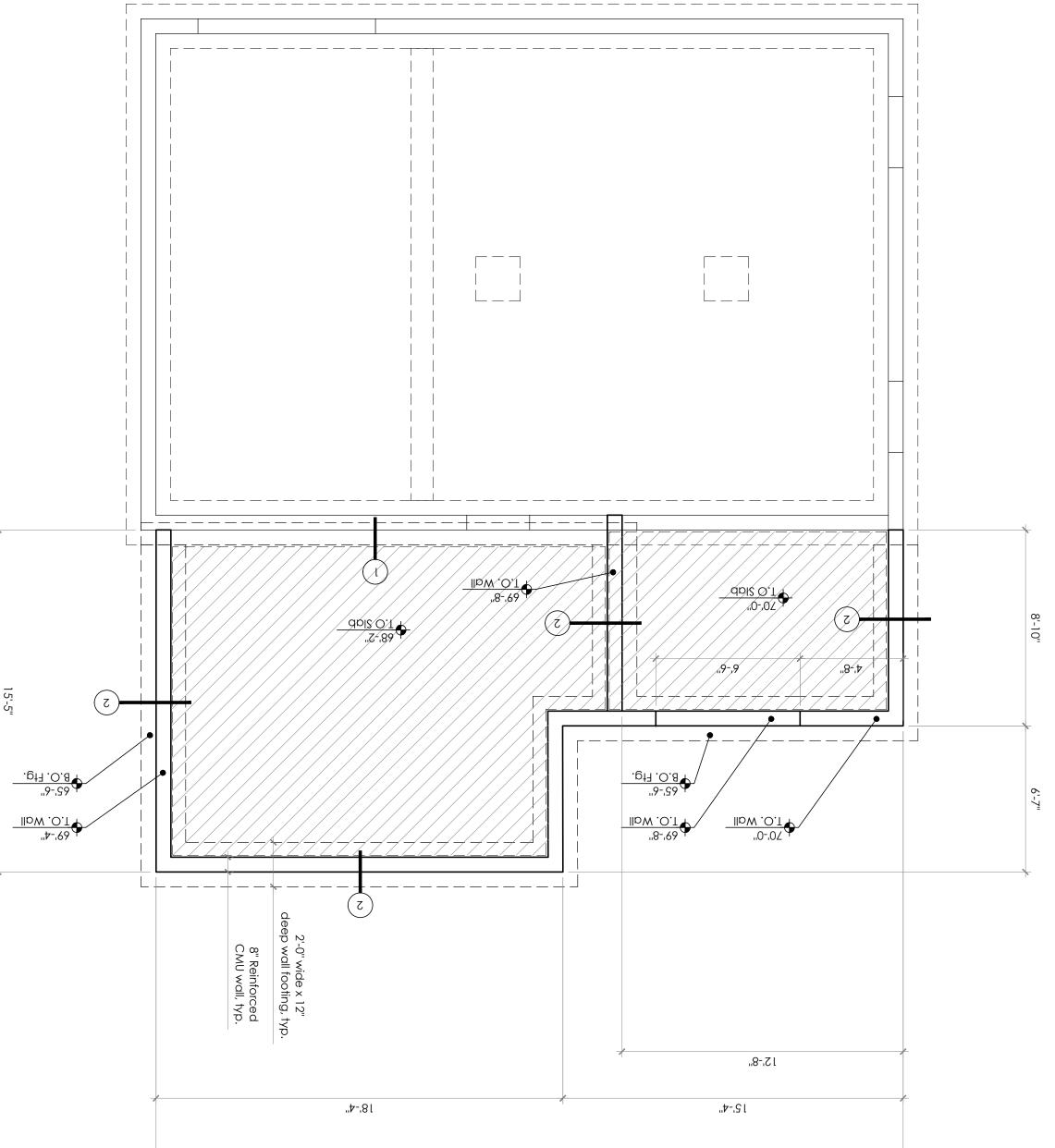
3

Concrete against earth: Minimum Cover (inches):

#]] pat aug smallet #14 auq #18 pars Concrete not exposed to weather: #5 bar, w31 or d31 wire and smaller <u>2</u> [#6 through #18 bars Concrete exposed to earth or weather:

 Splice of WWM, at al spliced edges, shall be such that the overlap measured 3/4

the cross wire plus 2 inches, nor less than 8 inches. between outermost cross wires of each fabric sheet is not less than the spacing of

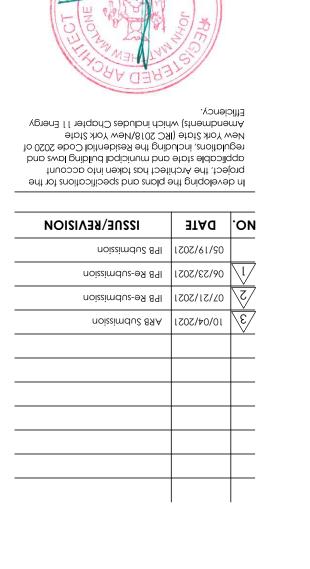


33'-8''

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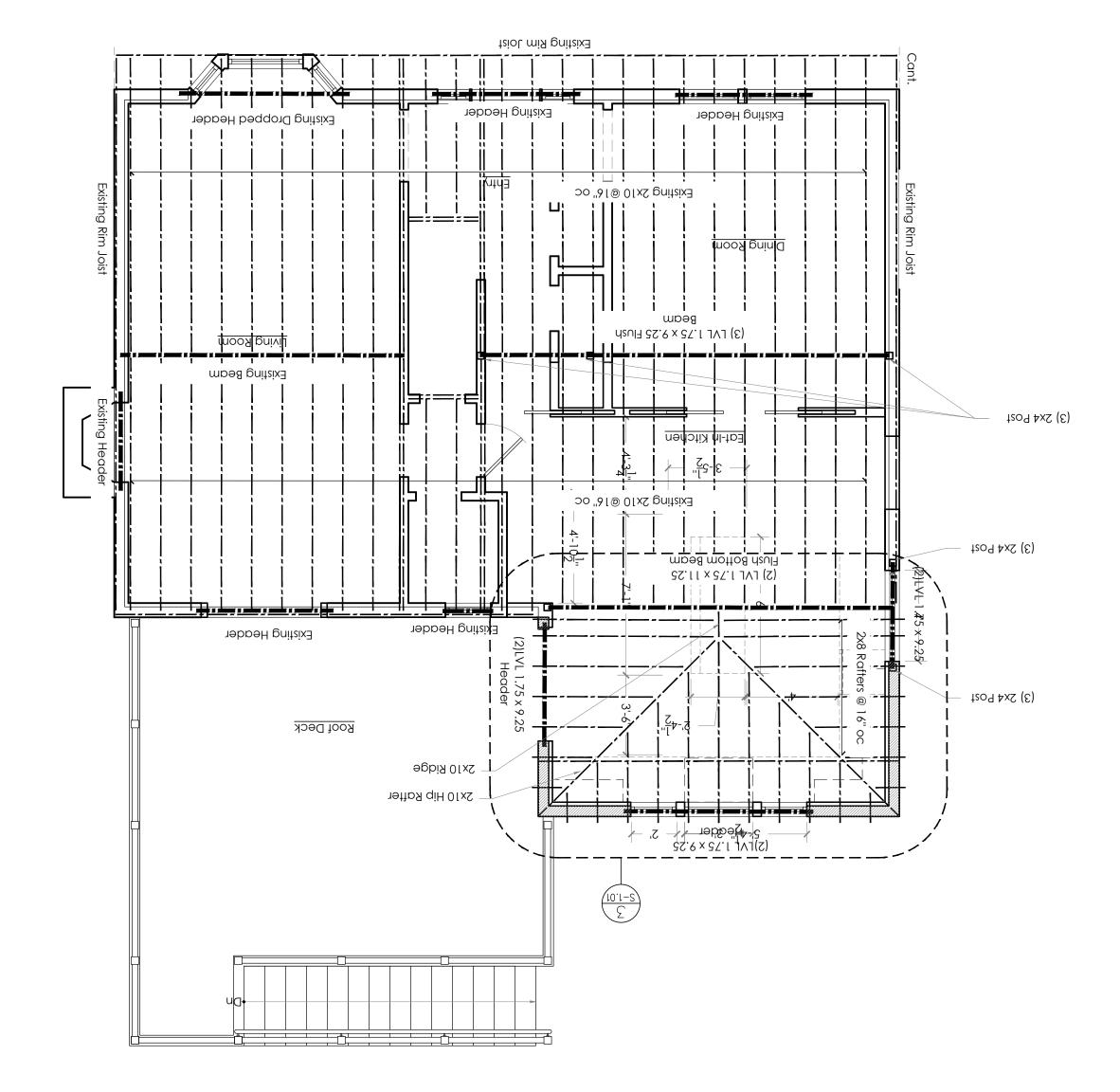


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FERGUSON MALONE ARCHITECTURE

1914 591 5066 F 914 591 5031 IBVINGTON NY 10533 ONE BRIDGE STREET



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Framing Plans Proposed

SCALE: As Noted

108: 5034 **DATE:** 03/03/2021

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1265) affidavit. and/or Timber Construction in Residential Structures (In Accordance with Title 19 NYCRR Part 10. Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction

Openings greater than 8'-0", see plans for header sizes or as specified by P.E. Up to 8'-0" wide, use (3) 2x10 or (2) 2x12

01 to 5'-0" wide, use (2) 2x10

structural plans: 9. All doors, windows and openings shall have minimum header to be as follows, u.o.n. on

galvanized g186 by Simpson strong tie, stainless steel, or approved equal by Architect. post bases, etc. that come in contact with pressure treated lumber shall be hot dipped or beam hangers, minimum 18 gauge. All metal including joist hangers, flashing, anchor bolts, instructions. All flush framed connections shall be made with approved galvanized steel joists 8. Metal Framing Anchors: install metal framing to comply with manufacturer's written

requirements for attaching other construction.

accurate fit. Locate furring, nailers, blocking, grounds, and similar supports to comply with and fitted. Fit rough carpentry to other construction; scribe and cope as needed for Set rough carpentry to required levels and lines, with members plumb, true to line, cut,

The general contractor is to identify any discrepancies prior to beginning any re-framing work. bearing walls. Do not splice structural members between supports, unless otherwise indicated. uou-peauiud stng walls bacallel to sbaus aug brovide solig plocking between joists below all

non-bearing stud walls perpendicular to joist spans. Use double sills and cap plates for all double members at all jambs and heads of all openings. Use double joists (min.) below all 6. All bearing stud walls shall have crosskats at mid-height or 4'-6" o.c. minimum.7. Use

manufacturer.

together with a minimum of two rows of 16d nails at 12" o.c., and as recommended by the Fb = 2865 psi, Fc = 750 psi, Fv = 285 psi, E = 2,000,000 psi.Multiple sections shall be fastened manufactured by Truss Joist MacMillan, Ltd. , or equal, with the following minimum properties: Laminated Veneer Lumber (LVL) sections shall be "MICRO=LAM @"or "PARALLAM @" as

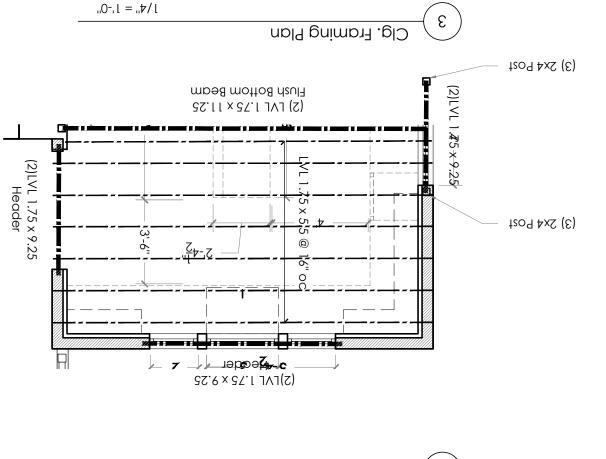
5. Laminated Veneer Lumber:

nails at 6" o.c. max.

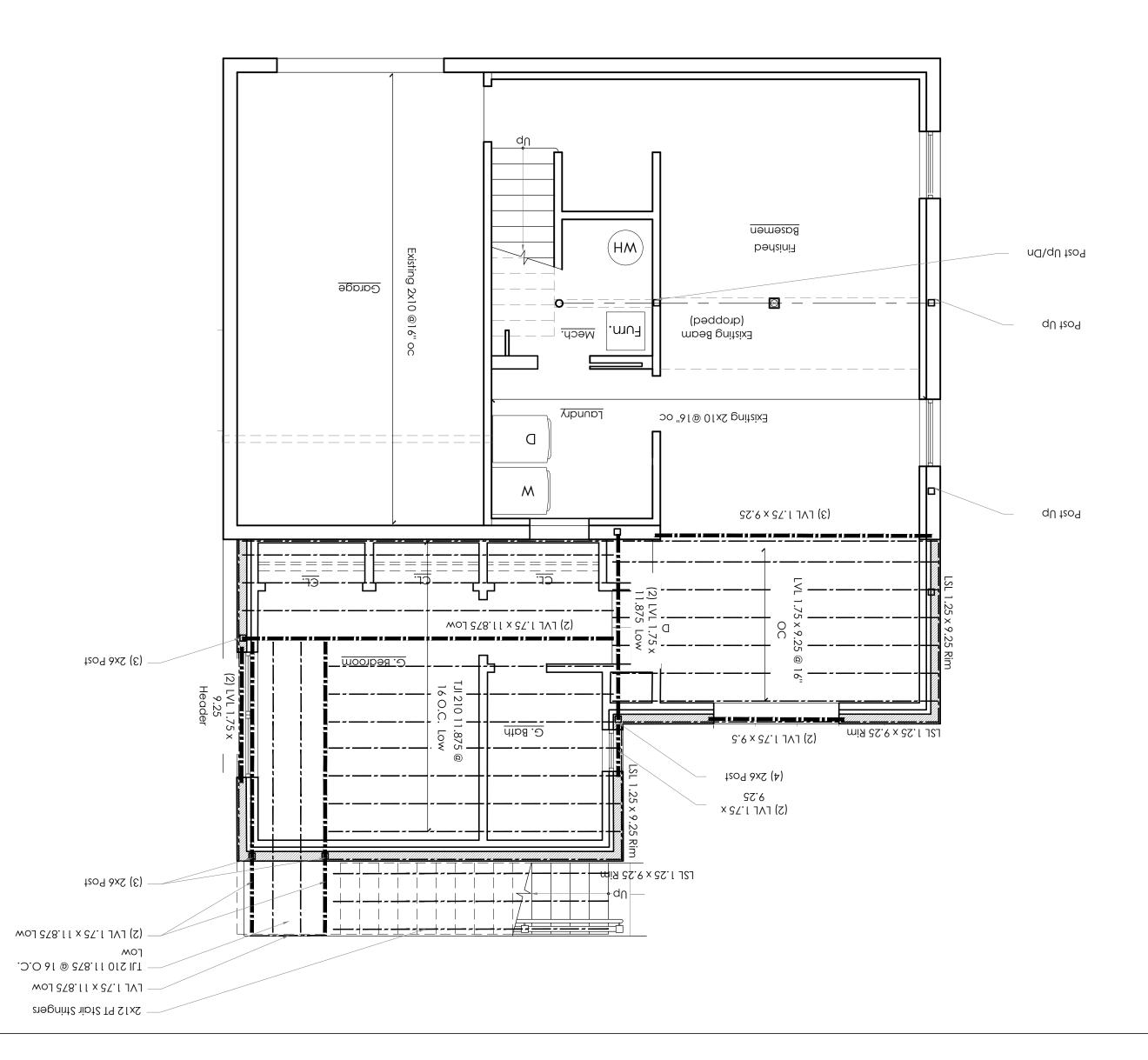
wall sheathing shall consist of 3,4" Exposure 1 Grade plywood fastened to wall studs with 8d Subfloor shall consist of 3/4" Exposure 1 Grade plywood, glued and screwed to joists. Exterior 4. Plywood:

(.tno)) sətoN pnimbra (Cont.)

..0-.L = ..**∀**/L







with TJI manufacturer.

the provisions of CABO Report No. NER-200. Coordinate bridging and stiffener requirements Joist McMillan Ltd., or equal. Flange members, wed members and adhesives shall conform to TJI joist sections shall be of the size and type specified on the plans, as manufactured by Truss 3. TJI Series:

framing, western species should be used. Archtiect, if they meet the above minimum requirements.Should Cedar be used for exterior Supplement. Any lumber species may be used, subject to review and acceptance by the All values shall be adjusted with appropriate adjustment factors as per the per NDS

isq 000,006, l = 3	Modulus of Elasticity:
Fc = 1,300 psi	Comp. Parallel to Grain:
Fc = 625 psi	Comp. Perpendicular to Grain:
isq 29 =	Horizontal Shear: Fv
isq 028 =	Bending: Fb

Base Design Values for Visually Graded Dimension Lumber:

moisture content with the following minimum base design values: plates, wood bearing plates, and blocking, shall be surface dry and used at maximum 19% 2. Lumber for all interior structural framing, including roof framing, joists, posts, studs, sills, cap

American Plywood Association.

US Dept. of Commerce Standard CS 253. National Forest Products Assoc. "Design Specifications for Stress Grade Lumber".

American Institute of Timber Construction (AITC).

Specifications and the The Building Code of the State of New York: 1. All lumber work and materials shall conform to the latest edition of the following

Wood Framing Notes

Existing Wood Frame Bearing Wall -2x4 @ 16" OC

Mood Frame Bearing Wall - 2x6 @ 16" OC

———————— Joist or rafter

Beam a Beam or Header

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First Floor Framing Plan