

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	962	Date:	09/28/2021
Job Location:	47 STATION RD	Parcel ID:	2.80-34-6
Property Owner:	MAILLET, DANIEL J & MAILLET, DOROTHY	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:	Maillet Residence		

Applicant	Contractor
John Malone	
Ferguson Malone Architecture	
One Bridge Street-Suite 29Irvington NY 10533	
9145643166	

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	250000.00	Property Class:	1 FAMILY RES

Description of Work

Proposed extension of existing residence at basement level and main floor level, including a new patio.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 47 STATION RD

Parcel Id: 2.80-34-6

AFFIDAVIT OF APPLICANT

I **John Malone** being duly sworn, depose and says: That s/he does business as: **Ferguson Malone Architecture** with offices at: **One Bridge Street-Suite 29 Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect ~~of Engineer~~ duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 1st day of October of 2021

[Signature]

Notary Public / Commission of Deeds

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

[Signature]
Applicant's Signature

OWNER'S AUTHORIZATION

I **MAILLET, DANIEL J & MAILLET, DOROTHY** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number (347) 351-7929 Owner email address mailletdang@gmail.com

- ☒ Daniel Maillet & Dorothy Maillet I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 1 day of October of 2021

[Signature]
Notary Public / Commission of Deeds

[Signature]
Applicant's Signature

GENINE LOCKWOOD
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01L06210592
Qualified in Westchester County
Commission Expires 8/1/2025

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

Inspiration Realized

KP | BUILDING
PRODUCTS

PRODUCT CATALOG



QUALITY

INNOVATION

SUSTAINABILITY



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Why KP Building Products?

In a marketplace full of choices, why would you prefer a certain brand? Why would you trust us to bring the most benefit to your business and why would you continue to rely on us when new choices offer new promises? All fair questions...and we've got the answers you've been searching for.

Singular Style & Selection

Whatever the architectural style of the home, the customer's personal taste, or the size of the new construction, KP has a siding choice that will fit perfectly. From the truly distinctive KP Norman Rockwell Collection that offers deeper, richer colors to the low maintenance advantages of KP Perfection Shingles, we have siding solutions that rival any competitor.

Innovation

Our name and reputation have been built on creating quality products and we never stop blazing the trail toward leading-edge innovations so you and your customers can enjoy the very best vinyl siding options. Want richer colors that last longer? You got it! KP's ChromaLock™ process fuses the molecular structure of acrylic and vinyl to produce more fade resistant colors. Worried about the sun's damaging rays affecting your siding? We've got you covered! KP's SpectraShield Technology will absorb and disperse those harmful rays. Want a promise of durability that your siding will last for years to come? No problem! KP's Cyclone System™ was invented to provide extra rigidity and wind resistance and our Ultra-Vinyl™ UV technology means superior weatherability and color retention. Of course, you want your siding to look great, so your wish is our command! KP's Insta-Lock™ system promotes a tighter panel lock for a better fit and smoother look. We could go on, but the bottom line is this – you can rest assured you're getting the best because we're working tirelessly to offer you the most innovative siding solutions.

Quality, Heritage & Customer Satisfaction

In the siding business for 5 decades, KP Building Products has been around the house for quite a long time! We take special pride in our quality heritage and proven track record of customer satisfaction. KP Vinyl Products are manufactured using some of today's most advanced vinyl technologies and we consistently exceed industry standards for performance.

Solid Support All the Way

Understanding that your selling efforts need solid, continuous support, KP will be providing you with effective marketing tools and know-how every step of the way. From traditional to digital marketing, KP will help you impress even the most demanding customer. We want to ensure we give you our most up-to-date information about KP and share some content we have created that may be of interest to you as a professional. Please visit www.kpvinylsiding.com for tools such as our Design Center, Technical Information and Digital Tool Kits. In other words, we have everything it takes to bring your business to the next level.

Welcome to **KP Building Products.**
We look forward to partnering with you!



Market Trends

Designers and industry experts predict that the most popular color trends for home exteriors are dark, bold colors.

Intense heat from the sun's rays can take a toll on the exterior of your home. This can cause panels to distort and fade. Darker colors present an even bigger challenge because they absorb more of the sun's damaging rays. KP's research and development team aggressively tested dark colored vinyl siding in laboratories and field tests, in order to combat these issues.

Being at the forefront of the industry, KP is pleased to introduce **SpectraShield™** Technology to enhance overall product performance. The results prove that its unique properties and heat resistance capabilities are ideal for these new color trends.





KP Norman Rockwell™

The first vinyl siding to make a bold statement with colors as rich as nature's own.

Each **KP Norman Rockwell™** color has been developed by industry-leading experts to reflect the most time-tested hues, offering you traditional colors that will be appreciated for years to come. So whether it's dreamy ocean blue, intense barn red, or tranquil forest green you're going for, these distinctive colors will set any home apart from the rest.

FEATURES:

- 1) Heavy duty thickness offers outstanding impact resistance.
- 2) Double thick 0.092" **KP Cyclone System™** nail hem provides extra rigidity and wind resistance.
- 3) Rich, distinctive colors protected by **KP's ChromaLock™** technology, which enhances long-term weatherability and delivers superior color retention.
- 4) Authentic, low gloss cedar texture is taken from actual panels to ensure authenticity.
- 5) **KP Insta-Lock™** system provides for precise horizontal alignment and easy installation.



The Norman Rockwell trademark is owned by the Norman Rockwell Family Agency, KP Building Products are officially licensed.

COLORS (0.044" Thickness)



PLUS COLORS (0.046" Thickness)



All colors are not available across all profiles. Please speak to your KP representative for further information.

* Available in D4.5 only

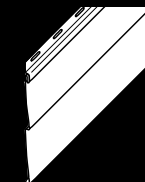
PROFILES:

Double 4"

Double 4.5"
Dutchlap

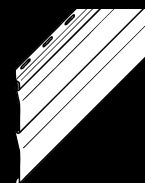
D4

Code #. VNR2D40
Length. 12'6"
PCS/CTN. 24
CTNS. Per Crate. 12
Avg. WT/CTN (lbs) . . . 115
Finish Woodgrain



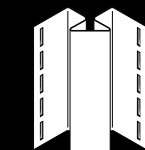
D4.5 Dutchlap

Code #. VNR2D45D
Length. 12'1½"
PCS/CTN. 22
CTNS. Per Crate. 12
Avg. WT/CTN (lbs) . . . 111
Finish Woodgrain



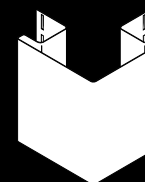
3/4" Inside Corner

Code #. VCG2INP
Length. 10'
PCS/CTN. 10
CTNS. Per Crate. 30
Avg. WT/CTN (lbs) . . . 22
Finish Matte Finish



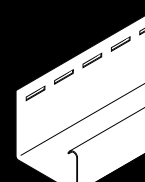
3/4" Outside Corner

Code #. VCG2NN3
Length. 10'
PCS/CTN. 10
CTNS. Per Crate. 14
Avg. WT/CTN (lbs) . . . 40
Finish Woodgrain



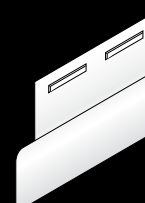
3/4" J-Channel

Code #. VJB341F
Length. 12'6"
PCS/CTN. 40
CTNS. Per Crate. 30
Avg. WT/CTN (lbs) . . . 55
Finish Brush Finish



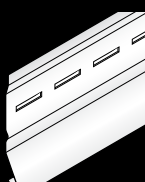
Undersill Trim

Code #. VTGTR
Length. 12'6"
PCS/CTN. 40
CTNS. Per Crate. 42
Avg. WT/CTN (lbs) . . . 38
Finish Matte Finish



Steel Starter

Code #. VT2SSS
Length. 10'
PCS/CTN. 30
CTNS. Per Crate. 108
Avg. WT/CTN (lbs) . . . 46
Finish Mill





KP Aluminum

Color-coordinated accessories that offer incredible strength and exceptional beauty that lasts.

KP Soffits

Creates a beautifully enduring home finish.

KP's aluminum products give you even more options for home finishing, offering siding, soffits, fascia, trims, coils, and rainware with the durability and appeal of aluminum.

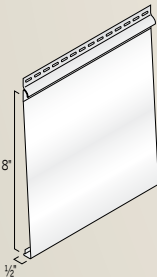
All our aluminum accessories are designed to coordinate perfectly with our vinyl siding products, so you can choose just the right colors to complement your design and complete your home siding project.

Available in an array of styles and colors coordinated to match or complement KP vinyl and aluminum siding.

Never needs painting. Available in regular and heavy gauge (*HG) for lasting performance and durability.

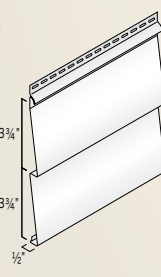
Horizontal 8" Smooth

Code #.....0010
sq ft/CTN194
panels/CTN24
Length.....12'1"



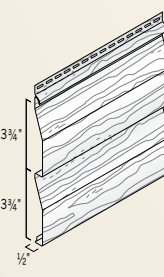
Horizontal D4.75 Smooth

Code #.....0041
sq ft/CTN187
panels/CTN24
Length.....12'6"



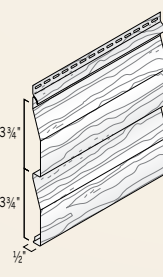
D4.75D Futura

Code #.....0032
sq ft/CTN203
panels/CTN26
Length.....12'6"



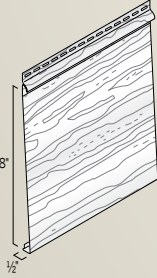
Vertical 8" Driftwood

Code #.....0211
sq ft/CTN97
panels/CTN15
Length.....9'8"



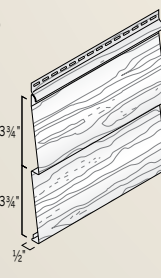
Horizontal 8" Driftwood

Code #.....0022
sq ft/CTN194
panels/CTN24
Length.....12'1"



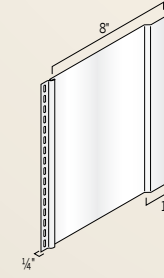
Horizontal D4.75 Driftwood

Code #.....0043
sq ft/CTN187
panels/CTN24
Length.....12'6"



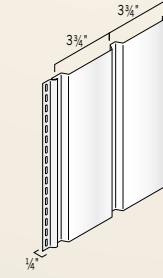
Vertical 8" Smooth

Code #.....0200
sq ft/CTN97
panels/CTN15
Length.....9'8"



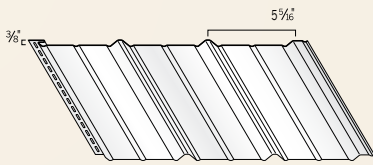
Vertical 7.5\"/>

Code #.....0222
sq ft/CTN97
panels/CTN13
Length.....12'



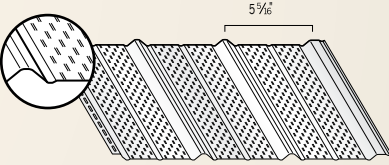
SP-600 16" Solid Soffit

Code #.....0606
sq ft/CTN192
panels/CTN12
Length.....12'



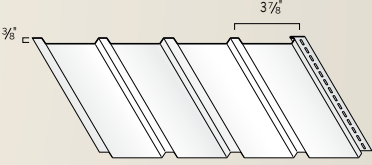
SP-600 Vented Soffit

Code #.....0605
sq ft/CTN192
panels/CTN12
Length.....12'



Quad 4 Solid 0612

sq ft/CTN192
panels/CTN12
Length.....12'

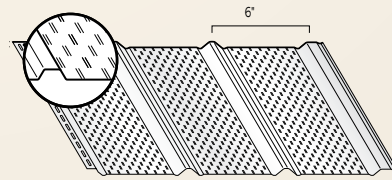


Quad 4 Solid HG 0626

sq ft/CTN192
panels/CTN12
Length.....12'

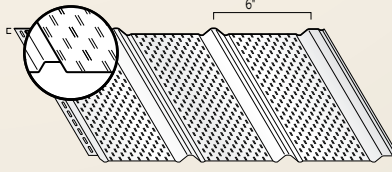
12" Vented Aluminum 3-Panel Soffit HG 9517

sq ft/CTN192
panels/CTN16
Length.....12'



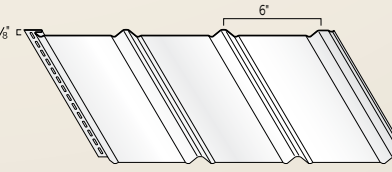
12" Vented Aluminum 3-Panel Soffit 9519

sq ft/CTN192
panels/CTN16
Length.....12'



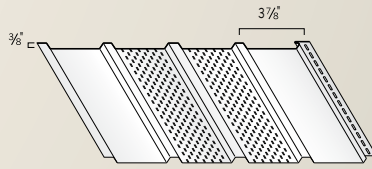
12" Solid Aluminum 3-Panel Soffit HG 9518

sq ft/CTN192
panels/CTN16
Length.....12'



Quad 4 Center Vent 0611

sq ft/CTN192
panels/CTN12
Length.....12'



Quad 4 Center Vent HG 0614

sq ft/CTN192
panels/CTN12
Length.....12'

KP Aluminum Trims & Accessories

Aluminum Accessories limitless design possibilities and quality withstands the test of time.

Color matched to KP's aluminum and KP aluminum accessories are coated with the same thermo-setting polyester polycoat 9000™ topcoat used on KP aluminum siding for a durable and fade highest abrasion-resistant factor on the market. * Complete color coordinated range of accessories.

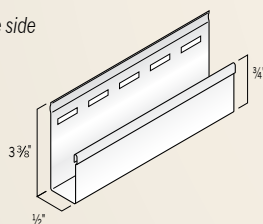


Aluminum Trim Coils

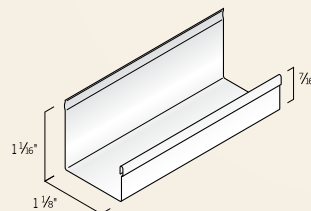
Code #. . . . VA4PLY
24" X 50' Aluminum Trim Coil – Smooth

Code #. . . . VA3PVC
24" X 50' Aluminum Trim Coil – Solmica PVC Coated

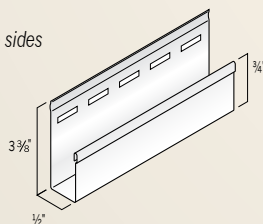
1/2" J Trim *painted one side*
Code #. . . P1S: 1042
sq ft/CTN 600
pcs/CTN 50
Length 12'



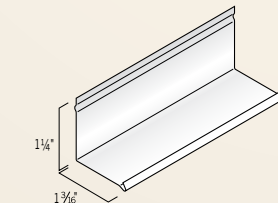
1/8" J Trim
Code #. 1050
sq ft/CTN 600
pcs/CTN 50
Length 12'



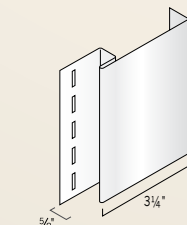
1/2" J Trim *painted two sides*
Code #. . . P2S: 1043
sq ft/CTN 600
pcs/CTN 50
Length 12'



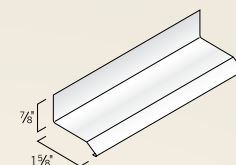
L Trim
Code #. 1010
sq ft/CTN 240
pcs/CTN 20
Length 12'



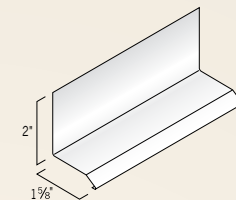
Super J Trim
Code #. 1057
sq ft/CTN 240
pcs/CTN 20
Length 12'



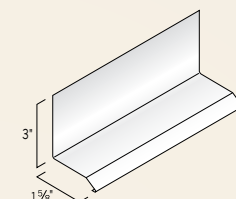
Note – Direct contact of aluminum products with certain dissimilar materials or contact with the water run off from such materials is likely to result in corrosion. Therefore care should be exercised to avoid contact of aluminum with any corrosive materials during installation including but not limited to: pretreated lumber, concrete, masonry cement, stucco, salt, corrosive chemicals, dissimilar metals (copper, zinc, steel, etc.)



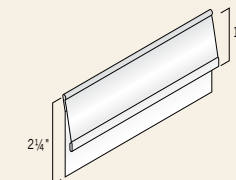
Drip Cap
Code #. 1180
sq ft/CTN 300
pcs/CTN 25
Length 12'



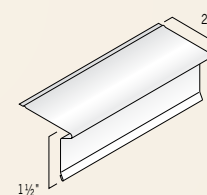
2" Drip Cap
Code #. 1181
sq ft/CTN 360
pcs/CTN 30
Length 12'



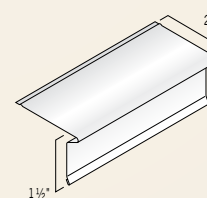
3" Drip Cap
Code #. 1184
sq ft/CTN 360
pcs/CTN 30
Length 12'



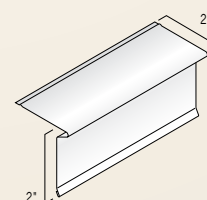
Gable Trim
Code #. 1070
sq ft/CTN 600
pcs/CTN 50
Length 12'



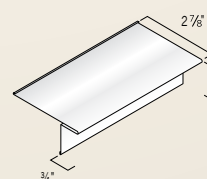
Aluminum Drip Edge (CDN)
Code #. 2091
sq ft/CTN 492
pcs/CTN 50
Length 9'10"



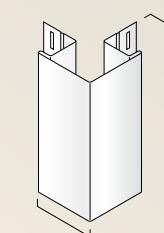
2 1/2" Aluminum Drip Edge (CDN)
Code #. 2100
sq ft/CTN 492
pcs/CTN 50
Length 9'10"



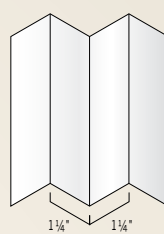
2" X 2" Reversible Drip Edge
Code #. 2086
sq ft/CTN 492
pcs/CTN 50
Length 9'10"



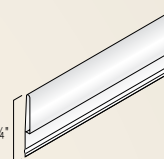
Special Eaves Starter
Code #. 1086
sq ft/CTN 295
pcs/CTN 30
Length 9'10"



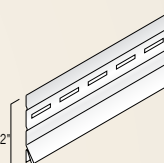
Outside Corner
Code #. 1100
sq ft/CTN 98
pcs/CTN 10
Length 9'10"



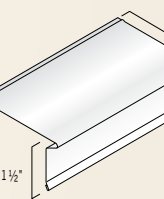
Inside Corner
Code #. 1110
sq ft/CTN 98
pcs/CTN 10
Length 9'10"



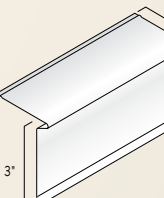
Undersill Trim
Code #. 1060
sq ft/CTN 240
pcs/CTN 20
Length 12'



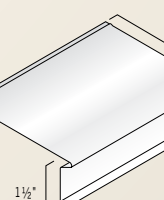
Starter Strip
Code #. 1082
Length 10'
PCS/CTN 30
CTNS. Per Crate 108
Avg. WT/CTN (lbs) 30
Finish Mill



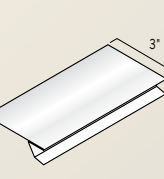
3" Aluminum Drip Edge
Code #. 2084
sq ft/CTN 393
pcs/CTN 40
Length 9'10"



3" X 3" Reversible Drip Edge
Code #. 2085
sq ft/CTN 394
pcs/CTN 40
Length 9'10"

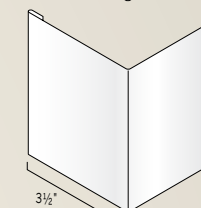
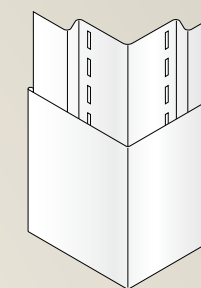


4" Aluminum Drip Edge
Code #. 2092
sq ft/CTN 491
pcs/CTN 50
Length 9'10"



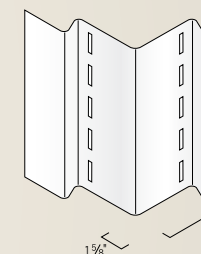
Regular Eaves Starter
Code #. 1084
sq ft/CTN 236
pcs/CTN 24
Length 9'10"

2-Piece Corner



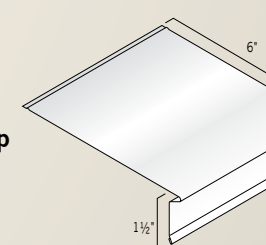
Aluminum Corner Cap

Code #. 1113
(requires 1112)
sq ft/CTN 100
pcs/CTN 10
Length 10'



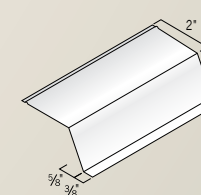
Vinyl Base Corner

Code #. 1112
(requires 1113)
sq ft/CTN 100
pcs/CTN 10
Length 10'



6" Aluminum Drip Edge

Code #. 2093
sq ft/CTN 196
pcs/CTN 20
Length 9'10"

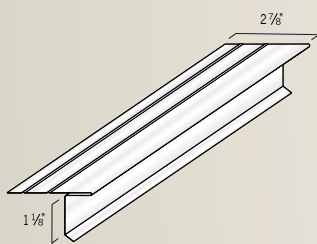


Aluminum Roof Edge

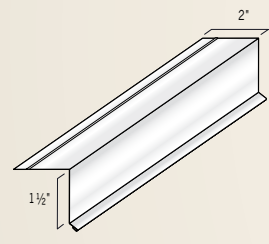
Code #. 2101
sq ft/CTN 250
pcs/CTN 25
Length 9'10"



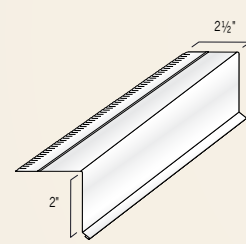
KP Aluminum
Aluminum roof edges and fascias



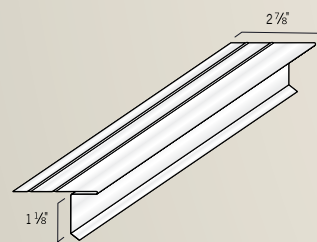
F 4 1/2" Aluminum Drip Edge
Code #. 9752
sq ft/CTN 500
pcs/CTN 50
Length 10'



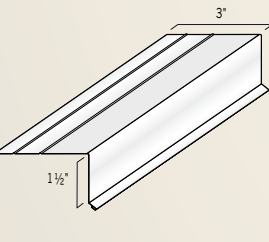
C 3 1/2" Aluminum Drip Edge HG
Code #. 9755
sq ft/CTN 500
pcs/CTN 50
Length 10'



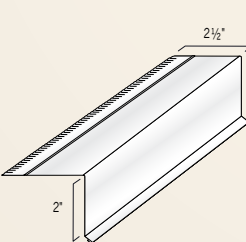
F 5 1/2" Aluminum Drip Edge
Code #. 9758
sq ft/CTN 500
pcs/CTN 50
Length 10'



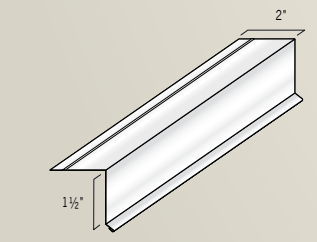
F 4 1/2" Aluminum Drip Edge HG
Code #. 9753
sq ft/CTN 500
pcs/CTN 50
Length 10'



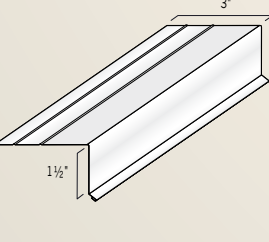
C 4 1/2" Aluminum Drip Edge
Code #. 9756
sq ft/CTN 500
pcs/CTN 50
Length 10'



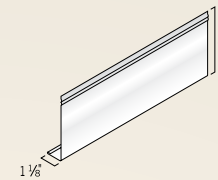
H 5 1/2" Aluminum Drip Edge HG
Code #. 9759
sq ft/CTN 500
pcs/CTN 50
Length 10'



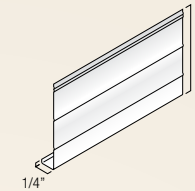
C 3 1/2" Aluminum Drip Edge
Code #. 9754
sq ft/CTN 500
pcs/CTN 50
Length 10'



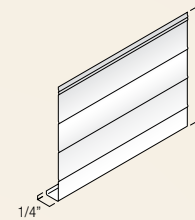
C 4 1/2" Aluminum Drip Edge HG
Code #. 9757
sq ft/CTN 500
pcs/CTN 50
Length 10'



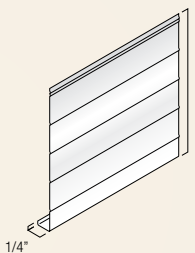
4" Fascia Smooth
Code #. 9700
sq ft/CTN 300
pcs/CTN 24
Length 12'



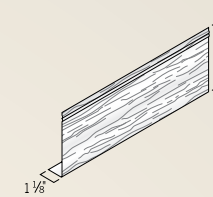
6" Fascia Smooth
Code #. 9705
sq ft/CTN 300
pcs/CTN 24
Length 12'



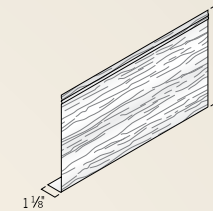
8" Fascia Smooth
Code #. 9710
sq ft/CTN 300
pcs/CTN 24
Length 12'



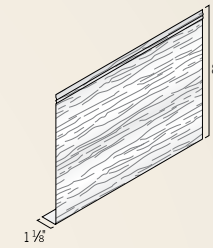
10" Fascia Smooth
Code #. 9715
sq ft/CTN 300
pcs/CTN 24
Length 12'



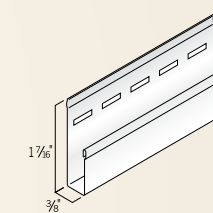
4" Cedar Embossed Fascia
Code #. 9701
sq ft/CTN 300
pcs/CTN 24
Length 12'



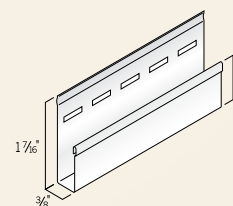
6" Cedar Embossed Fascia
Code #. 9716
sq ft/CTN 300
pcs/CTN 24
Length 12'



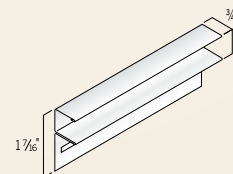
8" Cedar Embossed Fascia
Code #. 9711
sq ft/CTN 300
pcs/CTN 24
Length 12'



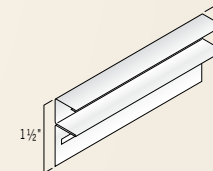
3/8" Soffit J Trim Eco
Code #. 1028
sq ft/CTN 900
pcs/CTN 75
Length 12'



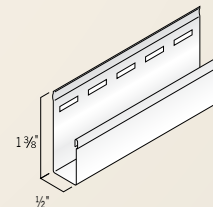
3/8" Soffit J Trim
Code #. 1029
sq ft/CTN 600
pcs/CTN 50
Length 12'



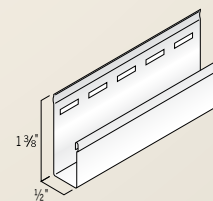
3/8" Soffit F Trim
Code #. 1191
Product code HG: . 1192
sq ft/CTN 600
pcs/CTN 50
Length 12'



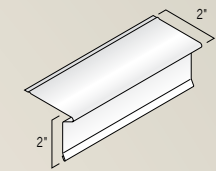
9/16" Soffit F Trim
Code #. 1194
sq ft/CTN 480
pcs/CTN 40
Length 12'



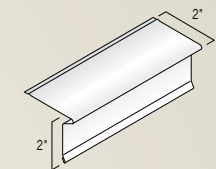
1/2" J Trim
Painted one side
P1S Code # . . 1042
sq ft/CTN 600
pcs/CTN 50
Length 12'



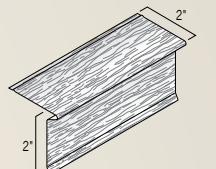
1/2" J Trim
Painted two sides
P2S Code # . . 1043
sq ft/CTN 600
pcs/CTN 50
Length 12'



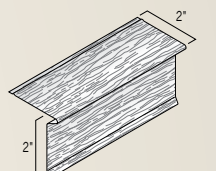
2" Smooth Drip Edge
Code #. 9740
sq ft/CTN 600
pcs/CTN 50
Length 12'



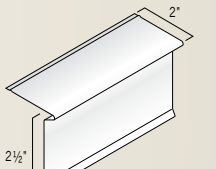
2" Smooth Drip Edge HG
Code #. 9745
sq ft/CTN 600
pcs/CTN 50
Length 12'



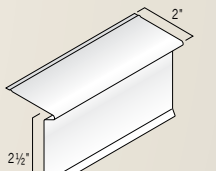
2" Cedar Embossed Drip Edge
Code #. 9742
sq ft/CTN 600
pcs/CTN 50
Length 12'



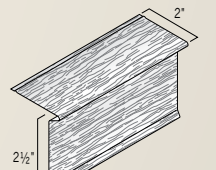
2" Cedar Embossed Drip Edge HG
Code #. 9744
sq ft/CTN 600
pcs/CTN 50
Length 12'



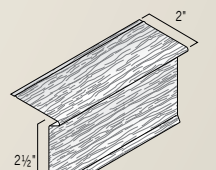
2 1/2" Smooth Drip Edge
Code #. 9741
sq ft/CTN 480
pcs/CTN 40
Length 12'



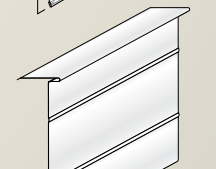
2 1/2" Smooth Drip Edge HG
Product Code # . . . 9746
sq ft/CTN 480
pcs/CTN 40
Length 12'



2 1/2" Cedar Embossed Drip Edge
Code #. 9743
sq ft/CTN 480
pcs/CTN 40
Length 12'



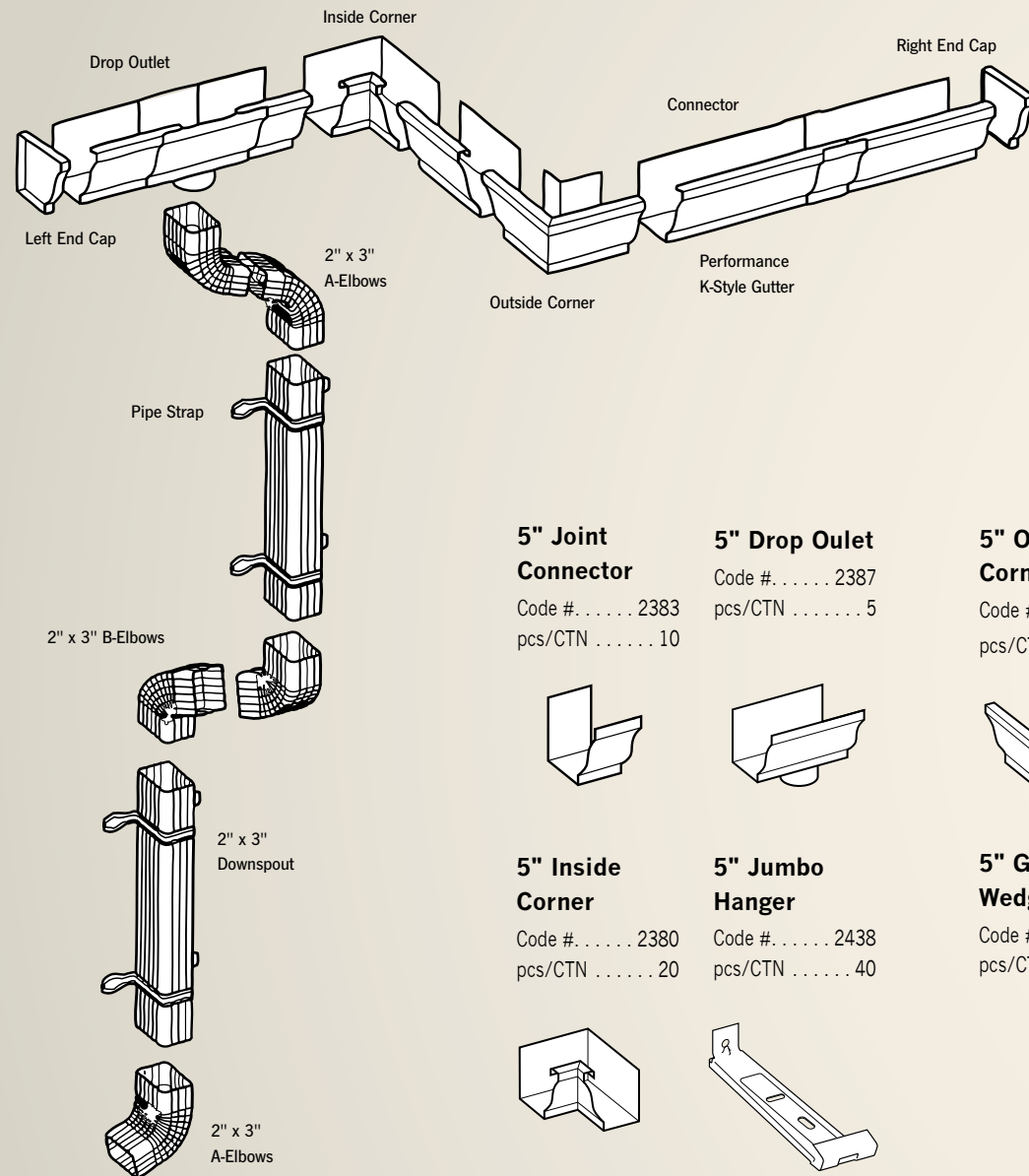
2 1/2" Cedar Embossed Drip Edge HG
Code #. 9748
sq ft/CTN 480
pcs/CTN 40
Length 12'



Gable Rake Trim
Code #. 1210
sq ft/CTN 192
pcs/CTN 16
Length 12'

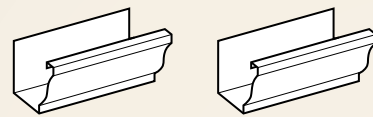
System designed for durability and ease of installation,

KP's performance aluminum rain carrying system provides a complimentary finish and the proper protection to any home's exterior. Coated with KP's polycoat 900 topcoat, performance aluminum rainware is corrosion-resistant and maintains a freshly painted look year-after-year.



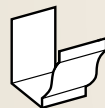
5" Gutter

Code #. 2302	Code #. 2312
sq ft/CTN 100	pcs/CTN 200
pcs/CTN 10	Length 20'
Length 10'	



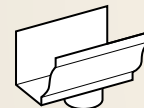
5" Joint Connector

Code #. 2383
pcs/CTN 10



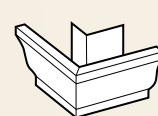
5" Drop Outlet

Code #. 2387
pcs/CTN 5



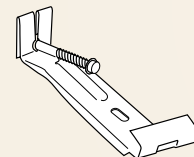
5" Outside Corner

Code #. 2360
pcs/CTN 20



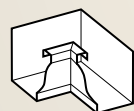
5" Quick Screw Hanger

Code #. 2421
pcs/CTN 300



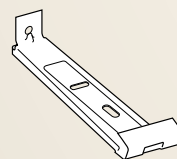
5" Inside Corner

Code #. 2380
pcs/CTN 20



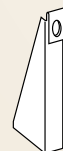
5" Jumbo Hanger

Code #. 2438
pcs/CTN 40



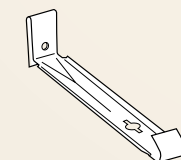
5" Gutter Wedge

Code #. 2395
pcs/CTN 350



5" Stamped Hanger

Code #. 2430
pcs/CTN 500



5" Left End Cap

Code #. 2400
50 pcs/CTN



5" Right End Cap

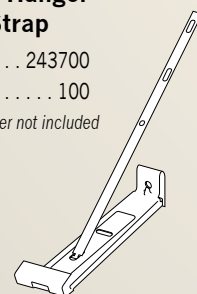
Code #. 2401
pcs/CTN 50



Gutter Hanger Roof Strap

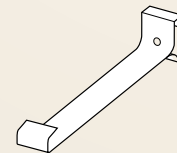
Code #. 243700
pcs/CTN 100

Note: hanger not included



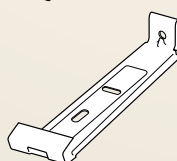
5" Extruded Hanger

Code #. 2432
pcs/CTN 500



5" Clip-On Hanger

Code #. 242900
pcs/CTN 500

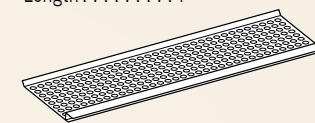


5" Aluminum ProGuard II

Code #. 226000
sq ft/CTN 400
pcs/CTN 40
Length 10'

Performance 5" ProGuard II 4'

Code #. 226300
sq ft/CTN 100
pcs/CTN 25
Length 4'

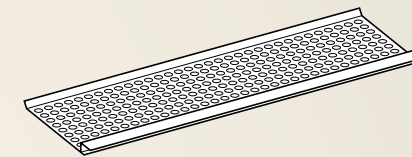


6" Aluminum ProGuard II

Code #. 226200
sq ft/CTN 300
pcs/CTN 30
Length 10'

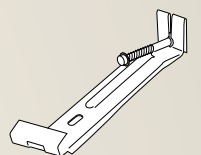
Performance 6" ProGuard II 4'

Code #. 226400
sq ft/CTN 100
pcs/CTN 25
Length 4'6"



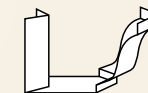
6" Quick Screw Hanger

Code #. 2422
pcs/CTN 200



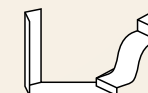
5" Inside Strip Miter

Code #. 2381
pcs/CTN 20



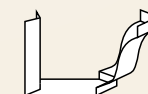
5" Outside Strip Miter

Code #. 2382
pcs/CTN 20



5" Inside Bay Miters

Code #. 2379
pcs/CTN 20



5" Outside Bay Miters

Code #. 2378
pcs/CTN 20

6" Inside Strip Miter

Code #. 2385
sq ft/CTN 20



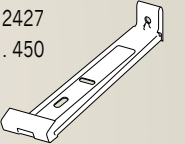
6" Gutter Wedge

Code #. 2396
pcs/CTN 200



6" Premium Clip-On Hanger

Code #. 2427
pcs/CTN 450



6" Outside Strip Miter

Code #. 2386
pcs/CTN 20



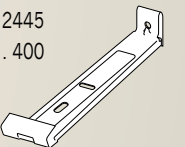
8" Aluminum Spikes

Code #. 2341
pcs/CTN 500



6" Jumbo Hanger

Code #. 2445
pcs/CTN 400



6" Left End Cap

Code #. 2402
pcs/CTN 50



6" Right End Cap

Code #. 2403
pcs/CTN 50



6" Aluminum Ferrules

Code #. 2351
pcs/CTN 1000



7" Aluminum Spikes

Code #. 2340
pcs/CTN 500



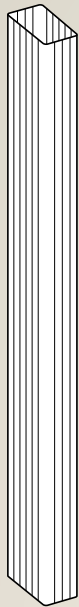
5" Aluminum Ferrules

Code #. 2350
pcs/CTN 1000

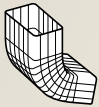
2" X 3" Downspout

Code #. 2119
sq ft/CTN 98
pcs/CTN 10
Length 8'

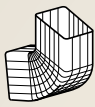
Code #. 2120
sq ft/CTN 98
pcs/CTN 10
Length 9'10"



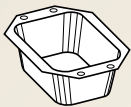
2" X 3" A-Elbow
Code #. 2510
pcs/CTN 30



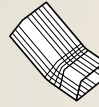
2" X 3" B-Elbow
Code #. 2530
pcs/CTN 30



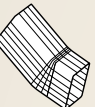
2" x 3" B-Drop
Code #. 2570
pcs/CTN 30



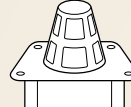
2" X 3" A-Elbow Offset
Code #. 2516
pcs/CTN 30



2" X 3" B-Elbow 30 degrees
Code #. 2532
pcs/CTN 50



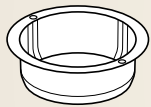
2" X 3" Poly Outlets
Code #. 257001
pcs/CTN 100



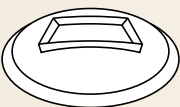
2" X 3" A-Elbow 30 degrees
Code #. 2515
pcs/CTN 50



2 3/8" Pop-In Outlet
Code #. 257300
pcs/CTN 30



2" X 3" Tile Cover
Code #. 8420



Pipe Strap
Code #. 2540
pcs/CTN 100

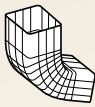


2½" Square Downspout

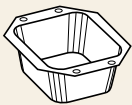
Code #. 2123
sq ft/CTN . . . 147.5
pcs/CTN 15
Length 9'-10"



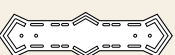
2½" Square Elbow
Code #. 2513
pcs/CTN 50



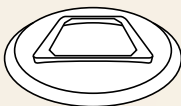
2½" x 2½" B-Drop
Code #. 2581
pcs/CTN 30



Pipe Strap
Code #. 2540
pcs/CTN 100



2½" X 2½" Tile Cover
Code #. 8421

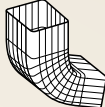


3" Square Downspout*

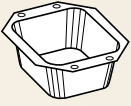
Code #. 2128
sq ft/CTN 117
pcs/CTN 12
Length 9'-10"



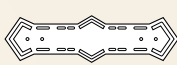
3" Square Elbow*
Code #. 2520
pcs/CTN 40



3" x 3" B-Drop
Code #. 2582
pcs/CTN 30



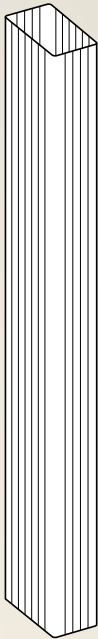
Pipe Strap
Code #. 2540
pcs/CTN 100



3" square products are Special Order only.

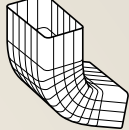
3" X 4" Downspout

Code #. 2125
sq ft/CTN 118
pcs/CTN 12
Length 8'

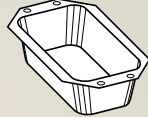


Code #. 2124
sq ft/CTN 118
pcs/CTN 102
Length 9'10"

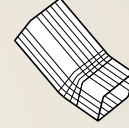
3" X 4" A-Elbow
Code #. 2514
pcs/CTN 50



3" x 4" B-Drop
Code #. 2580
pcs/CTN 50



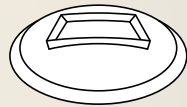
3" X 4" A-Elbow Offset
Code #. 2518
pcs/CTN 36



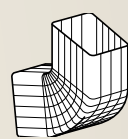
2¾" Pop-In Outlet
Code #. 2574
pcs/CTN 50



3" X 4" Tile Cover
Code #. 8423
pcs/CTN 200



3" X 4" B-Elbow
Code #. 2531
pcs/CTN 30



Pipe Strap
Code #. 2540
pcs/CTN 100



KP Building Products Aluminum Specifications
Aluminum Siding, Soffit, Rainware and Accessories

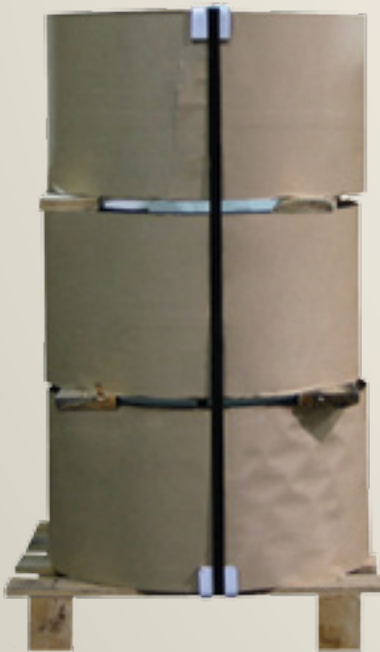
A. Material specifications

KP Siding, Soffit and Fascia are made of 3105 or 3003 Alloy aluminum sheet or equivalent, meeting or exceeding the specifications set forth in AAMA Report Number 1402-86. KP Rain Carrying Products meet or exceed the requirements set forth in AAMA Report Number 1405.1-1976. All Stated aluminum thicknesses are nominal and the standard tolerance for products from aluminum sheet shall be +0.000", -0.003". KP Aluminum, shall have a minimum ultimate tensile strength of 29,000 psi, and a minimum yield strength of 25,000 psi.

B. Code Compliance and technical specifications

1. The surface of the KP Aluminum sheet is commercially free of streaks, blistering and other imperfections. The aluminum sheet is thoroughly cleaned, dried and coated with a pretreatment coating to assure maximum paint adhesion on both sides of the metal.
2. KP Aluminum sheet is protected by an especially formulated paint system Polykote 1200, a thermo setting polyester and is roller coated and baked on the metal to allow exceptional forming flexibility, cleanability, stain and mar resistance in exterior applications.
3. Color is controlled per ASTM D-1729-64, by approved color difference meter and by visual match standards in a Mac-beth Booth.
4. Specular gloss is determined per ASTM D523 at a gloss meter angle of 60 degrees.
5. Pencil hardness is equal to Eagle Turquoise HB minimum pencil per NCAA Technical Bulletin 11-12.
6. Cure Test per NCCA Technical Bulletin 11-18 and able to withstand 100 double rubs of M.E.K. using cheese cloth mesh size 28x24.
7. Humidity resistance test as per ASTM D-2247-87 and having no blistering, cracking, peeling loss or softening of the finish after 1,000 hours of exposure to 100% humidity at 100 degrees F + 5 degrees
8. Formability – there is no removal of finish with 610 Scotch tape on a 2T bend. NCCA test 11-19.

9. Salt spray resistance samples diagonally scored and subjected to a neutral salt solution spray per ASTM B-117, then taped with Scotch #610 cellophane tape or equivalent for 1000 hours over aluminum- no blistering and no loss of adhesion greater than 1/32" from score line.
 10. Accelerated weathering has no cracking, blistering or adhesion loss of external coating system and no chalking greater than #8 rating after 500 HR as measured by ASTM D-4214-89.
 11. Dry Film Thickness .7-.9 Mils.
- C. Types of applications**—KP Siding panels are designed for use in residential and light commercial applications with elevations up to 40' (12.191m). For applications of a different nature, contact KP for further details and information concerning suitability.
- D. Accessories**—All accessories used with KP Aluminum Siding shall be KP accessories designed for use with the siding and having the same finish.
- E. Horizontal Panels**—Horizontal siding panels shall have interlocking horizontal edges, 3/8" (9.525mm) butt and a .094" (2.388mm) diameter circular weep holes spaced approximately 8" (203.2mm) centers in a shadow leg of every panel, thus allowing the wall to breathe and to permit condensation and water vapor within the wall to escape. Elongated nailing slots shall be provided on approximately 1 1/4" (31.75mm) centers in the nail hem of all panels to permit proper expansion and contraction on the wall. The nail hem and bottom lock of all panels shall be notched on both ends to provide for the proper overlapping of adjacent panels.
- F. Fire Resistance Properties**—as per CAN/ULC-5102. Flame Spread : 11 Smoke Density : less than 5% Ignition Properties : Self ignition did not occur. When ignited with a fire, after 15 seconds continued to burn for 2 feet (.6 m) for one minute and then extinguished. KP aluminum does not support combustion.
- G. Protection**—Direct contact of aluminum products with certain dissimilar materials or contact with the water run off from such materials is likely to result in corrosion. Therefore care should be exercised to avoid contact of aluminum with any corrosive materials during installation including but not limited to: pretreated lumber, concrete, masonry cement, stucco, salt, corrosive chemicals, similar metals (copper, zinc, steel etc.).



Aluminum Gutter Coil

Code #. 0785
Gauge027"
width 11.875"
lbs per roll 300

Code #. 0787
Gauge027"
width15"
lbs per roll 300

PVC Trim Coil

Code #. VA3PVC
roll/ctn 1
CTNS. Per palette . 32
Avg. WT/CTN (lbs) . 27
Length 24' X 50'



Polyester Trim Coil

Code #. VA4PLY
roll/ctn 1
CTNS. Per palette . 32
Avg. WT/CTN (lbs) . 4
Length 24' X 50'





(Colors shown are mechanically reproduced. For accuracy please see actual product sample.)

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The Norman Rockwell trademark is owned by the Norman Rockwell Family Agency, KP Building Products are officially licensed.



Made in the U.S.A.



Black finish / Large size



SALE

Bowman Wall Sconce

by Tech Lighting

★★★★★ (3 reviews)

\$334.90 - \$486.20

~~\$394.00 - \$572.00~~

FREE SHIPPING

SAVE 15% ▾

Choose Finish (5): **Black**



Choose Size (2): **Large**

Large

Choose Color Temperature (2): **3000**



Choose Voltage (2): **120 Volt**



SPECS

AVAILABILITY

SCHEMATICS

RATINGS + REVIEWS

CUT SHEET

PRINT THIS TAB

Ships To Canada

Dimmable

OK For Outdoor Use

The soft silhouette of classic table lamp shades is referenced and transformed into a sleek LED wall sconce fixture suitable for both indoor and outdoor applications. The Bowman Wall Sconce by Tech Lighting's die-cast metal body houses a powerful LED light source for plentiful illumination on even the darkest of nights.

Founded in 1987, Tech Lighting is the leading brand for modern decorative and specification grade architectural lighting. With a passion for innovation, original design and uncompromising quality, Tech Lighting delivers iconic and timeless indoor and outdoor lighting collections. By collaborating closely with lighting and interior designers to understand their needs and to solve their toughest challenges, the company has developed a reputation for excellence in contemporary lighting designs and low voltage lighting systems. Lighting is the only design element that impacts every other design element in a space and the Illinois-based company has applied that same standard to a growing collection of decorative and functional lighting. Their solutions range from modern chandeliers to LED undercabinet to architectural-grade outdoor lighting with a focus on quality and innovation.



Cut Sheet Preview

Customize

Add custom contact info, project, logo and more.

Create

Generate PDF Spec Sheet to save, print and share.

Bowman Outdoor Wall Sconce

By Tech Lighting



Call Us 866.428.9289

Product Options

Finish: Antique Bronze, Black, Silver, White, Charcoal

Size: Small, Large

Color Temperature: 2700, 3000

Voltage: 120 Volt, 277 Volt

Details

- Suitable for outdoor use (IP65 rating)
- Designed in 2014
- Material: Die-Cast Metal
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Made In China



Dimensions

Small Option Backplate: Height 4.5"

Small Option Fixture: Height 4.5", Depth 6.7", Diameter 4.5", Weight 3Lbs

Large Option Backplate: Height 6"

Large Option Fixture: Height 6", Depth 9", Diameter 7.5", Weight 3.4Lbs

Notes:

Lighting

- Small Option: 17.8 Watt (699 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Small Option: 17.8 Watt (699 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Small Option: 17.8 Watt (699 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Small Option: 17.8 Watt (699 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Large Option: 18 Watt (1163 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Large Option: 18 Watt (1163 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Large Option: 18 Watt (1163 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Large Option: 18 Watt (1163 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K

Additional Details

Product URL: <https://www.ylighting.com/bowman-wall-sconce-by-tech-lighting-TECP89764.html>

Rating: ETL Listed Wet

Product ID: TECP89764

Maillet
Residence
47 Station Road
Irvington, NY

Submission for Site Development Plan Approval
May 19, 2021

Re-Submission for Site Development Plan Approval
June 23, 2021

Re-Submission for Site Development Plan Approval
July 21, 2021

Submission for ARB Approval
October 4, 2021

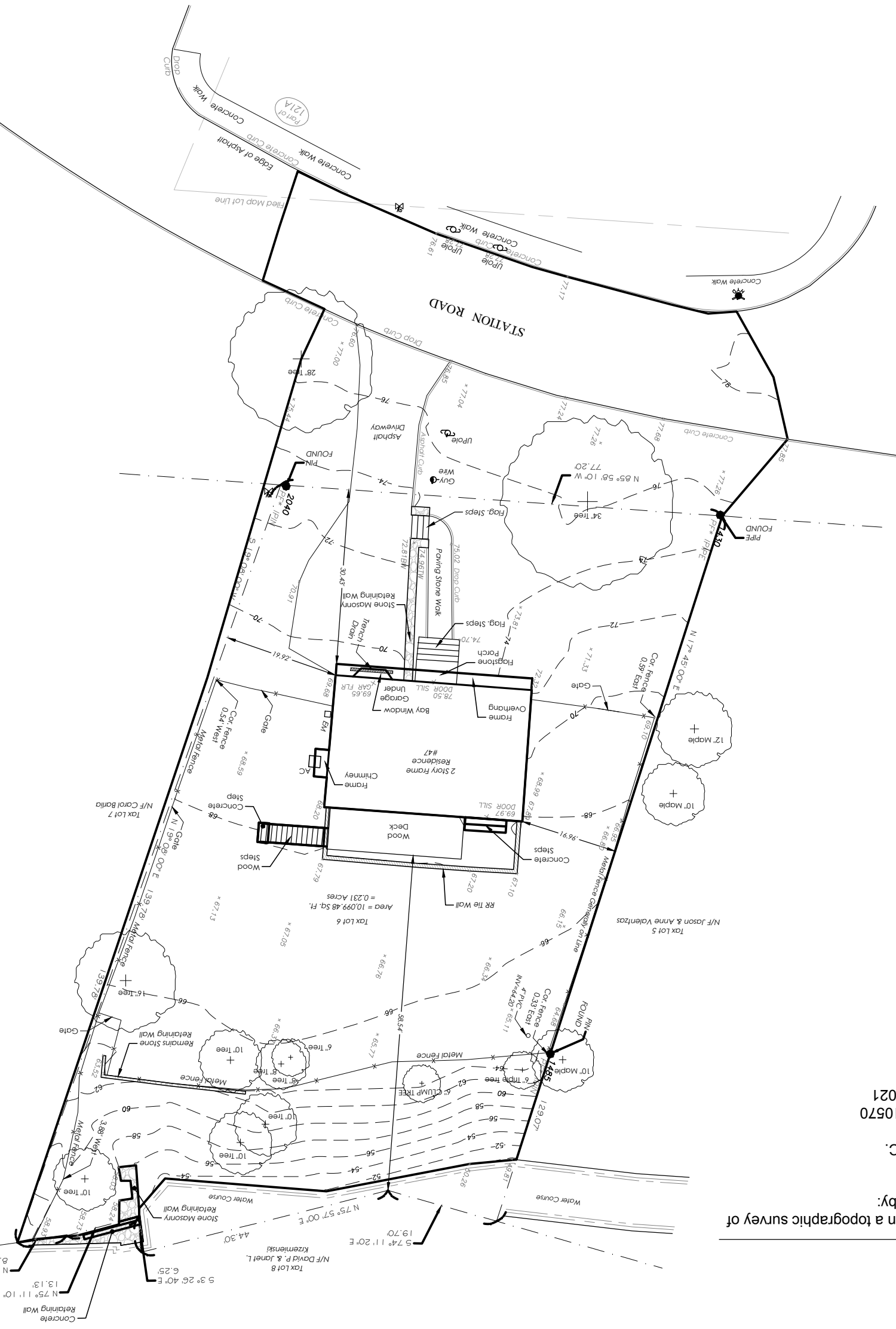
Revision

Revision

Revision

PROJECT NO.: 2034

021



FLOOR AREA DIAGRAM

Proposed	Proposed Floor Area Calculations	Existing	Existing Floor Area Calculations
<p>462 SF¹</p> <p>Basement¹</p> <p>2277</p> <p>942 SF</p> <p>Second Floor</p> <p>942 SF</p> <p>First Floor</p> <p>0 SF</p> <p>Attic</p> <p>2828 S.F. Max.</p>	<p>462</p> <p>942</p> <p>873</p> <p>942</p> <p>2277</p> <p>(90% of Allowable)</p> <p>2828 S.F. Max.</p>	<p>205 SF</p> <p>Basement¹</p> <p>805 SF</p> <p>Second Floor</p> <p>805 SF</p> <p>First Floor</p> <p>0 SF</p> <p>Attic</p> <p>2828 S.F. Max.</p>	<p>205</p> <p>805</p> <p>873</p> <p>942</p> <p>2277</p> <p>(66% of Allowable)</p> <p>2828 S.F. Max.</p>

SW*

Diagram illustrating the coverage areas for a building footprint, showing various components and their respective square footages (SF).

Component	Coverage (SF)
Principal Structure	805 SF
Deck	171 SF
Retaining Wall (Other)	16 SF
Retaining Wall (Other)	36 SF
Walk (Other)	37 SF
AC Pad (Other)	2 SF
Overhang	68 SF
Walk	41 SF
Walk	96 SF
Retaining Wall (Other)	16 SF
Retaining Wall (Other)	2 SF
Other	2 SF

Coverage Calculations

Category	Coverage (SF)
Principal Structure	805
Deck	171
Retaining Walls, AC Pads	190
Pool	0
Hangs	68
Other	93
Total	1327

(66% of Allowable)

Proposed Coverage:

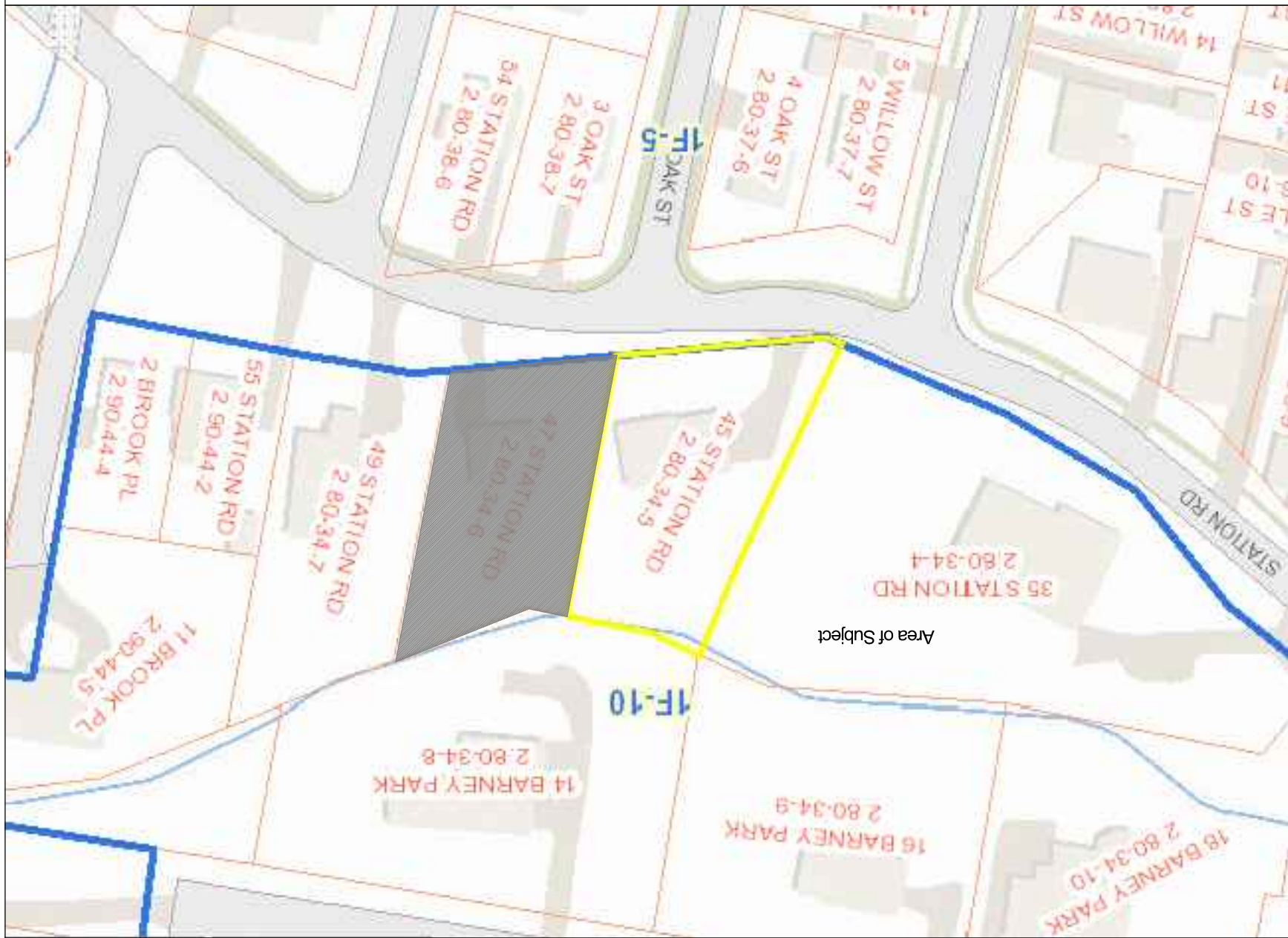
Area	Square Feet
Structures	942
Decks	342
Patios, Walks	451
Porches	0
Floor Overhangs	68
Swimming Pool	0
Other (Retaining Walls, AC Pads)	1941
Total	2113

2012 S.F. Max. (96% of Allowable)

Coverage Calculations

1

LAP



SIS.

GENERAL INFORMATION			
ADDRESS	47 Station Road, Irvington, NY		
ZONING DISTRICT	1F-10		
	PARCEL ID		
2,80-34-6			
USE REQUIREMENTS - AS PER SECTION 224-8			
CATEGORY	One-Family	EXISTING	PROPOSED
USE	One-Family	No Change	REMARK
LOT REQUIREMENTS - AS PER SECTION 224-10			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
Lot Area	S. F.	10,000 S. F. Min.	No Change
Lot Width	F. T.	85.00' Min.	No Change
Lot Depth	F. T.	100.00' Min.	No Change
YARD REQUIREMENTS - AS PER SECTION 224-11			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
REMARK			
Front Yard (South) F. T.	30' Min.	30.43'	No Change
Side Yard (East) F. T.	15' Min.	19.92'	No Change
Side Yard (West) F. T.	15' Min.	16.96'	15.00'
Rear Yard (North) F. T.	30' Min.	58.54'	47.08'

General Notes:

CATERING COVERAGE REQUIREMENTS - AS PER SECTION 224:13		REQUIRED / ALLOWED	EXISTING	1327 SF	PROPOSED	1941 SF	REMARK
Building Coverage	2012 S.F. Max.						
RESIDENTIAL FLOOR AREA RATIO REQUIREMENTS - AS PER SECTION 224:136							
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK			
Floor Area Ratio	0.28 Max.	0.19	0.23				
Floor Area	2828 S.F. Max.	1883 SF	2277 SF				
BUILDING SIZE REQUIREMENTS - AS PER SECTION 224:3							
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK			
Building Height	2.5 STY/ 35 FT	32'-6"	33'-3"				
OFF-STREET PARKING REQUIREMENTS - AS PER SECTION 224:14							
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK			
Parking Space	2 Min.	2 Spaces	No Change				

Basement has been included as per section 224-137 B.
Garage has been calculated as per section 224-137 D.(1).
Attic has been calculated as per section 224-137 C.(5).

Basement has been included as per section 224-137 B.
Garage has been calculated as per section 224-137 D.(1).
Attic has been calculated as per section 224-137 C.(5).

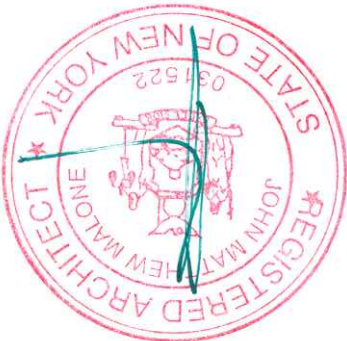
Zoning Analysis

SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

G-1.00



to the best of my knowledge, believe, and
specifications depicted on these drawings are in
compliance with the applicable provision of the New
York State Uniform Fire Prevention and Building Code
and the New York State Energy Conservation
Construction Code currently in effect.

NO.	DATE	ISSUE/REVISION
1	06/23/2021	IPB Re-Submission
	05/19/2021	IPB Submission

Mailliet
Residence
47 Station Road
Irvington, NY

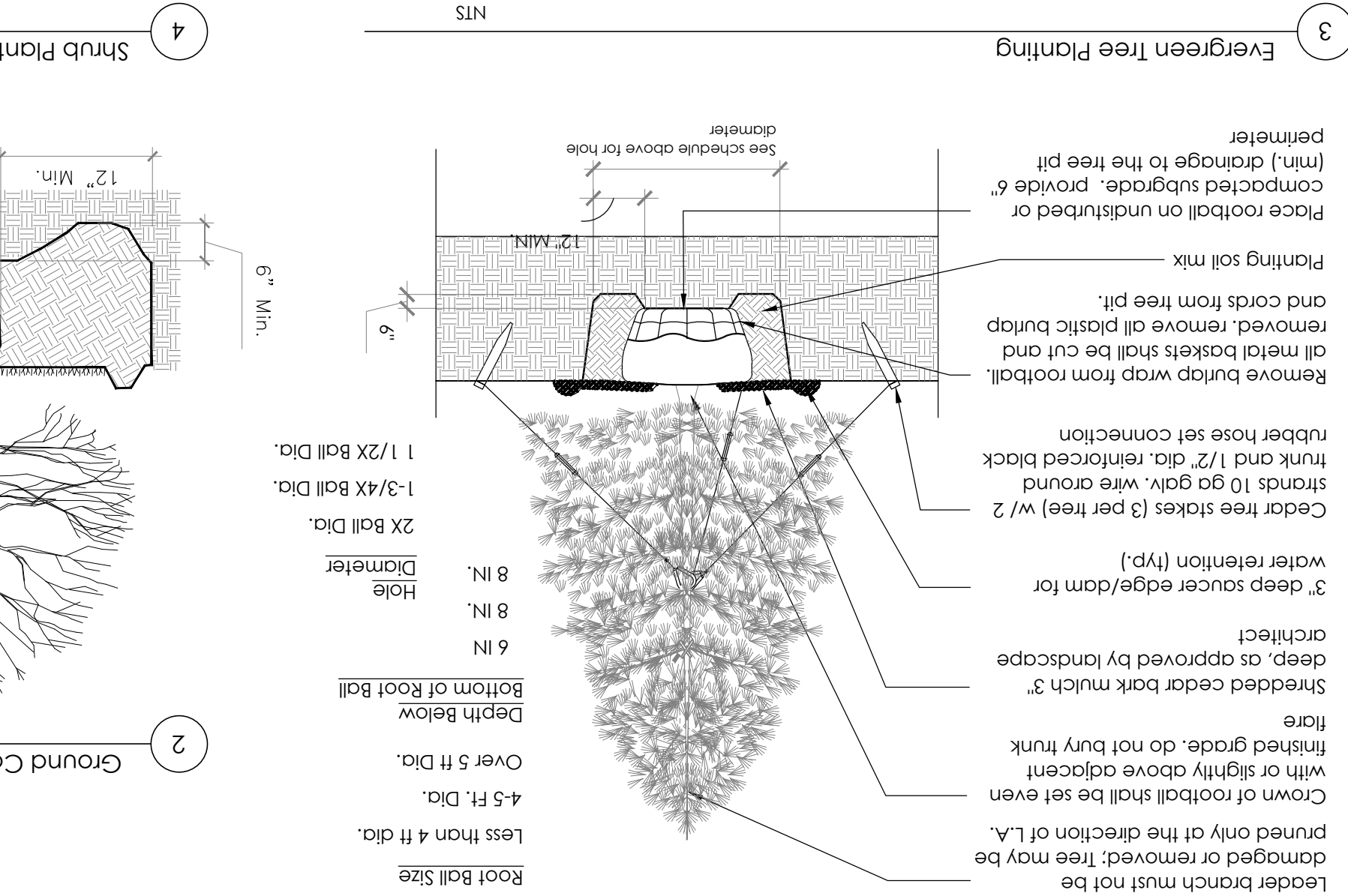
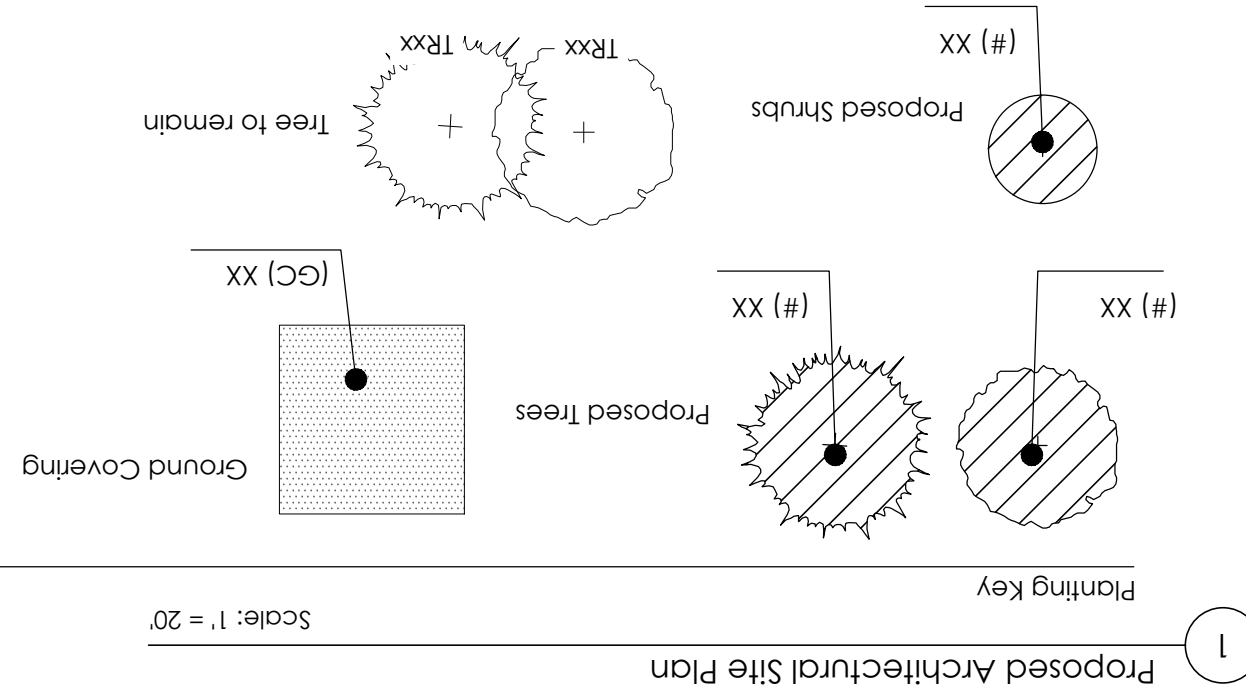
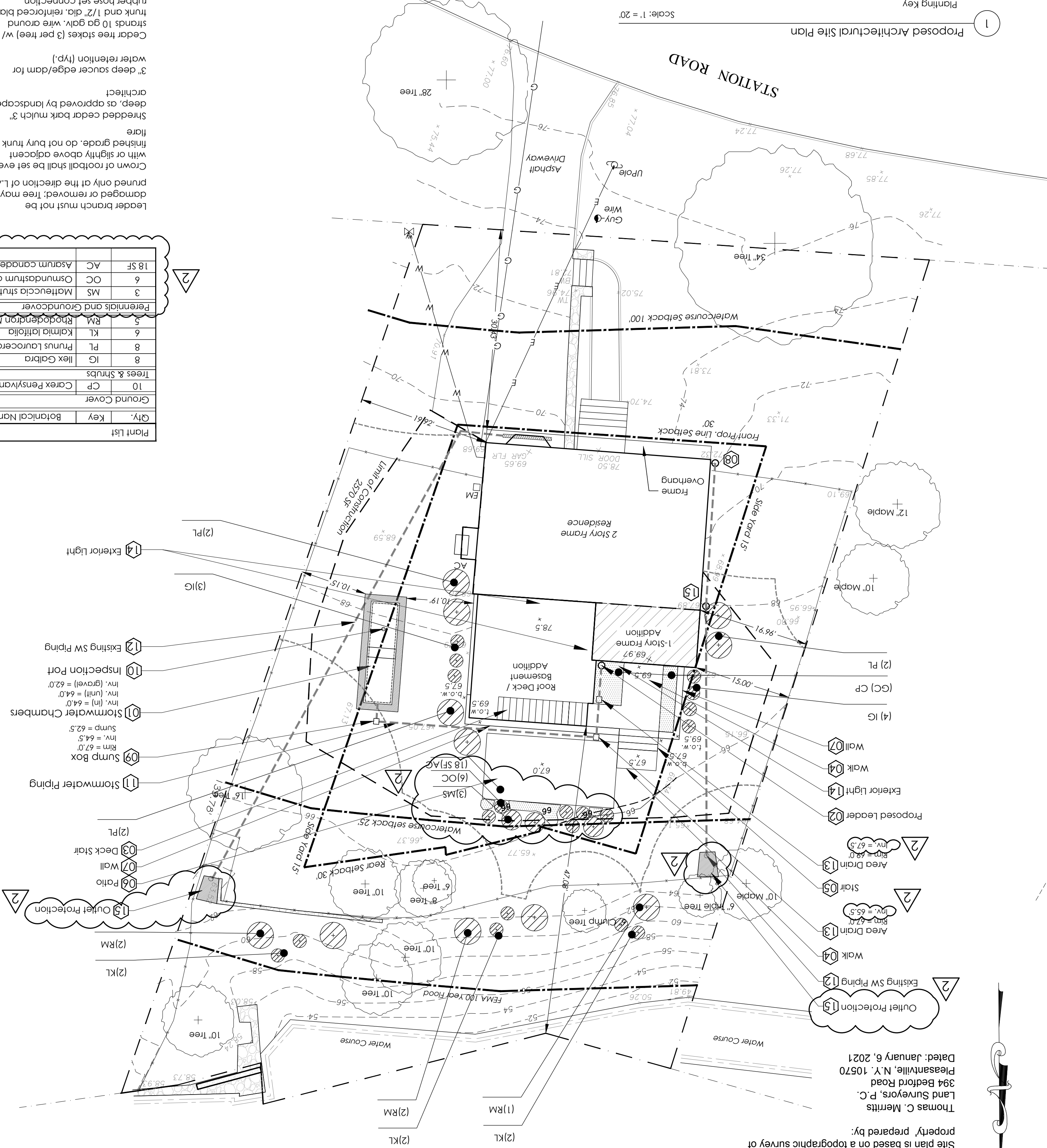
General Note

Site plan is based on a topographic survey of property prepared by:

Thomas C. Merritts
Land Surveyors, P.C.

394 Bedford Road
Pleasantville, N.Y. 10570

Dated: January 6, 2021



Plant List

Qty.	Key	Botanical Name	Common Name	Size (Planted)	Size (Mature)	Remarks
3	MS	Nyctaginia struthioptera	Ostrich Fern	18"	36"	Native
6	OC	Osmundastrum cinnamomeum	Cinnamon Laurel	12"	24"	Native
18 SF	AC	Asarum canadense L.	Wild Ginger	4"	2 plants per SF, Native	
5	RM	Rhododendron Maximum	Great Laurel	12"	24"	Native
6	KL	Kalmia latifolia	Mountain Laurel	12"	24"	Native
8	PL	Pinus laurifolia	Schip Laurel	4"	7"	Shade compatible, Deer resistant
8	IG	Ilex glabra	Inkberry Holly	2"	4"	Native
10	CP	Carex pensylvanica	Pennsylvania Sedge	12"	18"	Native, 1 plant/SF
10	CP	Carex pensylvanica	Pennsylvania Sedge	12"	18"	Native, 1 plant/SF

Site Lighting General Notes

224-72.C (4) of the Village Code.

All lighting shall be dark-sky compliant. All lighting fixtures shall be full cutoff and shall utilize light shields as necessary to reduce light trespass and glare. Lighting should be designed to the minimum level required for health and safety and shall not exceed five footcandles.

No trees are to be removed or disturbed.

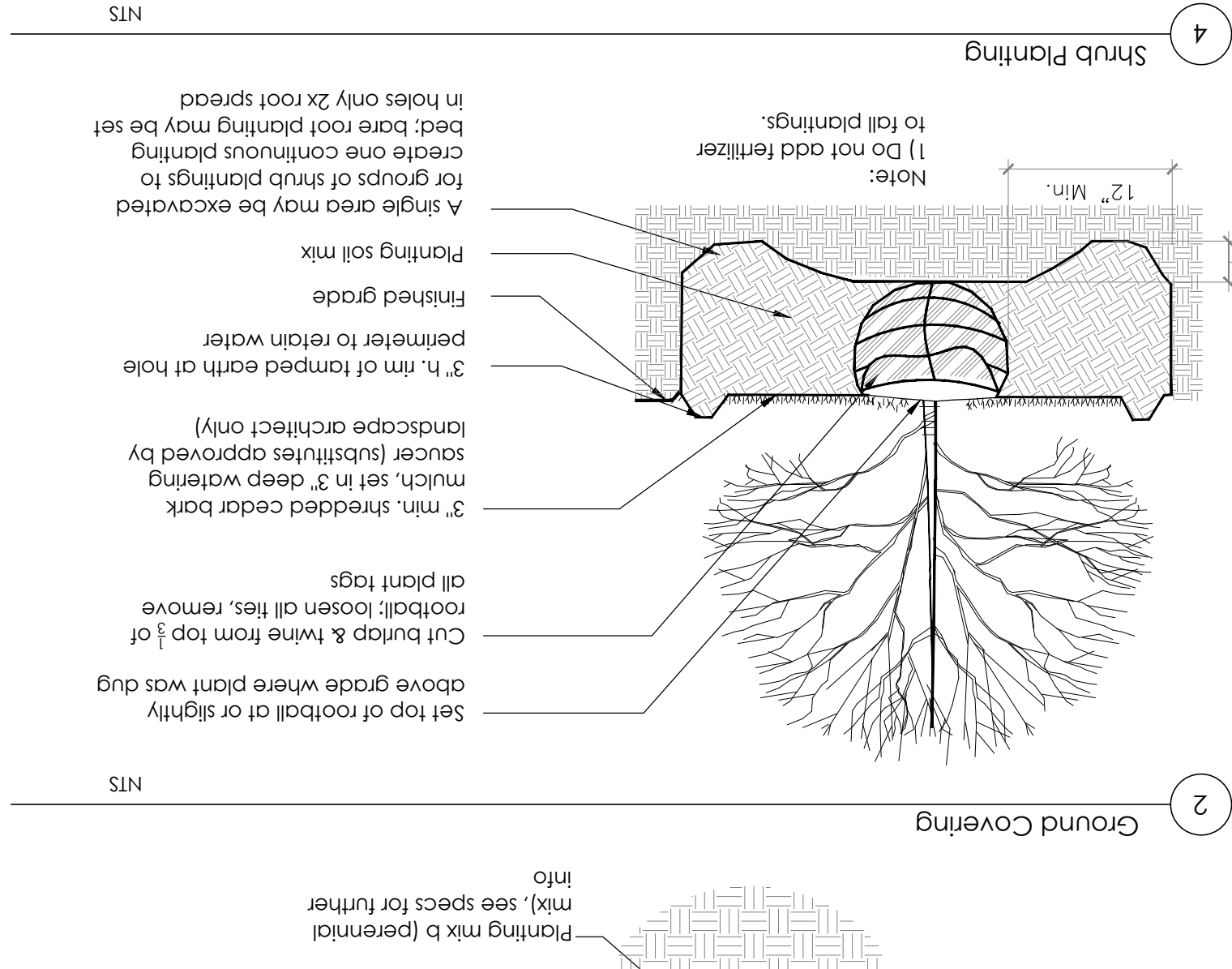
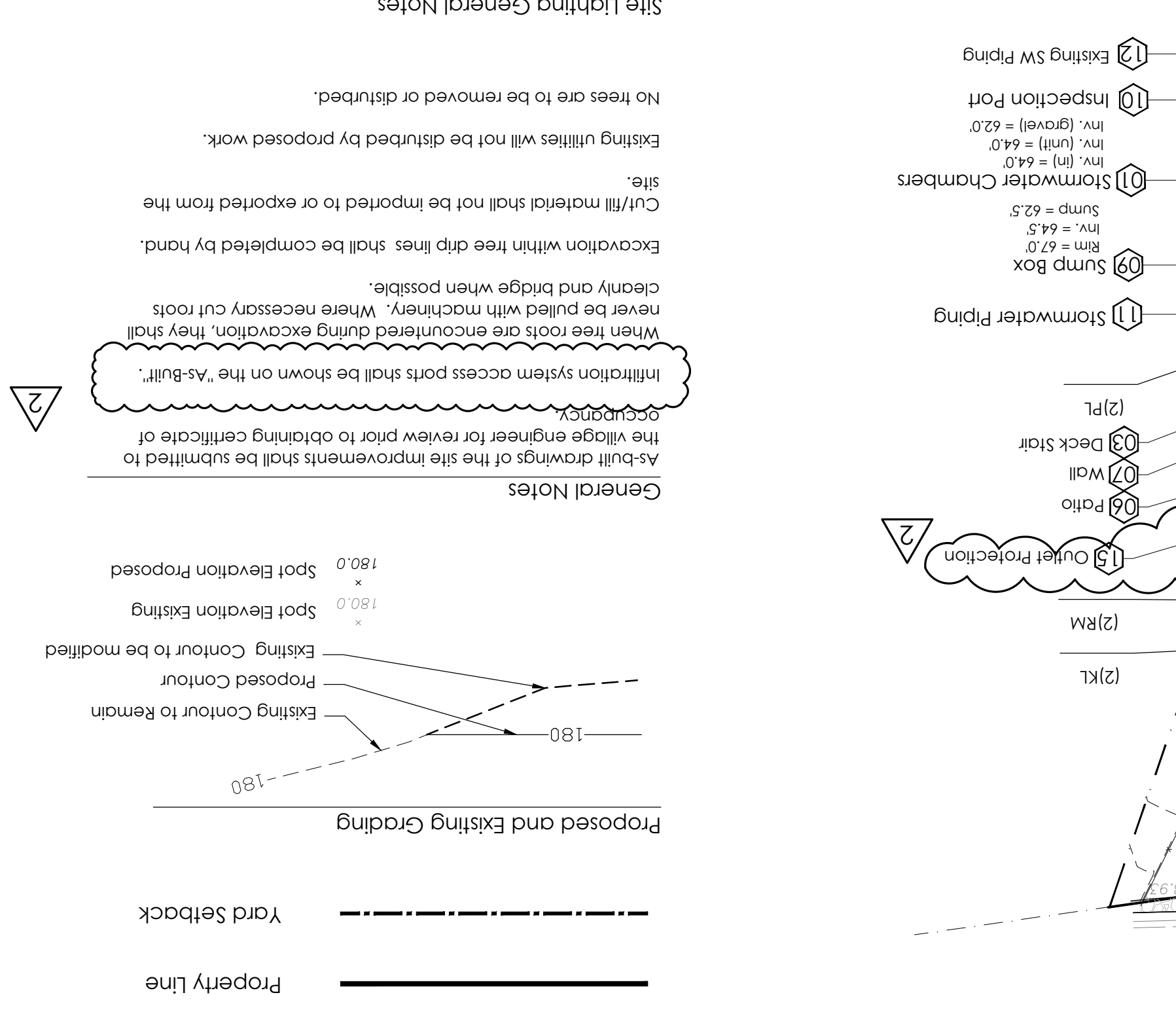
Existing utilities will not be disturbed by proposed work.

Cut/fill material shall not be imported to or exported from the site.

Excavation within tree drip lines shall be completed by hand, cleanly and bridge when possible.

When tree roots are encountered during excavation, they shall never be pulled with machinery. Where necessary cut roots

Infirration system access ports shall be shown on the "As-Built".



Ground Covering

12" Min. for groundcovers

24" Min. for perennials

Groundcover plants - set on sides to promote rooting

2" Shredded cedar bark mulch

Planting mix (perennial mix), see specs for further info

Construction Sequencing

1. Place orange construction fencing around areas to be used for infiltration to avoid compaction

2. Install construction entrance to the development area The existing gate or a portion of the fence may be removed and reinstalled post construction.

3. Establish construction staging area in driveway.

4. Install fill fence down slope of oil dries to be disturbed as shown on plans

5. Strip topsoil and stockpile at the locations specified on the plans (up gradient of erosion control measures). Temporarily stabilize topsoil stockpiles (hydroseed during May 1st through October 31st planting season or by covering with a tarpaulin) November 1st through April 30th) Install silt fence around toe of silt

7. Demolish any existing site features and/or structures noted as being removed on the construction documents, and dispose of off site

8. Rough grade site

9. Excavate and install stormwater units per manufacturer's recommendations and requirements. Stormwater units shall be temporarily plugged until the completion of construction and the site is stabilized

10. Install oil prefiltration devices, catch basins and piping

11. Excavate and construct foundations for addition

12. Construct building additions

13. Fine grade and seed oil disturbed areas. Clean drain lines and exfiltration galleries. Ensure grass stand is achieved

14. Unplug stormwater system. Install and connect all roof drain leaders.

15. Install 4"-6" of topsoil, fine grade, seed in all disturbed areas and install landscape plantings. Spread soil may over seeded areas

16. Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation

* Soil erosion and sediment control maintenance must occur weekly and prior to and after every 1/2" or greater rainfall event.

Key Notes

01 Stormwater Chambers - See Detail #5 on sheet G-1.10 for additional information and capacity calculations. A deep pit test and infiltration test to be performed prior to construction, results of which are to be provided to the building department.

02 Proposed Leader - New leader location

03 Deck Stair - Proposed stairs down to grade from roof deck - Refer to architectural plans for more information

04 Walk - Proposed bluestone walk from basement door to patio - See Detail #1 on sheet G-1.10.

05 Stair - Proposed stone steps and landing to patio - Refer to Detail #2 on sheet G-1.10.

06 Patio - Proposed bluestone patio - See Detail #1 on sheet G-1.10

07 Wall - Proposed retaining wall - Refer to Detail #3 on sheet G-1.10.

08 Existing Leader - Existing leader - Connected to underground piping and extending to existing outlet.

09 Sump Box - 12 x 12 precast sump box with 24" sump below invert of pipe, Campbell frame and Cover No. 2800 o.d.e.; see detail #5 on sheet G-1.10

10 Inspection Port - See detail #6 on this sheet

11 Stormwater Piping - 6" Ø HDPE N-12 @ 1% Min.

12 Existing SW Piping - Existing piping connected to existing leaders terminated at stormwater units.

13 Area Drain - NDS 12x12 catch basin with metal grate - 6" pipe diameter

14 Exterior Light - Outdoor wall sconce Dark Sky compliant - WAC WS-W15708-B2

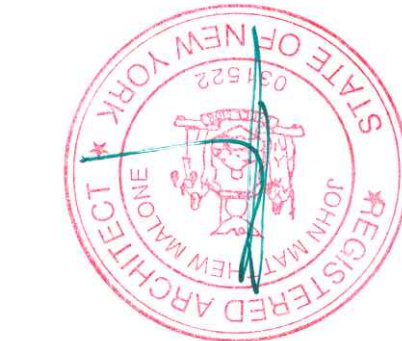
15 Outlet Protection - Provide rmp outlet protection see detail 7 on sheet G-1.10

Maillet Residence

47 Station Road
Irvington, NY

NO.	DATE	ISSUE/REVISION
1	07/21/2021	IFB Re-Submission
2	06/23/2021	IFB Re-Submission
3	05/19/2021	IFB Submission

To the best of my knowledge, believe, and good faith, the information, data, and specifications depicted on these drawings are in accordance with the applicable provisions of the New York State Energy Conservation Law and the New York State Building Code.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10333

T 914 591 5066 F 914 591 5031

SCALE: As Noted

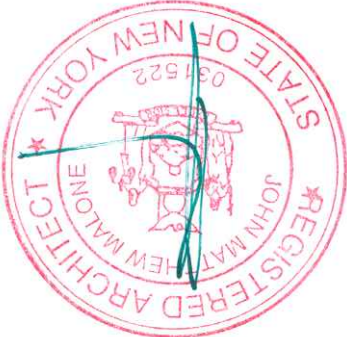
DATE: 03/03/2021

JOB: 2034

G-1.02

[illegible]

To the best of my knowledge, believe, and professional judgement of the undersigned, the plans and specifications depicted on these drawings are in compliance with the applicable provision of the New York State Uniform Fire Prevention and Building Code and the New York State Energy Conservation Code currently in effect.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET

IRVINGTON NY 10533

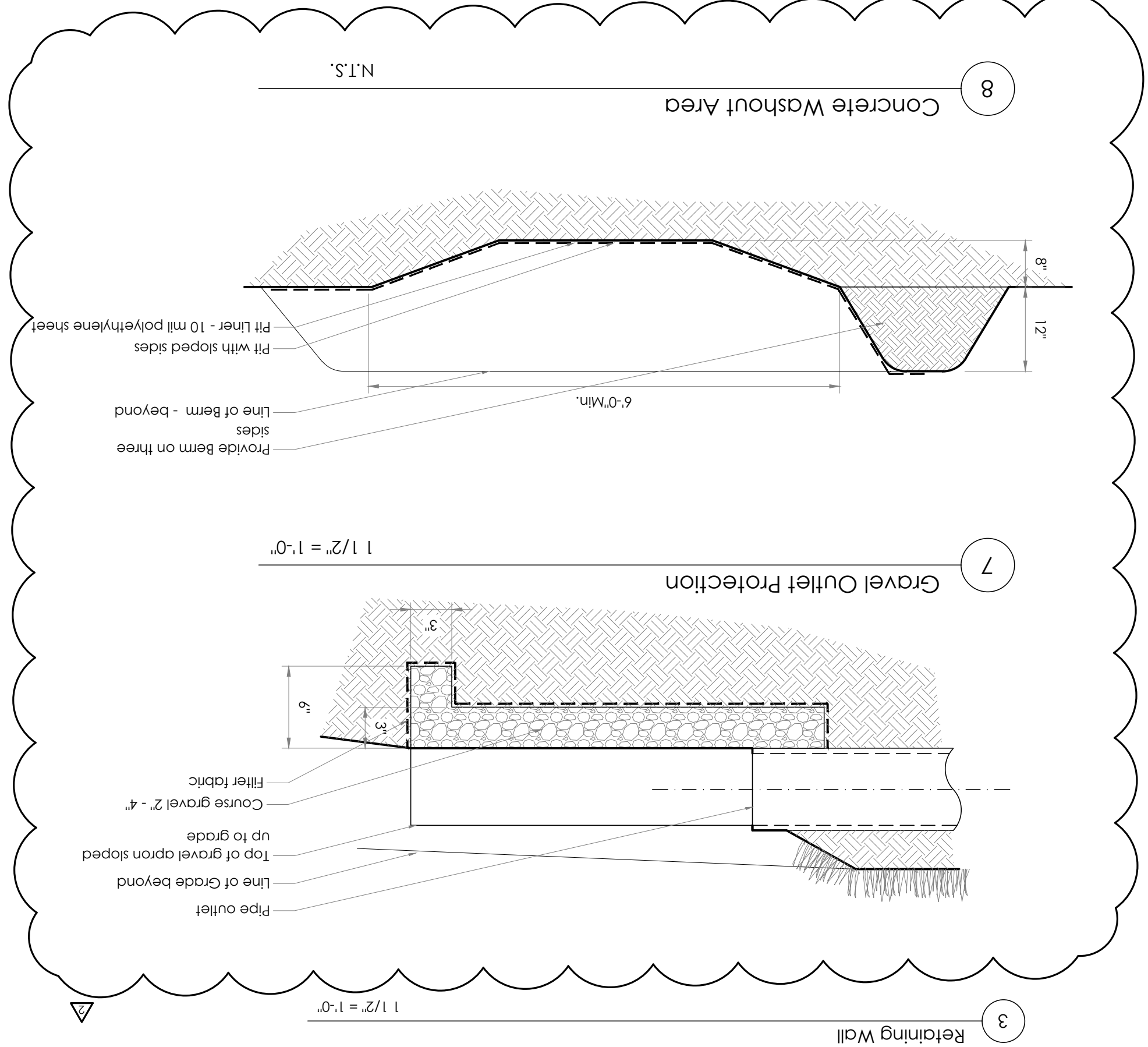
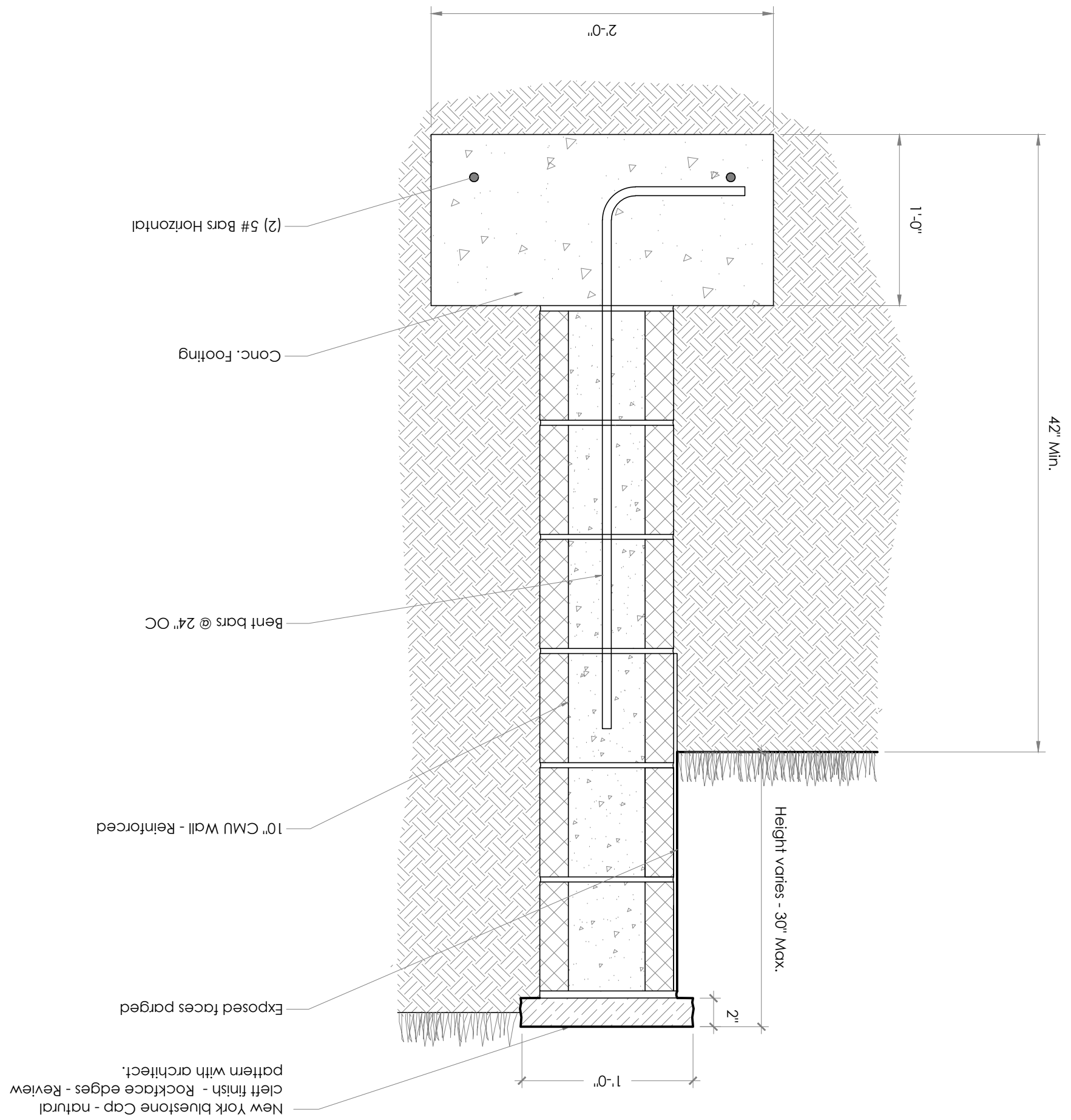
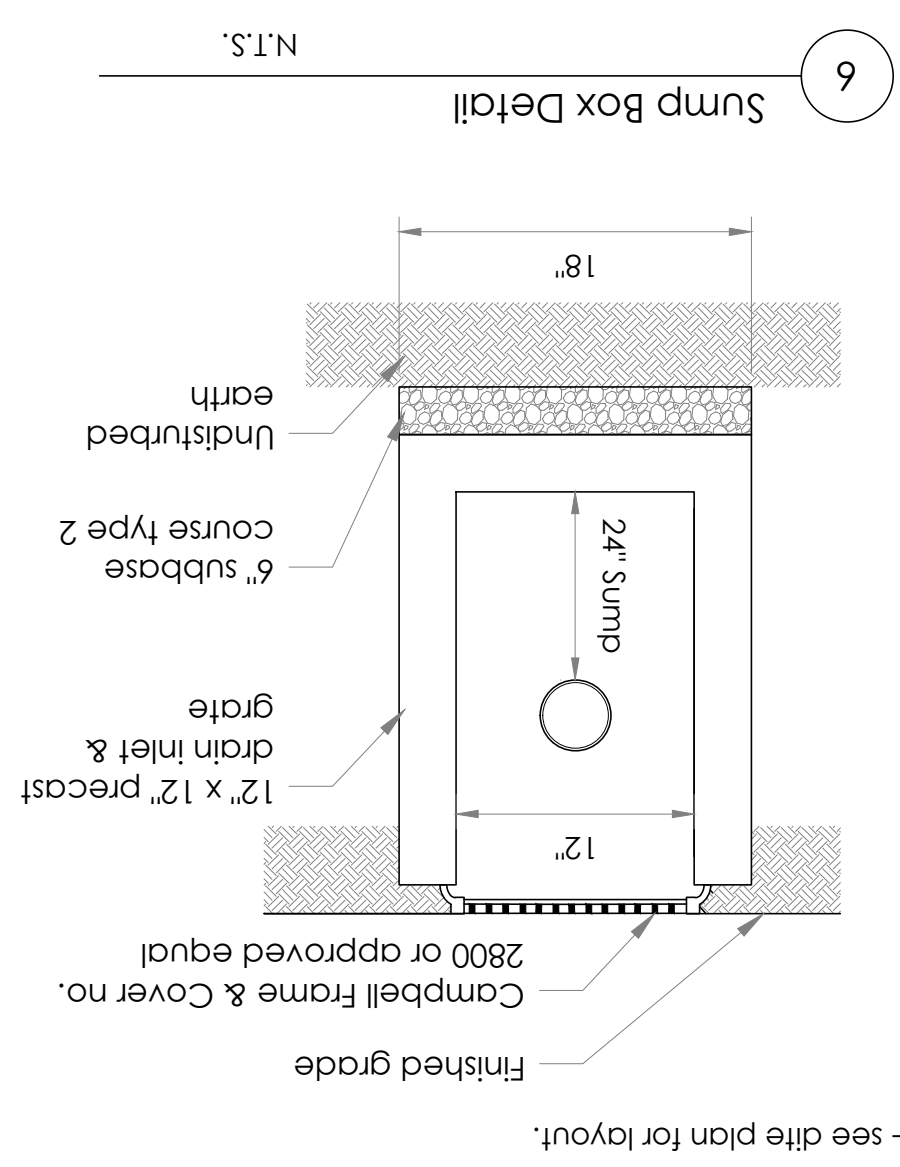
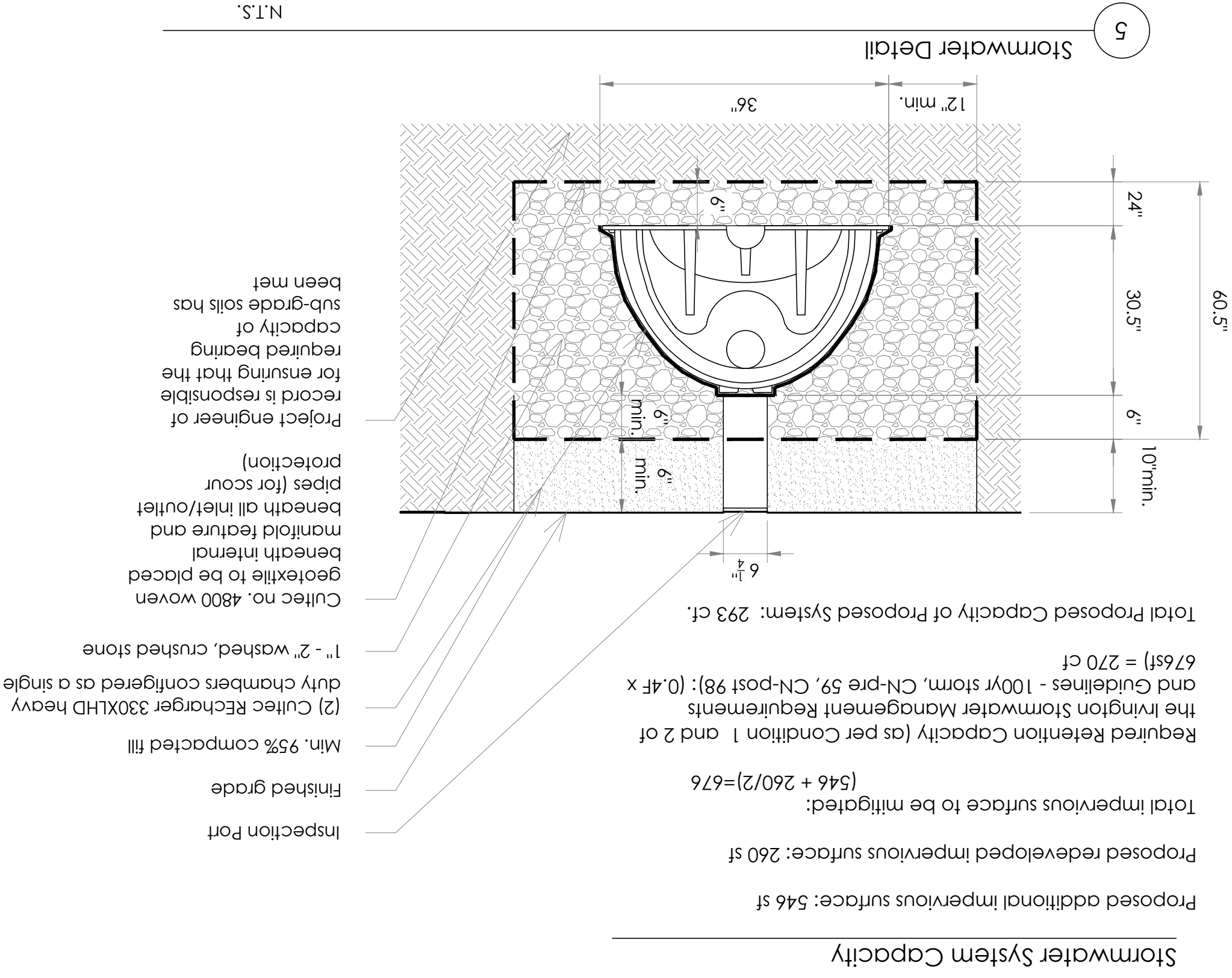
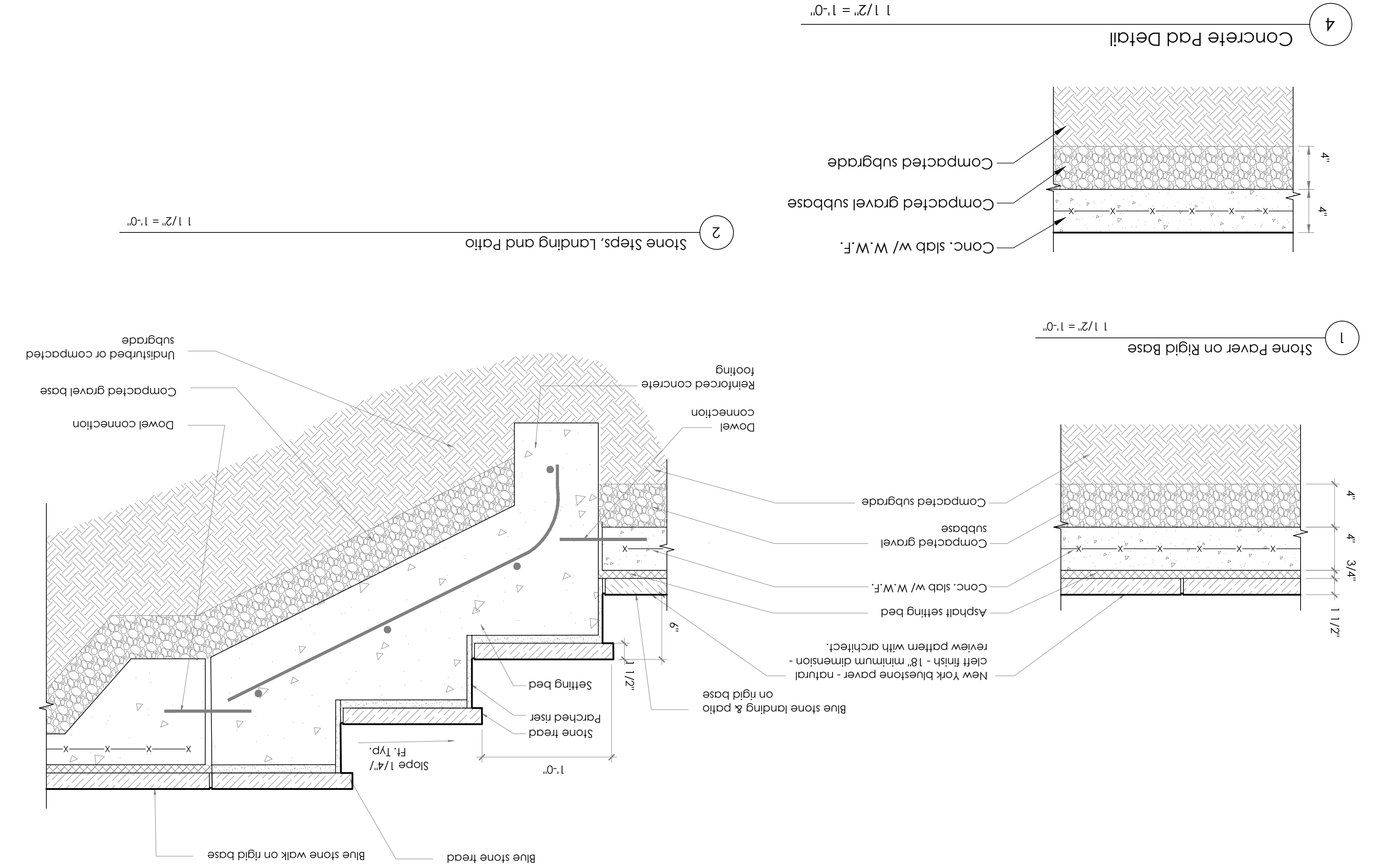
T 914 591 5066 F 914 591 5031

Site Details

SCALE: As Noted

DATE: 03/03/2021

JOB: 2034



Majillet
Residence

47 Station Road
Irvington, NY



2 Existing East facade

N.T.S.



3 Existing North facade

N.T.S.



1 Existing South facade

N.T.S.



4 Existing West facade

N.T.S.



5 Existing Sliding, Window and Trim

N.T.S.



6 Existing Sliding, Sliding Door and Trim

N.T.S.

NO.	DATE	ISSUE/REVISION
3	10/04/2021	A&B Submission
2	07/21/2021	IP&B Re-submission
1	06/23/2021	IP&B Re-submission
	05/19/2021	IP&B Submission

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET

IRVINGTON NY 10533

T 914 591 5066 F 914 591 5031

Existing Exterior
Pictures

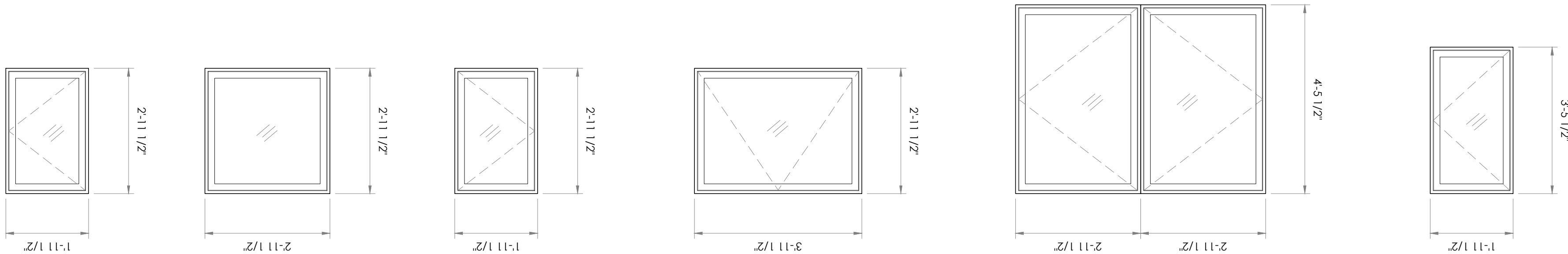
SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

G-1.20

New Sheet



Window Schedule					
Tag	Description	Manufacturer/Style	Product Name / Number	Finish/Color	Remark
A	Casement	Marvin Windows - Essential Casement	ESCA2036	Ulfix acrylic finish, stone white interior, stone white exterior	See elevations
B	Casement	Marvin Windows - Essential Double Casement	(2) ESCA3046	Ulfix acrylic finish, stone white interior, stone white exterior - Egress	See elevations
C	Awning	Marvin Windows - Essential Awning	ESAWN4030	Ulfix acrylic finish, stone white interior, stone white exterior	See elevations
D	Casement	Marvin Windows - Essential Casement	ESCA2030	Ulfix acrylic finish, stone white interior, stone white exterior	See elevations
D1	Casement	Marvin Windows - Essential Casement	ESCA2030	Ulfix acrylic finish, stone white interior, stone white exterior	RH operable w/screen.
E	Picture	Marvin Windows - Essential Picture	ESCAP3030	Ulfix acrylic finish, stone white interior, stone white exterior	See elevations

Window Notes

All new windows to meet the requirements of Residential Code of New York and are to have a U-factor of 0.53 or less and SHGC of 0.7 or less.

Operable windows hardware to be selected by homeowner.

Verify rough opening and wall thickness for window jam dimensions in field.

* Standard size - operator, stationery - tempered recommended or required

Submit window and hardware specifications and shop drawings for architect's approval.

NO.	DATE	ISSUE/REVISION
3	10/04/2021	A88 Submission
2	07/21/2021	IF8 Re-submission
1	06/23/2021	IF8 Re-submission
	05/19/2021	IF8 Submission



FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Window Schedule

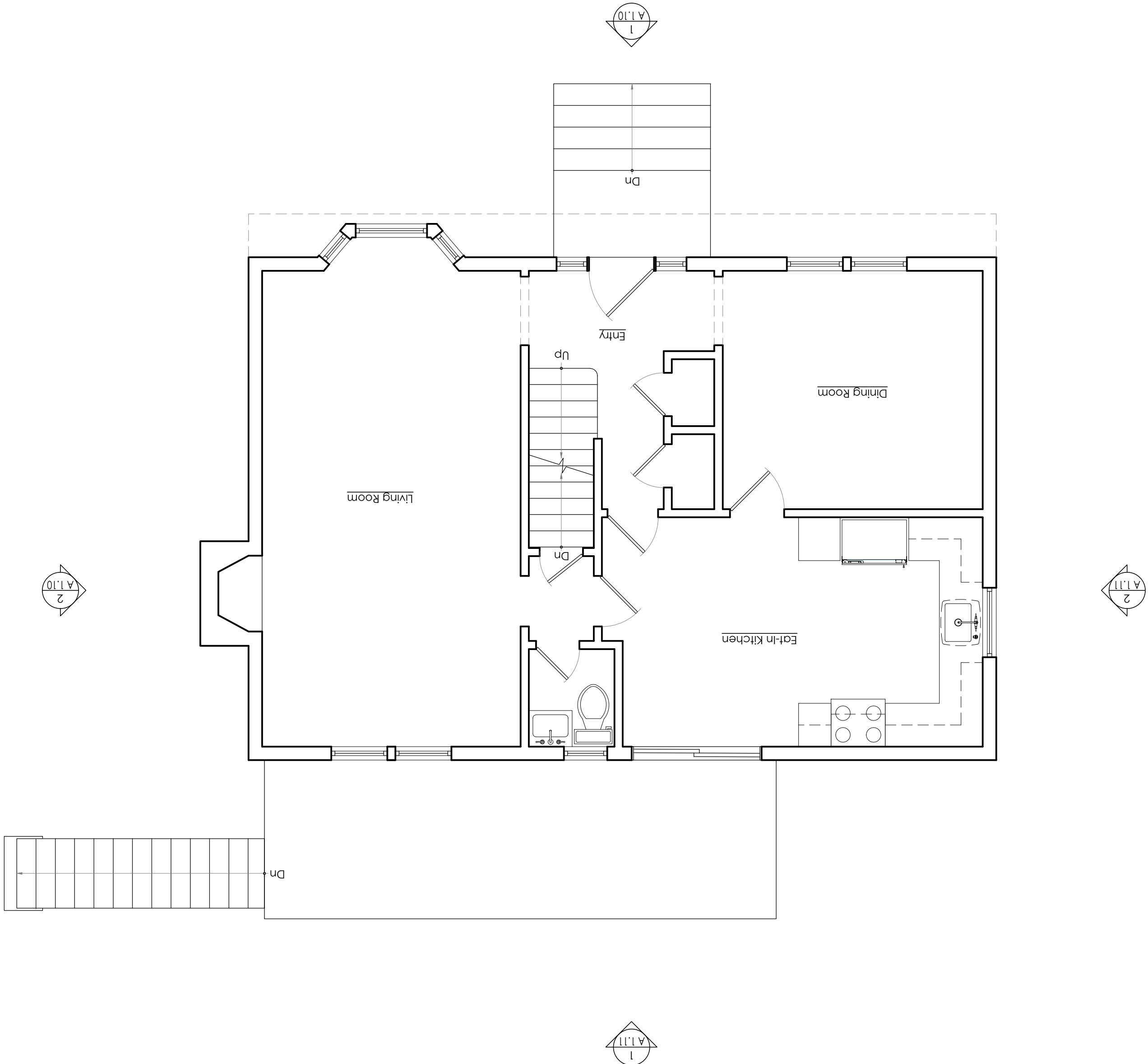
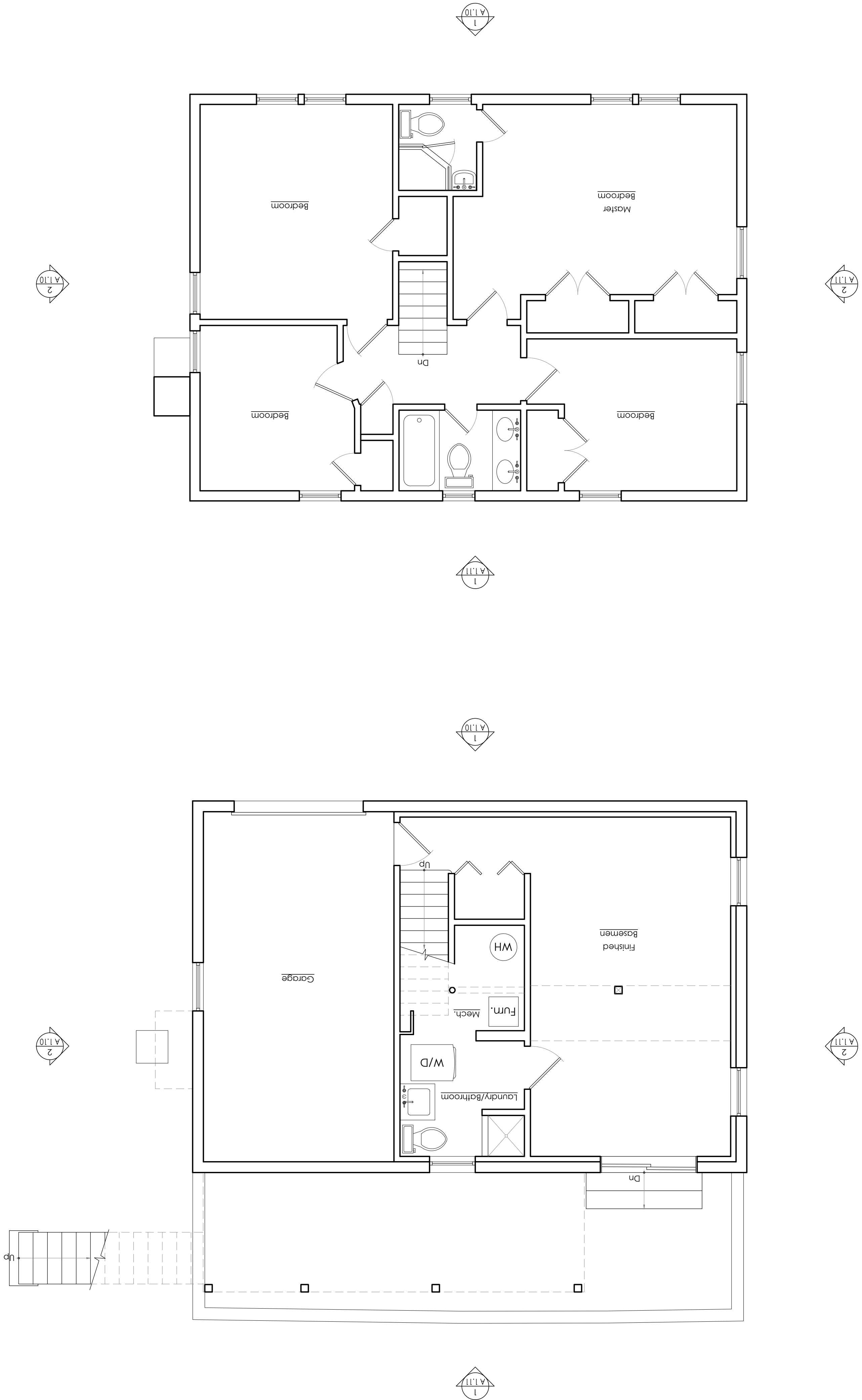
SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

A-0.11

New Sheet



Mailet
Residence

47 Station Road
Irvington, NY

NO. DATE ISSUE/REVISION

3 10/04/2021 A88 Submission

2 07/21/2021 IP8 Re-submission

1 06/23/2021 IP8 Re-submission

05/19/2021 IP8 Submission

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

SCALE: As Noted

DATE: 03/03/2021

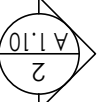
JOB: 2034

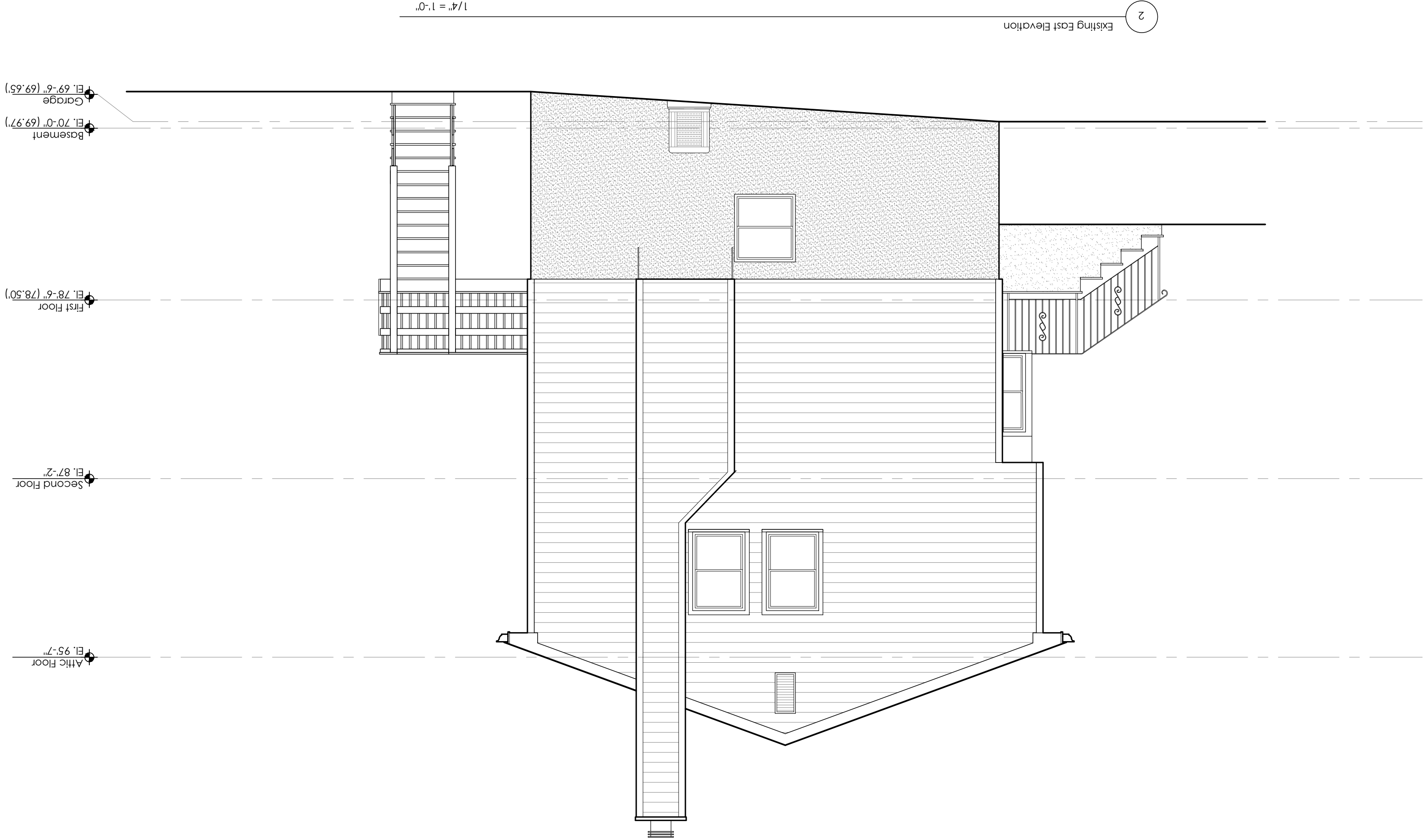
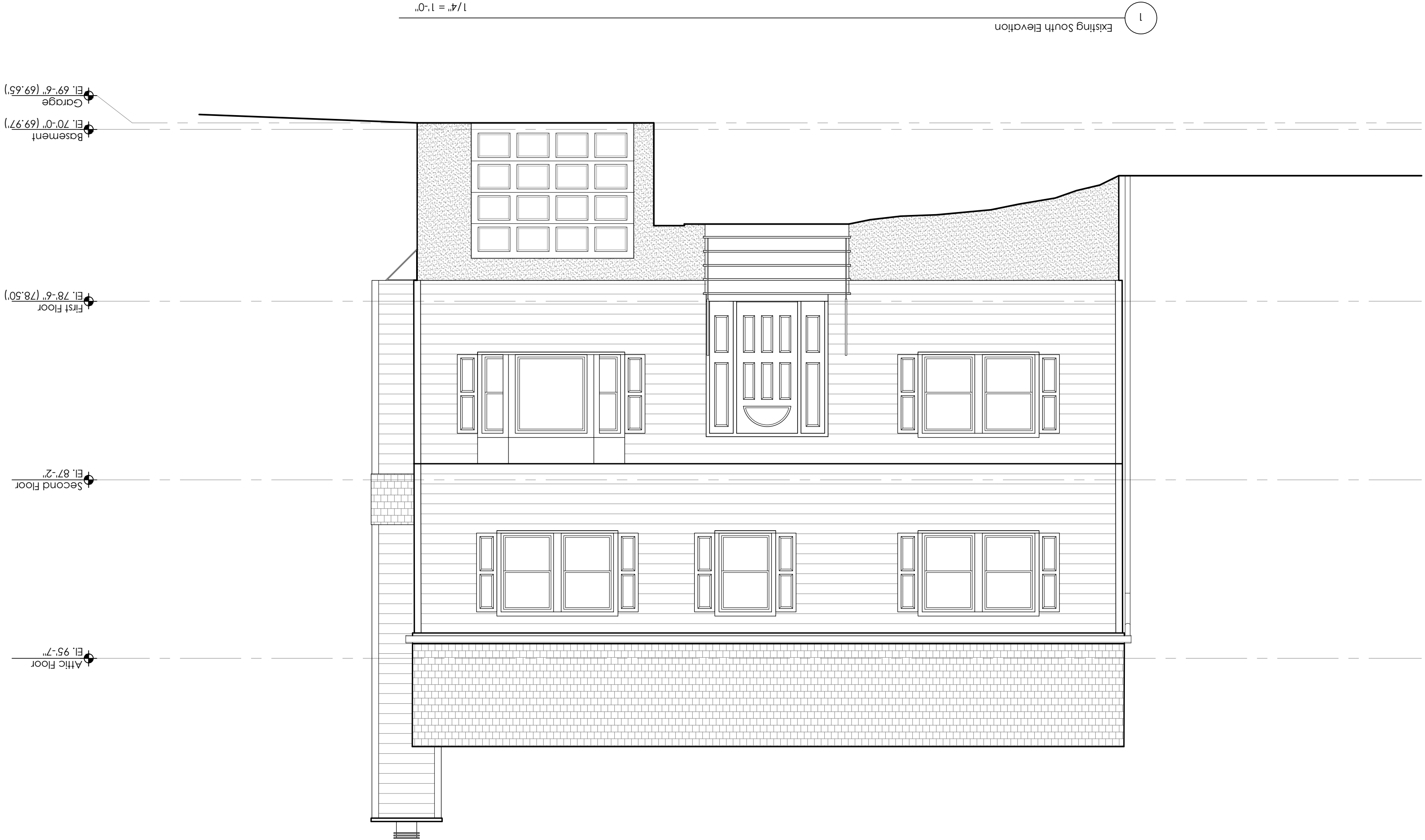
A-1.00

Floor Plans

REGISTERED ARCHITECT
STATE OF NEW YORK
JONATHAN MALONE
04522

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018 New York State Energy Amendments) which includes Chapter 11 Energy Efficiency.





NO.	DATE	ISSUE/REVISION
3	10/04/2021	A&S Submission
2	07/21/2021	IP&S Re-Submission
1	06/23/2021	IP&S Re-Submission
	05/19/2021	IP&S Submission

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (BC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

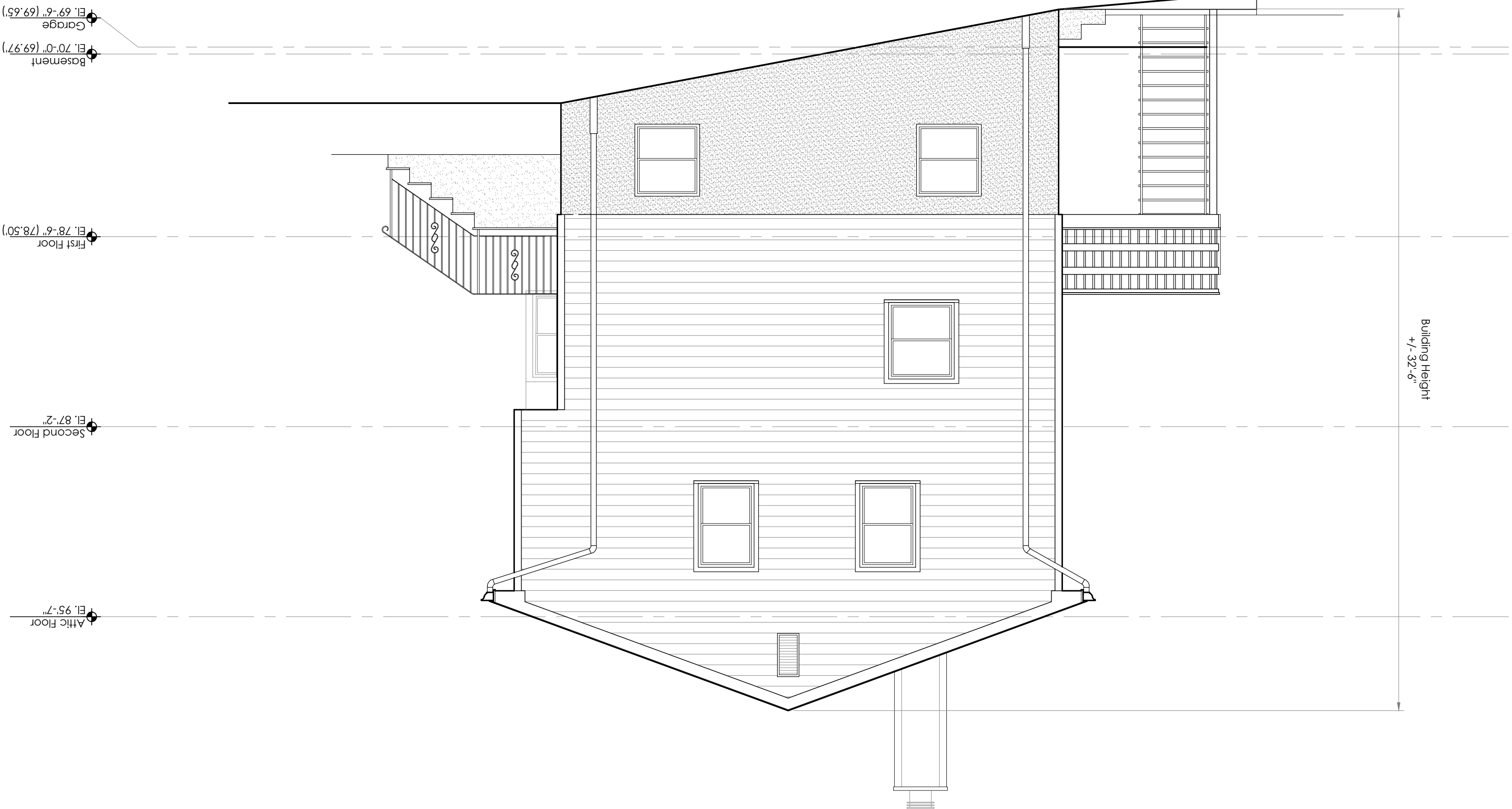
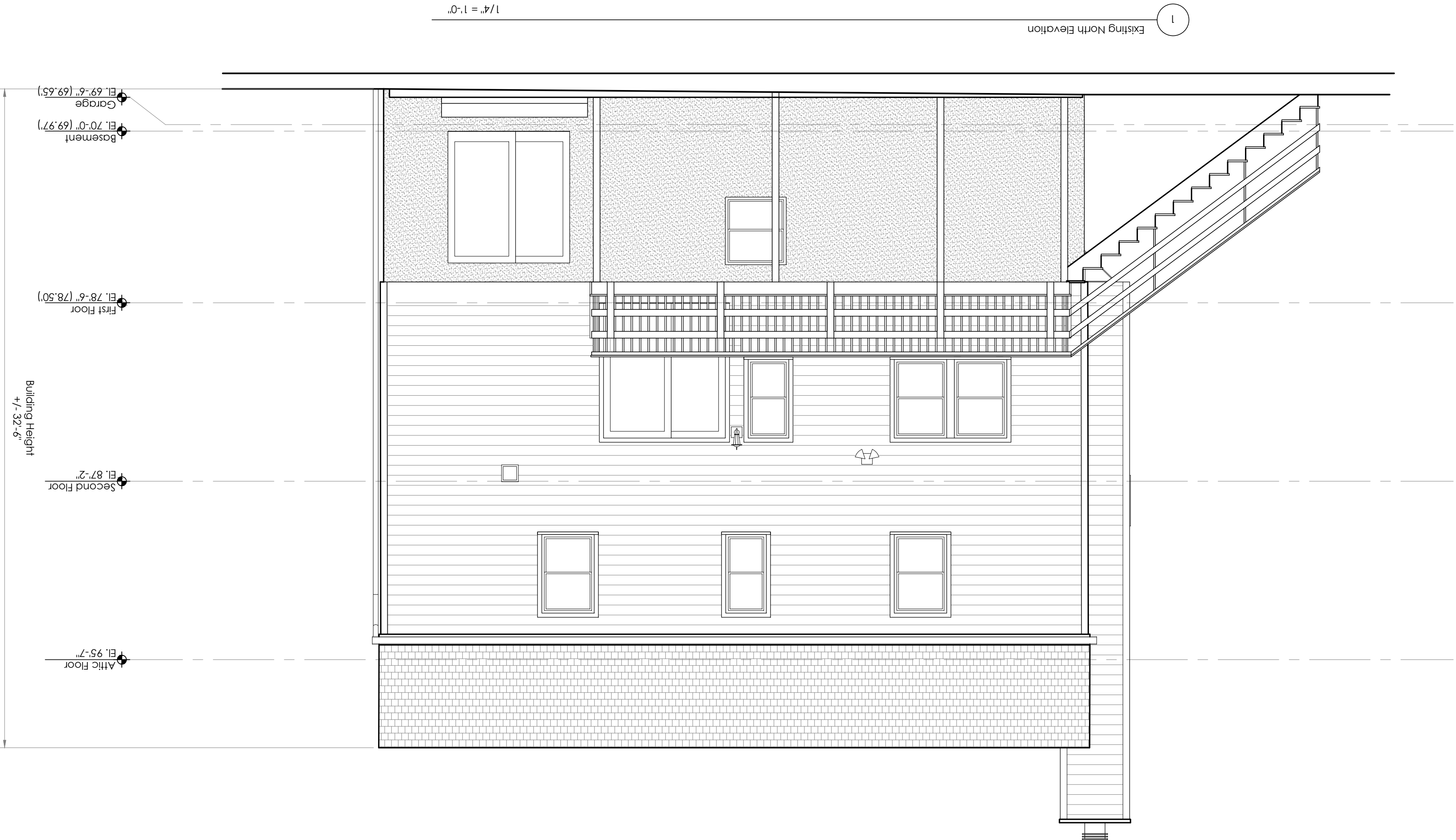
Existing Exterior
Elevations

SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

A-1.10



NO.	DATE	ISSUE/REVISION
3	10/04/2021	A&S Submission
2	07/21/2021	IFB Re-submission
1	06/23/2021	IFB Re-submission
	05/19/2021	IFB Submission

In developing the plans and specifications for the project, the architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Existing Exterior
Elevations

SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

A-1.11

General Notes

Proposed renovation and addition will comply with the energy efficiency code requirements as per the 2020 residential code of New York State.

Any existing wall, ceiling or floor cavities exposed during construction will be insulated as per Section N1 109.1. Exceptions 2 and 5.

The dwelling unit is to be tested and verified as having an air leakage rate not to exceeding three air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E279 or 29VM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a qualified testing agency, at any time after creation of all penetrations of the building thermal envelope.

Portion Notes

All gypsum board materials and accessories shall conform to ASTM C26, C79, C1394, and shall be installed in accordance w/ the 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

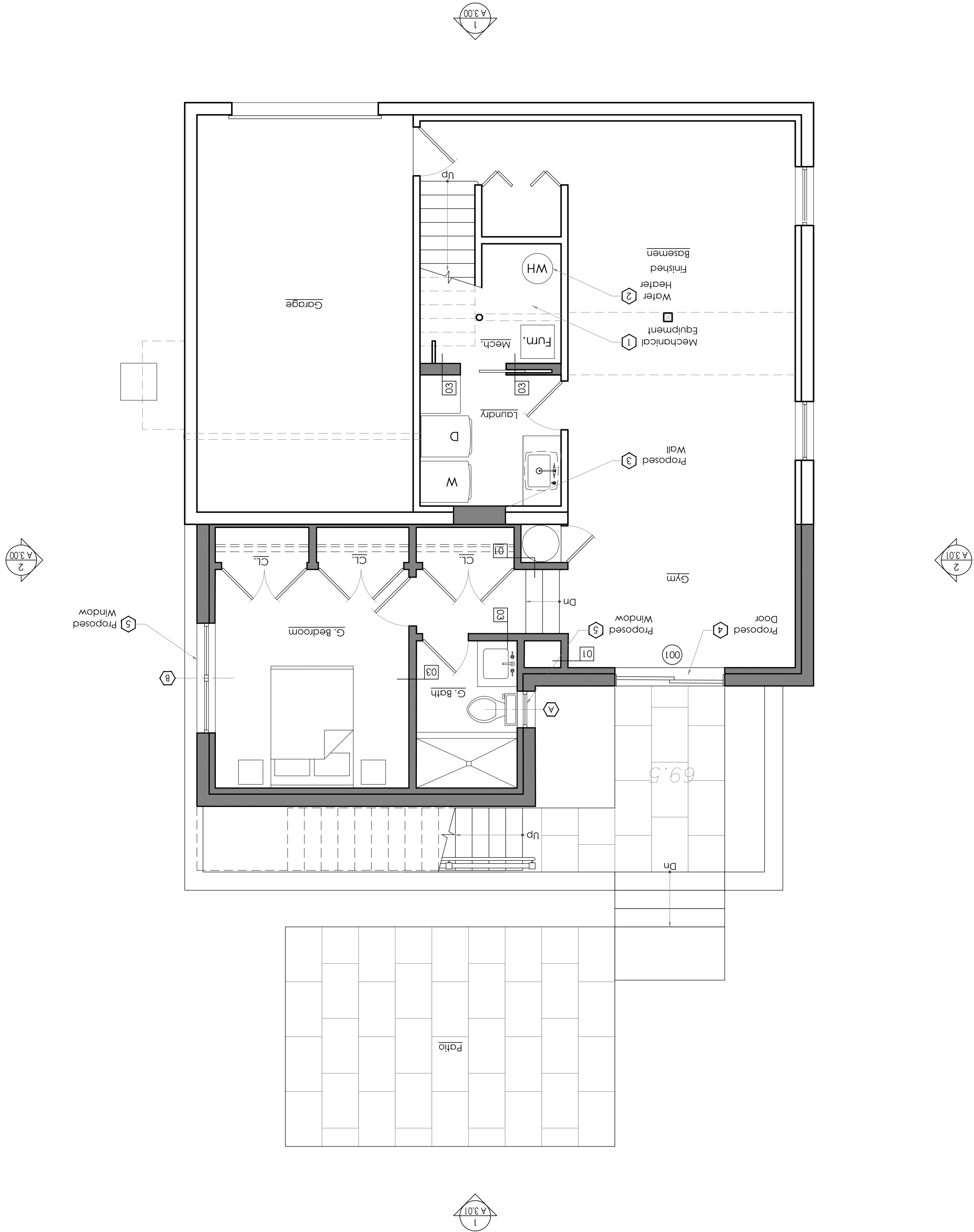
Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners of soffits and ends in drywall portions u.o.n. Portions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, portions or ceilings shall not be closed-in until the lines have been tested.

- Portion Types
- [01] Full Height Partition
One layer of 5/8" GWB on each side, 2x wood studs & 1/6" o.c., from floor to ceiling.
 - [02] Full Height Partition
One layer of 5/8" GWB on one side, 2x wood studs & 1/6" o.c., from floor to ceiling.
 - [03] Moisture Resistant Partition
One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 1/6" o.c., from floor to ceiling.
 - [04] Full Height Furring Partition
One layer of 5/8" GWB on one side, 2x4 wood studs & 1/6" o.c., from floor to ceiling.

- Key Notes
- [1] Mechanical Equipment - Existing mechanical equipment and all necessary components to remain - See mechanical plans for more information.
 - [2] Water Heater - Existing water heater to remain. Re-configure piping as necessary, according to proposed plans - See plumbing plans for more information.
 - [3] Proposed Wall - Fill foundation wall opening with CMU wall construction.
 - [4] Proposed Door - See door schedule for more information.
 - [5] Proposed Window - See window schedule for more information.
 - [6] Proposed Column - Proposed wrapped wood column for proposed porch/stair.
 - [7] Proposed Roof Deck - Proposed EPDM roof w/ new mahogany wood decking above
 - [8] Proposed Railing - Wood railing assembly, solid wood posts, top and bottom rail, Mahogany, painted white to match existing trim, Handrail to be wood, mahogany, painted white to match trim - Wood balusters painted white to match trim.
 - [9] Proposed Stair - Stair to have mahogany treads stained to match decking, Risers and stringers painted white to match trim, Continuous wood handrail, mahogany, stained to match decking.
 - [10] Proposed Shingle Roof - Asphalt roof shingles to match existing.
 - [11] Proposed Roof Gutter - Metal roof gutter to match existing.
 - [12] Proposed Leader - Proposed leader to match existing.
 - [13] Proposed Wall - Fill window opening w/2x wood framing at 1/6" O.C. insulation to be code compliant, exterior sheathing, Exterior siding to match existing.



1
Proposed Basement Plan

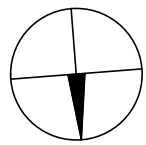
1/4" = 1'-0"

In developing the plans and specifications for the project, the Architect has taken into account applicable state and national building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Building Code) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031



General Notes

Proposed renovation and addition will comply with the energy efficiency code requirements as per the 2020 residential code of New York State.

Any existing wall, ceiling or floor cavities exposed during construction will be insulated as per Section N1109.1. Exceptions 2 and 5.

The dwelling unit is to be tested and verified as having an air leakage rate not to exceed three air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E277 or 2906 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a qualified testing agency, or any time other creation of all penetrations of the building thermal envelope.

Portion Notes

All gypsum board materials and accessories shall conform to ASTM C26, C79, C1396, and shall be installed in accordance w/ the 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

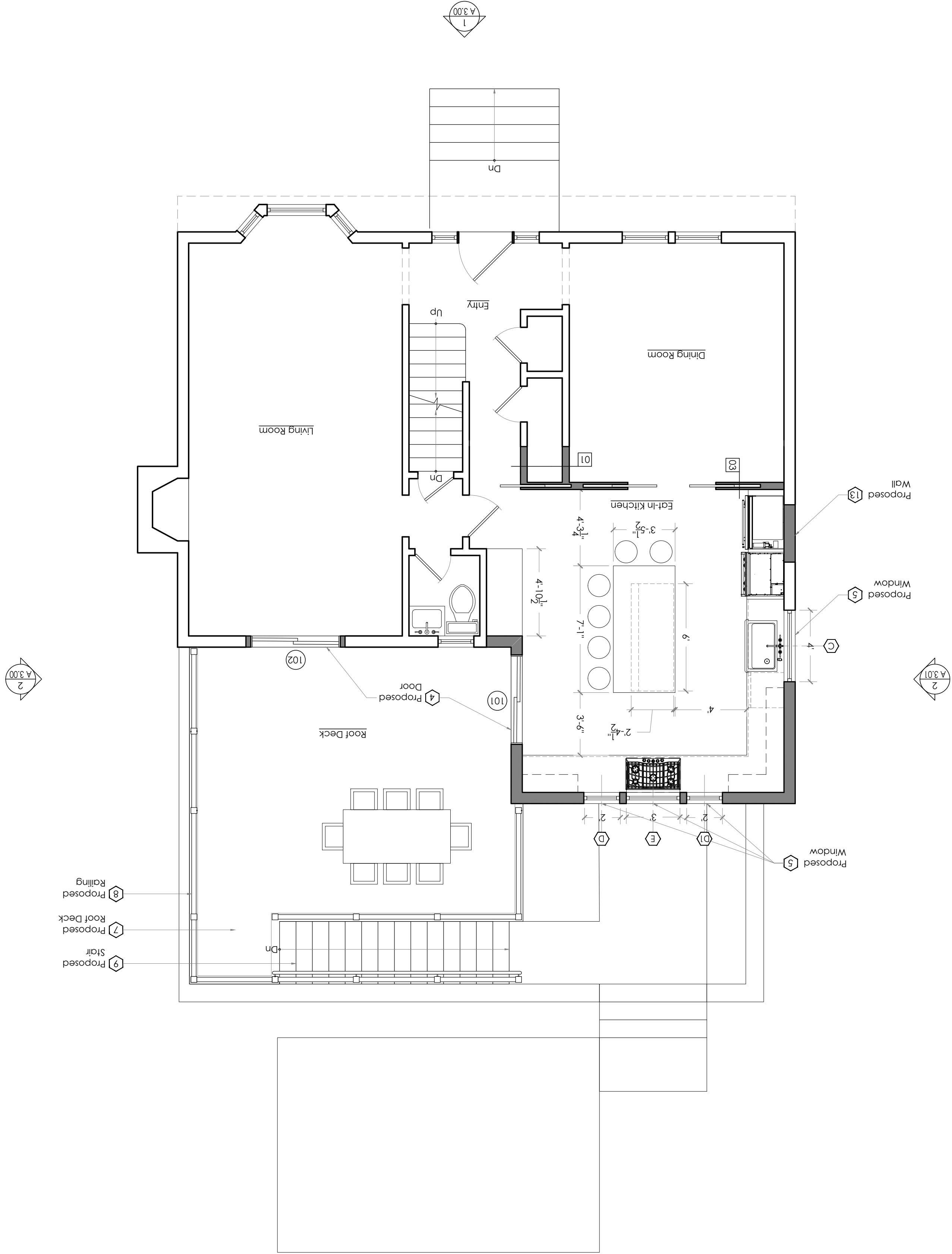
Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners of soffits and ends in drywall portions u.o.r. Portions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, portions or ceilings shall not be closed-in until the lines have been tested.

- Portion Types**
- [01] Full Height Partition
One layer of 5/8" GWB on each side, 2x wood studs & 16" o.c., from floor to ceiling.
 - [02] Full Height Partition
One layer of 5/8" GWB on one side, 2x wood studs & 16" o.c., from floor to ceiling.
 - [03] Moisture Resistant Partition
One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
 - [04] Full Height Furring Portion
One layer of 5/8" GWB on one side, 2x4 wood studs & 16" o.c., from floor to ceiling.

- Key Notes**
- [1] Mechanical Equipment - Existing mechanical equipment and all necessary components to remain - See mechanical plans for more information.
 - [2] Water Heater - Existing water heater to remain. Re-route piping as necessary, according to proposed plans - See plumbing plans for more information.
 - [3] Proposed Wall - Fill foundation wall opening with CMU wall construction.
 - [4] Proposed Door - See door schedule for more information.
 - [5] Proposed Window - See window schedule for more information.
 - [6] Proposed Column - Proposed wrapped wood column for proposed porch/stair.
 - [7] Proposed Roof Deck - Proposed EPDM roof w/ new mahogany wood decking above
 - [8] Proposed Railing - Wood railing assembly, solid wood posts, top and bottom rail, Mahogany, painted white to match existing trim. Handrail to be wood, mahogany, painted white to match trim - Wood balusters painted white to match trim.
 - [9] Proposed Stair - Stair to have mahogany treads stained to match decking, Risers and stringers painted white to match trim. Continuous wood handrail, mahogany, stained to match decking.
 - [10] Proposed Shingle Roof - Asphalt roof shingles to match existing.
 - [11] Proposed Roof Gutter - Metal roof gutter to match existing.
 - [12] Proposed Leader - Proposed leader to match existing.
 - [13] Proposed Wall - Fill window opening w/2x wood framing at 16" O.C. Insulation to be code compliant, exterior sheathing. Exterior siding to match existing.



Proposed First Floor Plan

1/4" = 1'-0"

NO.	DATE	ISSUE/REVISION
3	10/04/2021	A88 Submission
2	07/21/2021	IP8 Re-submission
1	06/23/2021	IP8 Re-submission
	05/19/2021	IP8 Submission

In developing the plans and specifications for the project, the Architect has taken into account applicable state and national building laws and regulations, including the residential Code 2020 of New York State (RCS 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Proposed renovation and addition will comply with the energy efficiency code requirements as per the 2020 residential code of New York State.

Any existing wall, ceiling or floor cavities exposed during construction will be insulated as per Section N1109.1. Exceptions 2 and 5.

The dwelling unit is to be tested and verified as having an air leakage rate not to exceed three air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E779 or SDVM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a qualified testing agency, at any time after creation of all penetrations of the building thermal envelope.

General Notes

Partition Notes

All gypsum board materials and accessories shall conform to ASTM C24, C79, C1396, and shall be installed in accordance w/ the 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners of soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

Partition Types

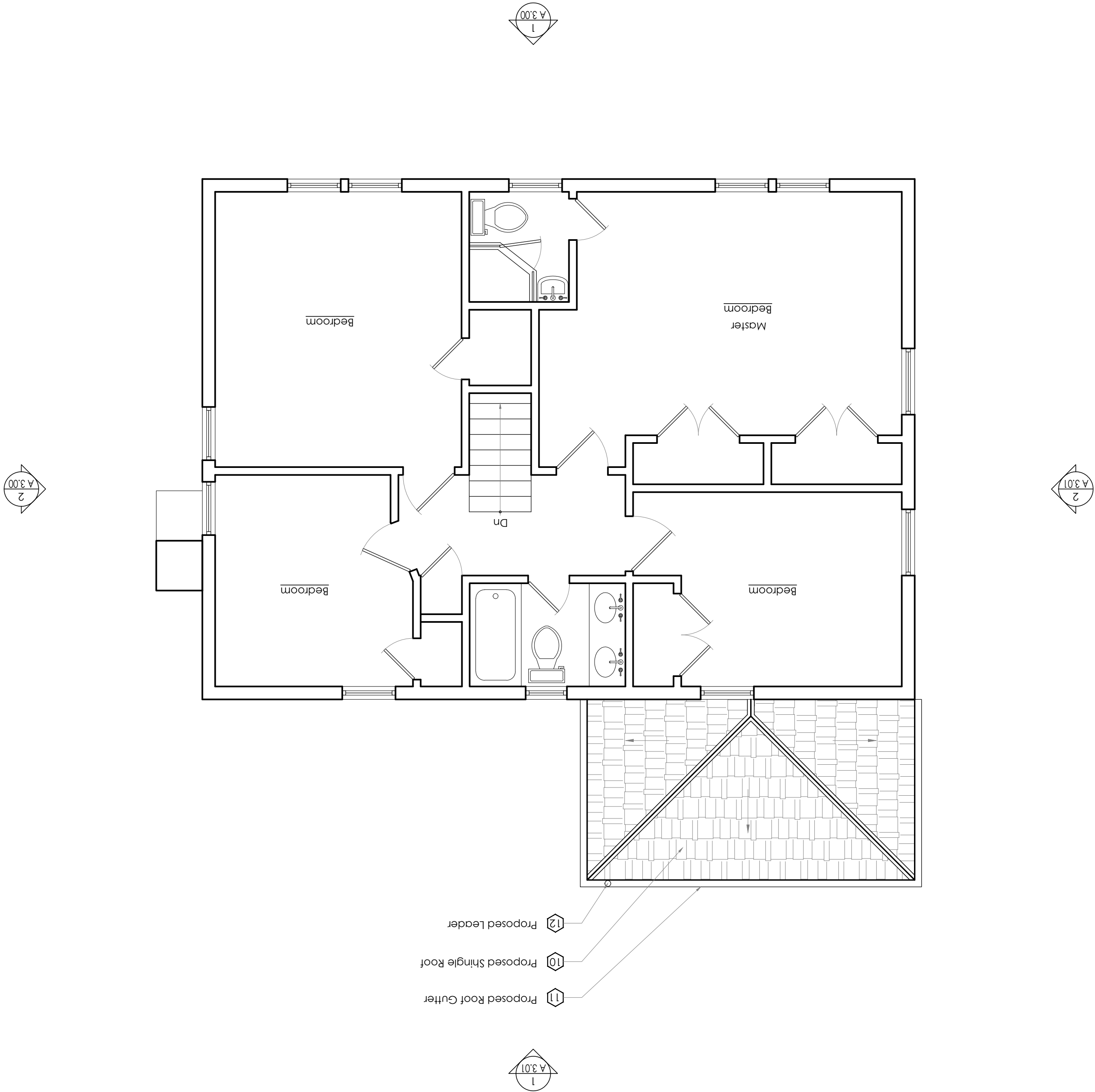
- 01 Full Height Partition
One layer of 5/8" GWB on each side, 2x wood studs & 16" o.c., from floor to ceiling.
- 02 Full Height Partition
One layer of 5/8" GWB on one side, 2x wood studs & 16" o.c., from floor to ceiling.
- 03 Moisture Resistant Partition
One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
- 04 Full Height Furring Partition
One layer of 5/8" GWB on one side, 2x4 wood studs & 16" o.c., from floor to ceiling.

- 1 Mechanical Equipment - Existing mechanical equipment and all necessary components to remain - See mechanical plans for more information.
- 2 Water Heater - Existing to remain. Re-route piping as necessary, according to proposed plans - See plumbing plans for more information.
- 3 Proposed Wall - Fill foundation wall opening with CMU wall construction.
- 4 Proposed Door - See door schedule for more information.
- 5 Proposed Window - See window schedule for more information.
- 6 Proposed Column - Proposed wrapped wood column for proposed porch/stair.
- 7 Proposed Roof Deck - Proposed EPDM roof w/ new mahogany wood decking above
- 8 Proposed Railing - Wood railing assembly, solid wood posts, top and bottom rail, Mahogany - Painted white to match existing trim. Handrail to be wood, mahogany, painted white to match trim - Wood balusters painted white to match trim.
- 9 Proposed Stair - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Continuous wood handrail, mahogany, stained to match decking.
- 10 Proposed Shingle Roof - Asphalt roof shingles to match existing.
- 11 Proposed Roof Gutter - Metal roof gutter to match existing.
- 12 Proposed Leader - Proposed leader to match existing.
- 13 Proposed Wall - Fill window opening w/2x wood framing at 16" O.C. Insulation to be code compliant, exterior sheathing. Exterior siding to match existing.

Key Notes

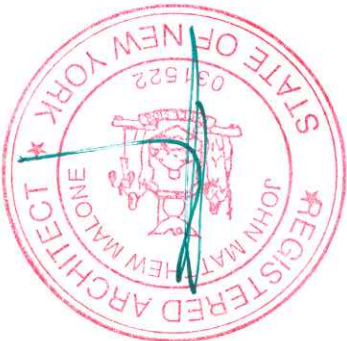
1 Proposed Roof Plan of Second Floor

1/4" = 1'-0"



NO.	DATE	ISSUE/REVISION
3	10/04/2021	A88 Submission
2	07/21/2021	IP8 Re-submission
1	06/23/2021	IP8 Re-submission
	05/19/2021	IP8 Submission

In developing the plans and specifications for the project, the Architect has taken into account applicable state and national building laws and regulations, including the amended Code 2020 of New York State (BC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031



Key Notes

- Proposed Door - See door schedule for detailed information.
- Proposed Window - See window schedule for detailed information.
- Proposed Sliding - Sliding to match existing.
- Proposed Roof - Asphalt shingle roof to match existing.
- Proposed Trim/Molding - 1X Solid wood , mahogany, painted white to match existing trim.
- Proposed Lattice - Cedar wood lattice, painted white to match trim.
- Proposed Deck and Exterior Stair - 3/4 solid wood mahogany decking - Stained with semitransparent stain - Stair to have mahogany treads stained to match decking, Risers and stringers painted white to match trim.
- Proposed Rolling - Wood rolling assembly, solid wood posts, top and bottom rail, Mahogany - Painted white to match existing trim, Handrail to be wood, mahogany, painted white to match trim - Wood balusters painted white to match trim.
- Proposed Gutter - Metal gutter to match existing.
- Proposed Leader - Leader to match existing.
- Proposed Foundation Wall - CMU parched foundation wall.
- Proposed light fixture - Proposed dark sky compliant exterior fixture.
- Proposed wall - Proposed CMU retaining wall with parched faces and bluestone cap, See Detail 3, Sheet G-1.10 for more information.
- Proposed steps - Proposed concrete steps w/bluestone treads & parched risers, See Detail 2, Sheet G-1.10 for more information.

NO.	DATE	ISSUE/REVISION
3	10/04/2021	A88 Submission
2	07/21/2021	IP8 Re-Submission
1	06/23/2021	IP8 Re-Submission
0	05/19/2021	IP8 Submission

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the residential Code 2020 of New York State (NYC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

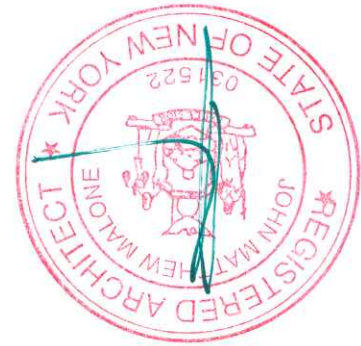
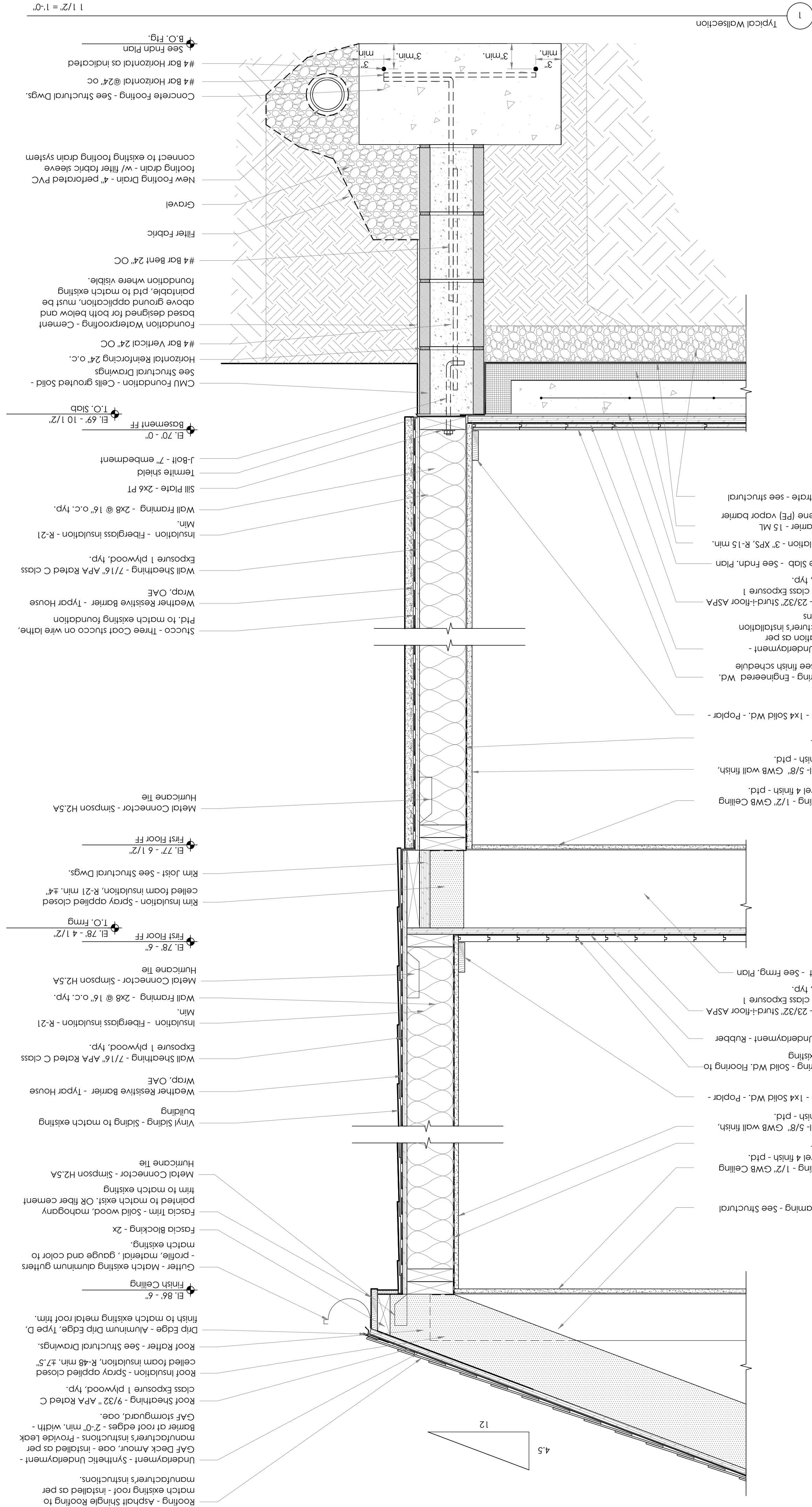
Proposed
Exterior
Elevations

SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

A-3.00



In developing the plans and specifications for the project, the Architect has taken into account applicable state and national building laws and regulations, including the residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

NO.	DATE	ISSUE/REVISION
3	10/04/2021	A88 Submission
2	07/21/2021	IF8 Re-submission
1	06/23/2021	IF8 Re-submission
	05/19/2021	IF8 Submission

Maillet
Residence
47 Station Road
Irvington, NY

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Proposed Wall Details

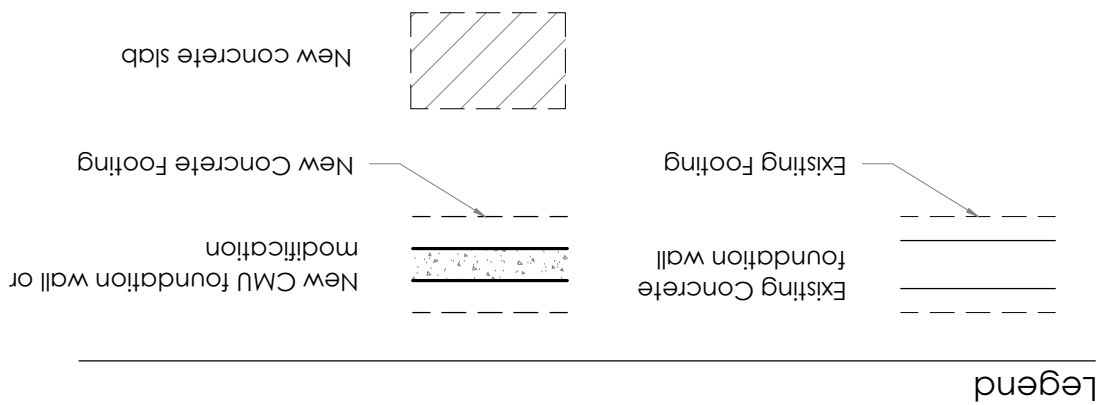
SCALE: As Noted

DATE: 03/03/2021

JOB: 2034

A-4.00

New Sheet



1. Concrete mix designs required are listed below. All concrete mixes shall conform to the provisions for concrete quality contained in chapter 4, ACI 318, except that minimum cement content and maximum water-cement ratio shall be given as below. Compressive strength, f'_c , is measured at 28 days oge.

MAX. water-cement ratio 0.48
MIN. cement (LB/CY) 520
 f'_c C 3000 f'_s coarse aggregate normal weight

2. See architectural drawings for exact detail and location of openings, depressions, or recesses in walls and slabs and for the dimensions not shown in the structural drawings. See mechanical and electrical drawings for information regarding size and location of openings for ducts, pipes, conduits, machine pods, and the like. Proposed openings or recesses in the structure which are not shown in the structural drawings, either directly or by typical detail, shall be submitted through the architect to the structural engineer for review.

3. All reinforcing steel shall be deformed bars conforming to ASTM a 615, grade 60.

4. Welded wire mesh (WWM) shall conform to ASTM a 185.

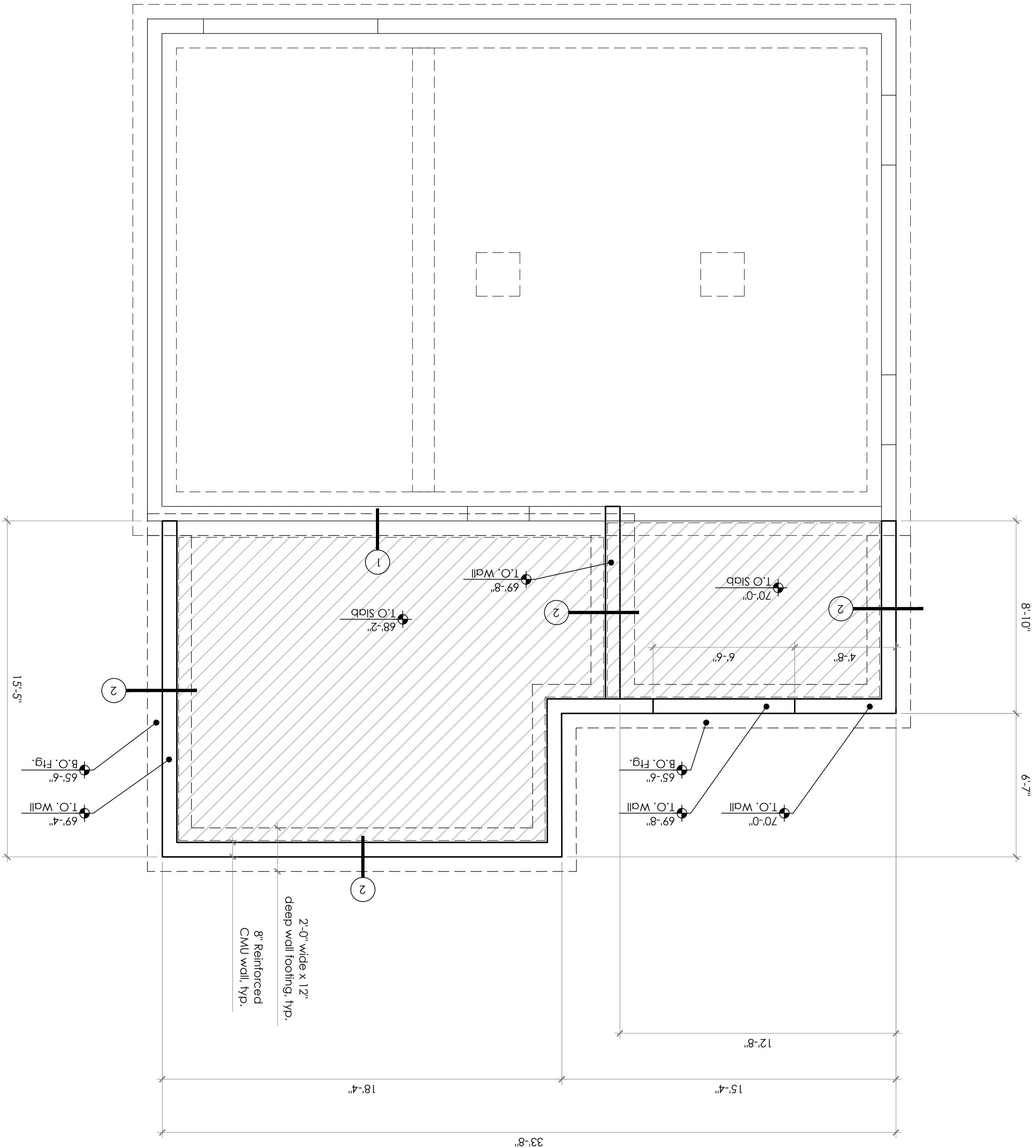
5. Detailing of reinforcing steel shall conform to "ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315).

6. The minimum concrete protection for reinforcement, subject to tolerances permitted by code, shall be as noted below but shall not be less than 1 bar diameter.

Minimum Cover (inches):

Concrete exposed to earth or weather:	3
#6 through #18 bars	2
#5 bar, w31 or d31 wire and smaller	1 1/2
Concrete not exposed to weather:	1 1/2
#14 and #18 bars	1 1/2
#11 bar and smaller	3/4

7. Splice of WWM, or of spliced edges, shall be such that the overlap measured between outermost cross wires of each fabric sheet is not less than the spacing of the cross wire plus 2 inches, nor less than 8 inches.



1 Foundation Plan

1/4" = 1'-0"

NO.	DATE	ISSUE/REVISION
3	10/04/2021	A88 Submission
2	07/21/2021	IF8 Re-Submission
1	06/23/2021	IF8 Re-Submission
	05/19/2021	IF8 Submission

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (RCS 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Proposed
Foundation
Plan

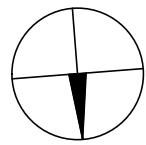
SCALE: As Noted

DATE: 03/03/2021

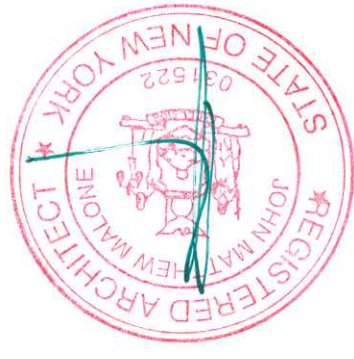
JOB: 2034

S-1.00

New Sheet



Maillet
Residence
47 Station Road
Irvington, NY

[illegible]

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (RCC 2018/New York State Amendments), which includes Chapter 11 Energy Efficiency.

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET

T 914 591 5066 F 914 591 5031

Proposed Framing Plans

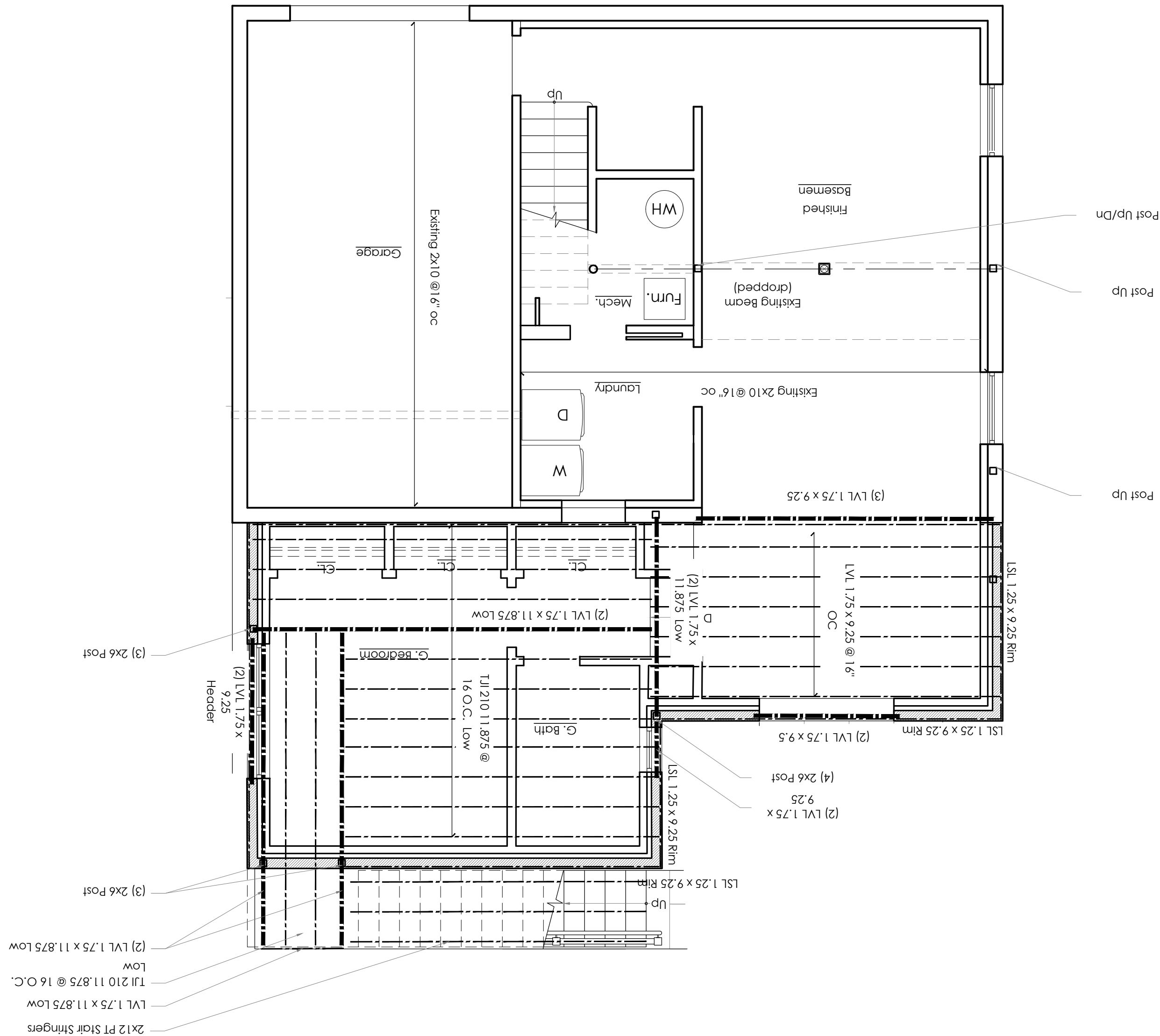
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DATE: 03/03/2021

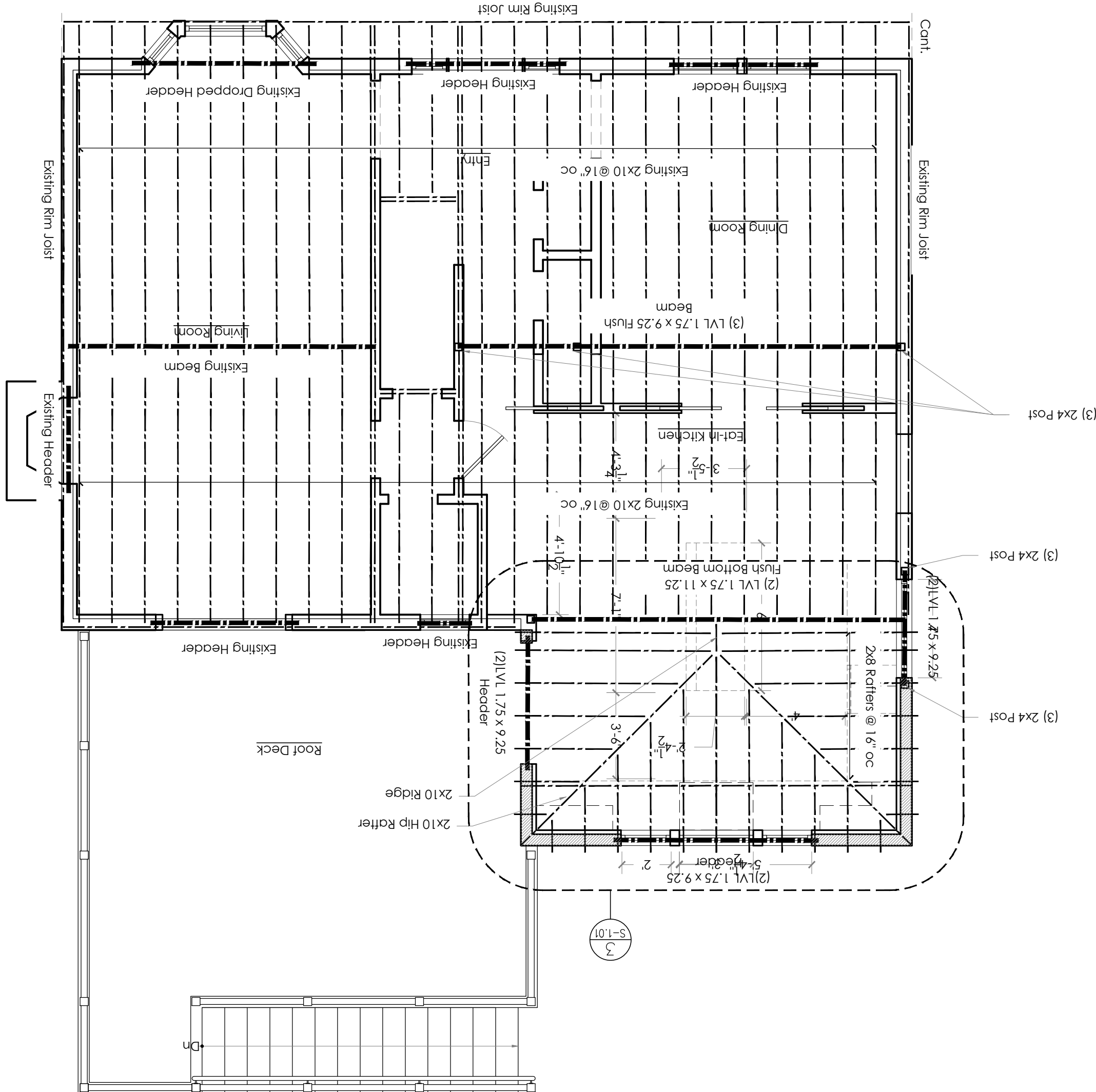
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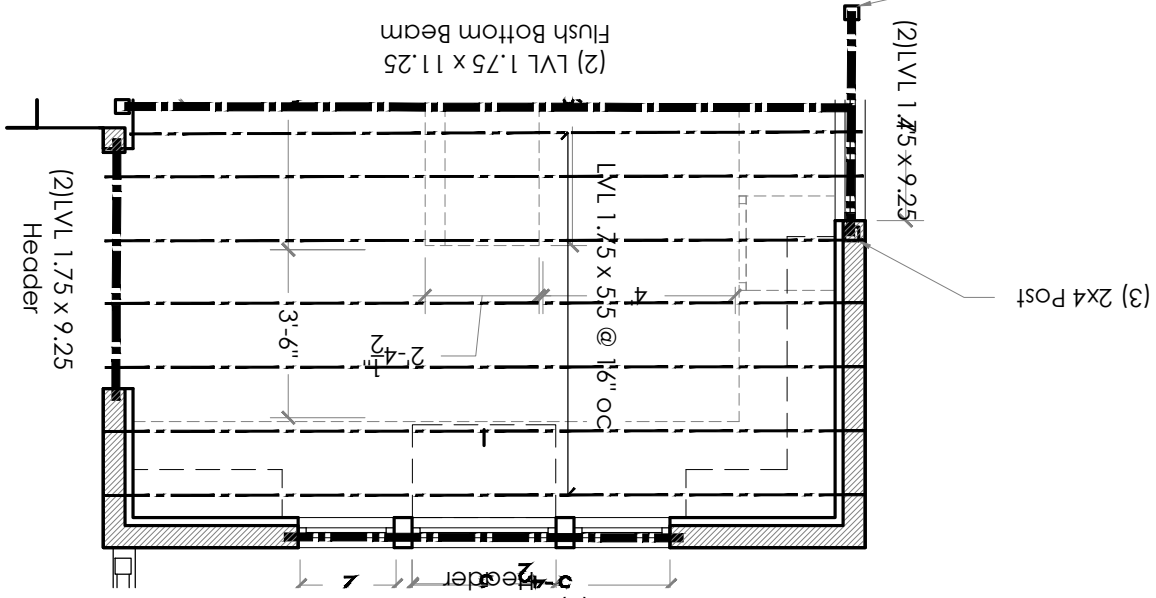
First Floor Framing Plan



2
Second Floor/ Low Roof Framing Plan



3



Wood Framing Notes (Cont.)

4. Plywood:
Subfloor shall consist of 3/4" Exposure 1 Grade plywood, glued and screwed to joists. Exterior wall sheathing shall consist of 3/4" Exposure 1 Grade plywood fastened to wall studs with 8d

5. Laminated Veneer Lumber: Laminated Veneer Lumber (LVL) sections shall be "MLCRO=LAM @or" PARALLAM @ as manufactured by Truss Joist MacMillan, Ltd., or equal, with the following minimum properties: $E = 2,000,000$ psi; Multiple sections shall be fastened together with a minimum of two rows of 16d nails @ 12" o.c., and as recommended by the

Wood Framing Notes

- American Institute of Timber Construction (AITC),
National Forest Products Assoc., "Design Specifications for Stress Grade Lumber",
US Dept. of Commerce Standard CS 253.
American Plywood Association.

- moisture content with the following minimum base design values:

-endpage

- base Design Values for Visually Graded Dimensional Lumber:
- | | |
|--------------------------------|-------------------|
| Bending: | Fb = 850 psi |
| Horizontal Shear: | Fv = 95 psi |
| Comp., Perpendicular to Grain: | Fc = 625 psi |
| Comp., Parallel to Grain: | Fc = 1,300 psi |
| Modulus of Elasticity: | E = 1,600,000 psi |

All values shall be adjusted with appropriate adjustment factors as per the per NDS

Architect, if they meet the above minimum requirements, should Cedar be used for exterior framing, western species should be used.

3. TLI Series:

the provisions of CABO Report No. NER-200, Coordinate bridging and stiffener requirements with TJI manufacturer.

10. Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance with Title 19 NYCRR Part 1265) (offdavit).

Up to 8'-0" wide, use (3) 2x10 or (2) 2x12
Openings greater than 8'-0", see plans for header sizes or as specified by P.E.

galvanized g186 by Simpson strong tie, stainless steel, or approved equal by Architect. All doors, windows and openings shall have minimum header to be as follows, u.o.n. on structural plans:

8. Metal Framing Anchors: install metal framing to comply with manufacturer's written instructions. All flush framed connections shall be made with approved galvanized steel joists or beam hangers, minimum 18 gauge. All metal including joist hangers, flashing, anchor bolts, wood bases, etc., that come in contact with pressure treated lumber shall be hot dipped galvanized g 186 by Simpson strong tie, stainless steel, or approved equal by Architect.

and lined. The rough carpentry to other construction, scab and cope as needed for accurate fit. Locate furring, rollers, blocking, grounds, and similar supports to comply with requirements for attaching other construction.

7. Set rough carpentry to required levels and lines, with members plumb, true to line, cut,

The general contractor is to identify any discrepancies prior to beginning any re-framing work. The general contractor shall provide a written report of any discrepancies to the building department. The building department shall review the report and determine if any further action is warranted. If the building department determines that further action is warranted, the general contractor shall be required to provide a written plan of action to the building department. The building department shall review the plan of action and determine if it is acceptable. If the building department determines that the plan of action is acceptable, the general contractor shall be required to implement the plan of action. The building department shall review the implementation of the plan of action and determine if it is satisfactory. If the building department determines that the implementation of the plan of action is satisfactory, the general contractor shall be required to complete the re-framing work. The building department shall review the completed re-framing work and determine if it is acceptable. If the building department determines that the completed re-framing work is acceptable, the general contractor shall be required to provide a written report of the completed re-framing work to the building department. The building department shall review the report and determine if it is acceptable. If the building department determines that the report is acceptable, the general contractor shall be required to provide a written report of the completed re-framing work to the building department. The building department shall review the report and determine if it is acceptable. If the building department determines that the report is acceptable, the general contractor shall be required to provide a written report of the completed re-framing work to the building department.

manufacturer.

together with a minimum of two rows of 16d nails at 12" o.c., and as recommended by the

5. Laminated Veneer Lumber: Joists at 6' o.c. max.