

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	1064	Date:	11/01/2021
Job Location:	58 MANOR POND LN	Parcel ID:	2.180-91-3
Property Owner:	SYED, OMAR	Property Class:	1 FAMILY RES
Occupancy:		Zoning:	
Common Name:			

Applicant	Contractor
Brian Crowley	STEVE GRIGGS
BCA	LAND DESIGN STUDIO
65 BIRCH ROAD Briarcliff Manor NY 10510	76 SPRUCE STREET BLAUVELT NY 10913
917-301-3616	914-879-5602

Description of Work

Type of Work:	Fence	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	16000.00	Property Class:	1 FAMILY RES

Description of Work

1. Take down & removal of existing wooden fence & galvanized posts
2. Install (36) sections of ½" x 6" x 6'H x 8' W pressure treated Pine dog ear picket
3. Install (37) 4" x 4" x 8' pressure treated posts
4. Install (7) sections of 6'H 8'W white vinyl T & G (tongue & groove) privacy fence (style V300)
5. Install (7) 5" x 5" x 9' white vinyl posts with New England caps
6. Install (1) 4'W x 6' H white vinyl matching gate with self closing hinges and hatchet latch
7. Install (1) 5'W x 6' H white vinyl matching gate with self closing hinges and hatchet latch
8. Install (4) 5" x 5" x 7' heavy duty white vinyl gate posts
9. Posts are to be 24" deep and concrete in

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 58 MANOR POND LN

Parcel Id: 2.180-91-3

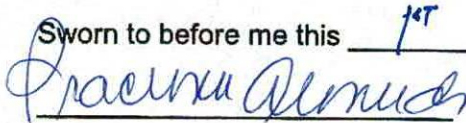
AFFIDAVIT OF APPLICANT

I **Brian Crowley** being duly sworn, depose and says: That s/he does business as: **BCA** with offices at: **65 BIRCH ROAD Briarcliff Manor NY 10510** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 1st day of NOVEMBER of 2021



Notary Public / Commission of Deeds

IRACEMA ALMEIDA
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01AL5002693
Qualified in Putnam County
My Commission Expires October 5, 2022


Applicant's Signature

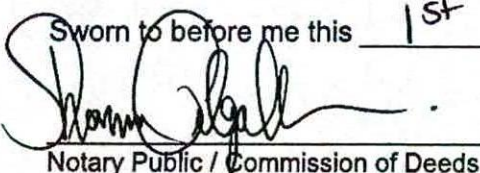
OWNER'S AUTHORIZATION

I **SYED, OMAR** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 917-488-4549 Owner email address ONS2101@gmail.com

- ☐ Omar Syed I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 1st day of November of 2021


Notary Public / Commission of Deeds

SHANNON GILGALLON
NOTARY PUBLIC OF NEW JERSEY
Commission # 2480144
My Commission Expires 04/15/2026


Applicant's Signature



76 spruce street
Blauvelt NY 10913

PROPOSAL FOR

58 Manor Pond Lane Irvington NY

3 day fences aka land design studio will supply all labor and material to:

- Install (36) sections of 1/2" x 6" x 6'H x 8' W pressure treated Pine dog ear picket
- Install (37) 4" x 4" x 8' pressure treated posts
- Install (7) sections of 6'H 8'W white vinyl T & G (tongue & groove) privacy fence (style V300)
- Install (7) 5" x 5" x 9' white vinyl posts with New England caps
- Install (1) 4'W x 6' H white vinyl matching gate with self closing hinges and hatchet latch
- Install (1) 5'W x 6' H white vinyl matching gate with self closing hinges and hatchet latch
- Install (4) 5" x 5" x 7' heavy duty white vinyl gate posts
- Posts are to be 24" deep and concrete in.

Total Price \$16,360

*** price includes take down & removal of existing wooden fence & galvanized posts***

Please let me know if you wish to move forward with this project.
I look forward to working with you.

Thank you for the opportunity.

Vicki Moses
3day Fences



6 ft. H x 8 ft. Pressure-Treated Pine Dog-Ear Fence Panel



Our heavy-duty, pine fence panel features a classic dog ear design with pre-built panel installs hassle-free. Made from U.S. pressure-treated lumber, this panel is protected against termites, fungal decay and rot. For any outdoor projects where lumber will be exposed to the elements, pressure-treated wood is a smart investment. This wood fence panel may also be painted or stained to suit your personal preferences. Please note that ground mounting posts are not included with this panel.

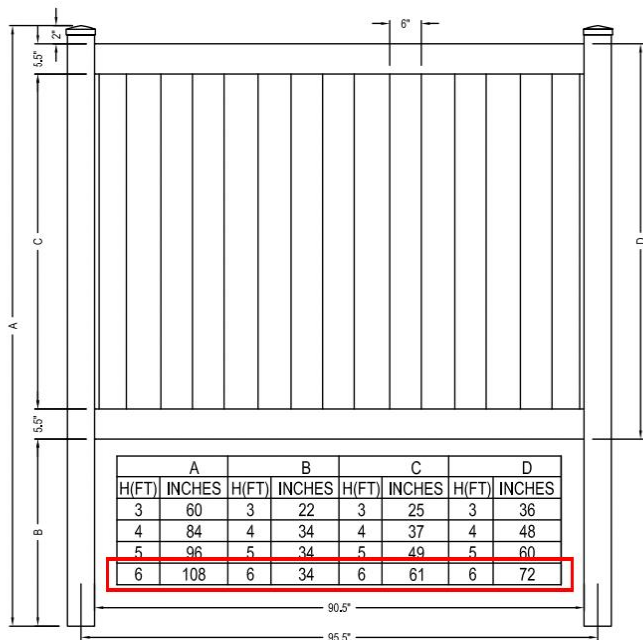
Specifications:

- 6 ft. x 8 ft. (1 in. x 6 in. pickets)
- Limited lifetime warranty from U.S. Barricades against rot and termites
- Treated with MCA (Micronized copper azole)
- Compatible with aluminum and carbon steel (Black iron) fasteners
- Pre-assembled panel for easy installation
- Product Weight (lb.) 130lb
- Structure Type - Ornamental
- Top Shape - Flat
- Top Style - Dog Eared
- Color/Finish Wood
- Paintable, Pressure Treated, Stainable
- Made in the United States

Dimensions:

- Actual backer rail length (in.) 96
- Actual backer rail thickness (in.) 1.5
- Actual backer rail width (in.) 2.5
- Actual panel height (in.) 72
- Actual panel thickness (in.) 2.25
- Actual panel width (in.) 96
- Nominal backer rail length (in.) 96
- Nominal backer rail thickness (in.) 2
- Nominal backer rail width (in.) 3
- Nominal panel height (ft.) 6
- Nominal panel width (ft.) 8

PRIVACY TONGUE & GROOVE



V300-6, V300-5, V300-4

6', 5', and 4' High Tongue and Groove Vinyl Privacy Fence

"The most popular fence in the industry." These Illusions Vinyl Fence Tongue and Groove panels have 7/8" x 6" boards, 1-1/2" x 5-1/2" top and bottom horizontal rails, a metal reinforcement channel in the bottom rail, and 7/8" x 1" U-Channel edgings to add a unique and attractive aesthetic.

- Available in ALL Classic Series and Grand Illusions colors and wood grains
- Installed with routed posts - no exposed fasteners or brackets
- 100% Pure Virgin Vinyl for structural integrity
- Minimal upkeep - no painting or staining required
- VMA Certified and ASTM-F964-13 Compliant
- Posts and accessories sold separately



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

04/26/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an **ADDITIONAL INSURED**, the policy(ies) must have **ADDITIONAL INSURED** provisions or be endorsed. If **SUBROGATION IS WAIVED**, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Broadfield Insurance, a member of pcf ins services 68 Main Street Warwick NY 10990	CONTACT NAME: Kristin Godino PHONE (A/C, No, Ext): (845) 986-2211 FAX (A/C, No): (845) 986-0949 E-MAIL ADDRESS: kgodino@broadfieldinsurance.com INSURER(S) AFFORDING COVERAGE INSURER A: Evanston Insurance Co INSURER B: INSURER C: INSURER D: INSURER E: INSURER F:
INSURED Land Design Studio Inc., Steve Griggs Design LLC 3 Day Fences LLC 76 Spruce Street Blauvelt NY 10913	NAIC # 35378

COVERAGES**CERTIFICATE NUMBER:** CL2142621909**REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC <input type="checkbox"/> OTHER:	Y		3FA9984	04/26/2021	04/26/2022	EACH OCCURRENCE \$ 1,000,000
	DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 100,000						
	MED EXP (Any one person) \$ 5,000						
	PERSONAL & ADV INJURY \$ 1,000,000						
							GENERAL AGGREGATE \$ 2,000,000
							PRODUCTS - COMP/OP AGG \$ 2,000,000
							\$
	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY						COMBINED SINGLE LIMIT (Ea accident) \$
							BODILY INJURY (Per person) \$
							BODILY INJURY (Per accident) \$
							PROPERTY DAMAGE (Per accident) \$
							\$
	UMBRELLA LIAB <input type="checkbox"/> OCCUR EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input type="checkbox"/> RETENTION \$						EACH OCCURRENCE \$
							AGGREGATE \$
							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below Y / N <input type="checkbox"/> N / A						PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/>
							E.L. EACH ACCIDENT \$
							E.L. DISEASE - EA EMPLOYEE \$
							E.L. DISEASE - POLICY LIMIT \$

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Job: Omar Syed, 58 Manor Pond Lane, Irvington NY 10533

Village of Irvington is included as additional insured as required by written contract with regard to work being done by the insured. This certificate of insurance is issued subject to all policy terms, conditions, limitations, exclusions and language.

CERTIFICATE HOLDER**CANCELLATION**Village of Irvington Building Department
85 Main Street

Irvington

NY 10533

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

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CERTIFICATE OF INSURANCE COVERAGE

DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

PART 1. To be completed by Disability and Paid Family Leave Benefits Carrier or Licensed Insurance Agent of that Carrier

<p>1a. Legal Name & Address of Insured (use street address only) LAND DESIGN STUDIO INC. 3 Day Fence Inc 76 SPRUCE STREET BLAUVELT, NY 10913</p> <p><small>Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., Wrap-Up Policy)</small></p>	<p>1b. Business Telephone Number of Insured 914-879-5602</p> <p>1c. Federal Employer Identification Number of Insured or Social Security Number 134155860</p>
<p>2. Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder) Village of Irvington Building Department 85 Main Street Irvington, NY 10533</p>	<p>3a. Name of Insurance Carrier ShelterPoint Life Insurance Company</p> <p>3b. Policy Number of Entity Listed in Box "1a" DBL450195</p> <p>3c. Policy effective period <u>08/01/2020</u> to <u>07/31/2022</u></p>

4. Policy provides the following benefits:

☒ A. Both disability and paid family leave benefits.

☐ B. Disability benefits only.


☐ C. Paid family leave benefits only.

5. Policy covers:

☒ A. All of the employer's employees eligible under the NYS Disability and Paid Family Leave Benefits Law.

☐ B. Only the following class or classes of employer's employees:

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has NYS Disability and/or Paid Family Leave Benefits insurance coverage as described above.

Date Signed 4/16/2021 By 
(Signature of insurance carrier's authorized representative or NYS Licensed Insurance Agent of that insurance carrier)

Telephone Number 516-829-8100 Name and Title Richard White, Chief Executive Officer

IMPORTANT: If Boxes 4A and 5A are checked, and this form is signed by the insurance carrier's authorized representative or NYS Licensed Insurance Agent of that carrier, this certificate is **COMPLETE**. Mail it directly to the certificate holder.

If Box 4B, 4C or 5B is checked, this certificate is **NOT COMPLETE** for purposes of Section 220, Subd. 8 of the NYS Disability and Paid Family Leave Benefits Law. It must be mailed for completion to the Workers' Compensation Board, Plans Acceptance Unit, PO Box 5200, Binghamton, NY 13902-5200.

PART 2. To be completed by the NYS Workers' Compensation Board (Only if Box 4C or 5B of Part 1 has been checked)

State of New York

Workers' Compensation Board

According to information maintained by the NYS Workers' Compensation Board, the above-named employer has complied with the NYS Disability and Paid Family Leave Benefits Law with respect to all of his/her employees.

Date Signed _____ By _____
(Signature of Authorized NYS Workers' Compensation Board Employee)

Telephone Number _____ Name and Title _____

Please Note: Only insurance carriers licensed to write NYS disability and paid family leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. **Insurance brokers are NOT authorized to issue this form.**



GLOSSARY

ABV. A.D. ADJ ACT AFF ALUM	ABOVE AREA DRAIN ADJACENT ACOUSTIC CEILING TILE ABOVE FINISH FLOOR ALUMINUM	MAX. MED MECH MIN. MTL MW	MAXIMUM MEDICINE CABINET MECHANICAL MINIMUM METAL MICROWAVE
BLKG BLDG BD	BLOCKING BUILDING BOARD	(N) N.I.C. NTS	NEW NOT IN CONTRACT NOT TO SCALE
CLR CONC CONT CPT CT	CENTERLINE CLEAR CONCRETE CONTINUOUS CARPET CERAMIC TILE	O.C. OJ OD O.H.	ON CENTER OVER OVERFLOW DRAIN OPPOSITE HAND
DIA DIA. DIMS. DN DWG	DIAMETER DIMENSION DIMENSIONS DOWN DRAWING	PLAM PLY. PTD	PLASTIC LAMINATE PLYWOOD PAINTED
(E), EX. EA. EJ ELEC EL., ELEV. EMB. EQ EXT	EXISTING EACH EXPANSION JOINT ELECTRIC ELEVATION EMBEDDED EQUAL EXTERIOR	RAD REF REQ. RB RM RO RDWD	RADICAL REFRIGERATOR REQUIRED RUBBER BASE ROOM ROUGH OPENING REDWOOD
FA FD FF FLR F.O.S. F.O.M.	FIRE ALARM FLOOR DRAIN FINISH FLOOR FLOOR FACE OF STUD FACE OF MASONRY	SC SHTG SHT SIM SQ S.S.D. STL ST. STL STOR STRL STV	SOLID CORE SHEETING SHEET SIMILAR SQUARE SEE STRUCTURAL DWGS STEEL STAINLESS STEEL STORAGE STRUCTURAL SHEET VINYL
GA GALV GL GND GSM GYP. BD. GWB	GAUGE GALVANIZED GLASS GROUND GALVANIZED SHEET METAL GYPSUM BOARD GYPSUM WALLBOARD	T&G T.C. TEL T.O.S. T.O.W. TYP.	TONGUE AND GROOVE TOP OF CURB TELEPHONE TOP OF STEEL TOP OF WALL TYPICAL
HB HC HM H.P. HT	HOSE BIB HANDICAPPED HOLLOW METAL HOUSE PANEL HEIGHT	U.O.N. VCT VERT. V.I.F.	UNLESS OTHERWISE NOTED VINYL COMPOSITION TILE VERTICAL VERIFY IN FIELD
INS. INSUL. INT	INSULATION INSULATION INTERIOR	WD W/D W/ WC WH WP	WOOD WASHER AND DRYER WITH WATER CLOSET WATER HEATER WATERPROOF
JAN KIT	JANITOR CLOSET KITCHEN		
LAV LT	LAVATORY LIGHT		

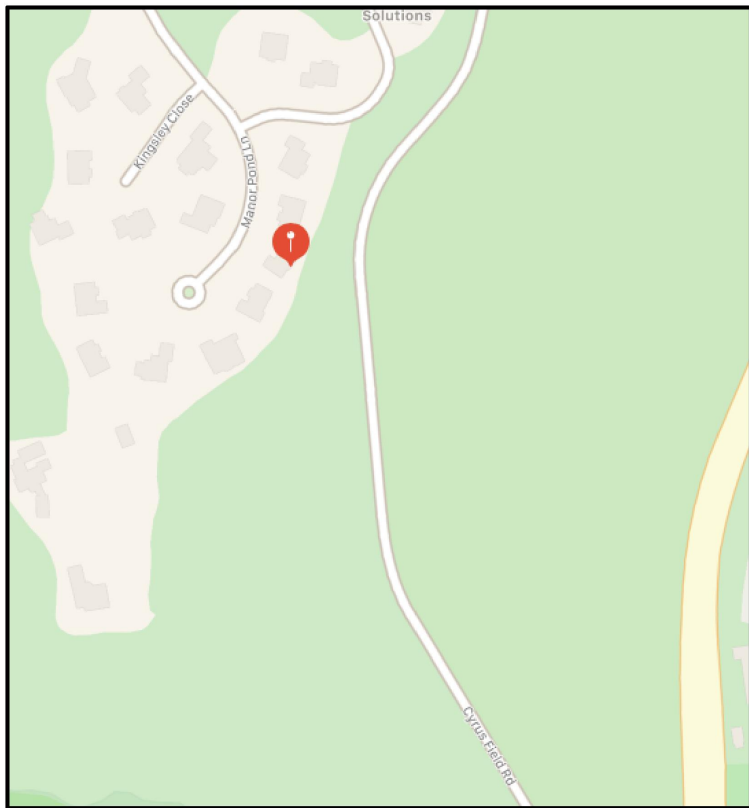
WALL TYPES

	NEW
1 HOUR RATED WALL	=====
2 HOUR RATED WALL	=====
3 HOUR RATED WALL	=====
4 HOUR RATED WALL	=====

NOTE: REFER TO A-8.1 FOR WALL AND FLOOR ASSEMBLY DETAILS

XX A3.1.0	ELEVATION KEY
XX A8.1.0	DETAIL KEY
XX A3.2.0	SECTION KEY
XX	WALL TYPE KEY
XX	DOOR NUMBER KEY
XX	WINDOW TYPE KEY
X	REVISION CLOUD & KEY

AREA MAP



SYED RESIDENCE

SINGLE FAMILY RESIDENCE LEGALIZATION
58 MANOR POND LANE, IRVINGTON, NY 10533

ZONING DISTRICT: 1F-40

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA

PER TABLE R-301.2(1) OF THE 2018 INTERNATIONAL RESIDENTIAL CODE

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CRITERIA	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE SHIELDS UNDER- LAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY		
45	115	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7	YES

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT

PER TABLE N1102.1.2 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE

CLIMATE ZONE	FENEST- RATION U-FACTOR	SKY- LIGHT U-FACTOR	GLAZED FENEST- RATION SHGC (e)	CEILING R-VALUE (j)	WOOD FRAMED WALL R-VALUE (i)	MASS WALL R-VALUE (i)	FLOOR R-VALUE	BASEMENT (g) WALL R-VALUE	SLAB (d) R-VALUE & DEPTH	CRAWL SPACE (g) WALL R-VALUE
4A	0.32	0.55	0.40	49	20 or 13+5 (h)	8/13	19	10/13	10, 2 ft	10/13

- c. "15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE OF THE HOME. "10/13" MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL.
- d. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS. INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN ZONE THROUGH 3 FOR HEATED SLABS
- e. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE.
- h. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE IS CONTINUOUS INSULATION, SO "13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.
- i. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL.
- j. R402.2.1 CEILINGS WITH ATTIC SPACES - INSTALLING R-38 OVER 100% OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES.

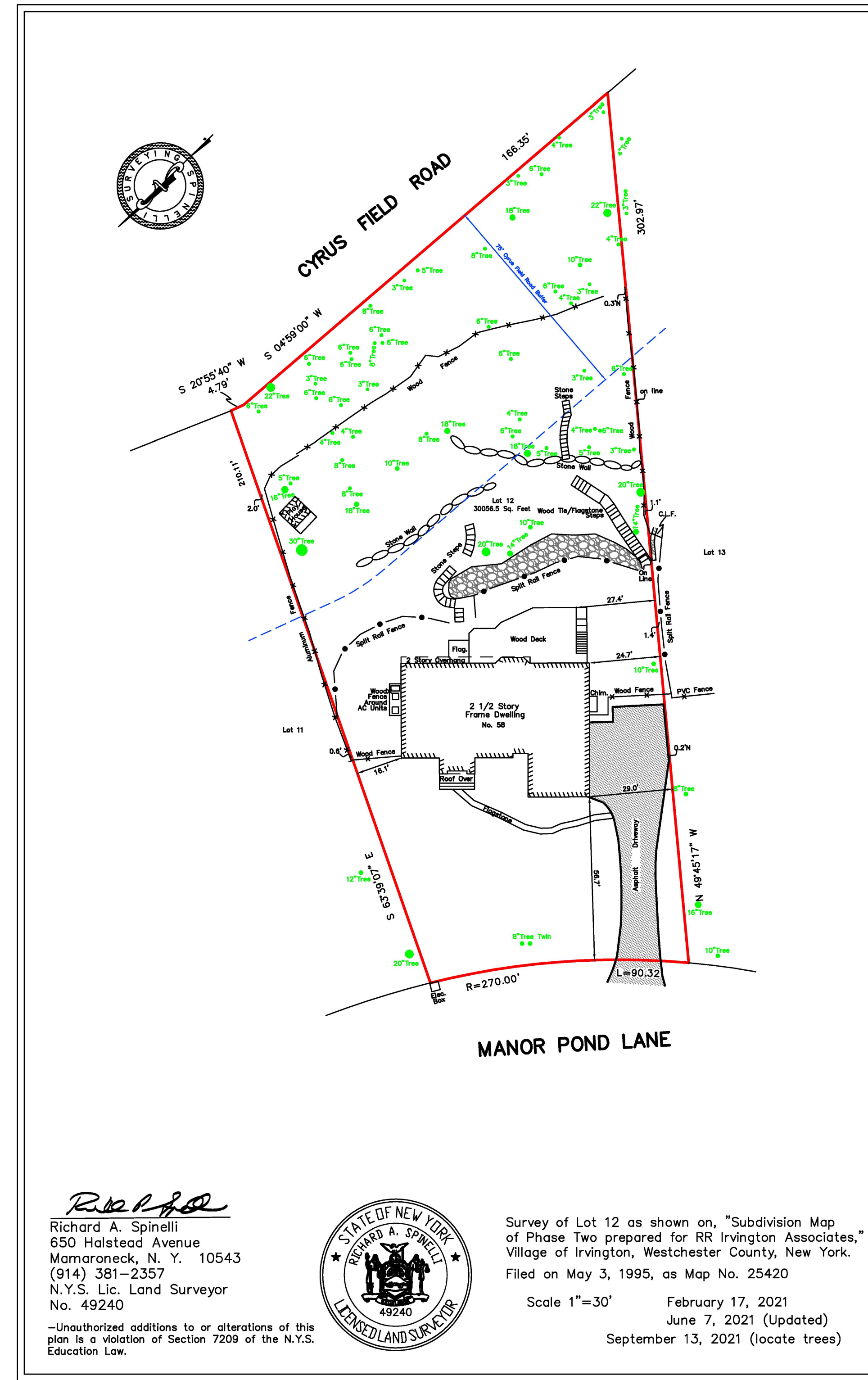
EXTERIOR DESIGN CONDITIONS - NEW YORK STATE

COUNTY	WINTER DESIGN DRY-BULB TEMP.	SUMMER DESIGN DRY-BULB TEMP.	COINCIDENT DESIGN WET-BULB TEMP.	HEATING DEGREE DAYS	ZONE
WESTCHESTER	7	84	73	5750	4

GENERAL NOTES

- All work shall be in accordance with the 2020 New York State Building Code all applicable local jurisdiction and fire department regulations.
- Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.
- All work, including plumbing and electrical work, shall be performed by licensed contractors.
- All work with engineered lumber and/ or truss construction must be placarded as per NYS DOS.
- The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.
- Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.
- Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.
- The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.
- Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.
- Contractor shall exercise strict control over safety and security of the site.
- The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose.
- Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.
- The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.
- All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.
- Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.
- Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.

DocuSign Envelope ID: 39E33227-5BB1-42D8-BB6A-15348A057281



E "IRVINGTONMANOR"

1 (E) SITE SURVEY (FOR REFERENCE ONLY)
Scale: 1/16" = 1'-0"

TABLE OF CONTENTS

A-0.1	COVER SHEET & SURVEY
A-0.2	CONTRACTOR NOTES / FENCE & STEP DETAILS
A-0.3	SITE COVERAGE ANALYSIS
A-0.4	FLOOR AREA ANALYSIS & ZONING WORKSHEETS
A-1.1	(E) & (P) SITE PLANS

PROJECT NOTES:

- THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATION UNFORSEEN SILTATION AND EROSION OF DISTURBED SOILS.
- "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENT SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.

BCA

Brian Crowley Architecture

65 Birch Road
Briarcliff Manor, NY 10510P. 917.301.3616
www.bc-architecture.com

LAGALIZATION
SYED RESIDENCE
58 Manor Pond Lane
Irvington, NY 10533

#	date	issue
1	9.22.21	PB RESUBMITTAL
	11.01.21	ARB SUBMITTAL

Cover Sheet & Existing Survey

project:	21.11
drawn by:	KJC
checked by:	
date:	08.17.21
scale:	AS NOTED

A-0.1

GENERAL CONSTRUCTION NOTES

Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.

All work, including plumbing and electrical work, shall be performed by licensed contractors.

All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS.

The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.

Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.

The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.

Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.

Contractor shall exercise strict control over safety and security of the site.

The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose.

Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.

The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.

All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.

Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.

Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.

WOOD FENCE SPECIFICATION



6 ft. H x 8 ft. Pressure-Treated Pine Dog-Ear Fence Panel



Our heavy-duty, pine fence panel features a classic dog ear design wvith pre-built panel installs hassle-free. Made from U.S. pressure-treated lumber, this panel is protected against termites, fungal decay and rot. For any outdoor projects where lumber will be exposed to the elements, pressure-treated wood is a smart investment. This wood fence panel may also be painted or stained to suit your personal preferences. Please note that ground mounting posts are not included with this panel.

Specifications:

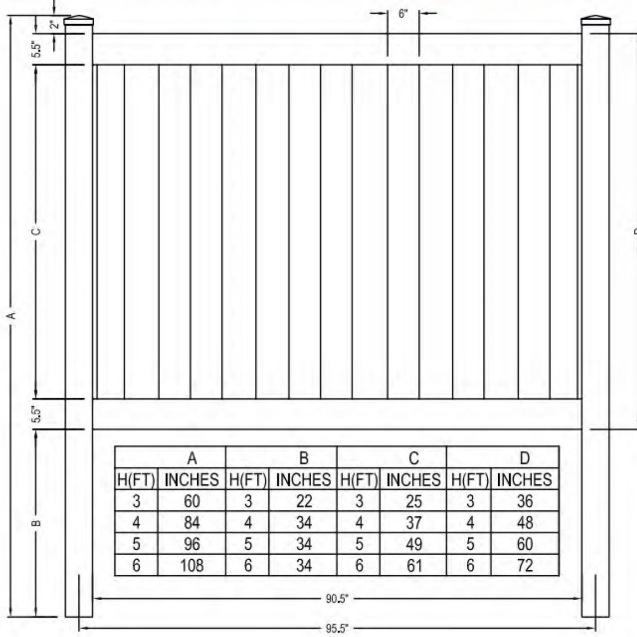
- 6 ft. x 8 ft. (1 in. x 6 in. pickets)
- Limited lifetime warranty from U.S. Barricades against rot and termites
- Treated with MCA (Micronized copper azole)
- Compatible with aluminum and carbon steel (Black iron) fasteners
- Pre-assembled panel for easy installation
- Product Weight (lb.) 130lb
- Structure Type - Ornamental
- Top Shape - Flat
- Top Style - Dog Eared
- Color/Finish Wood
- Paintable, Pressure Treated, Stainable
- Made in the United States

Dimensions:

- Actual backer rail length (in.) 96
- Actual backer rail thickness (in.) 1.5
- Actual backer rail width (in.) 2.5
- Actual panel height (in.)m72
- Actual panel thickness (in.) 2.25
- Actual panel width (in.) 96
- Nominal backer rail length (in.) 96
- Nominal backer rail thickness (in.) 2
- Nominal backer rail width (in.) 3
- Nominal panel height (ft.) 6
- Nominal panel width (ft.) 8

VINYL FENCE SPECIFICATION

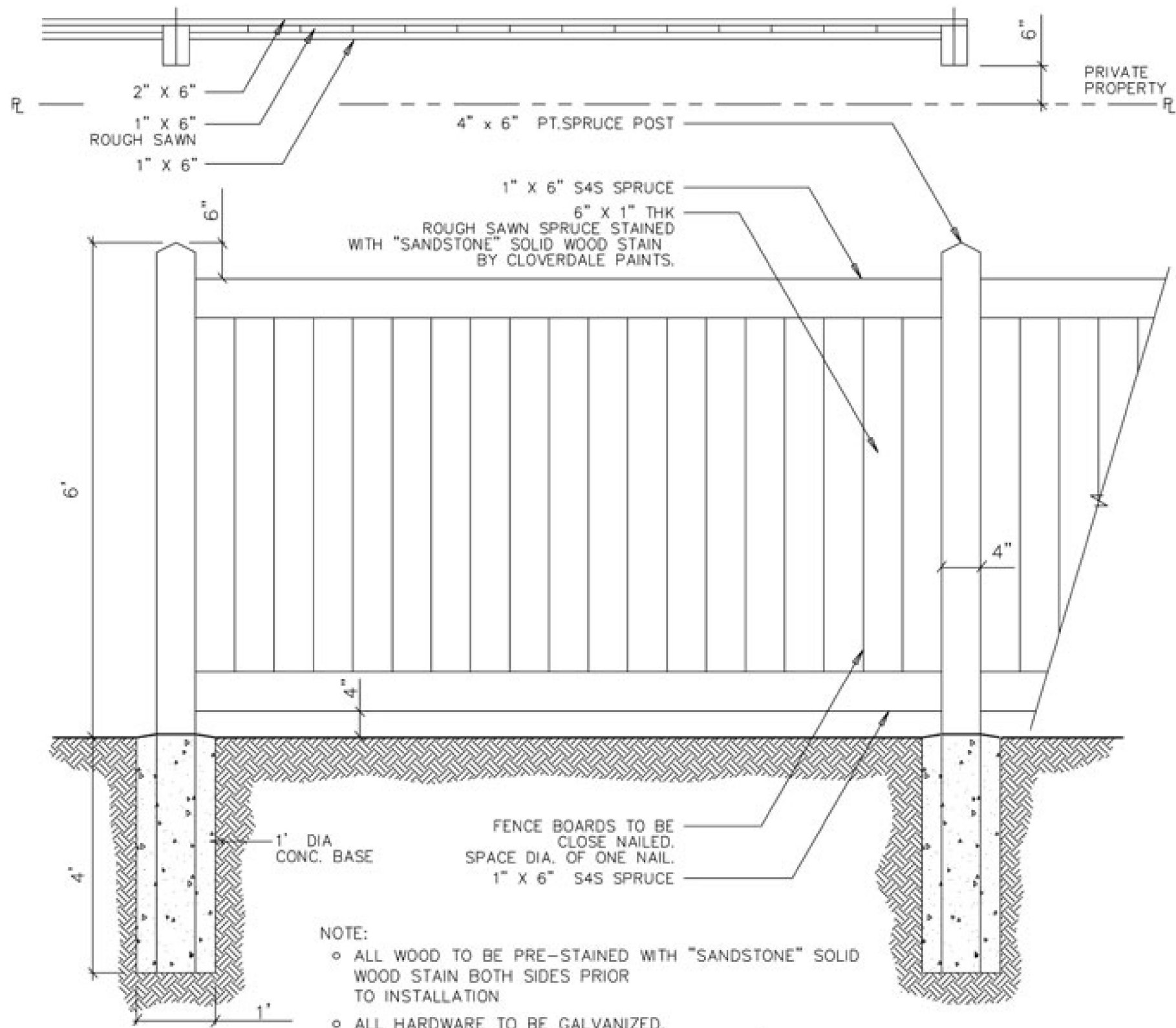
PRIVACY TONGUE & GROOVE



V300-6, V300-5, V300-4
6', 5', and 4' High Tongue and Groove Vinyl Privacy Fence

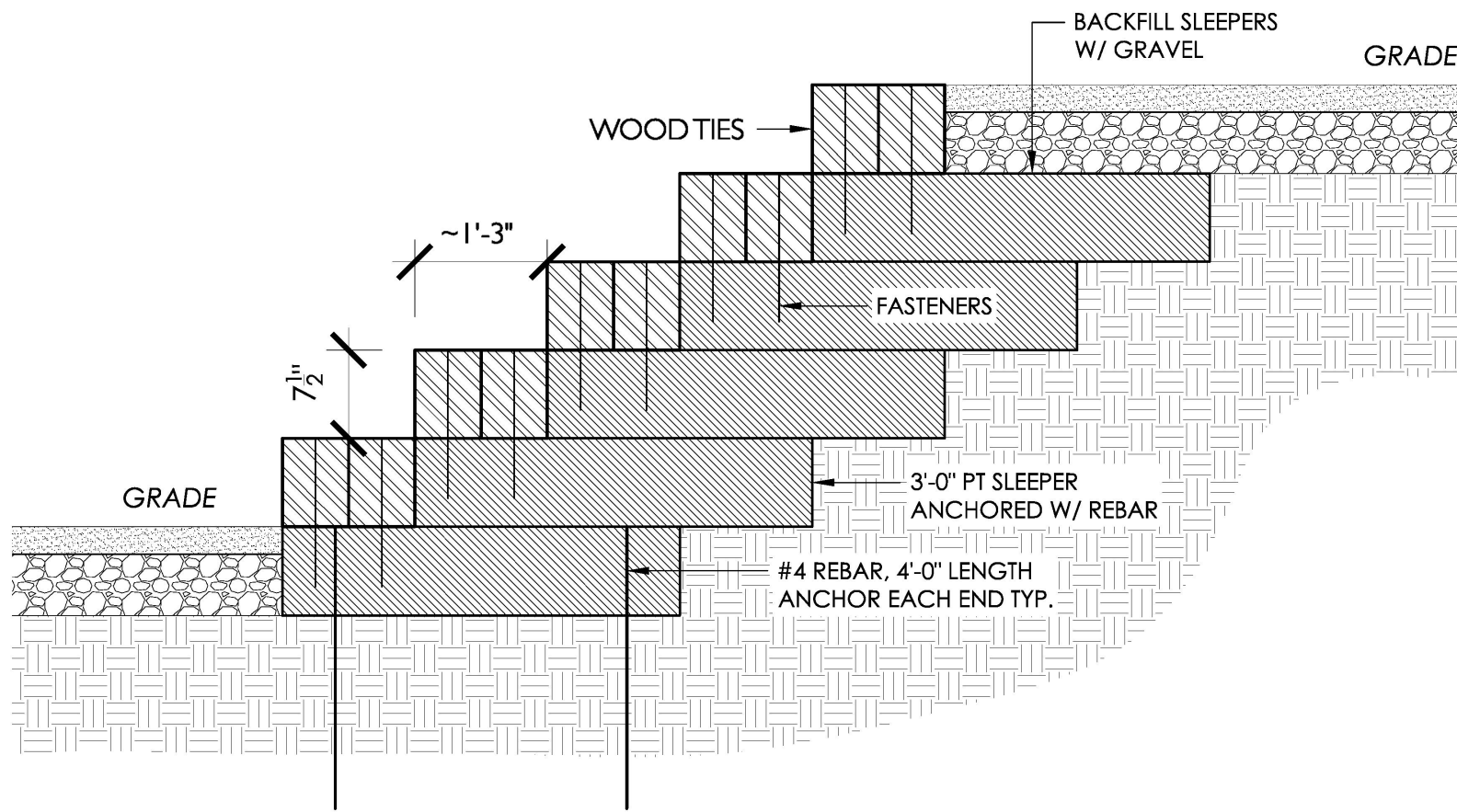
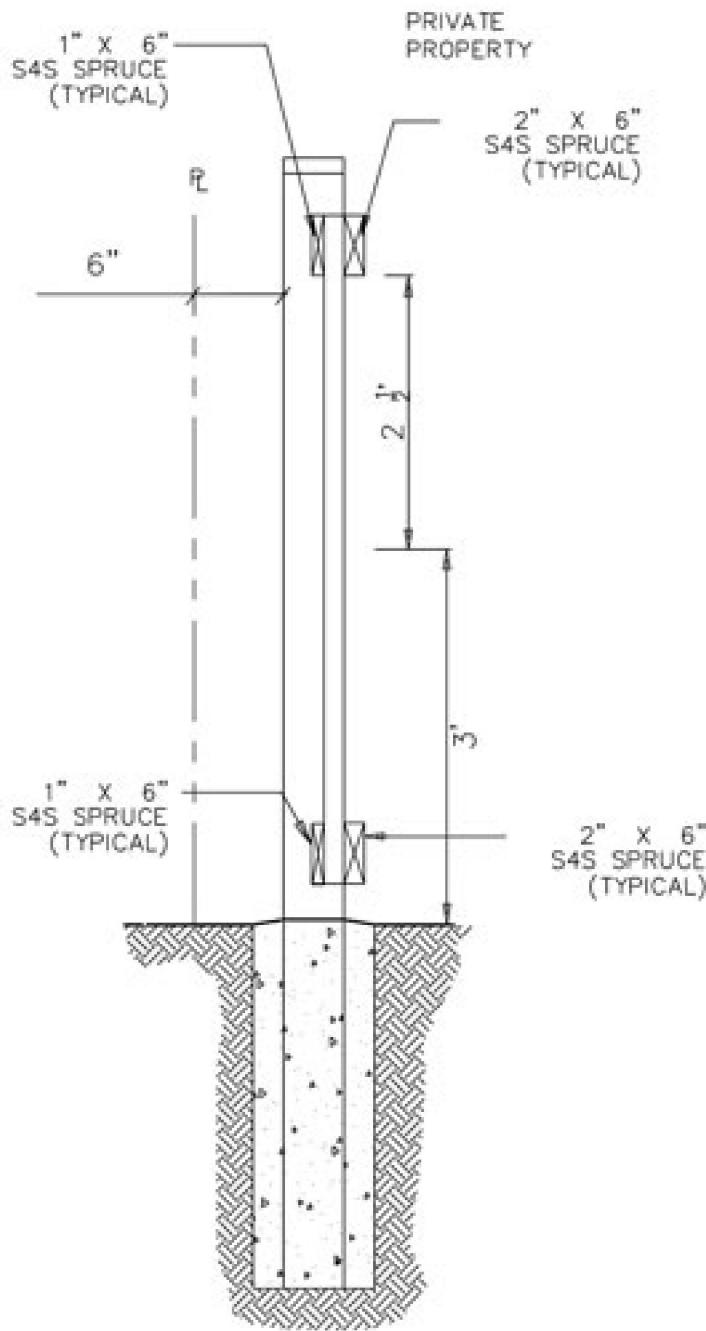
"The most popular fence in the industry." These Illusions Vinyl Fence Tongue and Groove panels have 7/8"x 6" boards, 1-1/2" x 5-1/2" top and bottom horizontal rails, a metal reinforcement channel in the bottom rail, and 7/8"x 1" U-Channel edgings to add a unique and attractive aesthetic.

- Available in ALL Classic Series and Grand Illusions colors and wood grains
- Installed with routed posts - no exposed fasteners or brackets
- 100% Pure Virgin Vinyl for structural integrity
- Minimal upkeep - no painting or staining required
- VMA Certified and ASTM-F964-13 Compliant
- Posts and accessories sold separately



- NOTE:
- ALL WOOD TO BE PRE-STAINED WITH "SANDSTONE" SOLID WOOD STAIN BOTH SIDES PRIOR TO INSTALLATION
 - ALL HARDWARE TO BE GALVANIZED.
 - ALL STAIN TO BE APPLIED TO MANUFACTURER'S SPECIFICATIONS.
 - PRESSURE TREATED POSTS TO BE TREATED WITH A SOLUTION OF PENTACHLOROPHENOL AND PETROLEUM TO CSA-080.
 - NAILS TO BE 3 1/2 " COATED FOR STRINGERS TO POSTS AND 2 " ARDOX FOR BOARDS.
 - ALL DIMENSIONS IN IMPERIAL UNLESS OTHERWISE NOTED
 - ALL PLANED MATERIALS #2 AND BETTER

NOTE:
WITH THE FULL AGREEMENT OF BOTH OWNERS, THE SIDEYARD FENCE AT THE COMMON PROPERTY LINE MAY BE CONSTRUCTED WITH 4" X 4" POSTS IN LIEU OF 4" X 6" POSTS AND BE LOWER IN HEIGHT BUT CONSISTENT IN STYLE AND COLOUR. ALL OTHER FENCES, WITH PUBLIC VIEW (INCLUDING LANE ADJACENCY) MUST ADHERE TO THE MINIMUM REQUIREMENTS AS SET OUT HERE.



Brian Crowley Architecture
65 Birch Road
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P. 917.301.3616
www.bc-architecture.com



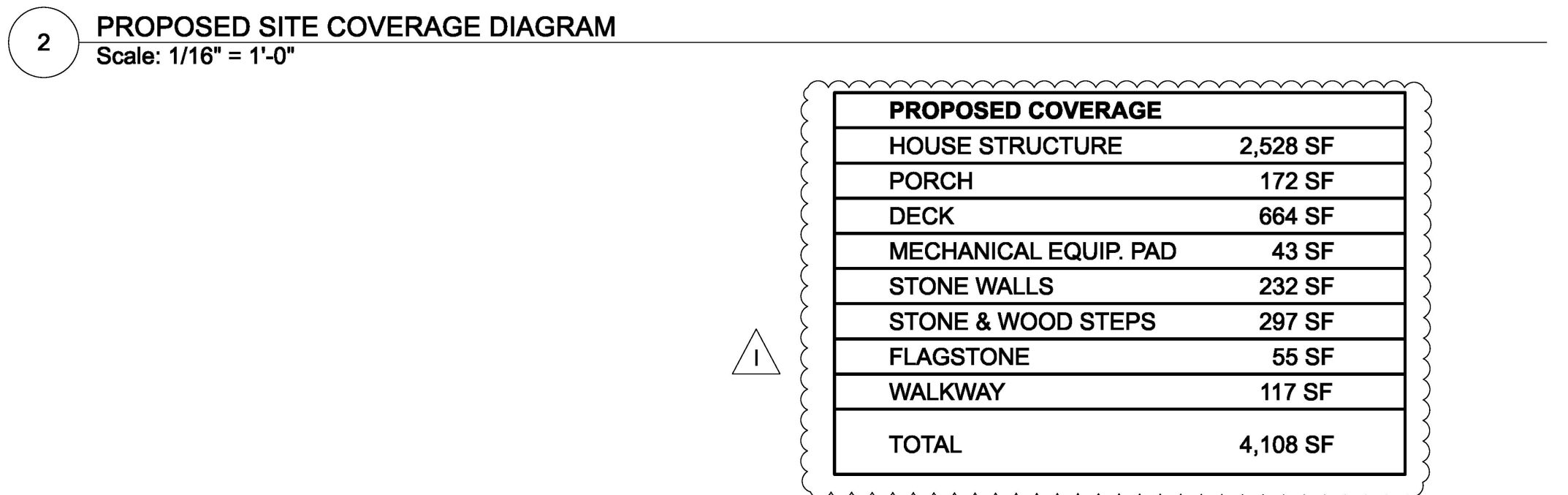
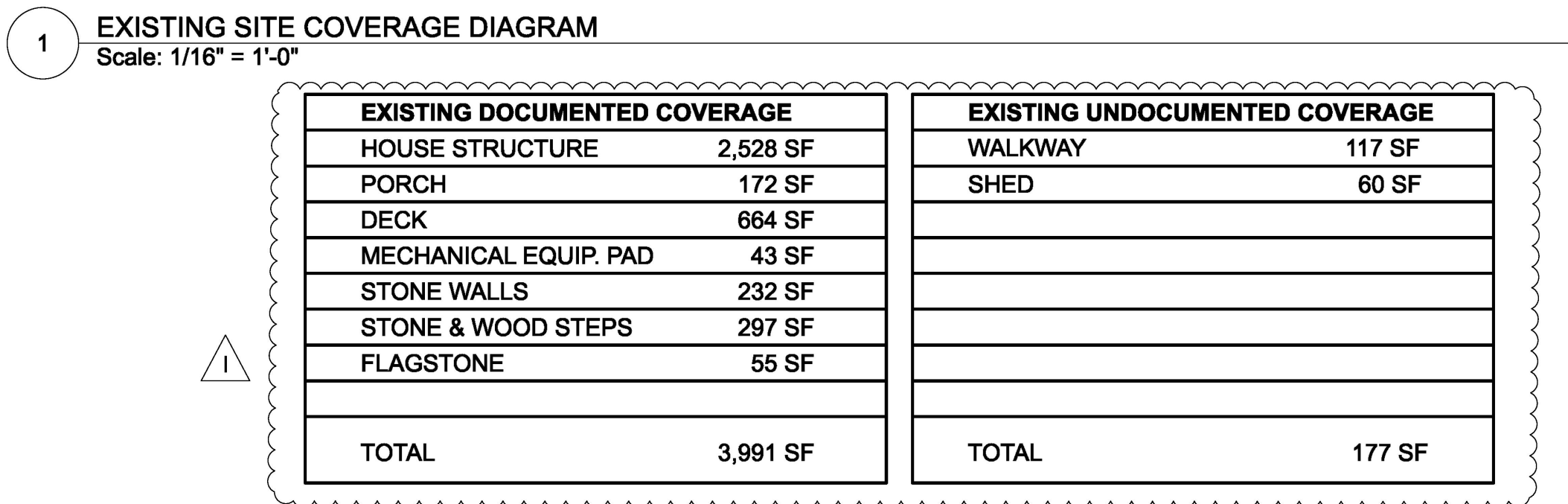
LAGALIZATION
SYED RESIDENCE
58 Manor Pond Lane
Irvington, NY 10533

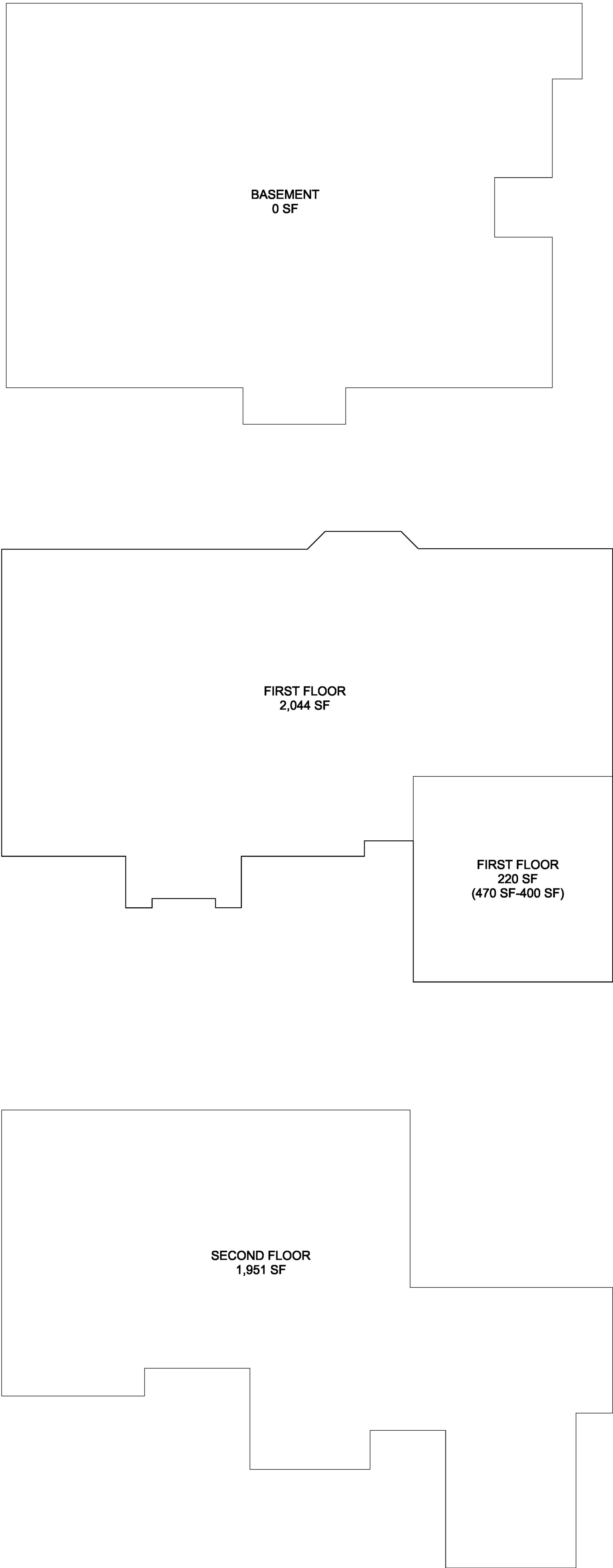
#	date	issue
1	9.22.21	PB RESUBMITTAL
	11.01.21	ARB SUBMITTAL

General Notes

project:	21.11
drawn by:	KJC
checked by:	
date:	08.17.21
scale:	AS NOTED

A-0.2





1 EXISTING FLOOR AREA DIAGRAMS
Scale: 1/8" = 1'-0"

VILLAGE OF IRVINGTON
Planning Board

85 Main Street
Irvington, New York 10533
Tel: (914) 591-8335 • Fax: (914) 591-5870



Directions: Fill in all highlighted cells.

Address: 58 Manor Pond Road Irvington, NY 10533
Property I.D.: 2.180-91-3

Allowable Setbacks

Parameter	Existing	Proposed	Allowable
Zoning District	1F-40	1F-40	1F-40
Lot Area (SF)	30,056	No Change	40,000
Front Yard Setback (FT)	56.7	No Change	50
Side Yard Setback 1 (FT)	24.7	No Change	25
Side Yard Setback 2 (FT)	16.1	No Change	25
Rear Yard Setback (FT)	105.3	No Change	40
Lot Width (FT)	90.32	No Change	150
Lot Depth (FT)	210.11	No Change	150

Zoning Reference Table							
2F	MF	1F-5	1F-10	1F-20	1F-40	1F-60	1F-80
5,000	10,000	5,000	10,000	20,000	40,000	60,000	80,000
30	30	30	30	35	50	60	75
10	15	10	15	15	25	30	50
10	15	10	15	15	25	30	50
30	30	30	30	35	40	60	75
50	85	50	85	100	150	200	250
100	100	100	100	125	150	200	200

Buffers	Applicability	Existing	Proposed	Allowable	Reference
Old Croton Aqueduct	No			30	\$224-50, All properties along OCA
Broadway "Existing" Lot ¹	No			50	\$224-51 B, Properties along Broadway
Broadway "New" Lot ¹	No			125	\$224-51 B, Properties along Broadway
Cyrus Field Road	Yes	75	75	75	\$224-51 A

¹ "New" Lot shall be any new subdivisions, tear downs, or any development involving a modification of more than 50% of an existing structure

Overlay Districts	Applicability	Reference
View Preservation	Yes	\$224-149, All properties west of Broadway
Historic District	Yes	\$224-196, As shown on Zoning Map
Historic Building	No	\$224, Appendix A

Allowable Height (§224-3)

Parameter	Existing	Proposed	Allowable
Stories	2	No Change	2.5
HP Elevation ¹	-35	No Change	35
MP Elevation ²	-35	No Change	35
Height (HP-MP)	-35	No Change	35
Height from AEG ³	-35	N/A	35

¹ HP - Highest Point of the surface of the roof, except as noted in §224-3 Height A (2).

² MP- Measuring Point, the lowest point at the foot of any portion of the building of the lower of: (a) the finished grade; and (b) the grade prior to construction, filling or grading. §224-3 Height B (2).

³ If building envelope grade criteria are met, §224-3, Height B, (3), 40-feet may be used.

⁴ Only apply if building envelope grade criteria are met, §224-3, Height B, (3), Height from Average Existing Grade (AEG). See Below.

Average Existing Grade, §224-3, Height B, (3)

Note: Business District see 224-3 Height B. (1). Exception in accordance with 224-3 Height B (3), below.

Parameter	Value	Unit	Notes
Area within Building Envelope (BE)	N/A	sf	
Area of envelope with Steep Slopes ≥15% (SS)	N/A	sf	Provide Slope Diagram
Percent of SS (BE÷SS x 100)	N/A	%	Must be ≥50%
Is roof pitch for 80% of roof a min. of 5" on 12"?	N/A		Provide Roof Sketch
Average Existing Grade (AEG) Elevation at Periphery of Building	N/A	ft	Provide AEG Calculations
Criteria Satisfied?	Brian Crowley	N/A	

Licensed Professional:

Signature: _____ Date: _____

I represent that I am wholly and completely responsible for the accuracy of the information above as the NYS Licensed Registered Architect or Professional Engineer, and to the best of my knowledge it is in accordance with Section 224 of the Village Code. I understand that engaging in acts of gross incompetence or gross negligence, permitting or aiding an unlicensed person to perform activities requiring a license, or practicing beyond the scope of the profession is considered professional misconduct and punishable in accordance with NYS Educational Law.



2 of 2

VILLAGE OF IRVINGTON
Planning Board

85 Main Street
Irvington, New York 10533
Tel: (914) 591-8335 • Fax: (914) 591-5870



Directions: Fill in all highlighted cells.

ADDRESS: 58 Manor Pond Road Irvington, NY 10533

Parcel I.D. # 2.180-91-3

ALLOWABLE FLOOR AREA RATIO (F.A.R.)

Lot Area: 30,056 SF Maximum F.A.R.: 0.18 Allowable Floor Area: 5,410 SF

F.A.R. WORK SHEET²

	Existing F.A. (SF)	Proposed F.A. inc. existing (SF)
1) Basement area taken from outside walls. If exposed front basement wall is less than 3 feet in height for existing and proposed grades, that portion multiplied by the depth of the building is excluded.	0	0
2) First floor area taken from outside walls	2,044	2,044
Second floor area from outside walls	1,951	1,951
Third floor area from outside walls		
Area where ceiling height exceeds 12 ft.		
3) Attic area taken from outside walls of the floor below		
(a) Attic does not currently exist - 0%		
(b) Attic is unfinished, has a hatch or drop stair, and height is less than 7'-6" - 0%		
(c) Attic is unfinished, has a hatch or drop stair, and height is 7'-6" or greater - 30%		
(d) Attic is unfinished, has a staircase or door, and height is less than 7'-6" - 50%		
(e) Attic is unfinished, has a staircase or door, and height is 7'-6" or greater - 100%		
(f) Attic is finished - 100%		
Area of Attic Applied to F.A.R.	0	0
4) Accessory building: (a) Basement area to outside walls	60	0
(b) First floor area to outside walls		
(c) Second floor area to outside walls		
(d) Third floor area to outside walls		
5) Garage area(s) taken from outside walls.	470	470
Deductions ⁴ : (a) on lots of 9,999 SF or less there is a deduction of up to 250 SF	400	400
(b) on lots of 10,000 SF or more there is a deduction of up to 400 SF	400	400
Area of garage deducted from F.A.		
Total Floor Area and F.A.R.	4,125 0.14	4,065 0.14
Percentage of Allowable F.A.	76.2%	75.1%
Percent Greater than Allowable	0.0%	0.0%
Percent Greater than Existing		0.0%

F.A.R. CHECK LIST

- ☒ Provide existing F.A.R. diagram for each floor on the site plan
☒ Provide proposed F.A.R. diagram for each floor on the site plan

Licensed Professional:

Signature: _____ Date: _____

I represent that I am wholly and completely responsible for the accuracy of the information above as the NYS Licensed Registered Architect or Professional Engineer, and to the best of my knowledge it is in accordance with Section 224, Article 90b, Residential Floor Area Ratio of the Village Code. I understand that engaging in acts of gross incompetence or gross negligence, permitting or aiding an unlicensed person to perform activities requiring a license, or practicing beyond the scope of the profession is considered professional misconduct and punishable in accordance with NYS Educational Law.

1. Refer to §224-3.16A for maximum residential floor area ratios (F.A.R.). When a lot size is between two Max F.A.R., the greater of the two values shall be taken.
2. All area measurements shall be taken to the outside face of exterior walls.
3. Refer to §224-3.17C.
4. Refer to §224-3.17D.



2017-11-16 IPB F.A.R. Work Sheet



Brian Crowley Architecture

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Briarcliff Manor, NY 10510

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LAGALIZATION
SYED RESIDENCE

58 Manor Pond Lane
Irvington, NY 10533

date issue



9.22.21 PB RESUBMITTAL

11.01.21 ARB SUBMITTAL

Floor Area Analysis
& Zoning Worksheets

project: 21.11

drawn by: KJC

checked by:

date: 08.17.21

scale: AS NOTED

A-0.4



LALAZATION
SYED RESIDENCE

58 Manor Pond Lane
Irvington, NY 10533

date issue

(E) & (P) Site Plans

project: 21.11

drawn by: KJC

checked by:

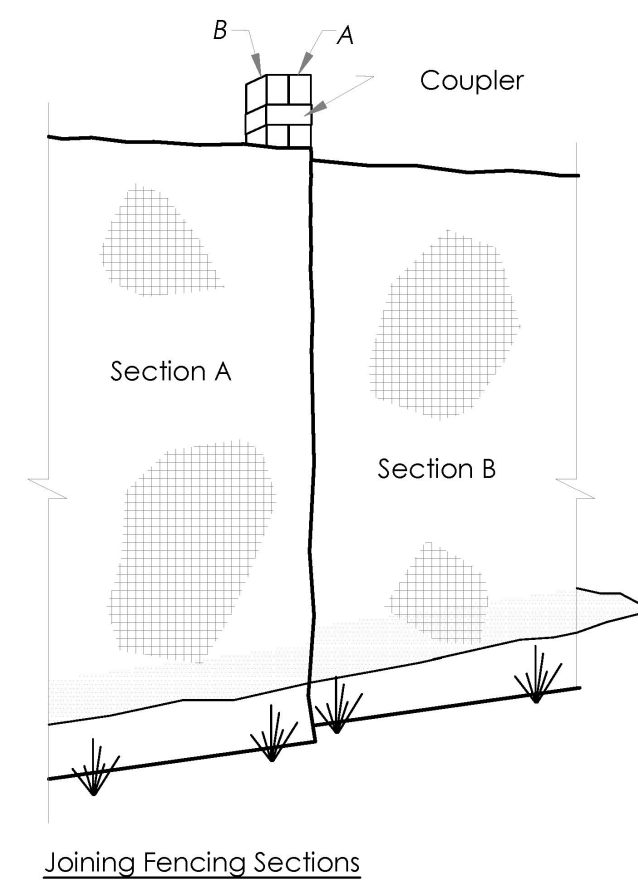
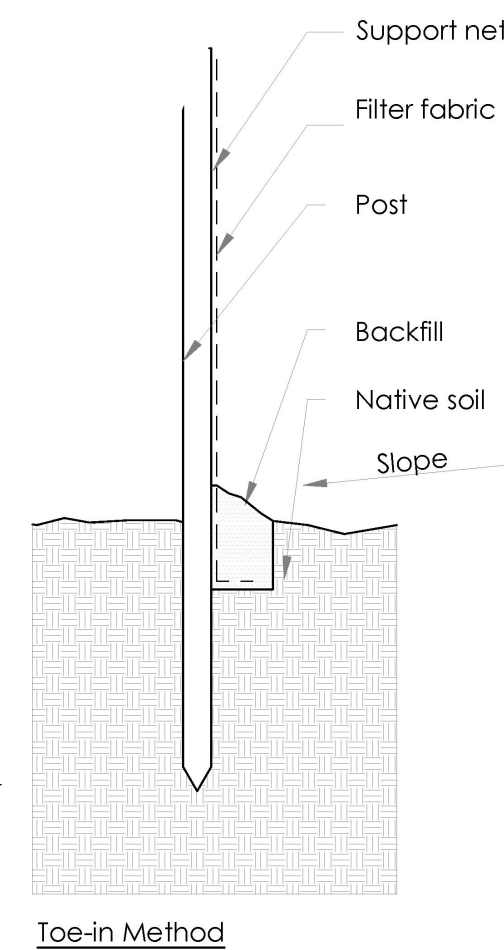
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A-1.1

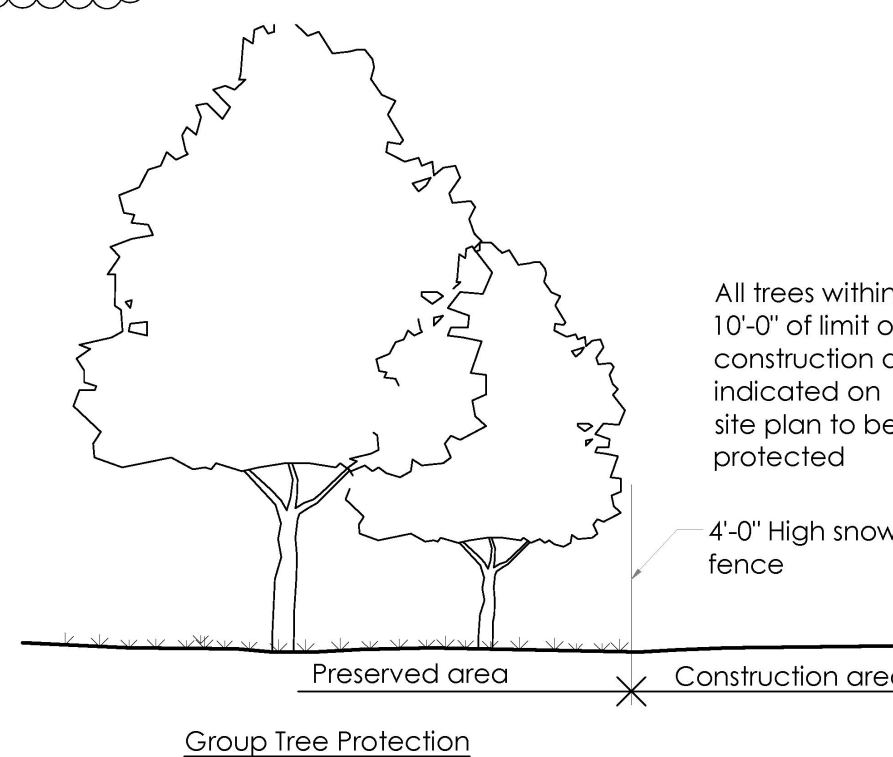
SILT FENCE INSTALLATION NOTES

- Excavate a 4" x 4" trench along the lower perimeter of the site.
- Unroll a section at a time and position the posts against the back (downstream) wall of the trench (net side away from direction of flow)
- Drive the post into the ground until the netting is approx. 2 inches from the trench bottom.
- Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tap the soil. steeper slopes require an intercept trench.
- Join sections as shown above.

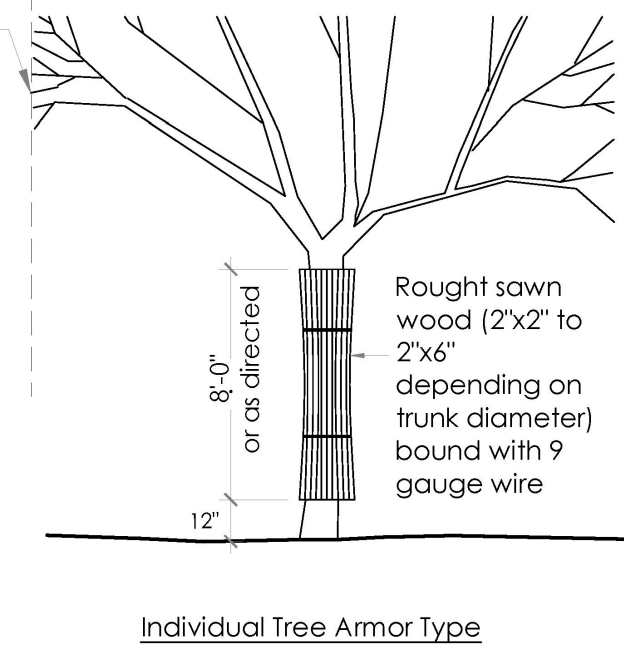


3 SILT FENCE DETAILS

PROPOSED WOOD FENCE IN SAME LOCATION AS PREVIOUS WOOD FENCE



Group Tree Protection



Individual Tree Armor Type

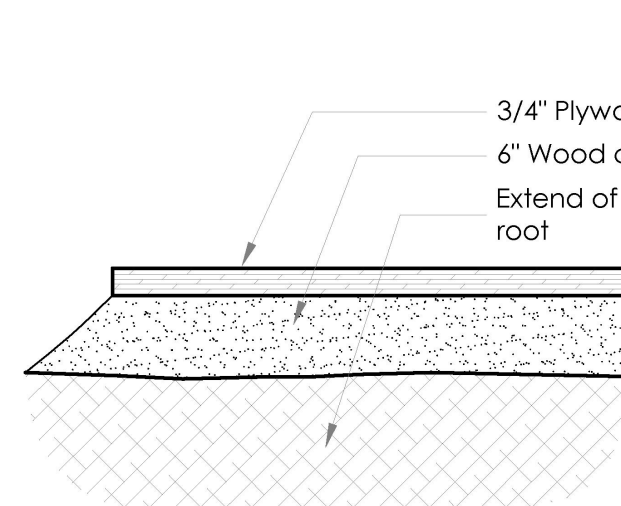
4 SNOW TYPE - TREE PROTECTION DETAIL

Scale: NTS

5 ARMOR TYPE - TREE PROTECTION DETAIL

Scale: NTS

PROPOSED VINYL FENCE IN SAME LOCATION AS PREVIOUS WOOD FENCE



6 ROOT COMPACTION PROTECTION DETAIL

Scale: NTS

7 TREE PROTECTION DETAIL

Scale: NTS

SYMBOL KEY

AREA OF DISTURBANCE (APPROXIMATELY 6,500 S.F.)

PROPERTY LINE

SPLIT RAIL FENCE

WOOD FENCE LINE*

VINYL FENCE LINE*

* SEE PLAN FOR FENCE AREAS TO BE REPLACED WITH VINYL & WOOD FENCING. SEE A-0.2 FOR DETAILS

LANDSCAPE NOTE:

- ALL LANDSCAPING SHALL NOT BE CHANGED; EXISTING CONDITION SHALL REMAIN
- SEE SURVEY ON A-0.1 FOR ALL IDENTIFIED TREES AND SIZES. ALL TREES TO REMAIN.

UTILITY NOTE:

- NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK.

1 EXISTING SITE PLAN WITH SITE DEMOLITION

Scale: 1/16" = 1'-0"

NOTE: SITE PLAN BASED OFF PLOT PLAN BY RICHARD A. SPINELLI, L.S.

2 PROPOSED SITE PLAN

Scale: 1/16" = 1'-0"

NOTE: SITE PLAN BASED OFF PLOT PLAN BY RICHARD A. SPINELLI, L.S.