TASOS KOKORIS - AIA - LEED AP
REGISTERED ARCHITECT - CT . NY . NJ . FL . MD . DC

October 26, 2021

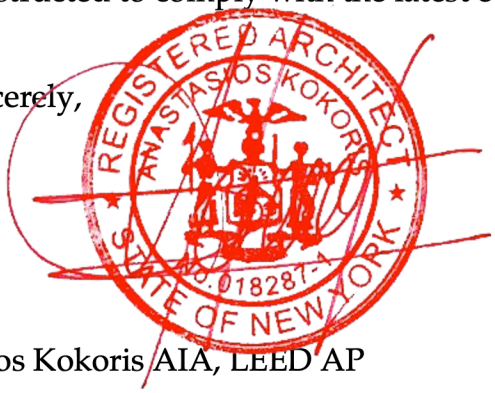
Architectural Review Board (ARB)
Village of Irvington Building Department
85 Main Street
Irvington, NY 10533

Re: 50 Half Moon Lane, Proposed Single Family Residence

Dear Board members:

Please be advised that the proposed residence referenced above is designed and will be constructed to comply with the latest edition of all applicable building codes and ordinances.

Sincerely,



Tasos Kokoris AIA, LEED AP

P.O. Box 2479, Westport CT 06880 . (203) 349-5509 . www.tasosk.com

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	1049	Date:	10/25/2021
Job Location:	50 HALF MOON LN	Parcel ID:	2.120-60-4
Property Owner:	Desai, Dr. Laxman S.	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	**Contractor**
Anastasios Kokoris	
Tasos Kokoris, AIA, LEED AP	
PO Box 2479Westport CT 06880	
9144342226	

Description of Work

Type of Work:	New Construction	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	0	Property Class:	1 FAMILY RES

Description of Work

Removal of existing one-family residence and pool, construction of new one-family residence and pool.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 50 HALF MOON LN Parcel Id: 2.120-60-4

AFFIDAVIT OF APPLICANT

I **Anastasios Kokoris** being duly sworn, depose and says: That s/he does business as: **Tasos Kokoris, AIA, LEED AP** with offices at: **PO Box 2479 Westport CT 06880** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 21 day of October of 2021

Notary Public / Commission of Deeds

EVELYN ALTAGRACIA GARCIA
Notary Public
Commonwealth of Massachusetts
My Commission Expires Nov. 8, 2024

Applicant's Signature

OWNER'S AUTHORIZATION

I **Desai, Dr. Laxman S.** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 617-513-3478 Owner email address lsdesai50@gmail.com

☑ Laxman S. Desai I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 21 day of October of 2021

Notary Public / Commission of Deeds

Applicant's Signature

EVELYN ALTAGRACIA GARCIA
Notary Public
Commonwealth of Massachusetts
My Commission Expires Nov. 8, 2024

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee $85 __85_
* Permit fee $17 per thousand dollars ($1000) of estimated cost of construction, or fraction thereof _____

• Inspection Fees (as applicable)

- Insulation: $50
- Solid Fuel: $50
- Foundation and footing drain: $50
- Energy Code Compliance: $50
- Sediment and erosion control: $50
- Footing: $50
- Preparation for concrete slabs and walls: $50
- Footing: $50
- Preparation for concrete slabs and walls: $50
- Framing: $50
- Building systems, including underground and rough-in: $50
- Fire resistant construction and penetrations: $50
- Final Inspection for C.O.: $50
- State and local laws (per re-inspection): $50

Total Inspections _____

* Certificate of Occupancy Fees: One dollar ($1.00) per thousand dollars of estimated cost. Minimum Fee $25.00
* Permit Revisions or Amendment: $50.00 (plus $17 per thousand ($1000), of the estimated cost of construction and any additional inspections fees). _____

* Re-inspection fee for work not ready at time of inspection or not in compliance: $50 _____
* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior toapplying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee $500.00. _____

(To be collected at time of submission of application)Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

Generated by RES*check-Web* Software

Compliance Certificate

Project 50 HALF MOON LANE

Energy Code:	**2018 IECC**
Location:	**Westchester County, New York**
Construction Type:	**Single-family**
Project Type:	**New Construction**
Conditioned Floor Area:	**7,064 ft2**
Glazing Area	**25%**
Climate Zone:	**4 (5499 HDD)**
Permit Date:	
Permit Number:	

Construction Site:
50 HALF MOON LN
IRVINGTON, NY 10533

Owner/Agent:
LAXMAN S. DESAI, D.SC.
268 KENT STREET
BROOKLINE, MA 02446
(617) 513-3478
LSDesai50@gmail.com

Designer/Contractor:
Anastasios Kokoris
Tasos Kokoris, AIA, LEED AP
PO Box 2479
Westport, CT 06880
(914) 434-2226
tasosk@mac.com

Compliance: Passes using UA trade-off

Compliance: **10.7% Better Than Code** Maximum UA: **1256** Your UA: **1121** Maximum SHGC: **0.40** Your SHGC: **0.25**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Flat Ceiling or Scissor Truss	3,887	53.0	0.0	0.025	0.026	97	101
Wall: Wood Frame, 16" o.c.	7,384	31.0	0.0	0.048	0.060	265	332
Entry Door: Solid Door (under 50% glazing)	24			0.420	0.320	10	8
Glass Door: Glass Door (over 50% glazing) SHGC: 0.25	696			0.320	0.320	223	223
Window: Wood Frame SHGC: 0.25	1,134			0.320	0.320	363	363
Basement: Solid Concrete or Masonry Wall height: 9.0' Depth below grade: 8.0' Insulation depth: 9.0'	3,887	24.0	0.0	0.042	0.059	163	229

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in RES*check* Version : REScheck-Web and to comply with the mandatory requirements listed in the RES*check* Inspection Checklist.

TASOS KOKORIS AIA, LEED AP — Name - Title

Signature

10/26/2021 — Date

PROPOSED RESIDENCE

AT 50 HALF MOON LANE - IRVINGTON, NEW YORK

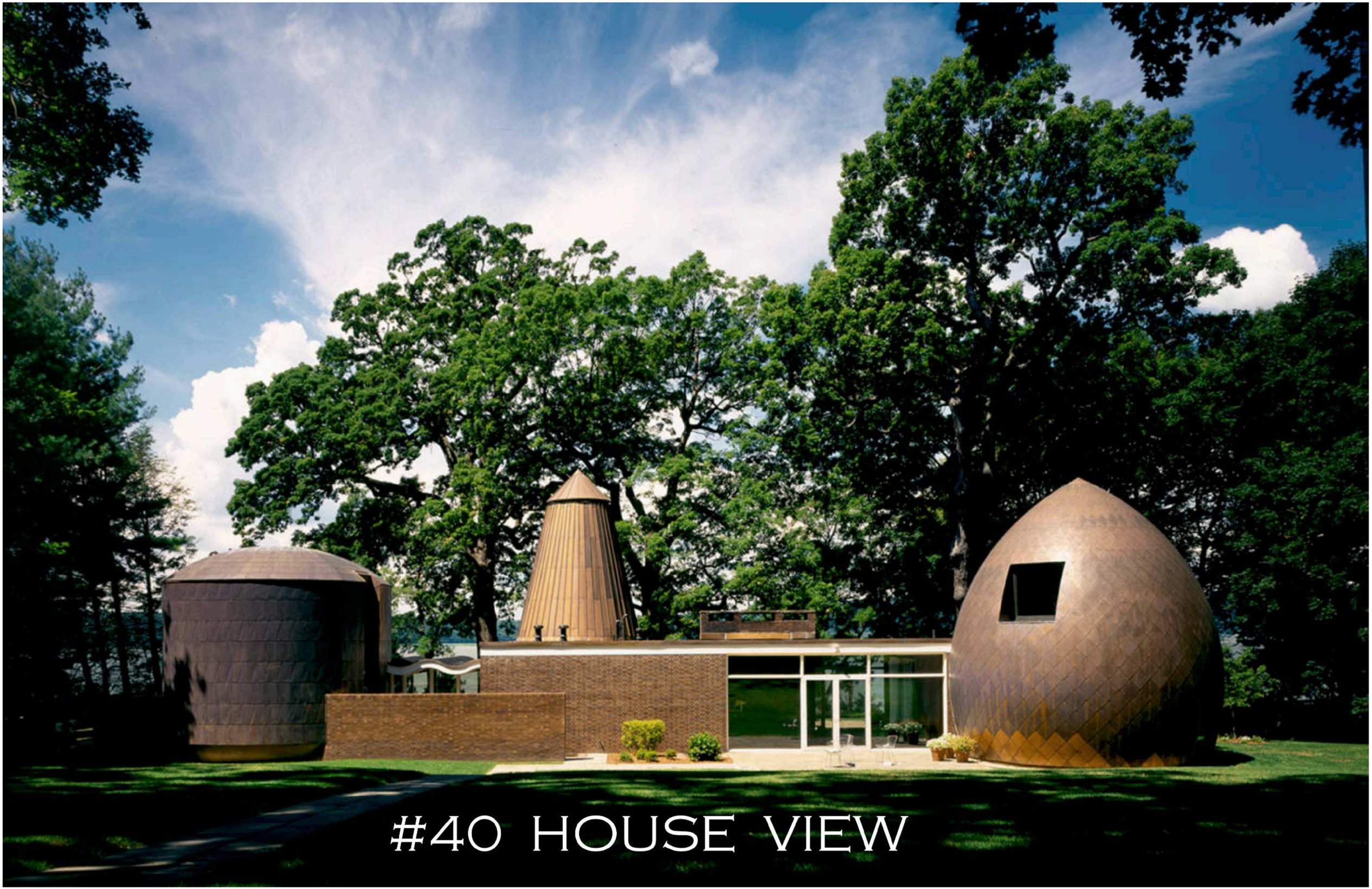
10/10/2021 TASOS KOKORIS AIA, LEED AP - WESTPORT, CONNECTICUT 1"=8'

#60 STREET & HOUSE VIEW


#50 STREET VIEW

#50 HOUSE VIEW


#40 STREET VIEW


#40 HOUSE VIEW

EXTERIOR MATERIALS INDEX

50 HALF MOON LANE - IRVINGTON, NEW YORK

10/10/2021 TASOS KOKORIS AIA, LEED AP - WESTPORT, CONNECTICUT 1”=8’

PRELIMINARY SPECIFICATIONS - 50 HALF MOON LANE

THIS IS NOT A BID. The purpose of these notes and Drawings is to establish a general budget in order to determine the final scope of work. Please use your best judgement in estimating the true cost of construction. You will not be judged by your projected cost estimate, and you will receive the working drawings to properly bid on this project regardless of the size of this preliminary estimate.

SITEWORK Include sitework related to constructing the house foundation and backfilling. Driveway and site grading to be included in a separate estimate.

CONCRETE Foundation will be poured concrete. Foundation wall height will not exceed 9 feet. Strip footing will be 24" wide, 12" high, with (3)#5 bars, continuous. Wall will be 10" thick, with #5 bars @ 16" o.c. vertical, #4 bars @ 32" o.c. horizontal, and (2)#5 bars at top continuous. Exterior of walls will be pointed at ties and coated with asphalt waterproofing to 4" below final grade.

Basement, garage, and porch concrete slabs will be 4" thick, with 6" x 6" 10/10 gauge welded wire mesh on 6" bed of gravel. Provide 6 mil polyethylene vapor barrier over gravel for basement slab.

On north, east, and south sides of the house provide 6" sch. 40 footing drains to daylight, and ENKADRAIN blankets from final grade to footings, to cover footing drains.

MASONRY Front and side porch floor will be bluestone set on a 4" thick reinforced concrete slab on fully compacted subgrade. Sidewalls will be Connecticut thin stone veneer.
Provide separate estimate for full-height stone fireplace chimney with (2) 36" x 48" fireboxes, one in basement and one at first floor.

METALS Steel lolly columns will be nom. 5" dia., extra strong, with min. 6"x6" 1/2" thick steel mounting plates welded at top and bottom. Assume a total of 100 linear feet of W12x45 steel girders for basement and garage.

WOOD **ROOF:** New roof rafters will be 2x12's @16"o.c.. Roof sheathing will be 3/4" zip sheathing. Fascia boards will be 5/4 Azek. Soffits will be Azek. New gutters and leaders will be K-style white aluminum.

FLOORS: First floor joists will be 12" TFJI-35 @ 16" o.c.. Second floor and attic joists will be 12"TJI-25's @ 16" o.c.. Floor sheathing will be 3/4" T&G ply, glued and nailed. Assume approx. 300 lf of 3-1/2"x12" MicroLam material for misc. beams.

WALLS: New studs to be 2x6's @ 16" o.c.. Sheathing will be 1/2" zip.

THERM/MOIST. Siding material will be 6" exposure white cedar shingles or approved equal. Insulation will be 3" closed cell foam throughout exterior envelope. Remaining cavities will be filled with fiberglass batt. Garage will also be insulated.

Roofing material will be 325-lb. architectural grade asphalt shingles on 30-lb roofing felt on zip sheathing.

Flashing material will be heavy gauge aluminum.

DOORS & WIND. All windows and exterior doors will be Sierra Pacific or approved equal, double-glazed Low-E, SDL. Interior and exterior will be white.
Provide allowance for insulated wood panel exterior garage doors.

FINISHES All interior walls and ceilings will be 5/8" GWB, primed and painted 2 coats interior flat latex.
Interior door, window, and base trim will be flat or profiled paint grade wood. Interior doors will be 1-3/4" thick paint grade 4-panel MDF.

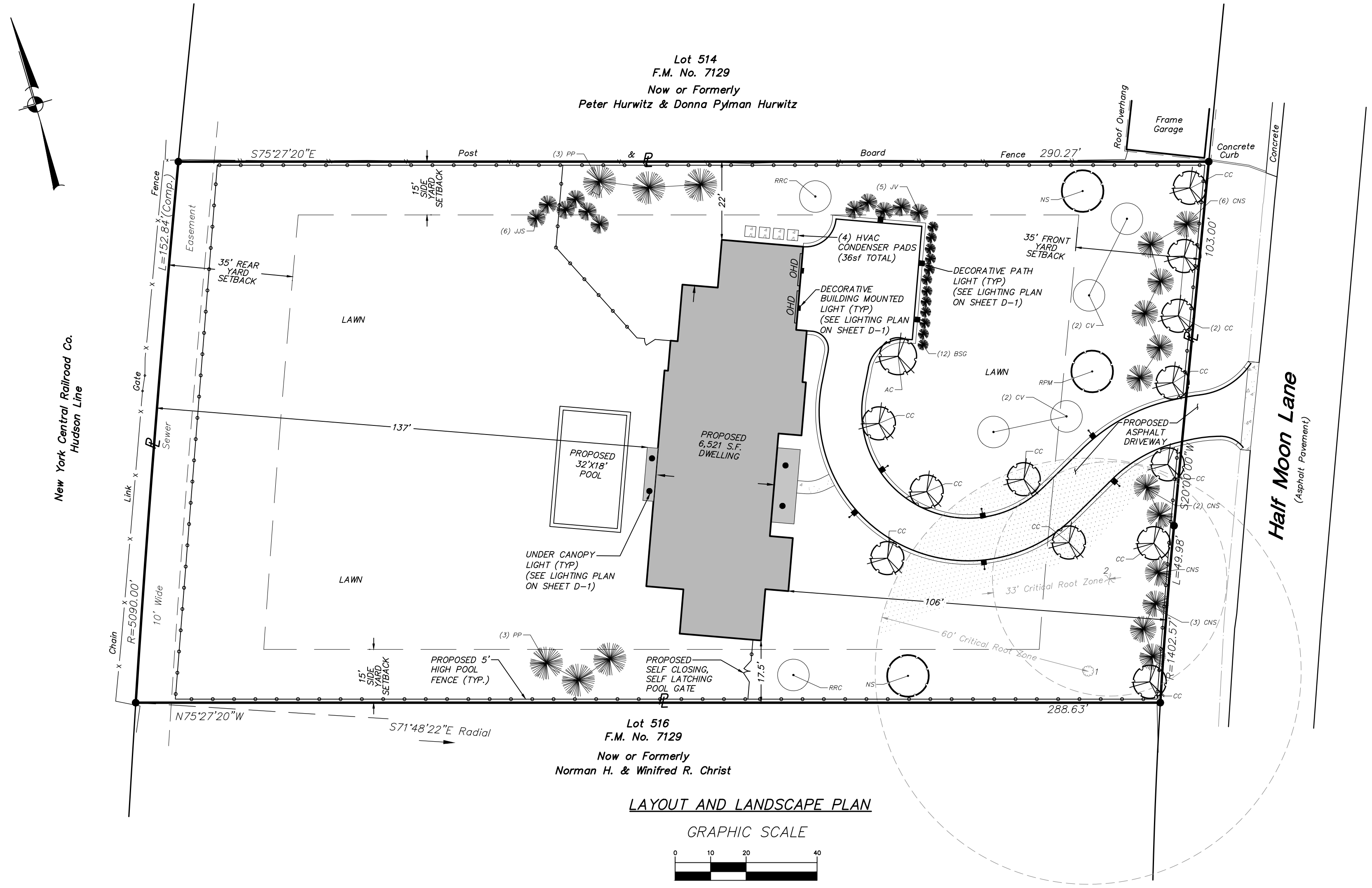
Flooring material will be good quality clear finish 5" wide white oak for all areas except Powder Room, Entry Foyer, Mud Room, Laundry, and Baths, where various types of tile and stone will be used. Assume an average cost of $12.00/sf for flooring material excluding installation.

Provide allowance for kitchen and bath cabinets, closet shelving, and other built-ins.

PLUMBING Provide plumbing and vent lines as required. All vertical drains will be cast iron for noise control. PVC piping may be utilized for vents only if local code permits. Assume best quality plumbing fixtures throughout.

H.V.A.C. Provide allowance for a new 4-air handler, 6-zone hydro-air heating and cooling system with electrostatic air filters and two steam humidifiers. Provide separate Energy Recovery Ventilator.

ELECTRICAL Electrical, lighting, and control systems will be excluded from this estimate.



LAYOUT AND LANDSCAPE PLAN

GRAPHIC SCALE

0 10 20 40

(IN FEET)
1 inch = 20 ft.

IF-20 ZONE REQUIREMENTS

	REQUIRED/ PERMITTED	EXISTING	PROPOSED
Minimum Lot Area:	20,000 s.f.	44,106 s.f.	44,106 s.f.
Minimum Lot Width:	100'	153'	153'
Minimum Lot Depth:	125'	288'	288'
Minimum Front Yard:	35'	153'	106'
Minimum Side Yard:	15'	19.8'	17.5'
Minimum Rear Yard:	35'	58.3'	137'
Maximum Building Coverage:	16% + 6% of area over Minimum Lot Size @ 44,106 sf = 4,646 s.f.	6,632 s.f.	4,642 s.f.

NEIGHBORHOOD COVERAGE ANALYSIS

TAX MAP #	NOW or FORMERLY	ADDRESS	LOT AREA	PERMITTED COVERAGE	ACTUAL COVERAGE		PERCENT OVER PERMITTED	
					Existing	Proposed	Existing	Proposed
2.120-60-4	DESAI	50 Half Moon Lane	44,106 SF	4,646 SF	6,632 SF	4,642 SF	43%	0%
2.120-62-23	SACK	33 Hendrick Lane	32,640 SF±	3,958 SF	8,570 SF		117%	
2.120-62-24	GOBER	45 Hendrick Lane	27,600 SF±	3,656 SF	4,430 SF		21%	
2.120-62-25	CAIN	55 Hendrick Lane	28,540 SF±	3,713 SF	5,270 SF		42%	
2.120-62-26	LUTHRA	15 Hendrick Lane South	30,412 SF±	3,825 SF	6,730 SF		76%	
2.120-60-5	HURWITZ	40 Half Moon Lane	44,030 SF±	4,642 SF	6,875 SF		48%	
2.120-60-3	CHRIST	60 Half Moon Lane	42,075 SF±	4,525 SF	5,020 SF		11%	

NOTE: COVERAGES FOR NEIGHBORING PROPERTIES ARE ESTIMATED FROM ORHTOIMAGERY, NOT FROM FIELD SURVEY WORK.

LEGEND

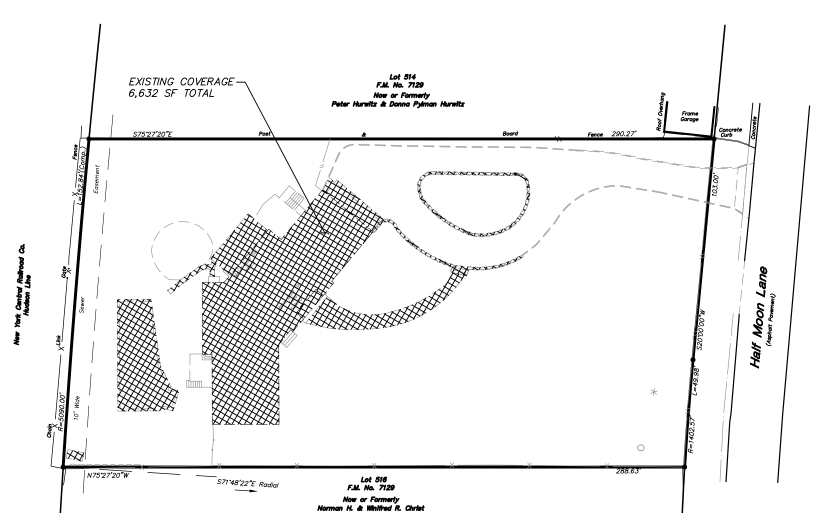
EXISTING PROPERTY LINE
EXISTING EASEMENT
EXISTING EDGE OF PAVEMENT
EXISTING FENCE
EXISTING PROTECTED TREES
PROPOSED EDGE OF DRIVEWAY
PROPOSED EDGE OF SIDEWALK
PROPOSED FENCE
PROPOSED STONE MASONRY WALL
PROPOSED LANDSCAPING

PROPOSED PLANT SCHEDULE

QTY	SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT
		EVERGREEN TREES		
6	JSS	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	6' – 7" HT.	B & B
5	JV	Juniperus virginiana / Eastern Redcedar	8' – 10" HT.	B & B
12	CSN	Picea abies 'Cupressina' / Columnar Norway Spruce	12' – 14" HT.	B & B
6	PP	Picea pungens / Colorado Spruce	8' – 10" HT.	B & B
		SHADE TREES		
2	NS	Nyssa sylvatica / Black Tupelo	2" – 2.5" Cal.	B & B
1	RPM	Acer rubrum 'Fank Jr.' / Redpointe Red Maple	2" – 2.5" Cal.	B & B
		FLOWERING TREES		
1	AC	Amelanchier canadensis / Canadian Serviceberry	10' – 12' HT.	B & B
12	CC	Cercis canadensis / Eastern Redbud	2" – 2.5" Cal.	B & B
4	CV	Cornus x 'KN30-8' / Venice Dogwood	2" – 2.5" Cal.	B & B
2	RRC	Malus 'JFS-KW5' / Royal Raindrops Crabapple	2" – 2.5" Cal.	B & B
		FLOWERING TREES		
12	BSG	Buxus sempervirens "Green Mountain" / Green Mountain Boxwood	2.5' – 3' HT.	#5 Min

POOL NOTES:

1. Pool design shall conform to the requirements of Section R326 of the 2020 Residential Code of New York State.
2. Pool cover must be capable of supporting a minimum dead weight of 200 pounds when fastened or locked in place over a swimming pool.
3. The pool cover must fully cove the pool when not in use and during the period of November 1 through March 31.
4. As the house will act as part of the barrier to the pool, alarms will be set for all doors entering the pool enclosure.
5. Exposed electrical wires shall not be nearer to the pool than 5' horizontally.
6. Exposed electrical wires shall not be nearer to the pool than 10' vertically at the edge of the pool.



EXISTING COVERAGE DIAGRAM

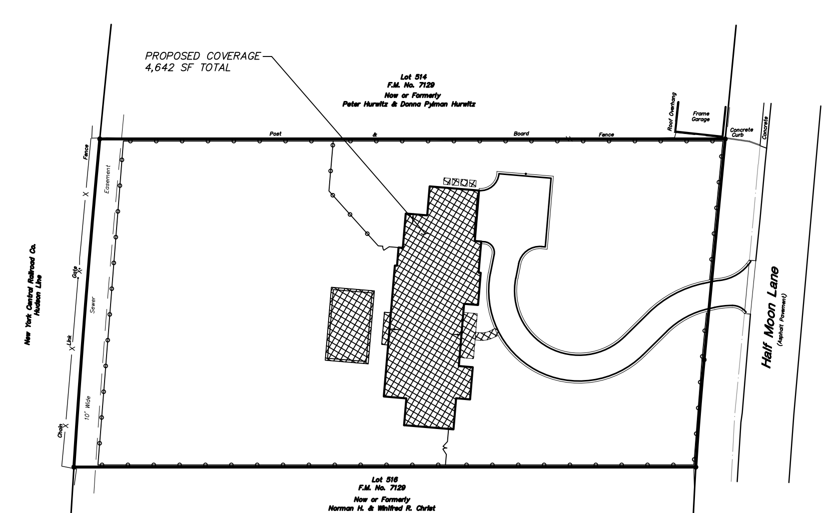
GRAPHIC SCALE

0 20 40 80

(IN FEET)
1 inch = 40 ft.

LEGEND

▨ LOT COVERAGE



PROPOSED COVERAGE DIAGRAM

GRAPHIC SCALE

0 20 40 80

(IN FEET)
1 inch = 40 ft.

LEGEND

▨ LOT COVERAGE

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
2	7-21-21	REVISED PER VILLAGE COMMENTS	PJM
1	5-19-21	REVISED PER VILLAGE COMMENTS	JFR

INSITE
ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
DESAI RESIDENCE
50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

DRAWING:
LAYOUT & LANDSCAPE PLAN

STATE OF NEW YORK
JOHN M. WATSON
No. 77950
LICENSED PROFESSIONAL ENGINEER
[illegible]

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	4-24-21	DRAWN BY	M.E.U.
SCALE	1" = 20'	CHECKED BY	A.D.T.

DRAWING NO. SP-1

SHEET 2/6

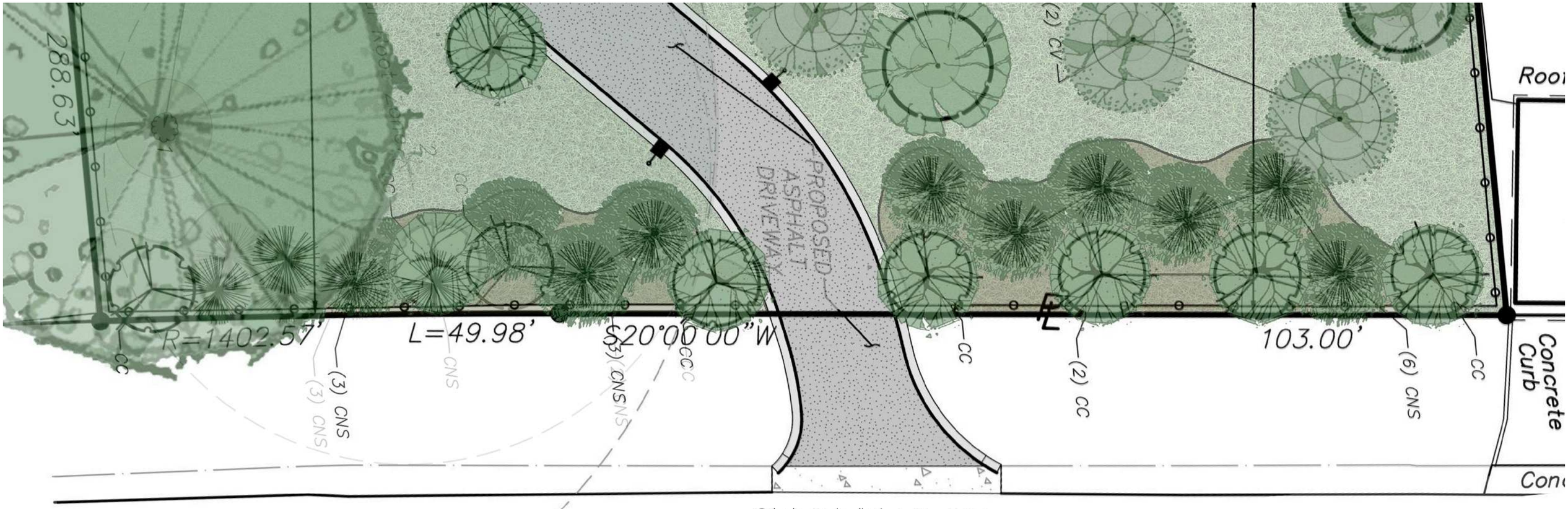
Z:\E\21118100 Desai Irvington\02 SP-1.dwg, 9/13/2021 1:00:19 PM, mutter, 1:1

S75°27'20"E
Post
(3) PP
& R
Board
Fence 290.27'
Roof
Garage
Concrete Curb
Fence
L=152.84'(Comp.)
Easement
15' SIDE YARD SETBACK
22
RRC
(5) JV
NS
CC
(6) CNS
(6) JJS
35' REAR YARD SETBACK
35' FRONT YARD SETBACK
103.00'
LAWN
(2) CV
(2) CC
(12) BSG
AC
RPM
Gate
137'
Sewer
PROPOSED 32'X18' POOL
S20°00'00"W
(3) CNS
L=49.98'
Link
R=5090.00'
10' Wide
106'
(3) PP
PROPOSED 5' HIGH POOL FENCE (TYP.)
17.5'
RRC
NS
288.63
Chain
N75°27'20"W
S71°48'22"E Radial

LANDSCAPING PLAN

PROPOSED RESIDENCE AT 50 HALF MOON LANE - IRVINGTON, NEW YORK

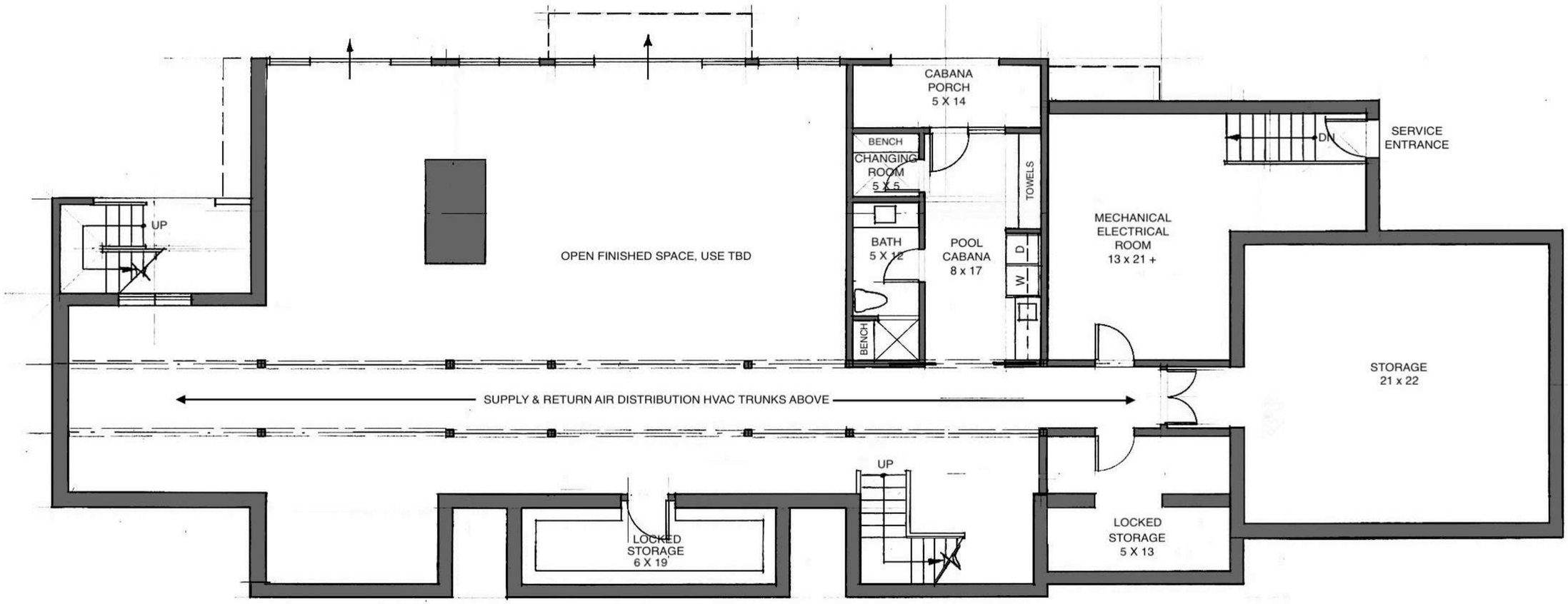
DATE: 08/18/2021



STREET PLAN

STREET ELEVATION

50 HALF MOON LANE, IRVINGTON, NEW YORK



TASOS KOKORIS AIA, LEED AP

P.O. BOX 2479, WESTPORT, CT 06880

TEL: (203) 349-5509 - EMAIL: TASOSK@MAC.COM - WEB: WWW.TASOSK.COM

JOB NAME
PROPOSED RESIDENCE
AT 50 HALF MOON LANE

DATE
06/30/2021

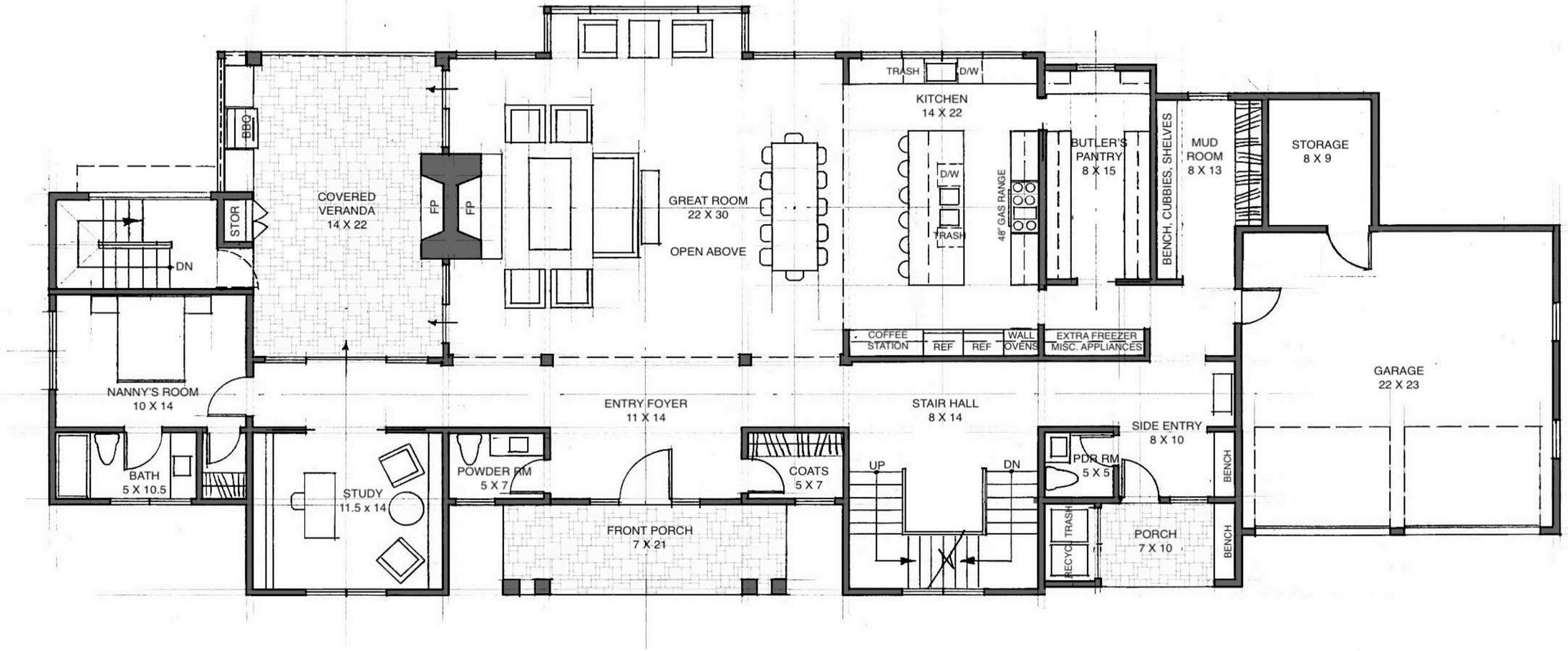
LAST REVISED

DRAWING TITLE
LOWER LEVEL PLAN

SCALE
1/8" = 1'-0"

CLIENT
DELIA DESAI GALLO
IRVINGTON, NY

DRAWING NO.
SK-01



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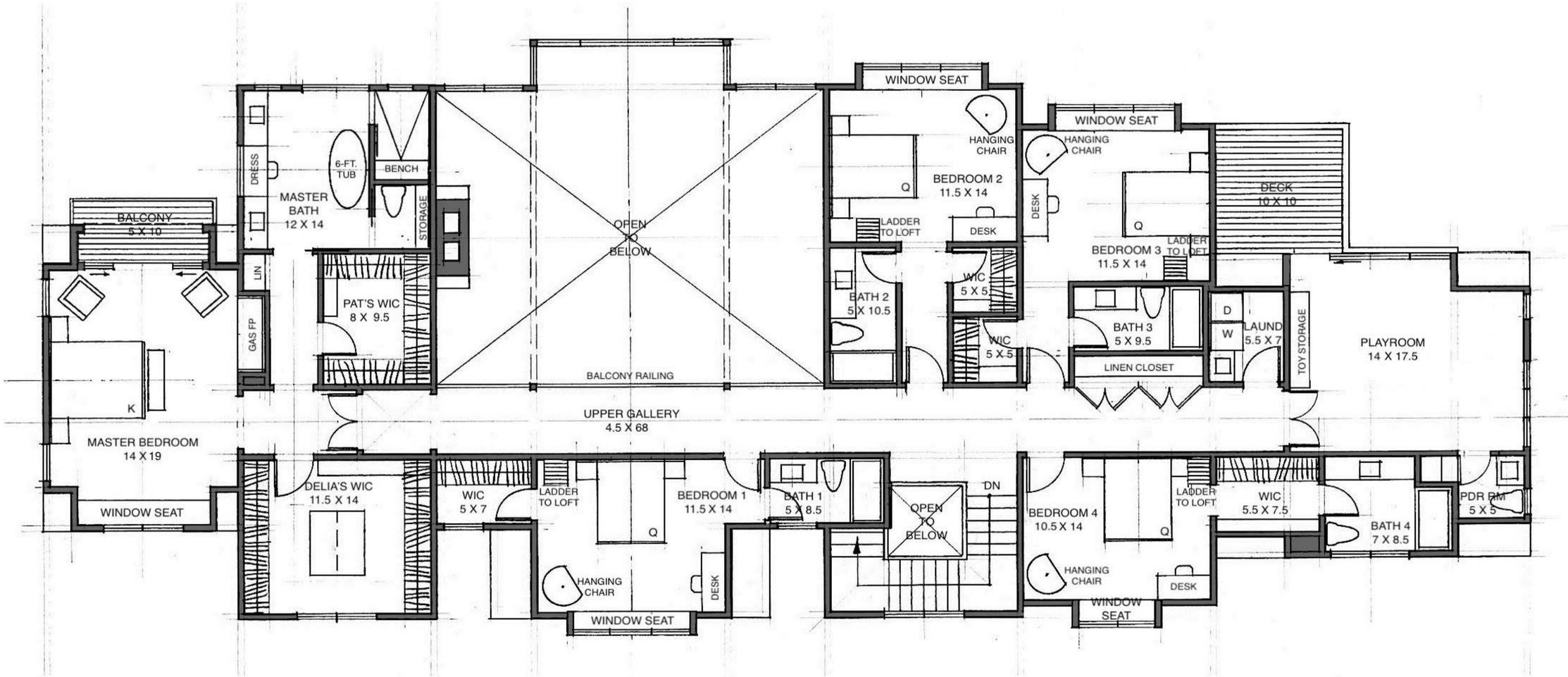
TEL: (203) 349-5509 - EMAIL: TASOSK@MAC.COM - WEB: WWW.TASOSK.COM

JOB NAME	PROPOSED RESIDENCE AT 50 HALF MOON LANE
DRAWING TITLE	FIRST FLOOR PLAN
CLIENT	DELIA DESAI GALLO IRVINGTON, NY
DATE	06/30/2021
LAST REVISED	
SCALE	1/8" = 1'-0"
DRAWING NO.	SK-02



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TEL: (203) 349-5509 - EMAIL: TASOSK@MAC.COM - WEB: WWW.TASOSK.COM

JOB NAME

PROPOSED RESIDENCE
AT 50 HALF MOON LANE

DATE
06/30/2021

LAST REVISED

DRAWING TITLE
SECOND FLOOR PLAN

SCALE
1/8" = 1'-0"

CLIENT
DELIA DESAI GALLO
IRVINGTON, NY

DRAWING NO.
SK-03

TASOS KOKORIS AIA, LEED AP
P.O. BOX 2479, WESTPORT, CT 06880
TEL: (203) 349-5509 - EMAIL: TASOSK@MAC.COM - WEB: WWW.TASOSK.COM

JOB NAME
PROPOSED RESIDENCE
AT 50 HALF MOON LANE

DATE
06/30/2021

LAST REVISED

DRAWING TITLE
EAST (FRONT) ELEVATION

SCALE
1/8" = 1'-0"

CLIENT
DELIA DESAI GALLO
IRVINGTON, NY

DRAWING NO.
SK-04

TASOS KOKORIS AIA, LEED AP

P.O. BOX 2479, WESTPORT, CT 06880

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JOB NAME

PROPOSED RESIDENCE
AT 50 HALF MOON LANE

DRAWING TITLE

WEST (REAR) ELEVATION

CLIENT

DELIA DESAI GALLO
IRVINGTON, NY

DATE

06/30/2021

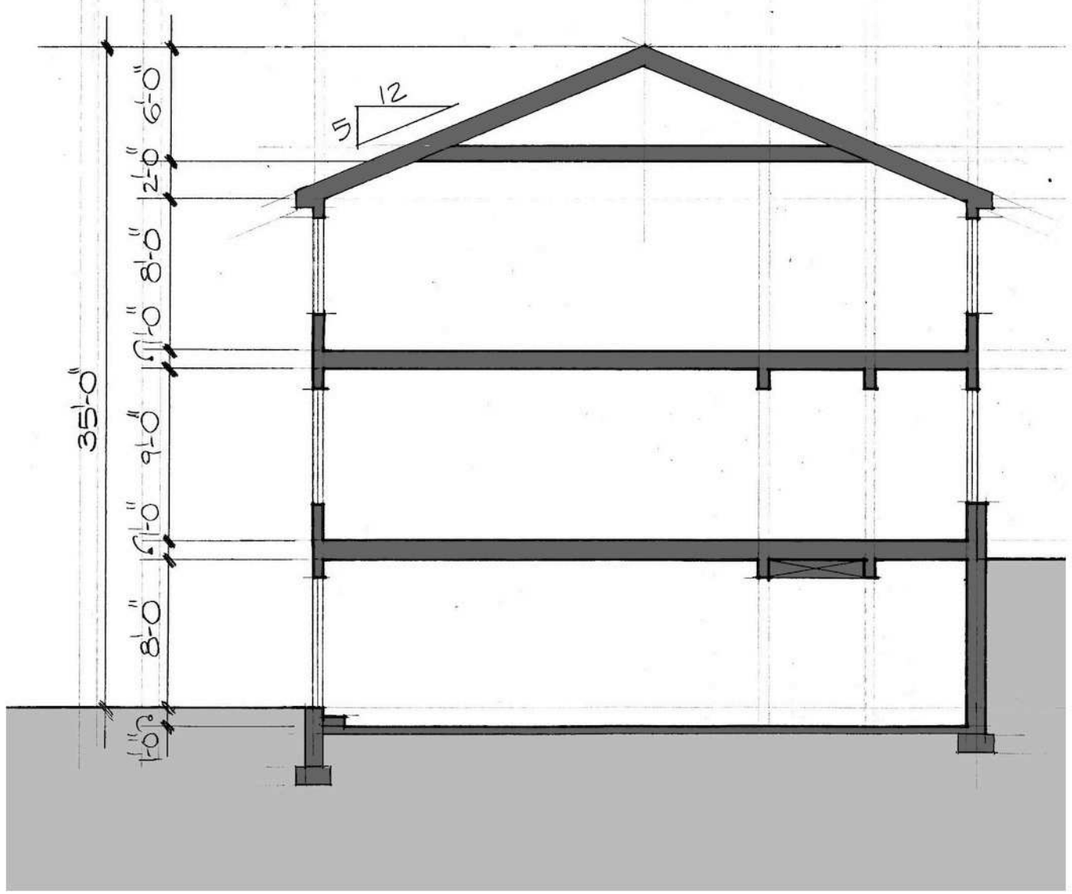
LAST REVISED

SCALE

1/8" = 1'-0"

DRAWING NO.

SK-05



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TEL: (203) 349-5509 - EMAIL: TASOSK@MAC.COM - WEB: WWW.TASOSK.COM

JOB NAME
PROPOSED RESIDENCE
AT 50 HALF MOON LANE

DATE
06/30/2021

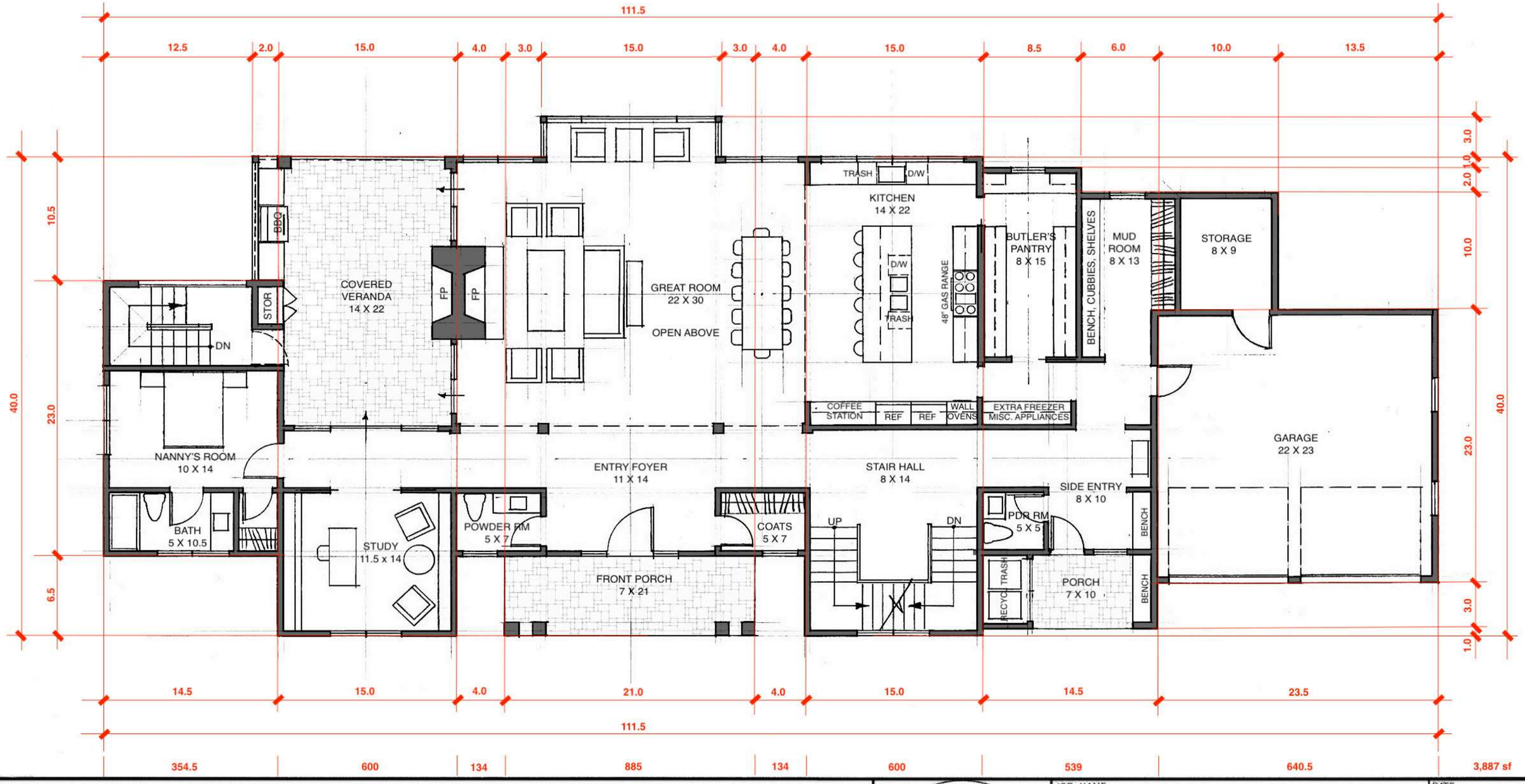
LAST REVISED

DRAWING TITLE
SCHEMATIC SECTION

SCALE
1/8" = 1'-0"

CLIENT
DELIA DESAI GALLO
IRVINGTON, NY

DRAWING NO.
SK-06



TASOS KOKORIS AIA, LEED AP

P.O. BOX 2479, WESTPORT, CT 06880

TEL: (203) 349-5509 - EMAIL: TASOSK@MAC.COM - WEB: WWW.TASOSK.COM

[redacted]

JOB NAME

PROPOSED RESIDENCE AT 50 HALF MOON LANE

DRAWING TITLE

FIRST FLOOR PLAN

CLIENT

DELIA DESAI GALLO
IRVINGTON, NY

DATE: 06/30/2021

LAST REVISED:

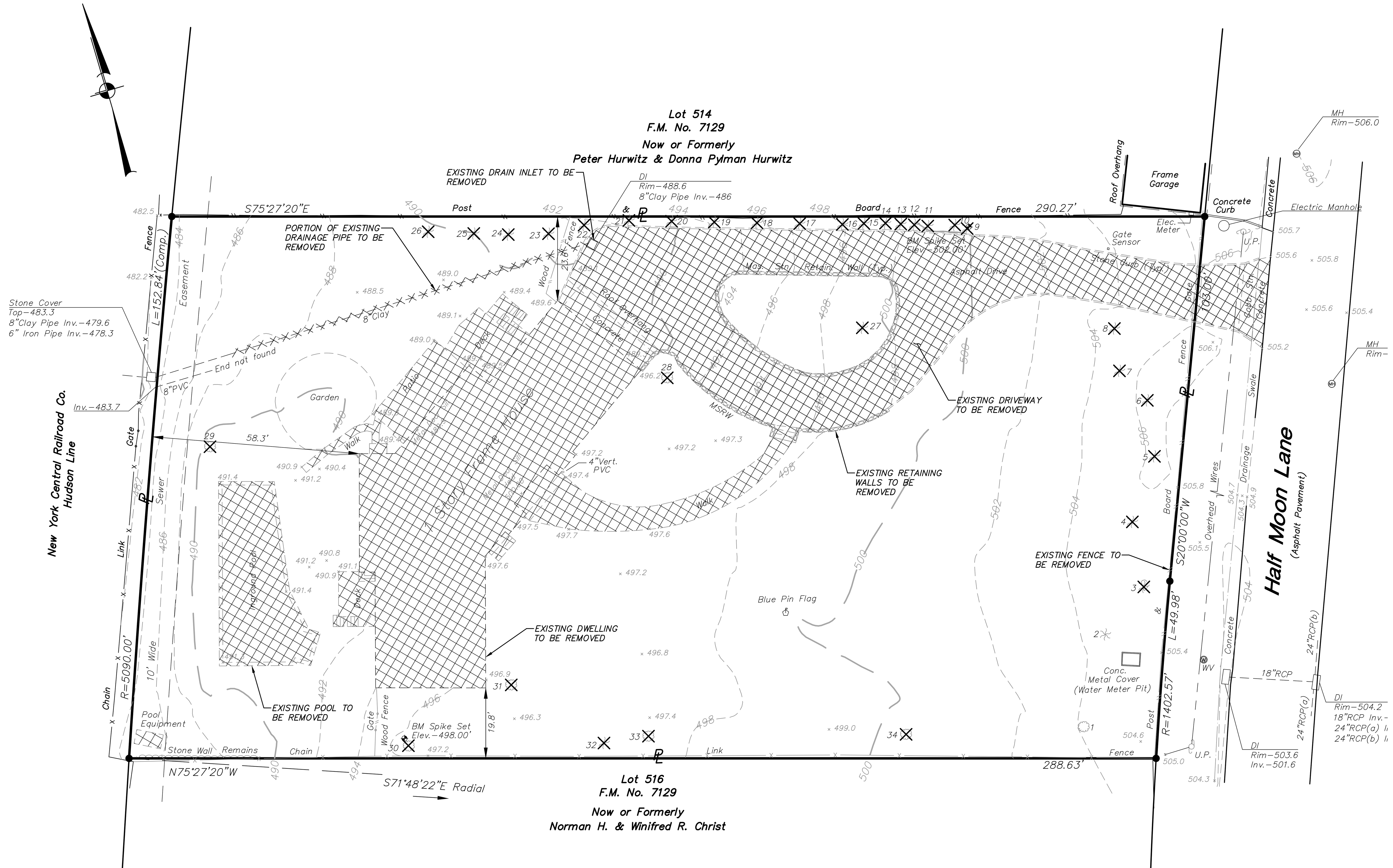
SCALE: 1/8" = 1'-0"

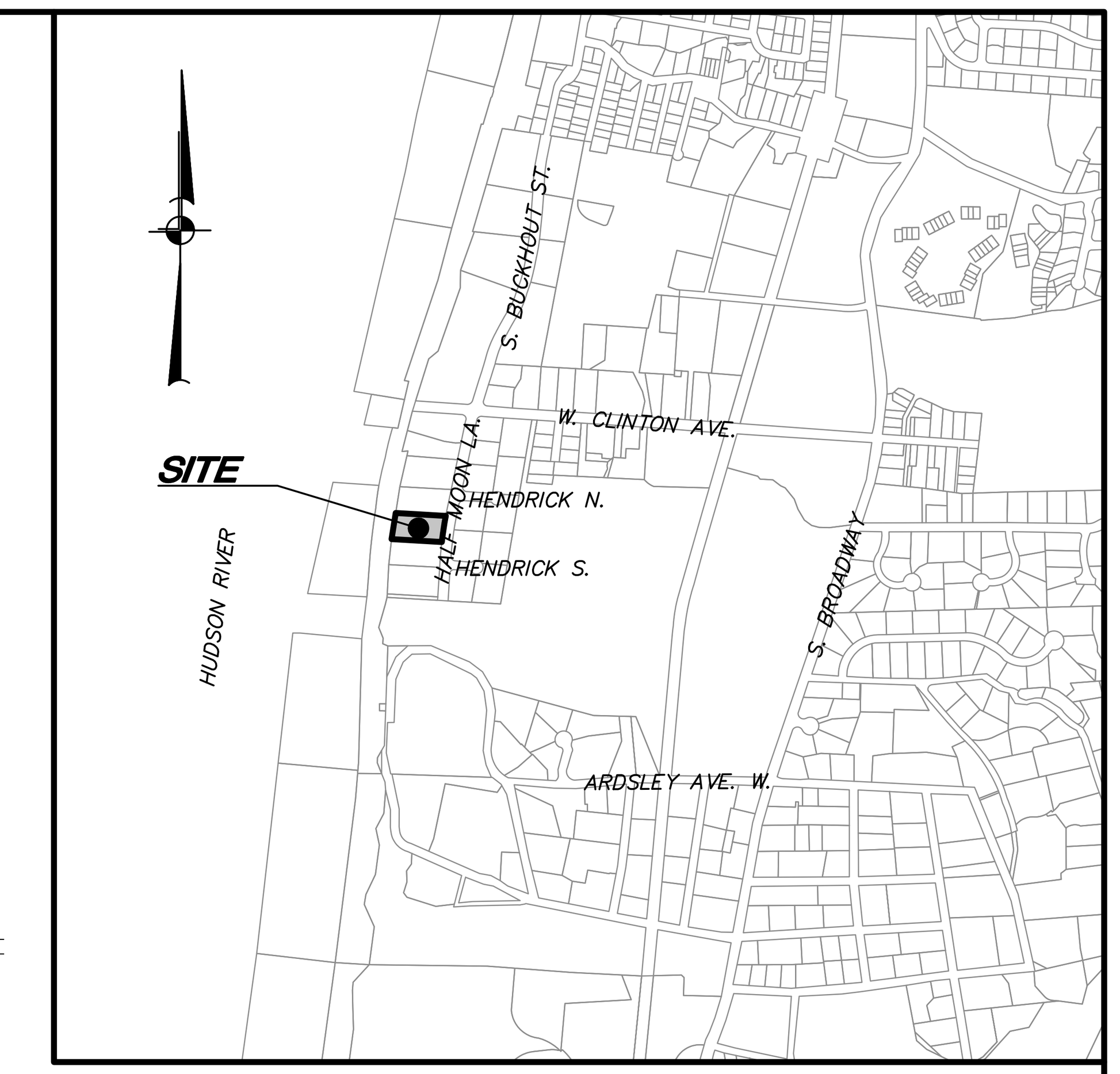
DRAWING NO.: **SK-07**

50 HALF MOON LANE
EXISTING TREE SCHEDULE

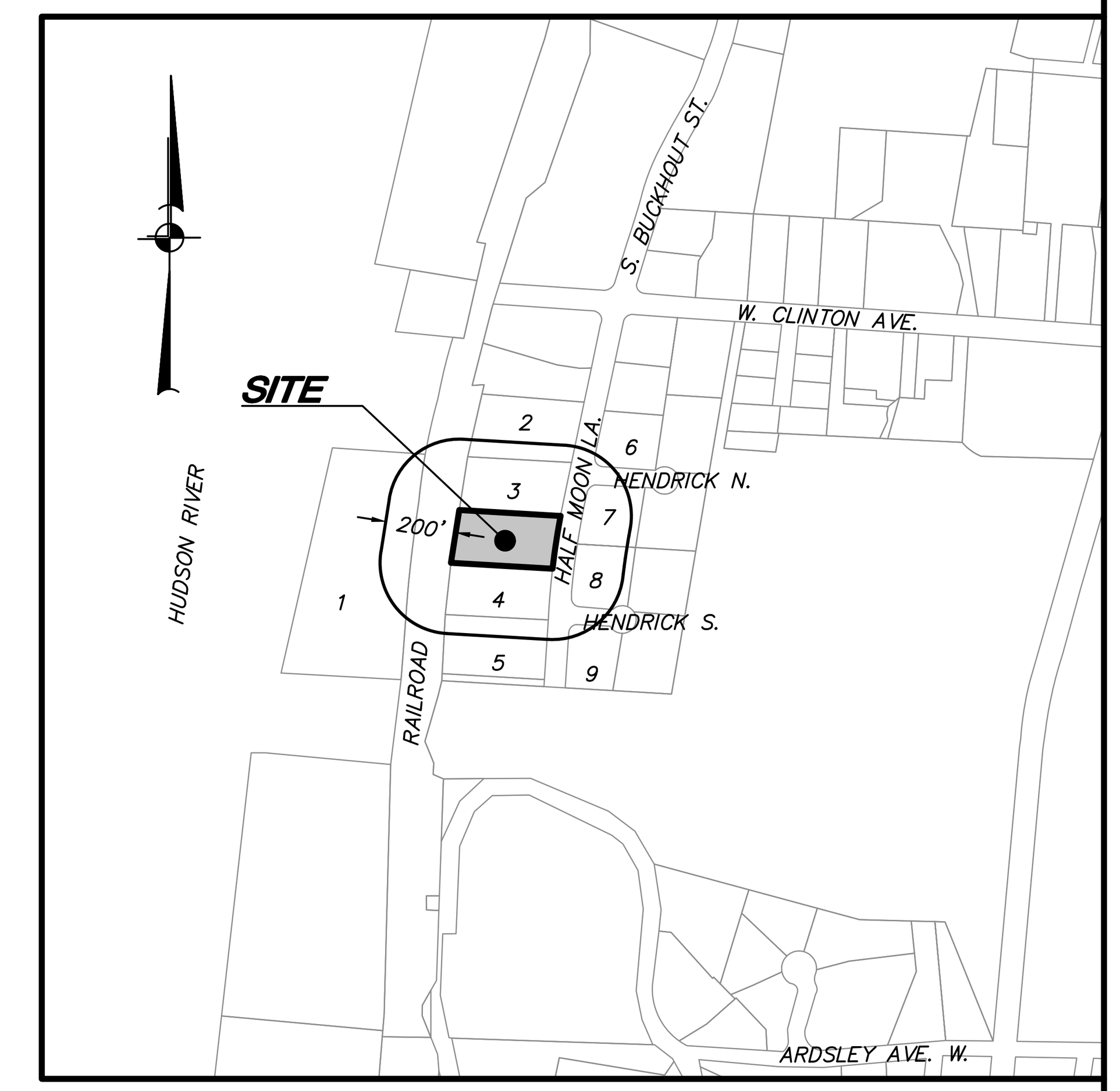
TREE NUMBER	SPECIES	SIZE (DBH)	CONDITION	STATUS
1	Tilia americana	40"	Good; Minor vines; Some dead wood	Remain
2	Pinus strobus	22"	Good; Moderate vine growth into canopy	Remain
3	Pinus strobus	36"	Poor; Broken leader; Structurally deficient	Remove
4	Pinus strobus	30"	Fair; Forked trunk; Top heavy canopy	Remove
5	Pinus strobus	30"	Fair; Moderate vine growth; Surface roots	Remove
6	Pinus strobus	28"	Fair; Extensive vine growth; Top heavy canopy	Remove
7	Pinus strobus	16"	Poor; Vine engulfed; Weak structure	Remove
8	Pinus strobus	38"	Fair; Seam at crotch	Remove
9	Tsuga canadensis	6"x6" Dual	Declining; Broken leader	Remove
10	Pinus strobus	23"	Fair; Outgrowing space; No lower branches	Remove
11	Pinus strobus	15"	Fair; Outgrowing space; No lower branches	Remove
12	Pinus strobus	6"	Declining; No lower branches	Remove
13	Pinus strobus	6"x3" Dual	3/4 Dead; Planted too closely	Remove
14	Pinus strobus	16"	Fair; Outgrowing space; No lower branches	Remove
15	Pinus strobus	16"	Fair; Outgrowing space; No lower branches	Remove
16	Pinus strobus	19"	Fair; Outgrowing space; No lower branches	Remove
17	Pinus strobus	24"	Fair; Outgrowing space; No lower branches	Remove
18	Tsuga canadensis	7"x5"x5" Tri	Dead	Remove
19	Pinus strobus	19"	Fair; Outgrowing space; No lower branches	Remove
20	Pinus strobus	20"	Fair; Outgrowing space; Moderate vine/ivy growth into canopy	Remove
21	Pinus strobus	19"	Fair; Moderate vine growth into canopy; Lean towards house	Remove
22	Pinus strobus	26"	Fair; Outgrowing space; Moderate vine/ivy growth into canopy	Remove
23	Tsuga canadensis	12"	Declining; Severe dieback	Remove
24	Tsuga canadensis	14" Twin	Poor; Significant vine/ivy growth into canopy	Remove
25	Tsuga canadensis	18"	Poor; Severe dieback; Significant vine/ivy growth into canopy	Remove
26	Tsuga canadensis	18"	Poor; Broken leader; Significant vine/ivy growth into canopy	Remove
27	Juniperus virginiana	24"	Good; Strong central leader; No noticeable defects	Remove
28	Ilex opaca	20"	Good; Strong central leader; No noticeable defects	Remove
29	Acer palmatum	14"	Good; Minor surface root damage; Minor deadwood	Remove
30	Acer rubrum	38"	Fair; Moderate deadwood & ivy in crown; Surface root damage	Remove
31	Ilex opaca	18"	Good; Strong central leader; No noticeable defects	Remove
32	Picea abies	8"	Fair; Thin canopy; Growing under/too close to adjacent trees	Remove
33	Prunus serotina	12"	Poor; Vine engulfed	Remove
34	Tilia spp.	6"	Dying; Vine engulfed	Remove

Note: This schedule was produced based on field observation by Aaron J. Schmidt, ISA Certified Arborist.





LOCATION MAP SCALE: 1" =1,000'±



VICINITY MAP SCALE: 1" =500'±

OWNER/APPLICANT:

Dr. Laxman Desai
50 Half Moon Lane
Irvington, NY 10533

SITE DATA:

Zone: 1F-20
Total Acreage 1.0125 AC.±
Tax Map No.: 2.120-60-4

GENERAL NOTES:

1. Boundary and topographic information shown hereon is taken from a survey entitled "Topographic Survey of Property Prepared for Laxman Desai & Delia Desai-Gallo"", prepared by Insite Engineering, Land Surveying & Landscape Architecture, PC, dated March 22, 2021.
2. Trees 10, 12, 13 & 15 are approximated from field observation by Aaron J. Schmidt, ISA Certified Arborist.

200' ADJOINER LIST:

Lot No.	Tax. Map No.	Owner's Name & Address:
1	2.120-60-9	Village of Irvington / Water Gra 85 Main Street Irvington, NY 10533
2	2.120-60-6	Claudia and Kerry Hueston 30 Half Moon Lane Irvington, NY 10533
3	2.120-60-5	Peter and Pylman Donna Hurwitz 40 Half Moon Lane Irvington, NY 10533
4	2.120-60-3	Norman H. and Winifred R. Christ 60 Half Moon Lane Irvington, NY 10533
5	2.120-60-2	Norman H. and Winifred R. Christ 60 Half Moon Lane Irvington, NY 10533
6	2.120-62-21	Steven and Anne Halliwell 29 Half Moon Lane Irvington, NY 10533
7	2.120-62-24	David Gober and Juliett Provenzano-Gober 45 Half Moon Lane Irvington, NY 10533
8	2.120-62-25	Thomas D. and Katherine M. Cain 55 Half Moon Lane Irvington, NY 10533
9	2.120-62-281	Mary Jane Darrigo 65 Half Moon Lane Irvington, NY 10533

LEGEND

PL	EXISTING PROPERTY LINE
	EXISTING EASEMENT
	EXISTING EDGE OF PAVEMENT
x	EXISTING FENCE
	EXISTING UTILITY POLE WITH OVERHEAD WIRES
	EXISTING PROTECTED TREES
	EXISTING TREES TO BE REMOVED
18"RCP	EXISTING UNDERGROUND DRAINAGE PIPE
DI	EXISTING DRAINAGE STRUCTURE
MH	EXISTING MANHOLE
500	EXISTING 10' CONTOUR
	EXISTING 2' CONTOUR
× 505.8	EXISTING SPOT GRADE
x	EXISTING FENCE TO BE REMOVED
	EXISTING SITE FEATURE TO BE REMOVED

GRAPHIC SCALE

0 10 20 40

(IN FEET)
1 inch = 20 ft.

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
2	7-21-21	REVISED PER VILLAGE COMMENTS	PJM
1	5-19-21	REVISED PER VILLAGE COMMENTS	JFR

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3 Garrett Place
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(845) 225-9717 fax
www.insite-eng.com

PROJECT:
DESAI RESIDENCE
50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

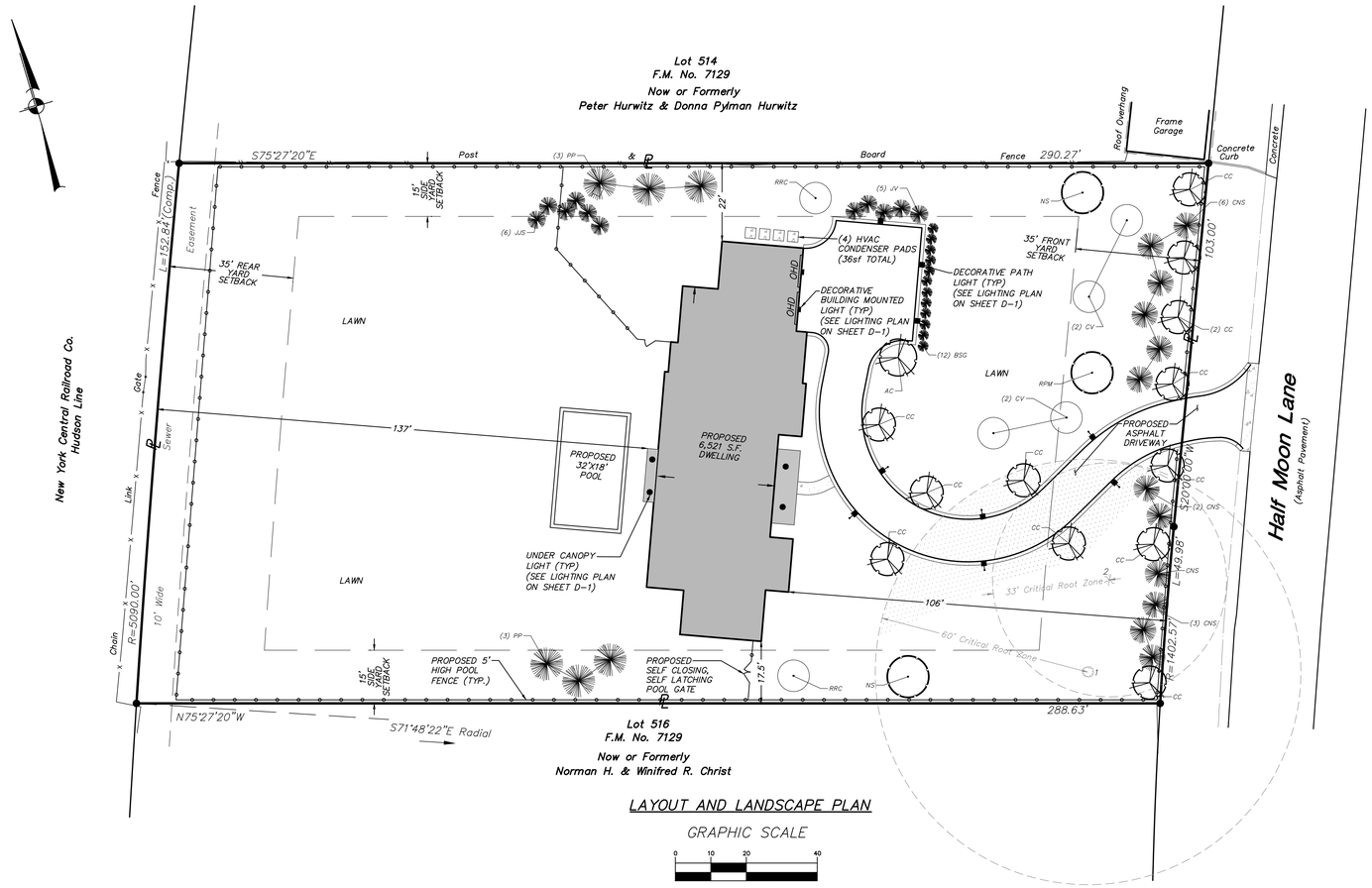
DRAWING:
EXISTING CONDITIONS & REMOVALS PLAN

STATE OF NEW YORK · JOHN M. WATSON · LICENSED PROFESSIONAL ENGINEER · No. 77950

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	4-24-21	DRAWN BY	M.E.U.
SCALE	1" = 20'	CHECKED BY	A.D.T.

DRAWING NO. EX-1
SHEET 1/7

Z:\E\21118100 Desai Irvington\01 EX-1.dwg, 9/13/2021 8:27:56 AM, mutter, 1:1

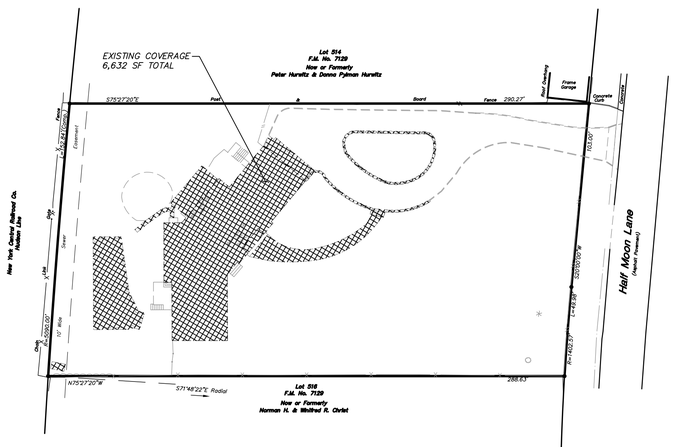


LAYOUT AND LANDSCAPE PLAN

GRAPHIC SCALE

0 10 20 40

(IN FEET)
1 inch = 20 ft.



EXISTING COVERAGE DIAGRAM

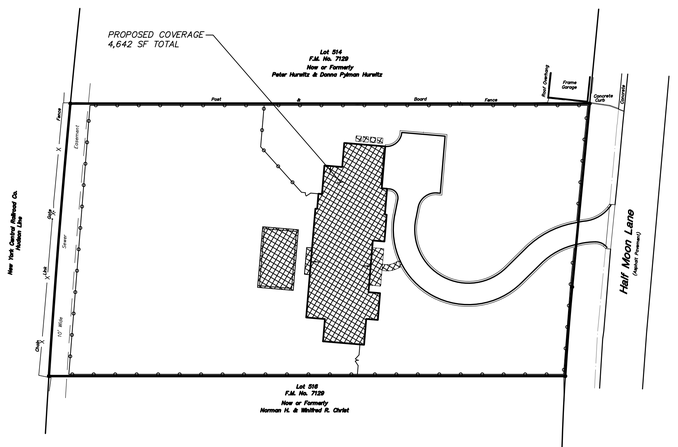
GRAPHIC SCALE

0 20 40 80

(IN FEET)
1 inch = 40 ft.

LEGEND

LOT COVERAGE



PROPOSED COVERAGE DIAGRAM

GRAPHIC SCALE

0 20 40 80

(IN FEET)
1 inch = 40 ft.

LEGEND

LOT COVERAGE

IF-20 ZONE REQUIREMENTS

	REQUIRED / PERMITTED	EXISTING	PROPOSED
Minimum Lot Area:	20,000 s.f.	44,106 s.f.	44,106 s.f.
Minimum Lot Width:	100'	153'	153'
Minimum Lot Depth:	125'	288'	288'
Minimum Front Yard:	35'	153'	106'
Minimum Side Yard:	15'	19.8'	17.5'
Minimum Rear Yard:	35'	58.3'	137'
Maximum Building Coverage:	16% + 6% of area over Minimum Lot Size @ 44,106 sf = 4,646 s.f.	6,632 s.f.	4,642 s.f.

NEIGHBORHOOD COVERAGE ANALYSIS

TAX MAP #	NOW or FORMERLY	ADDRESS	LOT AREA	PERMITTED COVERAGE	ACTUAL COVERAGE		PERCENT OVER PERMITTED	
					Existing	Proposed	Existing	Proposed
2.120-60-4	DESAI	50 Half Moon Lane	44,106 SF	4,646 SF	6,632 SF	4,642 SF	43%	0%
2.120-62-23	SACK	33 Hendrick Lane	32,640 SF±	3,958 SF	8,570 SF		117%	
2.120-62-24	GOBER	45 Hendrick Lane	27,600 SF±	3,656 SF	4,430 SF		21%	
2.120-62-25	CAIN	55 Hendrick Lane	28,540 SF±	3,713 SF	5,270 SF		42%	
2.120-62-26	LUTHRA	15 Hendrick Lane South	30,412 SF±	3,825 SF	6,730 SF		76%	
2.120-60-5	HURWITZ	40 Half Moon Lane	44,030 SF±	4,642 SF	6,875 SF		48%	
2.120-60-3	CHRIST	60 Half Moon Lane	42,075 SF±	4,525 SF	5,020 SF		11%	

NOTE: COVERAGES FOR NEIGHBORING PROPERTIES ARE ESTIMATED FROM ORHTOIMAGERY, NOT FROM FIELD SURVEY WORK.

LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING PROTECTED TREES
- PROPOSED EDGE OF DRIVEWAY
- PROPOSED EDGE OF SIDEWALK
- PROPOSED FENCE
- PROPOSED STONE MASONRY WALL
- PROPOSED LANDSCAPING

PROPOSED PLANT SCHEDULE

QTY	SYMBOL	BOTANICAL/COMMON NAME	SIZE	ROOT
		EVERGREEN TREES		
6	JSS	Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper	6' – 7" HT.	B & B
5	JV	Juniperus virginiana / Eastern Redcedar	8' – 10" HT.	B & B
12	CSN	Picea abies 'Cupressina' / Columnar Norway Spruce	12' – 14" HT.	B & B
6	PP	Picea pungens / Colorado Spruce	8' – 10" HT.	B & B
		SHADE TREES		
2	NS	Nyssa sylvatica / Black Tupelo	2" – 2.5" Cal.	B & B
1	RPM	Acer rubrum 'Fank Jr.' / Redpointe Red Maple	2" – 2.5" Cal.	B & B
		FLOWERING TREES		
1	AC	Amelanchier canadensis / Canadian Serviceberry	10' – 12' HT.	B & B
12	CC	Cercis canadensis / Eastern Redbud	2" – 2.5" Cal.	B & B
4	CV	Cornus x 'KN30-8' / Venice Dogwood	2" – 2.5" Cal.	B & B
2	RRC	Malus 'JFS-KW5' / Royal Raindrops Crabapple	2" – 2.5" Cal.	B & B
		FLOWERING TREES		
12	BSG	Buxus sempervirens "Green Mountain" / Green Mountain Boxwood	2.5' – 3' HT.	#5 Min

POOL NOTES:

1. Pool design shall conform to the requirements of Section R326 of the 2020 Residential Code of New York State.
2. Pool cover must be capable of supporting a minimum dead weight of 200 pounds when fastened or locked in place over a swimming pool.
3. The pool cover must fully cove the pool when not in use and during the period of November 1 through March 31.
4. As the house will act as part of the barrier to the pool, alarms will be set for all doors entering the pool enclosure.
5. Exposed electrical wires shall not be nearer to the pool than 5' horizontally.
6. Exposed electrical wires shall not be nearer to the pool than 10' vertically at the edge of the pool.

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
2	7-21-21	REVISED PER VILLAGE COMMENTS	PJM
1	5-19-21	REVISED PER VILLAGE COMMENTS	JFR

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www.insite-eng.com

PROJECT:

DESAI RESIDENCE

50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

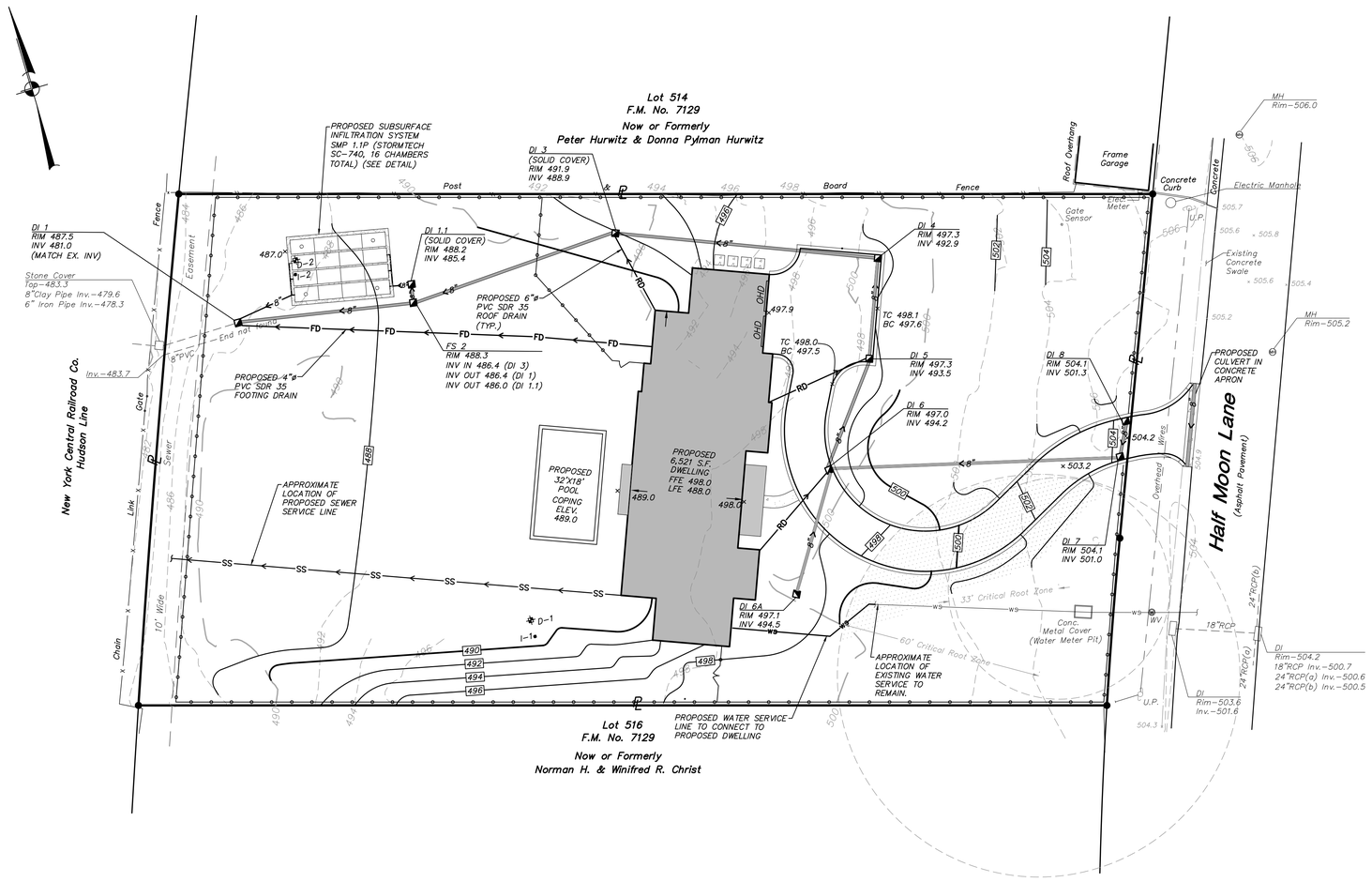
DRAWING:

LAYOUT & LANDSCAPE PLAN

STATE OF NEW YORK · JOHN M. WATSON · LICENSED PROFESSIONAL ENGINEER · No. 77959

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	4-24-21	DRAWN BY	M.E.U.
SCALE	1" = 20'	CHECKED BY	A.D.T.

DRAWING NO. SP-1 SHEET 2/6



LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING DRAINAGE STRUCTURE
- EXISTING MANHOLE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
- PROPOSED DRAINAGE STRUCTURE
- PROPOSED HDPE DRAINAGE PIPE
- PROPOSED SEWER SERVICE LINE
- PROPOSED DOMESTIC WATER SERVICE LINE
- PROPOSED 6"ø PVC SDR 35 ROOF DRAIN
- PROPOSED 4"ø PVC SDR 35 FOOTING DRAIN
- PROPOSED TRENCH DRAIN

STORMWATER MANAGEMENT PRACTICE TEST RESULTS

DEEP TEST OBSERVED ON APRIL 8, 2021 BY JACK MCMANUS, INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE.

NOTE: NO GROUNDWATER, MOTTLING, OR ROCK ENCOUNTERED UNLESS NOTED.

D-1: 0"-12": TOPSOIL
12"-32": DARK BROWN SANDY SILT W/ CONSTRUCTION MATERIALS/POTENTIAL FOUNDATION
32"-90"+: MEDIUM BROWN SILTY SAND W/ CONSTRUCTION MATERIALS/POTENTIAL FOUNDATION

D-2: 0"-12": TOPSOIL
12"-96"+: MEDIUM BROWN SILTY SAND

INFILTRATION TEST RESULTS

I-1 & I-2 WAS PERFORMED ON APRIL 9, 2021 BY JACK MCMANUS, INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE.

I-1: 7 INCH/HOUR (DEPTH = 89" BELOW GRADE)

I-2: 10 INCH/HOUR (DEPTH = 83" BELOW GRADE)

EARTHWORK SUMMARY:

NOTE: THE EARTHWORK NUMBERS BELOW ARE FOR PERMITTING PURPOSES.
CUT: 3,320 C.Y.
FILL: 260 C.Y.
NET: 3,060 C.Y. (CUT)

EARTHWORK NOTES:

1. THE EARTHWORK CALCULATIONS ARE BASED ON THE DIFFERENCE BETWEEN THE EXISTING GRADES AND PROPOSED FINISHED GRADES. ANY EXCAVATION WITHIN BUILDING FOOTPRINTS SHALL BE ASSUMED TO BE ONE FOOT BELOW THE SLAB ELEVATION. ANY EXCAVATION ASSOCIATED WITH INSTALLATION OF THE FOOTINGS HAS NOT BEEN CONSIDERED IN THESE CALCULATIONS
2. ALL VOLUMES WERE ROUNDED TO THE NEAREST 10 CUBIC YARDS.
3. FACTORS FOR SWELL OR COMPACTION WERE NOT APPLIED IN THIS ANALYSIS.
4. THIS ANALYSIS IS PRELIMINARY AND PROVIDED FOR PERMITTING ONLY. THESE NUMBERS SHOULD NOT BE USED BY A CONTRACTOR FOR BIDDING PURPOSES. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THEIR OWN EARTHWORK ANALYSIS.
6. UNLESS OTHERWISE NOTED, THE DEPTH TO LEDGE ROCK AND OR IMPACTS ASSOCIATED WITH ROCK EXCAVATION HAVE NOT BEEN CONSIDERED IN THESE CALCULATIONS.
7. THE USE/QUANTITY OF SELECT FILL MATERIALS FOR ROAD SUBBASE, PIPE EMBEDMENTS, ANY STRUCTURAL FILL, ETC. ARE NOT ACCOUNTED FOR IN THESE CALCULATIONS.
8. THE CALCULATIONS CONTAINED HEREIN DO NOT CONSIDER THE SOIL CHARACTERISTICS OF THE CUT/FILL SOILS AND THEIR SUITABILITY FOR USE AS A GENERAL AND/OR SELECT FILL.

GRAPHIC SCALE
0 10 20 40
(IN FEET)
1 inch = 20 ft.

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
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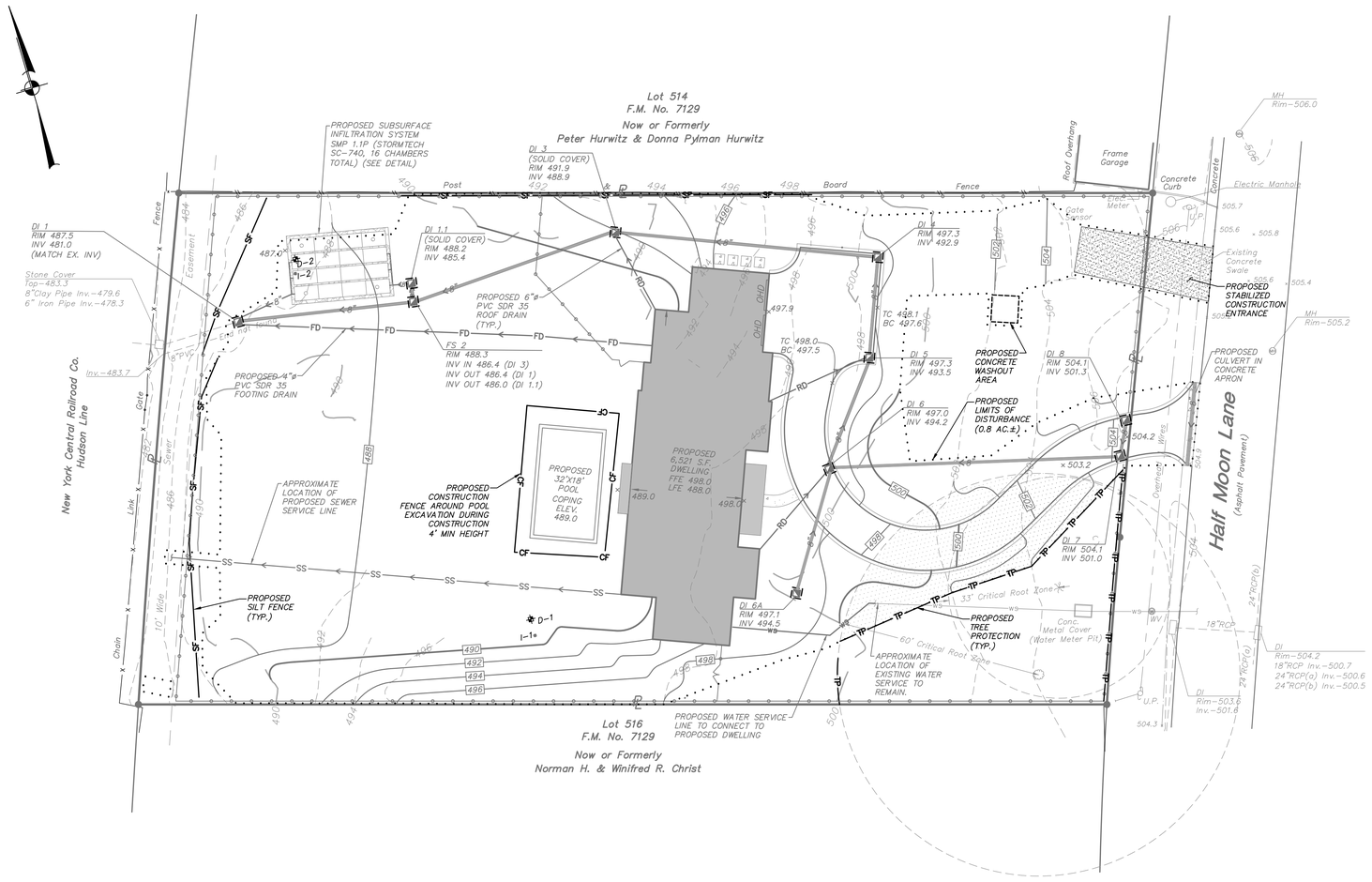
PROJECT:
DESAI RESIDENCE
50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

DRAWING:
GRADING & UTILITIES PLAN

STATE OF NEW YORK JOHN M. WATSON No. 77960 LICENSED PROFESSIONAL ENGINEER

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	4-24-21	DRAWN BY	M.E.U.
SCALE	1" = 20'	CHECKED BY	A.D.T.

DRAWING NO. SP-2
SHEET 3 / 7



LEGEND

- EXISTING PROPERTY LINE
- EXISTING EASEMENT
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING UTILITY POLE WITH OVERHEAD WIRES
- EXISTING UNDERGROUND DRAINAGE PIPE
- EXISTING DRAINAGE STRUCTURE
- EXISTING MANHOLE
- EXISTING 10' CONTOUR
- EXISTING 2' CONTOUR
- EXISTING SPOT GRADE
- PROPOSED 10' CONTOUR
- PROPOSED 2' CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TOP OF CURB & BOTTOM OF CURB ELEVATIONS
- PROPOSED DRAINAGE STRUCTURE
- PROPOSED HDPE DRAINAGE PIPE
- PROPOSED SEWER SERVICE LINE
- PROPOSED DOMESTIC WATER SERVICE LINE
- PROPOSED 6"ø PVC SDR 35 ROOF DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED SILT FENCE
- PROPOSED SILT FENCE
- PROPOSED LIMITS OF DISTURBANCE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED DRAINAGE STRUCTURE W/ INLET PROTECTION

CONSTRUCTION SEQUENCE:

1. Install tree protection as indicated on this plan and the detail on sheet D-2.
2. Install stabilized construction entrance/anti-tracking pad at driveway entrance.
3. Install silt fence in general locations indicated on the plan.
4. Remove the existing building & cap all utilities.
5. Begin clearing and grubbing operations associated with house, driveway and SSTS.
6. Strip and stockpile topsoil on site for later use in lawn and landscape areas.
7. Begin excavation for foundation, general lot grading, and construction of the driveway.
8. Begin house construction and installation of utility connection.
9. Install infiltration practice and connect roof leader and site drainage.
10. Upon completion of grading operations, install finished driveway surfaces.
11. Topsoil, seed, and mulch all disturbed areas as soon as practical in accordance with the Erosion and Sediment Control Notes contained on this page.
12. Install landscaping per plan.
13. When site disturbances have been sufficiently stabilized to the satisfaction the design engineer, erosion control practices can be removed. Stabilized construction entrance to be restored with top soil and seeded.

VILLAGE OF IRVINGTON EROSION CONTROL NOTES:

1. The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.
2. As-built drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining Certificate of Occupancy.
3. Infiltration ports shall be shown on the As -Built.

EROSION & SEDIMENT CONTROL NOTES:

1. The Erosion and Sediment Control Plan is only to be referred to for the installation of erosion and sediment control measures. For all other construction related activities, including, but not limited to, grading and utilities, refer to the appropriate drawings.
2. Each contractor or subcontractor responsible for soil disturbance shall have a NYSDEC trained contractor onsite during soil disturbing activities. The NYSDEC trained contractor will be responsible to comply with the stormwater pollution prevention plan and for the implementation and maintenance of erosion and sediment control measures on this site prior to and during construction. The NYSDEC trained contractor shall sign a certification statement required by GP-0-20-001.
3. All construction activities involving the removal or disposition of soil are to be provided with appropriate protective measures to minimize erosion and contain sediment disposition within. Minimum soil erosion and sediment control measures shall be implemented as shown on the plans and shall be installed in accordance with "New York Standards and Specifications For Erosion and Sediment Control," latest edition.
4. Wherever feasible, natural vegetation should be retained and protected. Disturbance shall be minimized in the areas required to perform construction. No more than 5 acres of unprotected soil shall be exposed at any one time.
5. When land is exposed during development, the exposure shall be kept to the shortest practical period of time, but in no case more than 7 days after the construction activity in that portion of the site has ceased. Disturbance shall be minimized in the areas required to perform construction.
6. All construction vehicles shall be kept clear of the watercourses and wetland control areas outside the areas of proposed development. Silt fence and orange construction fence shall be installed in the areas where the grading is in close proximity of the watercourses or wetland control areas.
7. The stabilized construction entrances, silt fence, and orange construction fence shall be installed as shown on the plans prior to beginning any clearing, grubbing or earthwork.
8. All topsoil to be stripped from the area being developed shall be stockpiled and immediately seeded for temporary stabilization. Ryegrass (annual or perennial) at a rate of 30 lbs. per acre shall be used for temporary seeding in spring, summer or early fall. 'Aristook' Winter Rye (cereal rye) shall be used for temporary seeding in late fall and winter.
9. Any graded areas not subject to further disturbance or construction traffic shall, within 7 days of final grading, receive permanent vegetation cover in combination with a suitable mulch. All seeded areas to receive a minimum 4" topsoil (from stockpile area) and be seeded and mulched between March 21 and May 20 or between August 15 and October 15 or as directed by project representative, with specified seed mixes as shown in the General Site Seeding Notes.
   - Mulch: Salt hay or small grain straw applied at a rate of 90 lbs./1000 S.F. or 2 tons/acre, to be applied and anchored according to "New York Standards and Specification For Erosion and Sediment Control," latest edition.
10. Grass seed mix may be applied by either mechanical or hydroseeding methods. Seeding shall be performed in accordance with the current edition of the "NYSDOT Standard Specification, Construction and Materials, Section 610-3.02, Method No. 1". Hydroseeding shall be performed using materials and methods as approved by the site engineer.
11. Cut or fill slopes steeper than 2:1 shall be stabilized immediately after grading with Curlex I Single Net Erosion Control Blanket, or approved equal.
12. Paved roadways shall be kept clean at all times.
13. The site shall at all times be graded and maintained such that all stormwater runoff is diverted to soil erosion and sediment control facilities.
14. All storm drainage outlets shall be stabilized, as required, before the discharge points become operational.
15. Stormwater from disturbed areas must be passed through erosion control barriers before discharge beyond disturbed areas or discharged into other drainage systems.
16. Erosion and sediment control measures shall be inspected and maintained on a daily basis by the NYSDEC Trained Contractor. to insure that channels, temporary and permanent ditches and pipes are clear of debris, that embankments and berms have not been breached and that all straw bales and silt fences are intact. Any failure of erosion and sediment control measures shall be immediately repaired by the contractor and inspected for approval by the site engineer.
17. Dust shall be controlled by sprinkling or other approved methods as necessary, or as directed by the trained contractor or site engineer.
18. Cut and fills shall not endanger adjoining property, nor divert water onto the property of others.
19. All fills shall be placed and compacted in 6" lifts to provide stability of material and to prevent settlement.
20. The NYSDEC Trained Contractor shall inspect downstream conditions for evidence of sedimentation on a weekly basis and after rainstorms.
21. As warranted by field conditions, special additional erosion and sediment control measures, as specified by the site engineer, the Wetlands Inspector, or the Town Engineer shall be installed by the contractor.
22. Erosion and sediment control measures shall remain in place until all disturbed areas are suitably stabilized.
23. After completion of the site improvements, the owner will assume responsibility for maintenance of the roads, parking lots, drainage systems and stormwater facilities. Each spring the paved areas shall be cleaned to remove the winter accumulation of traction sand. After this is completed all drain inlet and catch basin sumps should be cleaned. All pipes should be checked for debris and blockage and cleaned as required. During the cleaning process, the drain inlets, catch basins and pipes should be inspected for structural integrity and overall condition. Repairs and/or replacements should be made as required.
24. Refer to the Stormwater Pollution Prevention Plan for additional details regarding long-term maintenance of the storm drainage facilities.

STORMWATER LONG TERM INSPECTION/MAINTENANCE REQUIREMENTS

PRACTICE ID	MONTHLY INSPECTION/MAINTENANCE REQUIREMENTS	ANNUAL INSPECTION/MAINTENANCE REQUIREMENTS	INSPECTION/MAINTENANCE AFTER MAJOR STORM EVENTS
Infiltration System SIP 1	Not Applicable	Inspect orfices, inlets & outlets for clogging, eroding soils on the basin berm & embankments, & sources of erosion; & stabilize and/or repair immediately	Confirm infiltrators dewater within 40 hours
Flow Splitter	Not Applicable	Clean sumps/remove debris, Inspect weir wall for deformation and/or repair immediately	Clean sumps/remove debris, Inspect weir wall for deformation and/or repair immediately
Drain Inlets / Yard Drains	Clean sumps/remove debris	Clean sumps/remove debris	Clean sumps/remove debris
Drainage Pipes	Not Applicable	Remove debris	Remove debris

Note: The party responsible for implementation of the maintenance schedule during and after construction is:

Dr. Laxman Desai
50 Half Moon Lane
Irvington, NY 10533

and/or the current owner(s) of the subject property.

GRAPHIC SCALE

0 10 20 40

(IN FEET)
1 inch = 20 ft.

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
2	7-21-21	REVISED PER VILLAGE COMMENTS	PJM
1	5-19-21	REVISED PER VILLAGE COMMENTS	JFR

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3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
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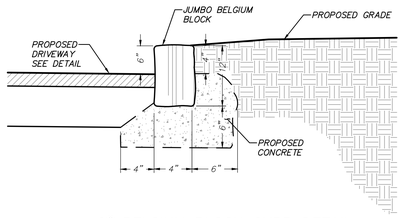
PROJECT:
DESAI RESIDENCE
50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

DRAWING:
EROSION & SEDIMENT CONTROL PLAN

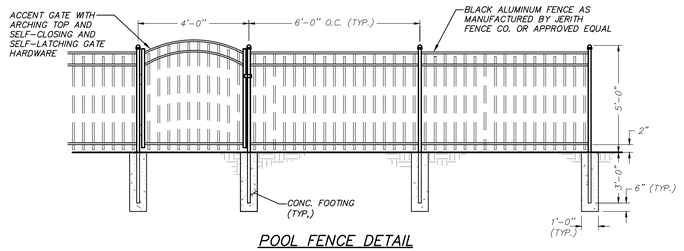
STATE OF NEW YORK JOHN M. WATSON No. 77959 LICENSED PROFESSIONAL ENGINEER

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	4-24-21	DRAWN BY	M.E.U.
SCALE	1" = 20'	CHECKED BY	A.D.T.

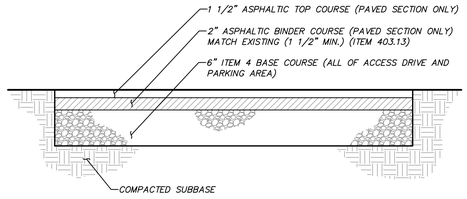
DRAWING NO. SP-3
SHEET 4 / 7



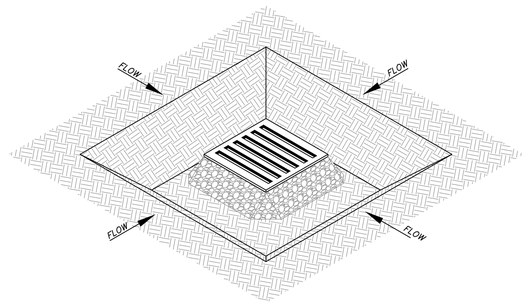
6" BELGIUM BLOCK CURB DETAIL
(N.T.S.)

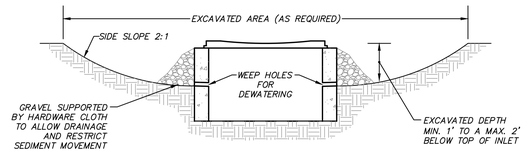


POOL FENCE DETAIL
(N.T.S.)



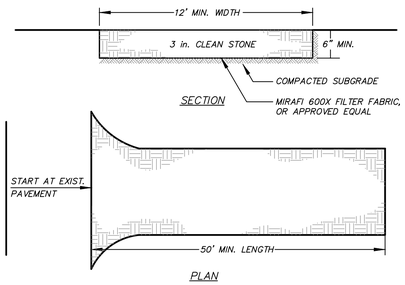
ACCESS DRIVE DETAIL
(N.T.S.)





1. CLEAR THE AREA OF ALL DEBRIS THAT WILL HINDER EXCAVATION
2. GRADE APPROACH TO THE INLET UNIFORMLY AROUND THE BASIN
3. WEEP HOLES SHALL BE PROTECTED BY GRAVEL
4. UPON STABILIZATION OF CONTRIBUTING DRAINAGE AREA, SEAL WEEP HOLES, FILL EXCAVATION WITH STABLE SOIL TO FINAL GRADE, COMPACT IT PROPERLY, AND STABILIZE WITH PERMANENT SEEDING
5. MAXIMUM DRAINAGE AREA = 1 ACRE

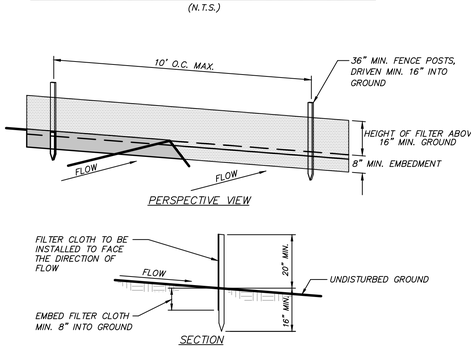
EXCAVATED DROP INLET PROTECTION DETAIL
(N.T.S.)



INSTALLATION NOTES

1. STONE SIZE – USE 3" STONE
2. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – 12 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING – WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE DETAIL
(N.T.S.)

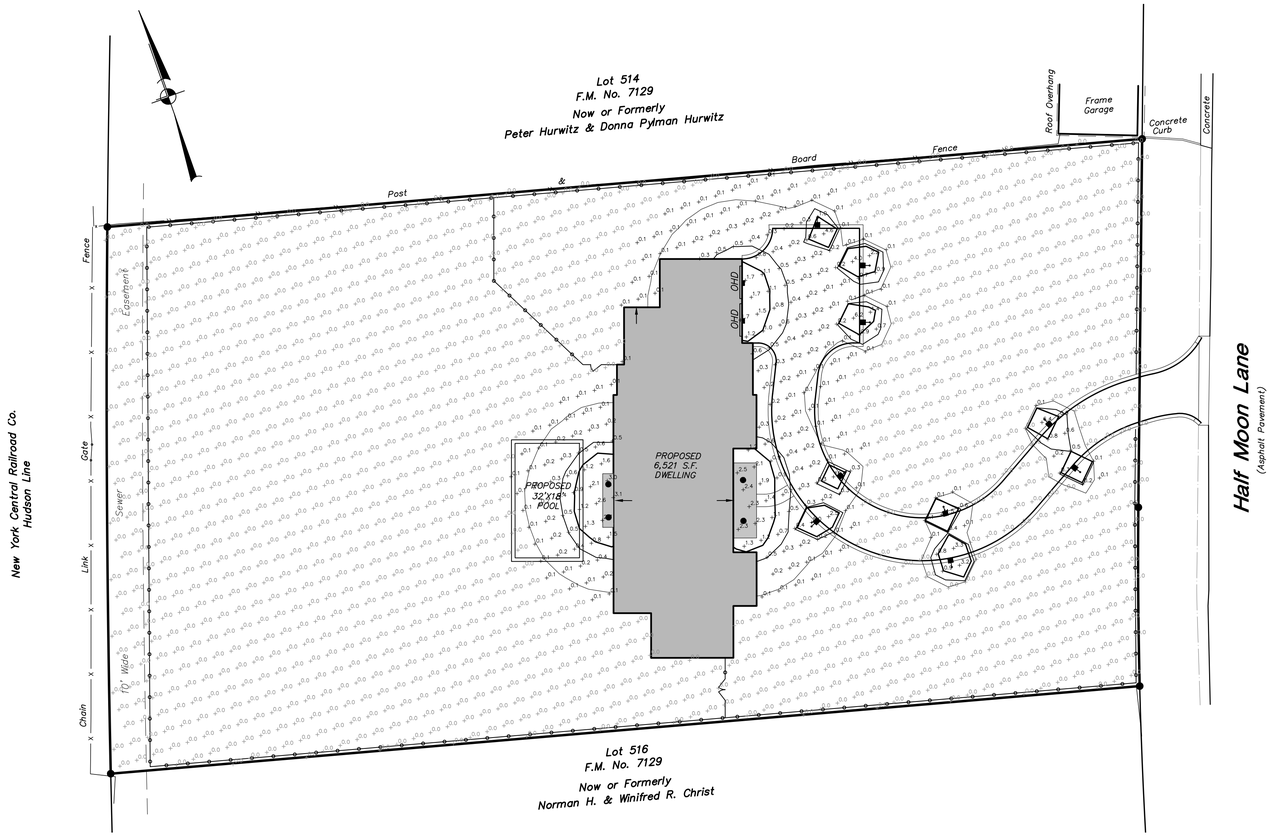


CONSTRUCTION NOTES FOR FABRICATED SILT FENCE

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS AT TOP AND MID SECTION.
2. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
3. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD
FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUAL
PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL

SILT FENCE DETAIL
(N.T.S.)



LIGHTING PLAN
1" = 20'

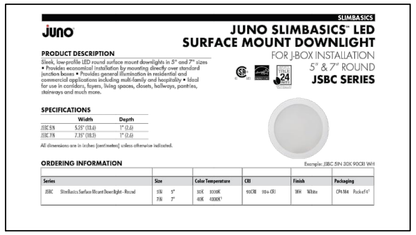
P560091-031
Cedar Springs

This fun take on the traditional warehouse shade provides excellent task lighting for reading a book or illuminating a doorway. Take in the simple metal shade coated in a gorgeous black finish ready to direct a helpful glow. An industrial-style wall plate anchors the light fixture in place and adds a touch of urban flair.

Category: Outdoor
Finish: Black (Painted)
Construction: Aluminum Construction

Width: 13-1/4 in
Height: 11-1/4 in
Depth: 21-5/8 in
H(CTR): 7-1/4 in

MOUNTING	ELECTRICAL	LAMPING	ADDITIONAL INFORMATION
Wall mounted	Prewired	Quantity: One 100 W max. Medium Base or LED equivalent	CCSAus Wet Location Listed
Mounting plate for outlet box included	6 inches of wire supplied	E26 base Porcelain socket	1-year Limited Warranty
Back Plate covers a standard 4" recessed outlet box: 5" W., 2.25" ht., 5" depth	120 V		



SLIMBASICS

JUNO

JUNO SLIMBASICS® LED SURFACE MOUNT DOWNLIGHT
FOR J-BOX INSTALLATION
5" & 7" ROUND
JSBC SERIES

PRODUCT DESCRIPTION

Sleek, low-profile LED round surface mount downlights in 5" and 7" sizes
• Provides economical installation by mounting directly over standard J-box • Ideal for use in residential applications and suitable for commercial applications including multi-family and hospitality • Ideal for use in corridors, foyers, living spaces, closets, hallways, pantries, stairways and much more.

SPECIFICATIONS

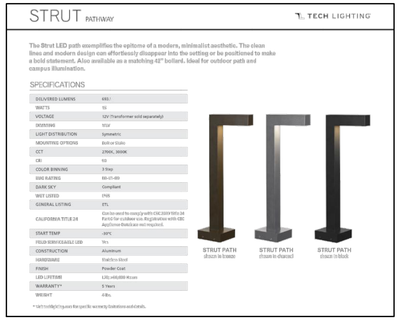
	Width	Depth
JSBC 5IN	5.25" (13.3)	1" (2.5)
JSBC 7IN	7.25" (18.5)	1" (2.5)

All dimensions are in inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

Series	Size	Color Temperature	CRI	Finish	Packaging
JSBC Slimbasics Surface Mount Downlight - Round	5IN 5" 7IN 7"	30K 3000K 40K 4000K	90CRI 90+ CRI	WH White	CPK Mini Pocket Kit

Example: JSBC 5IN 30K 90CRI WH



LIGHT CONTOUR LEGEND

0.1	0.10 Foot Candles
0.5	0.50 Foot Candles
1	1.00 Foot Candles

* Photometric calculations shown on plan are in foot candles.

LIGHTING NOTES:

1. All lighting shall be as noted on the plan or approved equal.
2. Style and finish of all luminaires to be selected by owner.
3. Type, location, and shading of all proposed lighting shall prevent the spillover of light onto all adjacent residential properties.
4. All light fixtures to be full cutoff to comply with dark sky guidelines.

LUMINAIRE SCHEDULE

Sym	Qty	Catalog Number	Description	Lamp	Mounting Height	Watts
▮	2	A19-75W-P1-27K-E26-U1	CREE, INC. GOOSENECK SCREW BASE LAMP	LED BULB	12'-0"	11.8
▮⊸	9	70007STR93018DB12S	TECH LIGHTING STRUT LED PATH LIGHT	LED	18"	14.6
●	4	JSBC 5IN 40K	JUNO SURFACE MOUNT DOWNLIGHT	LED	10'	10.8

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
2	7-21-21	REVISED PER VILLAGE COMMENTS	PJM
1	5-19-21	REVISED PER VILLAGE COMMENTS	JFR

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(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:
DESAI RESIDENCE
50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

DRAWING:
DETAILS

STATE OF NEW YORK JOHN M. WATSON No. 77959 LICENSED PROFESSIONAL ENGINEER

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.	DRAWING NO.	SHEET
DATE	4-24-21	DRAWN BY	M.E.U.	D-1	5 / 7
SCALE	AS SHOWN	CHECKED BY	A.D.T.		

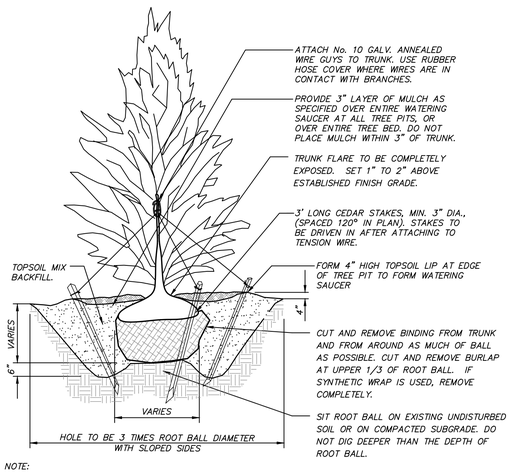
GENERAL SITE SEEDING NOTES:

1. All proposed seeded areas to receive 4" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
2. Upon final grading and placement of topsoil and any required soil amendments, areas to receive permanent vegetation cover in combination with suitable mulch as follows:
   - select seed mixture per drawings and seeding notes.
   - fertilizer applied at the manufacturer's recommended rate using Lesco 10-0-18 (no phosphorous) fertilizer or equivalent.
   - mulch: salt hay or small grain straw applied at a rate of 90 lbs./1000 s.f. or 2 tons/acre, to be applied and anchored according to New York State Standards and Specifications for Erosion and Sediment Control, August 2005.
   - if the season prevents the establishment of a permanent vegetation cover, the disturbed areas will be mulched with straw or equivalent.
3. The seed mixes as specified on these drawings are as follows:
   A. Seed Mix for lawn areas and mow strip along roads at a rate of 100 lbs. per acre:

Kentucky Bluegrass	20%
Creeping Red Fescue	40%
Perennial Ryegrass	20%
Annual Ryegrass	20%

GENERAL PLANTING NOTES:

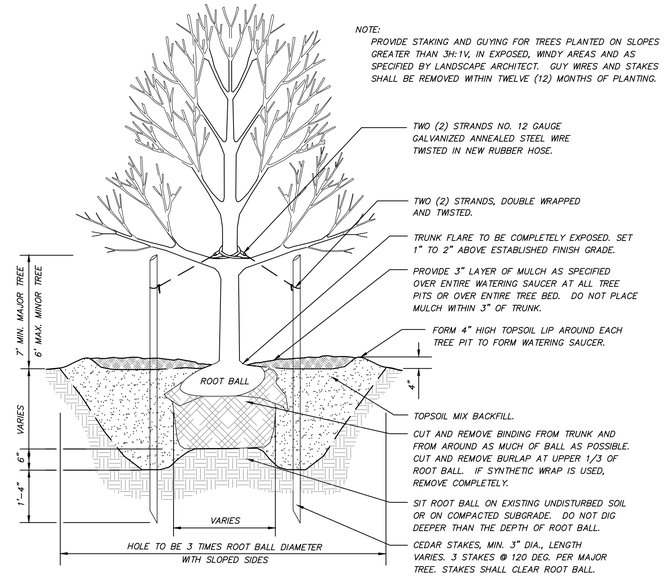
1. All proposed planting beds to receive a 12" min. depth of topsoil. Soil amendments and fertilizer application rates shall be determined based on specific testing of topsoil material.
2. Any new soils added will be amended as required by results of soil testing and placed using a method that will not cause compaction.
3. All plant material to be nursery grown.
4. Plants shall conform with ANSI Z60.1 American Standard for Nursery Stock in all ways including dimensions.
5. Plant material shall be taken from healthy nursery stock.
6. All plants shall be grown under climate conditions similar to those in the locality of the project.
7. Plants shall be planted in all locations designed on the plan or as staked in the field by the Landscape Architect.
8. The location and layout of landscape plants shown on the site plan shall take precedence in any discrepancies between the quantities of plants shown on the plans and the quantity of plants in the Plant List.
9. Provide a 3" layer of shredded pine bark mulch (or as specified) over entire watering saucer at all tree pits or over entire planting bed. Do not place mulch within 3" of tree or shrub trunks.
10. All landscape plantings shall be maintained in a healthy condition at all times. Any dead or diseased plants shall immediately be replaced "in kind" by the contractor (during warranty period) or project owner.



NOTE:
PROVIDE STAKING AND GUYING FOR TREES PLANTED ON SLOPES GREATER THAN 3H:1V, IN EXPOSED, WINDY AREAS AND AS SPECIFIED BY LANDSCAPE ARCHITECT. GUY WIRES AND STAKES SHALL BE REMOVED WITHIN TWELVE MONTHS OF PLANTING.

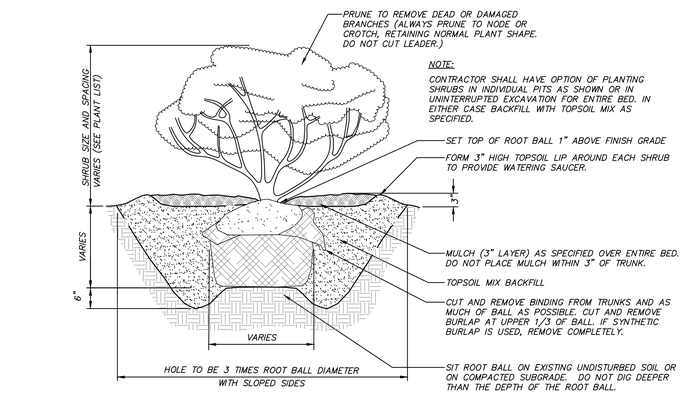
EVERGREEN TREE PLANTING DETAIL

(N.T.S.)



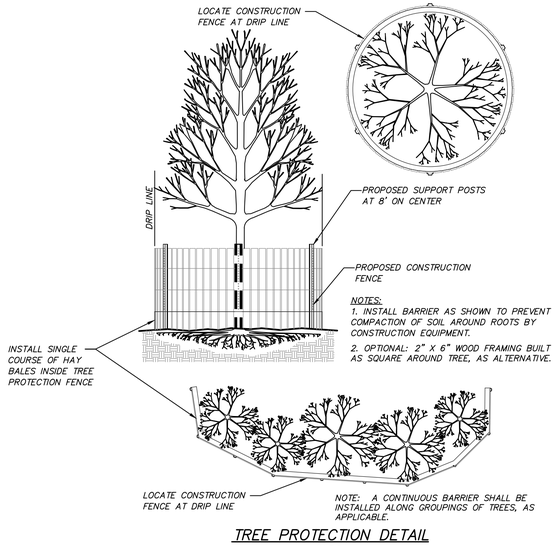
TREE PLANTING DETAIL

(N.T.S.)



SHRUB PLANTING DETAIL

(N.T.S.)



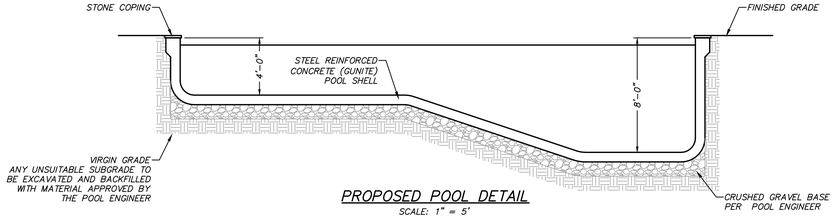
TREE PROTECTION DETAIL

(N.T.S.)

TREE PROTECTION NOTES:

(Provided by Aaron J. Schmitt, ISA Certified Arborist)

1. Tree protection fencing will be installed along the edge of the critical root zone on the subject property, with the exception of the area of disturbance associated with the proposed driveway.
2. Prior to the excavation for, and construction of the driveway, an area 1-foot in width inside the limit of disturbance, adjacent to this approved intrusion into the critical root zone, will be air excavated, by hand, to identify roots extending into this area. All roots will be cleanly cut by hand, under the supervision of a certified arborist and in accordance with ANSI (American National Standards Institute) A300 standards, to promote root callusing and regeneration. Once all roots are cleanly cut, soil will be restored to the area and tree protection fencing will be installed along the established tree protection zone. If roots are to be exposed for a period greater than 48 hours, the exposed area shall be covered with at least six inches of mulch and maintained moist during the course of construction until the area can be properly backfilled.
3. All excavation for, and construction of the driveway shall be performed with equipment located outside of the established tree protection zone (TPZ).
4. Fencing will consist of wire construction fence, or snow fence, together with hay bales situated inside of the fence for added protection. All tree protection fencing will be installed by hand, prior to any site disturbance, and remain in place until all site work is complete.
5. Signage will be placed on the fencing to identify the area as a tree protection zone (TPZ) and not to enter this area.
6. Within the TPZ, the following are prohibited: stockpiling of construction materials, soil, and demolition debris; vehicle and equipment parking/storage/maintenance; trenching; excavating; grading; washing out of equipment.
7. At the conclusion of all site work, a 20-foot radius mulch ring will be provided for around the 40" American Basswood, consisting of organic shredded mulch, 3" in thickness.
8. In the absence of adequate rainfall throughout the course of the construction and development project, 1" of water will be provided to the critical root zone area per week, by hand, through deep soaking/slow delivery methods.
9. Trees to be planted within the critical root zone, as specified on Sheet SP-1 of the plan set, will be dug and installed by hand in order to minimize any disturbance to existing roots of the 40" American Basswood.



PROPOSED POOL DETAIL

SCALE: 1" = 5'

Notes:

1. Pool detail is shown for illustrative purposes only. The pool structure and all appurtenances, including circulation, plumbing, electrical, hydrostatic relief, etc, are to be designed by a swimming pool engineer. Detailed drawings will be provided with the building permit application.
2. Pool equipment will be stored in a designated room in the basement of the dwelling.
3. Pool will be of steel reinforce concrete (gunite) construction over a gravel base.
4. Pool circulation will be by pump via wall skimmers, jets and floor drains meeting the applicable pool code standards for anti-entrapment.
5. The pool will be sanitized by a saltwater chlorine generation system, which will be integrated to the circulation system.
6. The pool will not require draining except for resurfacing once every 10 to 15 years. In these rare instances the pool water will be drained to the infiltration system.

NO.	DATE	REVISION	BY
4	9-22-21	REVISED PER VILLAGE COMMENTS	MEU
3	8-18-21	REVISED PER VILLAGE COMMENTS	MEU
2	7-21-21	REVISED PER VILLAGE COMMENTS	PJM
1	5-19-21	REVISED PER VILLAGE COMMENTS	JFR

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(845) 225-9717 fax
www.insite-eng.com

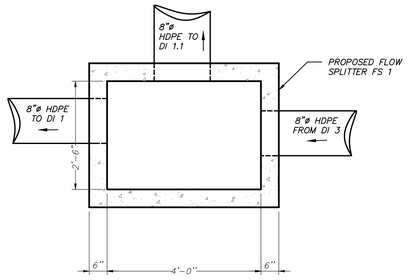
PROJECT:
DESAI RESIDENCE
50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

DRAWING:
DETAILS

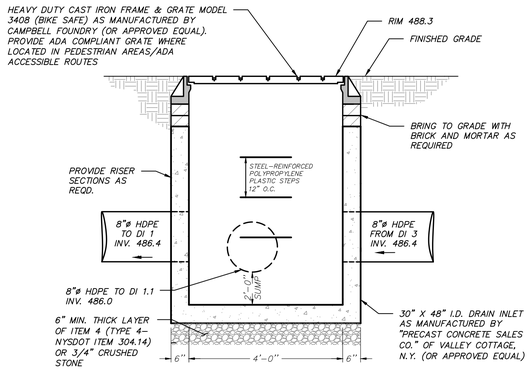
STATE OF NEW YORK · JOHN M. WATSON · No. 77950 · LICENSED PROFESSIONAL ENGINEER

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	4-24-21	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	A.D.T.

DRAWING NO. D-2
SHEET 6/7



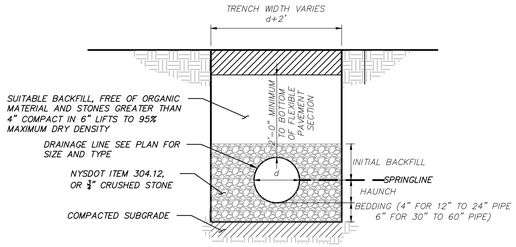
PLAN



SECTION

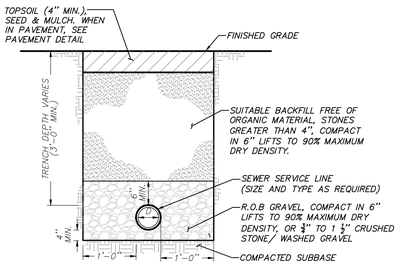
FLOW SPLITTER FS 2 DETAIL

(N.T.S.)



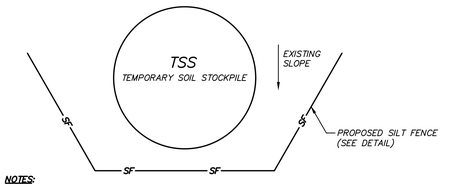
DRAINAGE LINE TRENCH DETAIL

(N.T.S.)



SEWER SERVICE LINE TRENCH DETAIL

(N.T.S.)

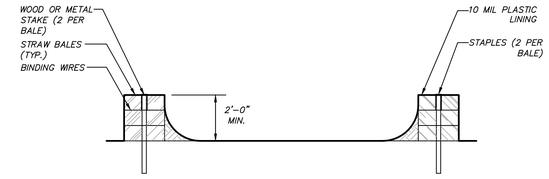


NOTES:

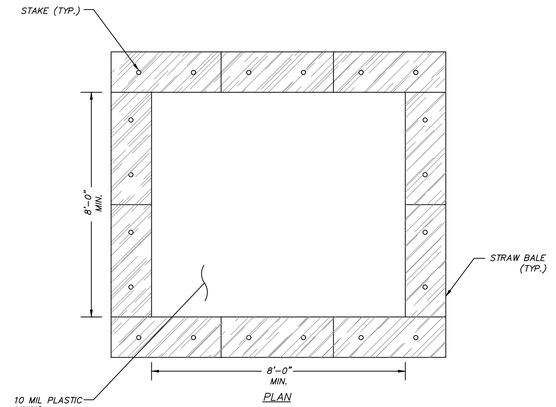
1. AREA CHOSEN FOR STOCKPILE LOCATION SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE IMMEDIATELY SEEDED WITH K31 PERENNIAL TALL FESCUE.
4. ALL STOCKPILES SHALL BE PROTECTED WITH SILT FENCING INSTALLED ON THE DOWNGRADIENT SIDE.

TEMPORARY SOIL STOCKPILE DETAIL

(N.T.S.)



SECTION



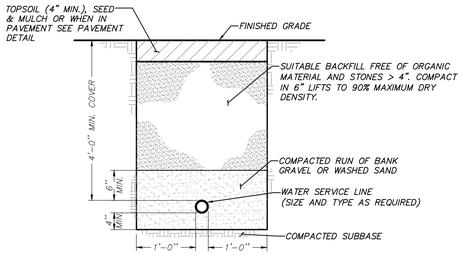
PLAN

CONCRETE WASHOUT AREA DETAIL

(N.T.S.)

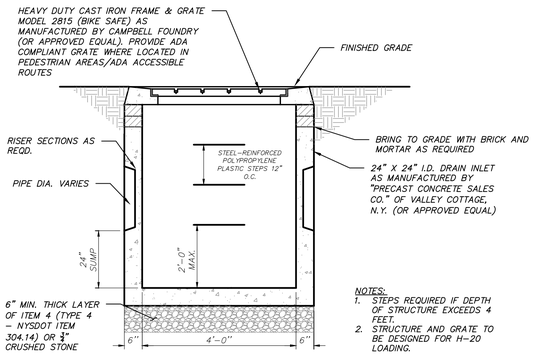
NOTES

1. TEMPORARY CONCRETE WASHOUT TYPE ABOVE GRADE WILL BE CONSTRUCTED AS SHOWN ABOVE, WITH RECOMMENDED MINIMUM LENGTH AND MINIMUM WIDTH OF 8 FT.
2. THE WASHOUT WILL BE MINIMUM OF 100 FT FROM DRAINAGE SWALES, STORM DRAIN INLETS, WETLANDS, STREAMS AND OTHER SURFACE WATERS.
3. PLASTIC LINING WILL BE FREE OF HOLES, TEARS, OR OTHER DEFECTS THAT COMPROMISE THE IMPERMEABILITY OF THE MATERIAL.



WATER SERVICE LINE TRENCH DETAIL

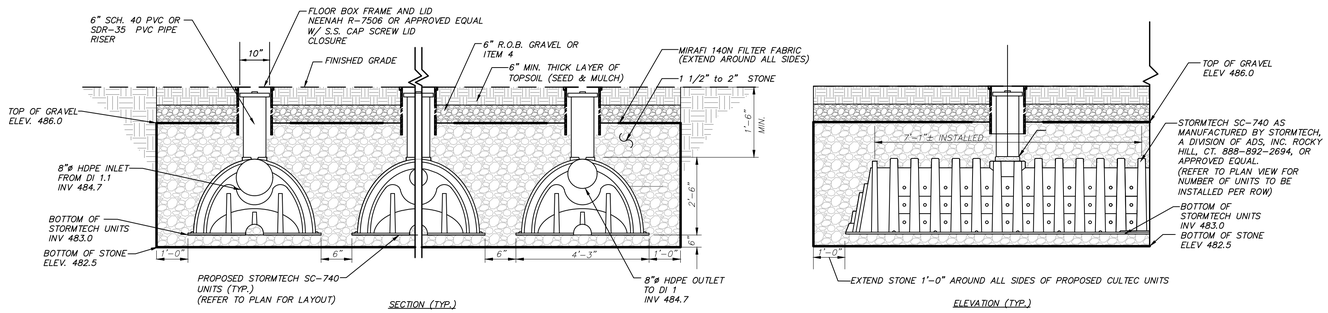
(N.T.S.)



NOTES:
1. STEPS REQUIRED IF DEPTH OF STRUCTURE EXCEEDS 4 FEET.
2. STRUCTURE AND GRATE TO BE DESIGNED FOR H-20 LOADING.

24" X 24" DRAIN INLET DETAIL

(N.T.S.)



SECTION (TYP.)

ELEVATION (TYP.)

UNDERGROUND SYSTEM DESIGNATION	SYSTEM FOOTPRINT (S.F.)	STORMTECH UNIT NODE #	QUANTITIY OF CHAMBERS	OVERALL SYSTEM DIMENSIONS (LENGTHxWIDTH)
1.1P	636	SC-740	16	20.5' x 31'

STORMWATER UNDERGROUND INFILTRATION SYSTEM (SMP 1.1P) DETAIL

(N.T.S.)

1	9-22-21	REVISED PER VILLAGE COMMENTS	MEU

INSITE ENGINEERING, SURVEYING & LANDSCAPE ARCHITECTURE, P.C.
3 Garrett Place
Carmel, NY 10512
(845) 225-9690
(845) 225-9717 fax
www.insite-eng.com

PROJECT:

DESAI RESIDENCE

50 HALF MOON LANE, VILLAGE OF IRVINGTON, WESTCHESTER CO., NY

DRAWING:

DETAILS

STATE OF NEW YORK JOHN M. WATSON No. 77959 LICENSED PROFESSIONAL ENGINEER

PROJECT NUMBER	21118.100	PROJECT MANAGER	J.M.W.
DATE	8-18-21	DRAWN BY	M.E.U.
SCALE	AS SHOWN	CHECKED BY	A.D.T.

DRAWING NO. D-3

SHEET 7 / 7