APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	1161	Date:	12/03/2021
Job Location:	2 ARDSLEY AVE	Parcel ID:	2.170-78-9
Property Owner:	Beata Kekhman & Igor Grinberg	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
John Malone	Brian Lomba
Ferguson Malone Architecture	Westchester Pavers LLC
One Bridge StreetSuite 29Irvington NY 10533	10 Saint Charles Street, Suite 8B Thornwood
	New York 10594
9145643166	914-494-1396

Description of Work

Type of Work:	Swimming pool	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	60000.00	Property Class:	1 FAMILY RES

Description of Work

Proposed swimming pool and associated hardscape and landscape.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 2 ARDSLEY AVE

Parcel Id: 2.170-78-9

AFFIDAVIT OF APPLICANT

I John Malone being duly sworn, depose and says: That s/he does business as: Ferguson Malone Architecture with offices at: One Bridge StreetSuite 29 Irvington NY 10533 and that s/he is:
The owner of the property described herein.
The with offices at:
duly authorized by resolution of the Board of Directors, and that
said corporation is duly authorized by the owner to make this application.
A general partner of with offices and that said Partnership is duly authorized by the Owner to make this application. The Lessee of the premises, duly authorized by the owner to make this application. The Architect of Engineer duly authorized by the owner to make this application. The contractor authorized by the owner to make this application.
That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application. Sworn to before me this day of of
Jessica Emilia Baran Notary Public / Commission of Deec NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01BA6355917 Qualified in Westchester County Applicant's Signature
OWNER'S AUTHORIZATION Commission Expires March 20, 2025
I Beata Kekhman & Igor Grinberg as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.
Owner phone number 718 578 8017 Owner email address BKEKhman 11@gmail. con
Beata Kekhman I hereby acknowledge that it is my responsibility as the property owner to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.
Sworn to before me this day of December of 2021
Notary Public / Commission of Deeds Applicant's Signature
Jessica Emilia Baran NOTARY PUBLIC, STATE OF NEW YORK Registration No. 01BA6355917 Qualified in Westchester County

March 20, 2025

Commission Expires

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

- 1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
- 2. One (1) property survey (signed and sealed), reflecting existing conditions.
- 3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
- 4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
- 5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
- 6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
- 7. Visit the Village of Irvington website www.irvingtonny.gov
 for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
- 8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
- 9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

- 10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
- 11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
- 12. Copy of Contractor's Westchester County Home Improvement License.
- **13.** All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
- 14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State
Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Primit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

<u>85</u> 1,020

60

· Inspection Fees (as applicable)

- Insulation: \$50
- Solid Fuel: \$50
- Foundation and footing drain: \$50
- Energy Code Compliance: \$50
- Sediment and erosion control: \$50
- Footing: \$50
- Preparation for concrete slabs and walls: \$50
- Footing: \$50
- Preparation for concrete slabs and walls: \$50
- Framing: \$50
- Building systems, including underground and rough-in: \$50
- Fire resistant construction and penetrations: \$50
- Final Inspection for C.O.: \$50
- State and local laws (per re-inspection): \$50

Total Inspections 250

- * Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00
- * Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior toapplying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) Total 1,415

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit Any permit that expires will be subject to additional fees.)



CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 12/01/2021

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

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PRODUCER		CONTACT NAME: Sheri Perez	
Quinton Insurance		(A/C, No, Ext): (800) 454-1970	FAX (A/C, No): (585) 388-9531
2700 Elmwood Ave		E-MAIL ADDRESS: service@quintoninsurance.com	
		INSURER(S) AFFORDING COVERAGE	NAIC#
Rochester	NY 14618	INSURER A: ERIE INSURANCE CO	26263
INSURED		INSURER B: FLAGSHIP CITY INSURANCE COMP	2ANY 35585
WESTCHESTER PAVERS LLC		INSURER C: SHELTER POINT	81434
10 SAINT CHARLES ST		INSURER D:	
		INSURER E :	
THORNWOOD	NY 10594-1054	INSURER F:	

COVERAGES	CERTIFICATE NUMBER:	REVISION NUMBER:
COVERAGES	CENTIFICATE NUMBER.	REVISION NUMBER.

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL S		POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMIT	S
	CLAIMS-MADE X OCCUR						EACH OCCURRENCE DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 1,000,000 \$ 1,000,000
				0.47.0050000		4.4.4.0.40.000	MED EXP (Any one person)	\$ 5,000
Α		Y	Q47-6850090 11/18/2021	11/18/2022	PERSONAL & ADV INJURY	\$ 1,000,000		
	GEN'L AGGREGATE LIMIT APPLIES PER:						GENERAL AGGREGATE	\$ 2,000,000
	POLICY X PRO- JECT LOC						PRODUCTS - COMP/OP AGG	\$ 2,000,000
	OTHER:							\$
	AUTOMOBILE LIABILITY						COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000
	X ANY AUTO						BODILY INJURY (Per person)	\$
Α	OWNED SCHEDULED AUTOS ONLY			Q11-6840009	11/18/2021 1	11/18/2022	BODILY INJURY (Per accident)	\$
	X HIRED X NON-OWNED AUTOS ONLY						PROPERTY DAMAGE (Per accident)	\$
	7,01,00,01,01						(,	\$
	X UMBRELLA LIAB X OCCUR						EACH OCCURRENCE	\$ 5,000,000
Α	EXCESS LIAB CLAIMS-MADE			Q35-6870035	11/18/2021	11/18/2022	AGGREGATE	\$ 5,000,000
	DED X RETENTION\$ 10,000							\$
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY						X PER OTH- STATUTE ER	
_	ANY PROPRIETOR/PARTNER/EXECUTIVE	N/A		Q95-6800248	11/18/2021	11/18/2022	E.L. EACH ACCIDENT	\$ 1,000,000
_	OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	17, A		Q93-0000240	11/10/2021	11/10/2022	E.L. DISEASE - EA EMPLOYEE	\$ 1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - POLICY LIMIT	\$ 1,000,000
С	Group Short Term Disability			D544716	11/18/2021	11/17/2022	Statutory Limits	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Ferguson Malone Architecture, One Bridge Street, Suite 29, Irvington, NY 10533 is added as additional insured per written contract.

Project Address: 2 Ardsley Avenue East, Irvington, NY 10533

CERTIFICATE HOLDER	CANCELLATION
Village of Irvington	SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.
85 Main St	AUTHORIZED REPRESENTATIVE
Irvington NY 10533	Gordon Quenton AS AGENT FOR I.C.O.R. INC.



CERTIFICATE OF NYS WORKERS' COMPENSATION INSURANCE COVERAGE

1a. Legal Name & Address of Insured (use street address only)	1b. Business Telephone Number of Insured
WESTCHESTER PAVERS LLC	(914) 494-1396
10 SAINT CHARLES ST THORNWOOD NY 10594-1054	1c. NYS Unemployment Insurance Employer Registration Number of Insured
Work Location of Insured (Only required if coverage is specifically limited to certain locations in New York State, i.e., a Wrap-Up Policy)	1d. Federal Employer Identification Number of Insured or Social Security Number $46\text{-}2528155$
Name and Address of Entity Requesting Proof of Coverage (Entity Being Listed as the Certificate Holder)	3a. Name of Insurance Carrier ERIE INSURANCE CO
Village of Irvington 85 Main St Irvington NY 10533	3b. Policy Number of Entity Listed in Box "1a" Q95-6800248 3c. Policy effective period

This certifies that the insurance carrier indicated above in box "3" insures the business referenced above in box "1a" for workers' compensation under the New York State Workers' Compensation Law. (To use this form, New York (NY) must be listed under Item 3A on the INFORMATION PAGE of the workers' compensation insurance policy). The Insurance Carrier or its licensed agent will send this Certificate of Insurance to the entity listed above as the certificate holder in box "2".

The insurance carrier must notify the above certificate holder and the Workers' Compensation Board within 10 days IF a policy is canceled due to nonpayment of premiums or within 30 days IF there are reasons other than nonpayment of premiums that cancel the policy or eliminate the insured from the coverage indicated on this Certificate. (These notices may be sent by regular mail.) Otherwise, this Certificate is valid for one year after this form is approved by the insurance carrier or its licensed agent, or until the policy expiration date listed in box "3c", whichever is earlier.

This certificate is issued as a matter of information only and confers no rights upon the certificate holder. This certificate does not amend, extend or alter the coverage afforded by the policy listed, nor does it confer any rights or responsibilities beyond those contained in the referenced policy.

This certificate may be used as evidence of a Workers' Compensation contract of insurance only while the underlying policy is in effect.

Please Note: Upon cancellation of the workers' compensation policy indicated on this form, if the business continues to be named on a permit, license or contract issued by a certificate holder, the business must provide that certificate holder with a new Certificate of Workers' Compensation Coverage or other authorized proof that the business is complying with the mandatory coverage requirements of the New York State Workers' Compensation Law.

Under penalty of perjury, I certify that I am an authorized representative or licensed agent of the insurance carrier referenced above and that the named insured has the coverage as depicted on this form.

D. Candan Ovintan

Approved by:	Still author. I.C.O.R. Inc.	12/1/2021
*	(Signature)	(Date)
Title: Pre	esident	

Please Note: Only insurance carriers and their licensed agents are authorized to issue Form C-105.2. Insurance brokers are NOT authorized to issue it.

C-105.2 (9-17) www.wcb.ny.gov

Workers' Compensation Law

Section 57. Restriction on issue of permits and the entering into contracts unless compensation is secured.

- 1. The head of a state or municipal department, board, commission or office authorized or required by law to issue any permit for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, and notwithstanding any general or special statute requiring or authorizing the issue of such permits, shall not issue such permit unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter. Nothing herein, however, shall be construed as creating any liability on the part of such state or municipal department, board, commission or office to pay any compensation to any such employee if so employed.
- 2. The head of a state or municipal department, board, commission or office authorized or required by law to enter into any contract for or in connection with any work involving the employment of employees in a hazardous employment defined by this chapter, notwithstanding any general or special statute requiring or authorizing any such contract, shall not enter into any such contract unless proof duly subscribed by an insurance carrier is produced in a form satisfactory to the chair, that compensation for all employees has been secured as provided by this chapter.

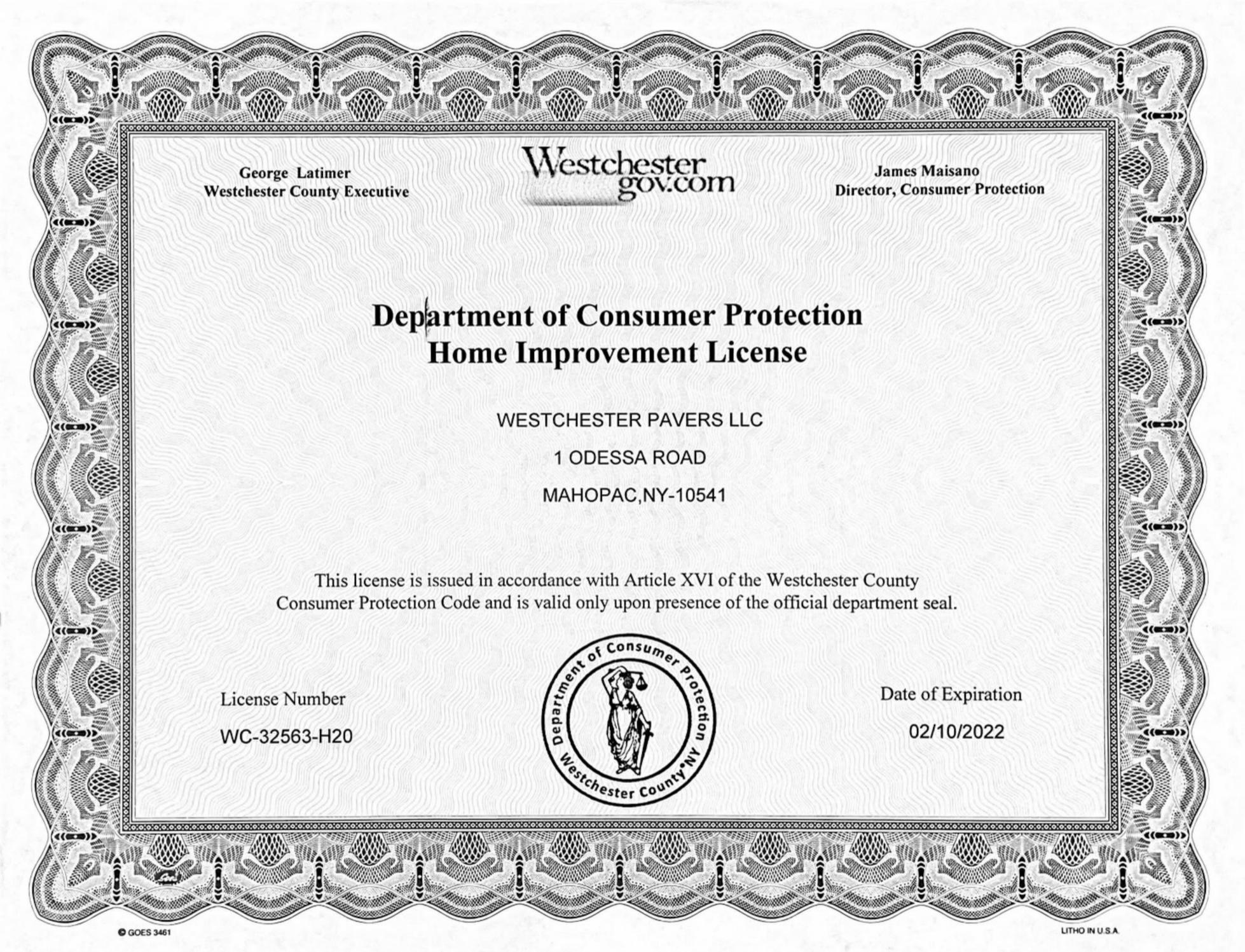


CERTIFICATE OF INSURANCE COVERAGE DISABILITY AND PAID FAMILY LEAVE BENEFITS LAW

PART 1. To be c	ompleted by Disability and	Paid Family Leav	ve Benefits Carrier or Licensed	Insurance	e Agent of that Carrier
1a. Legal Name & WESTCHESTER ATTN: BRIAN L 10 SAINT CHAFTHORNWOOD, N	OMBA RLES ST	dress only)	1b. Business Telephone Numbe 914-494-1396	r of Insured	
Work Location of Ir	nsured (Only required if coverage is specifically state, i.e., Wrap-Up Policy)	pecifically limited to	1c. Federal Employer Identificati or Social Security Number 462528155	on Number	of Insured
2. Name and Addre	ess of Entity Requesting Proof of 0 ted as the Certificate Holder)	Coverage	3a. Name of Insurance Carrier ShelterPoint Life Insura	ance Comp	any
85 Main St.			3b. Policy Number of Entity Liste DBL634854	ed in Box "1a	a"
			3c. Policy effective period		
Irvington, NY 1	0533		03/18/2021	to _	03/17/2023
C. Paid far 5. Policy covers: A. All of the	ry benefits only. mily leave benefits only. e employer's employees eligible u e following class or classes of emp		ility and Paid Family Leave Benefits l	Law.	
	Disability and/or Paid Family Leave		or licensed agent of the insurance ca coverage as described above.	rrier referen	ced above and that the named
Date Signed	12/1/2021 _{By}		nce carrier's authorized representative or NYS	Liconcod Incur	and Agent of that incurance corrier
Telephone Number	r 516-829-8100		Richard White, Chief Exe		
IMPORTANT:	If Boxes 4A and 5A are check Licensed Insurance Agent of the If Box 4B, 4C or 5B is checken Disability and Paid Family Lea	ted, and this form that carrier, this c d, this certificate i ave Benefits Law.	is signed by the insurance carrie ertificate is COMPLETE. Mail it d is NOT COMPLETE for purposes It must be mailed for completion	er's authori irectly to the of Section	zed representative or NYS ne certificate holder.
DART 2 To bo	Board, Plans Acceptance Uni		ation Board (Only if Box 4C or 5E	of Dout 1 h	as hoon shocked)
PART 2. TO DE C	completed by the NT3 Wor			OIPAILIII	as been checked)
	ormation maintained by the NY and Paid Family Leave Benefits	Vorkers' Cor S Workers' Comp	of New York npensation Board ensation Board, the above-name to all of his/her employees.	ed employe	er has complied with the
Date Signed	Ву		(Signature of Authorized NYS Workers' Com		
			(Signature of Authorized NYS Workers' Com	pensation Boa	ra Employee)
Telephone Number	r	Name and Title			

Please Note: Only insurance carriers licensed to write NYS disability and paid family leave benefits insurance policies and NYS licensed insurance agents of those insurance carriers are authorized to issue Form DB-120.1. **Insurance brokers are NOT authorized to issue this form.**







Endorsed Training

Certificate of Completion BRIAN LOMBA

Is hereby awarded this Certificate signifying completion of the course:

"NYS DEC 4-Hour Erosion and Sediment Control Training"

Attested Day of Training: 12/03/2021

Assigned Trainee Stormwater Identification Number – **SWT #45T**-122021-02

This Erosion and Sediment Control (E&SC) Training is Endorsed by the NYS Department of Environmental Conservation, Division of Water, for "Trained Contractors" and Certain "Qualified Inspectors" who must receive 4 hours of E&SC training every three years to satisfy requirements under the Construction Activity State Pollution Discharge Elimination System (SPDES) General Permit.

Expiration: 3 years from date of training

Instructed by: John E. Folchetti, P.E. (NYSDEC SWT #0045-T)

http://www.dec.ny.gov/chemical/8699.html#DEC ~ 625 Broadway, 4th Floor, Albany NY 12233-3505 ~ (518) 402-8111 ~ DWSWtrng@gw.dec.state.ny.us

Endorsed Training

NEW YORK States Programment of Environmental Conservation

Certificate of Erosion & Sediment
Control Training

Name: Brian Lomba

Trainee SWT# 45T-122021-02 Expires 3 years from: 12/03/2021

Instructor Name/ID

John E. Folchetti, P.E.

NYSDEC SWITHERAS

Kekhman / Grinberg Swimming Pool

2 Ardsley Avenue East Irvington, NY

Irvington Planning Board Submission **March 23. 2021**

Irvington Planning Board Resubmission

April 21, 2021 Revision

Irvington Planning Board Resubmission

May 19, 2021 Revision

Irvington Planning Board Resubmission

June 23, 2021 Revision

Irvington Zoning Board Submission

July 12, 2021 Revision 4

Irvington Zoning Board Resubmission **September 7, 2021** Revision 🖄

Irvington Planning Board Resubmission **September 22, 2021** Revision 🗟

Irvington Planning Board Resubmission
October 20, 2021 Revision

Irvington Zoning Board Submission

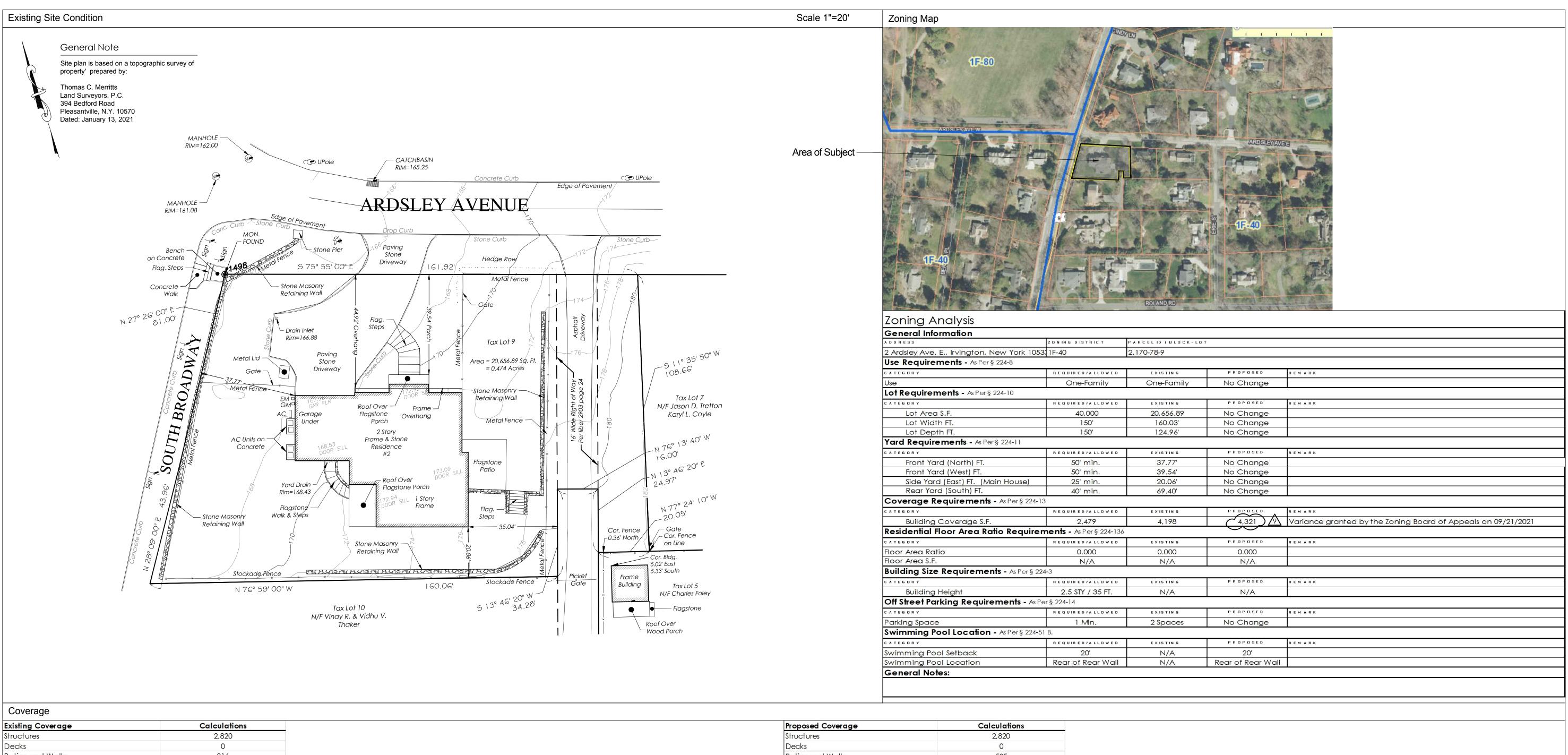
November 08, 2021 Revision

Irvington Architectural Review Board Submission **December 06, 2021 Revision**

PROJECT NO.: 20-30

FERGUSON MALONE ARCHITECTURE

	Criteria (Effective 10/3/2016)		LIST OF DRAWINGS Kekhn
cation: Village of Irvington Wind Design	Subject to Damage From	Zip Code: 10533	SHEET NO. TITLE REVISION DATE SHEET NO. TITLE REVISION DATE Cripk
Seismic Des	esign Ice Barrier	Mean	G-0.00 General Notes and List of Drawings A-0.10 Zoning Analysis A-0.10 Soling Analysis A-0.10 Soling Analysis A-0.10 Soling Analysis
Ground Speed (mph) Topo Effects Region Debris Zone (RCNY Onl		Air Freezing Annual Hazards Index Temp	A-0.11 Site Demolition, Tree Protection and Erosion Control Plan 10/20/21
*Special Wind		nmunity - Panel 36119C0261F	A-0.12 Proposed Architectural Site and Planting Plan A-0.12 Proposed Architectural Site and Planting Plan A Ardsley Av
30 Region No Yes No C	Severe 42" Heavy 4A Yes Effective	Date, 9-28-2007 2000 51.6	A-0.13 Enlarged Proposed Pool Plan and Site Details A-0.14 Site Details 12/06/21 Irvington, N
15 MPH to 120 MPH. The Special wind region should serve as a warning to design profession rived values takes from Section 1609 of to IBC and Figure R301.2(4)A of the IRC are likely to	nals in evaluating wind loading conditions. Wind Speeds higher than the occur and should be considered in the design.		A-0.15 Neighborhood Analysis
state if applicable. For Flood Hazards the Design Professional shall state if they are applicable: p://www.floodmap.floodsimple.com/	ole. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site	Legend and Symbols	A-0.15.1 Neighborhood Analysis
		ELEVATION NUMBER	
Insulation and Fenestration Requi	irements by Component	ELEVATION DRAWING NUMBER	
Fenestration Skylight Fenestration Ceiling Wall	Mass Basement Slab Wall Floor Wall R-Value & Crawl Space Wall		
imate Zone U-Factor U-Factor SHGC R-Value R-Value R Table R402.1.2 Insultation and Fenestration Re	R-Value R-Value Depth R-Value Requirements by Component	DETAIL NUMBER DETAIL DETAIL DETAIL	10/20/21 IPB Resu 6 9/22/21 IPB Resu
	8/13 19 10/13 10,2 FT 10/13	DRAWING NOWBER	5 9/07/21 ZBA Resi
Table R402.1.4 Equivale	ent U-Factors	(XX) DOOR NUMBER X FINISH TAG	A 7/12/21 ZBA Sub 3 6/23/21 IPB Resu
	0.098 0.047 0.047 0.059 0.065	X WINDOW TYPE X KEY NOTE	\(\frac{1}{2} \) 5/19/21 IPB Resu \(\frac{1}{1} \) 4/21/21 IPB Resu IPB Resu 1/2 1/21 1/21 IPB Resu 1/2 1/21
		PXX PLUMBING FIXTURE TAG X WALL TYPE	3/23/21 IPB Subn
<u>es:</u> ans have been designed in accordance with the prescriptive energy requirements of the 2 ans have been designed in accordance with the National Electrical code NFPA 70 2020 Ec	2020 Energy Conservation Construction Code of New York State. dition.	EXX EQUIPMENT TAG ROOM NAME ROOM TAG	NO. DATE IS
isting and proposed building construction to be Type 5 B: Wood-Framed, combustible. isting and proposed occupancy is: 1 Family			In developing the plans are project, the Architect has a applicable state and mun
	Alalaman 1 - 11		regulations, including the F New York State (IRC 2018/I Amendments) which inclu Efficiency.
nstruction Requirements vork shall be in accordance with the 2020 New York State Building Code and the	Abbreviations A F	O W	
ember 2019 addition, and all applicable local jurisdiction and fire department lations.	A/C AIR CONDITIONING F.ALM. FIRE ALARM ACOUS. ACOUSTICAL FABR. FABRICATE	O.A. OVERALL (W) WEST O.C. ON CENTER W/ WITH	- CSTEPTED
ractor shall obtain all permits as required prior to start of work and schedule ections with the building inspector and other regulating authority at appropriate	ACOUS.T ACOUSTICAL TILE (OR F.E. FIRE EXTINGUISHI AC.T.) F.E.C. FIRE EXTINGUISHI ADD'N(L). ADDITION(AL) CABINET	O.D. OUTSIDE DIAMETER OFF. W.C. WATER CLOSET OFFICE WD WOOD O.H. OPPOSITE HAND OPNG. WIN. WINDOW	
s of the work as required by code and by the local building inspector. Inspection nnel shall be notified a minimum of five days prior to proposed date of	ADJ. ADJUSTABLE FIN. FL. FINISH FLOOR ALUM. ALUMINUM F.H.C. FIRE HOSE CABIN	OPENING W.H. WATER HEATER OPP. OPPOSITE W/O WITHOUT	
ctions. Work shall not be closed or covered until it has been inspected and oved.	ALT. ALTERNATE FIN. FINISH(ED) ANOD. ANODIZED FLR. FLOOR APPVD. APPROVED FLUOR. FLUORESCENT	ORIG. ORIGINAL W.S. WEATHERSTRIPPING WV. WOOD VENEER P	TE OF I
ork, including plumbing and electrical work, shall be performed by licensed actors.	APPROX. APPROXIMATE F.O.C. FACE OF CONCR ARCH. ARCHITECT or F.O.F. FACE OF FINISH	PART. BD. PARTICLE BOARD P.LAM. PLASTIC LAMINATE PLAS PLASTED YARD	
ork with engineered lumber and/ or truss construction must be placarded as per OOS.	ARCHITECTURAL F.O.G. FACE OF GYP.BE AUTO. AUTOMATIC F.O.S. FACE OF STUD AVG. AVERAGE F.O.W. FACE OF WALL	PLAS. PLASTER YD. YARD PLYWD. PLYWOOD PNL. PANEL	
contractor shall maintain a current and complete set of construction drawings and cifications at the construction site during all phases of construction for use of trades,	& AND FR. FRAME A.F.F. ABOVE FINISH F.S. FULL SIZE FLOOR FT. FOOT OR FEET	PR. PAIR PREFAB. PREFABRICATED	FERGUSON MALON
nitect and Building Dept. personnel.	ABV. ABOVE F.A.R. FLOOR AREA RATI	PTN. PARTITION R. PTD. PAINTED	ONE BRIDGE IRVINGTON
tractor shall verify all field conditions and dimensions and be responsible for field fit quantity of work.	B FURRING BD. BOARD FIXT. FIXTURE BLDG. BUILDING	PWG. PAINTED WOOD & GLASS	T 914 591 5066
ntractor shall notify the architect of any discrepancies in drawings, specifications I field conditions before commencing the work and notify architect immediately if portion of work cannot be performed as specified.	BLKG. BLOCKING GA. GAUGE	Q QUAL. QUALITY	
contractor shall not scale drawings for purposes of construction and shall verify any	BRZ. BRONZE GEN. GENERAL BSMT. BASEMENT GL. GLASS OR GLAZ GYP. GYPSUM	QUAN. QUANTITY	
ensions needing clarification with architect prior to construction. struction work shall be done on regular work hours except as directed by owner.	C GWB GYPSUM WALL BOARD	R/A RETURN AIR RAD. RADIUS	
ocal ordinances regarding noise and nuisance shall be respected.	C.C. CENTER TO CENTER CER. CERAMIC CLKG. CALKING HDWR. HARDWARE	RECEP. RECEPTACLE REF. REFERENCE REFL. REFLECTED	
tractor shall exercise strict control over safety and security of the site. contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for	CENTER LINE HDWD. HARDWOOD CLG. CEILING HGT. HEIGHT	REINF. REINFORCED RESIL. RESILIENT	
protection of all persons from hazards during demolition and construction and ng removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test aint and suspected hazardous materials to be removed prior to commencement	CLOS. CLOSET HORIZ. HORIZONTAL CLR CLEAR HVAC HEATING,	REQ'D. REQUIRED R.H. RIGHT HAND RM. ROOM	
ork. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL 66 and U.S. EPA certification programs for containment, removal, and disposal of	CLR. OPG. CLEAR OPENING AIR CONDITIONI COL. COLUMN AIR CONDITIONI	RND. ROUND R.O. ROUGH OPENING	
e. Materials used for construction, fabrication or finishes shall be approved per num standard appropriate for the respective purpose.	CONC. CONCRETE CONN. CONNECTION CONNECTION INSIDE DIAMETER	REV. REVISION S	
ractors shall provide on site first aid facilities and protective gear required by Osha dards to prevent injury to all workers and persons visiting the site.	CONST. CONSTRUCTION I.D. INSIDE DIAMETER CONT. CONTINUOUS INCL. INCLUDE(D) (ING COR CORNER INFO. INFORMATION IN	(S) SOUTH SCHED. SCHEDULE SECTION	
entire areas and the job site shall be maintained in a neat and orderly condition kept free from waste and rubbish during the entire construction period. Remove	CORR. CORRIDOR INT. INTERIOR	SECT. SECTION SIM. SIMILAR SQ. SQUARE	
erials or trash from the site at the end of each working day. exits, and ways of approach thereto shall be continuously maintained free from all	CTR. CENTER C.W. COLD WATER CM. CARBON MONOXIDE JAN. JANITOR	S.F. SQUARE FEET STL. STEEL S.S. STAINLESS STEEL	
ructions or impediments to full instant use in the case of fire or other emergency.	D JAN. JANITOR JT. JOINT D.A. DOUBLE-ACTING DBL.	STD. STANDARD STRUCT. STRUCTURAL	
ractor's personnel will be admitted to the property upon permission of the owner. Icohol nor drug use shall be permitted.	DOUBLE L L ANGLE	SUSP. SUSPEND(ED) SYMM. SYMMETRICAL SYS. SYSTEM	
tractor will be responsible for repairing any damages or replacing any items royed in the process of the work. Contractor will be responsible for property and	DET. DETAIL LAM. LAMINATE D.F. DRINKING LB. (OR #) POUND FOUNTAIN L.H. LEFT HAND	SPL. SPLASH S.D. SMOKE DETECTOR STOR. STORAGE	
erials of any kind on the premises, and shall provide all necessary protection ne work until turned over to the owner.	DIA. DIAMETER LAV. LAVATORY DIM. DIMENSION	<u>T</u>	Gen
crete: bearing value assumed to be min. 2 tons per square foot subject to field ication. Concrete work shall conform to ACI 318-63. in cases of conflict the	DN. DOWN MAINT. MAINTENANCE DR. DOOR MAX MAXIMIM	TECH. TECHNICAL TEL. TELEPHONE TEMPD. TEMPERED	Notes 8
tate building code shall govern.	DWG. DRAWING MECH. MECHANICAL DRW. DRAWER M.C. MAIL CHUTE	TEMP. GL. TEMPERED GLASS THK. THICK(NESS)	Draw
ncrete slabs on grade at sidewalks, concrete fill and pads shall be average crete. Average concrete shall have a mix proportion and a water nent ratio which has been shown by previous CBE to produce satisfactory concrete	E MTL. METAL MEZZ. MEZZANINE (E.) EAST MGR. MANAGER	TYP. TYPICAL T.M.E. TO MATCH EXISTING	
,500 psi at a slump of 5" +/- 1".	ELEC. ELECTRIC MIN. MINIMUM EL. ELEVATION MISC. MISCELLANEOUS	U.L. UNDERWRITERS	SCALE: AS NOTE
einforcing bars shall be new billet deformed steel conforming to ASTM 615 grade 60. os-on-grade reinforcement shall be 6" x 6" - 10/10 gauge welded wire mesh. vide clearances from faces of concrete to	ENGR. ENGINEER MUL. MULLION EQ. EQUAL M.TH. METAL THRESHOL	LABORATORY UTIL. UTILITY	
orcement as follows: Slabs 3/4"	EQUIP. EQUIPMENT MW. MICROWAVE EXH. EXHAUST E, EXIST. EXISTING N	U.O.N. UNLESS OTHERWISE NOTED	DATE: 03/16/2
Beams 1-1/2" Footings 3-0" Ils: Exterior face 1-1/2"	EXPAN. EXPANSION EXPOS. (N) NORTH EXPOSED N. NEW	VERT. VERTICAL VEST. VESTIBULE	JOB: 20-30
Interior face 3/4" concrete surfaces to be exposed to weather: #4 and smaller 1-1/2"	EXT. EXTERIOR NEG. NEGATIVE ELECT. ELECTRICAL N.I.C. NOT IN CONTRACT	VEST. VESTIBULE V.I.F. VERIFY IN FIELD VOL. VOLUME	
# // (AT)/A CTYV/AUGAT	NO.(OR #) NUMBER		G-0



Kekhman/ Grinberg Swimming Pool

2 Ardsley Avenue East Irvington, New York

3/23/21	IPB Resubmission IPB Submission
7/21/21	IPB Resubmission
4/21/21	· · · · · · · · · · · · · · · · · · ·
6/23/21	IPB Resubmission
9/07/21	ZBA Resubmission
9/22/21	IPB Resubmission
10/20/21	IPB Resubmission
11/08/21	ZBA Submission
12/06/21	ARB Submission

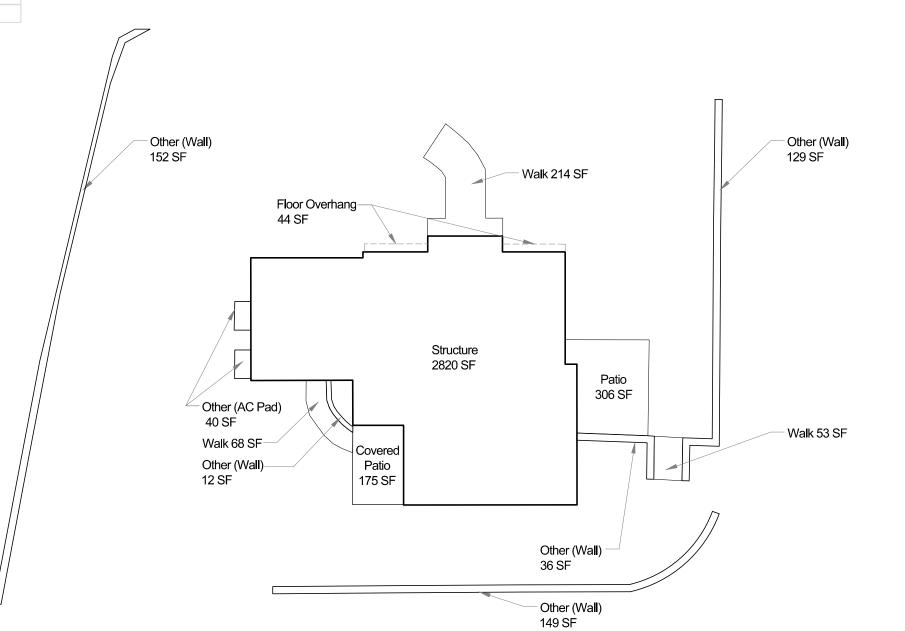
In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy



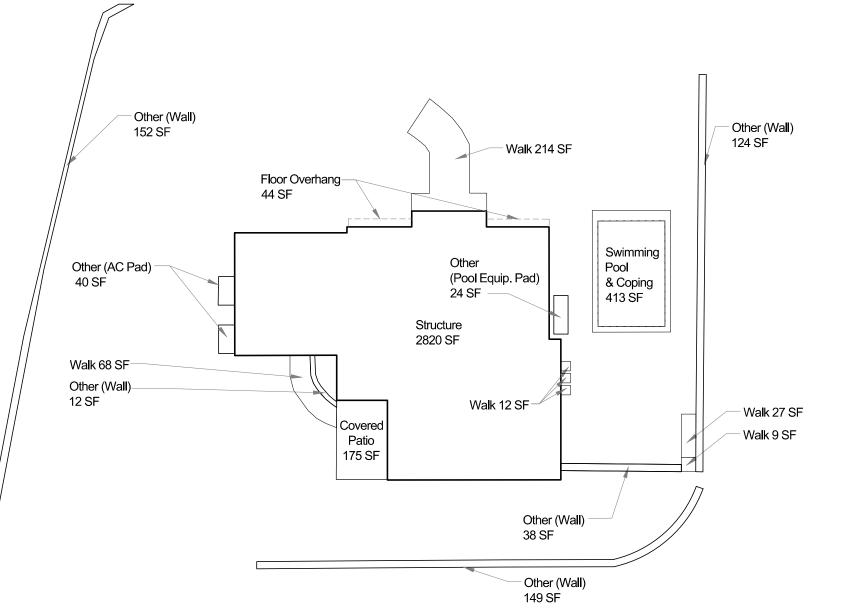
FERGUSON MALONE ARCHITECTURE ONE BRIDGE STREET IRVINGTON NY 10533 T 914 591 5066 F 914 591 5031

xisting Coverage	Calcu
tructures	2,8
)ecks	
atios and Walks	8

Culculations
2,820
0
816
0
44
0
518
4,198
169%

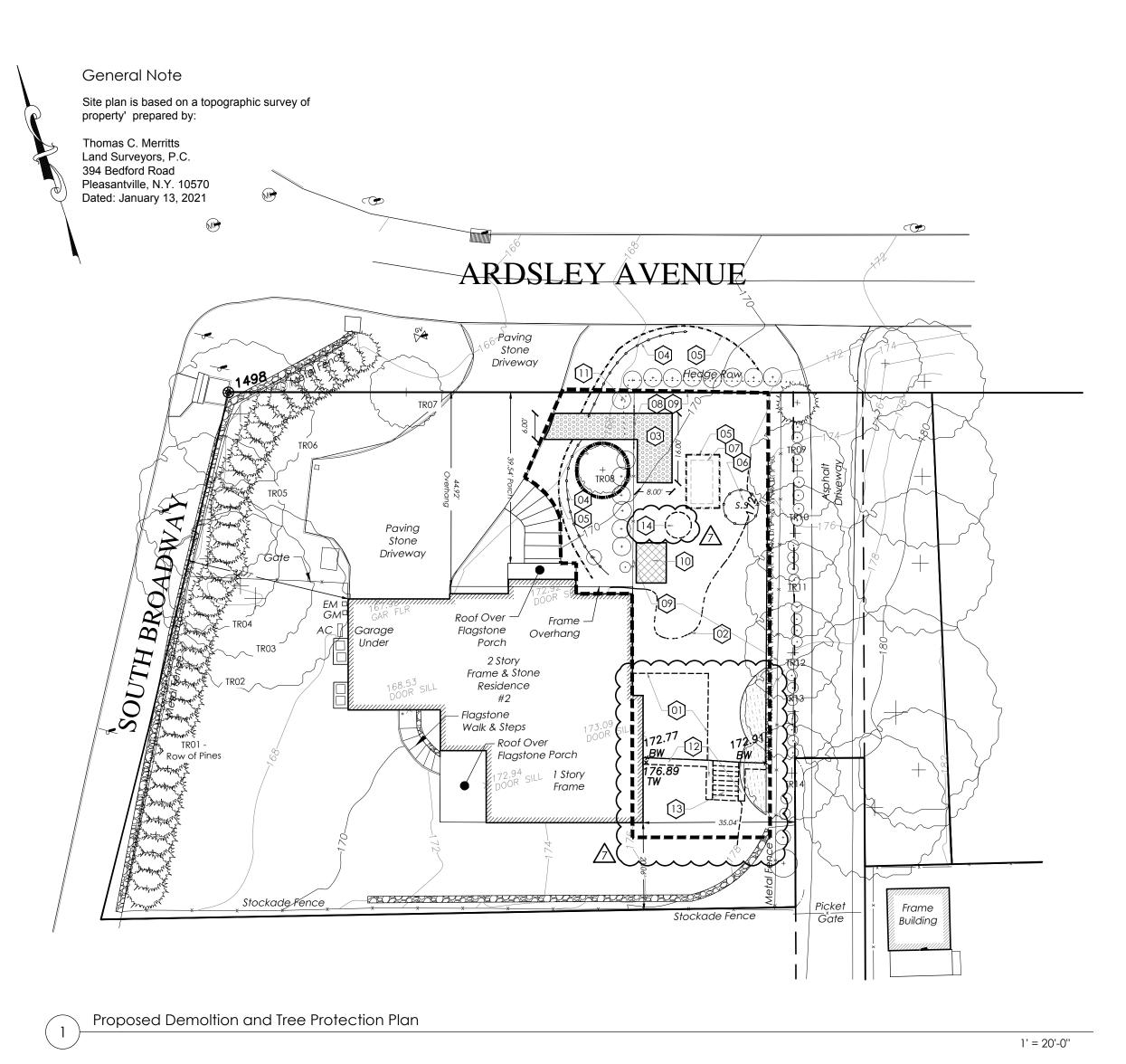


2,820 0 505 0 44
505 0
0
44
413
539
4,321
(174% /



Zoning Analysis

SCALE: AS NOTED **DATE:** 03/16/21 **JOB:** 20-30



— Posts

Top View

<u>Toe-in Method</u>

Section B

Support net

Filter fabric

Backfill

- Native soil

Slope

Section A

Joining Fencing Sections

- 3/4" Plywood

- 6" Wood chips

Extend of Tree

All trees within

10'-0" of limit of

construction as

site plan to be

indicated on

- 4'-0" High snow

protected

fence

Construction area

Root Compaction Protection Detail

Preserved area

Group Tree Protection

General Notes

As-built drawings of the site improvements shall be submitted to the village engineer for review prior to obtaining certificate of occupancy.

Inspection ports are to be shown on the as-built drawings of the site.

When tree roots are encountered during excavation, they shall never be pulled with machinery. Where necessary cut roots cleanly and bridge when possible.

Excavation within tree drip lines shall be completed by hand.

Existing utilities will not be disturbed by proposed work.

Existing roof leaders will not be disturbed by proposed work.

No soil is to be brought to the site, excess soil associated with excavation for footings and stormwater system is to be removed and disposed of as approved by the regulatory authority.

Installation and Maintenance of Erosion Control

Install all erosion control measures prior to the start of construction. Call for inspection from appropriate municipal

The village engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen situation and erosion of disturbed soils.

After rain causing runoff, contractor is to inspect all erosion control measure and correct any problems.

Remove unneeded subgrade soil from site and provide final grading.

Spread topsoil evenly over areas to be seeded and seed with fast growing variety of grass seed and install all

Once grass and planting beds are established remove all erosion control measure and call for final inspection.

Drainage inlets shall be cleared of debris twice a year. Stormwater chambers shall be inspected yearly. Debris and sediment shall be removed if found.

Construction Sequencing

- Place orange construction fencing around areas to be used for infiltration to avoid compaction
- Install construction entrance to the development area
- Establish construction staging area 4. Install tree protection on trees an noted on plans
- 5. Install silt fence down slope of all areas to be disturbed as shown on plans
- 6. Strip topsoil and stockpile at the locations specified on the plans (up gradient of erosion control measures).
- Temporarily stabilize topsoil stockpiles (hydroseed during May 1st through October 31st planting season or by covering with a tarpaulin(s) November 1st through April 30th) install silt fence around toe of slip
- 7. Demolish any existing site features and/or structures noted as being removed on the construction documents,
- 8. Rough grade site

Silt Fence Installation Notes

1. In areas outside of root zones,

fencing is to be left on top of the

protection material used to hold

2. Unroll a section at a time and

side away from direction of flow)

position the posts against the back

(downstream) wall of the trench (net

3. Drive the post into the ground until

the netting is approx. 2 inches from the

4. Lay the toe-in flap of fabric onto the

undisturbed bottom of the trench,

backfill the trench and tap the soil.

steeper slopes require an intercept

5. Join sections as shown above.

existing grade with soil or root

to not disturb existing roots.

trench bottom.

Coupler

Section B

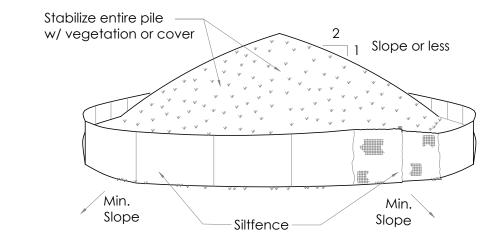
excavate a 4" x 4" trench along the line

zone areas, no trench is to be used and

bottom of fencing material in place as

of the fence where indicated. In root

- 9. Excavate and install stormwater units per manufacturer's recommendations and requirements. Storwater units shall be temporarily plugged until the completion of construction and the site is stabilized
- 10. Install all pretreatment devices, catch basins and piping
- 11. Excavate and construct foundations for addition
- 12. Construct building additions
- 13. Fine grade and seed all disturbed areas. Clean drain lines and exfiltration galleries. Ensure grass stand is
- 14. Unplug stormwater sytem. Install and connect all roof drain leaders.
- 15. Install 4"-6" of topsoil, fine grade, seed in all disturbed areas and install landscape plantings. Spread salt hay
- 16. Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation st Soil erosion and sediment control maintenance must occur weekly and prior to and after every $rac{1}{2}$ " or greater rainfall event.



Installation Notes

1. Area chosen for stockpiling operations shall be dry and stable. 2. Soils or fill to be stockpiled on site during cutting and filling activities should be located on level portions of the site with a min. of 50-75 foot setbacks from

temporary drainage swales. 3. Max. slope of stockpile shall be 1:2.

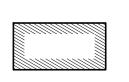
4. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered. 5. Stockpiles remaining in place for more than a week should be seeded and

mulched or covered with geotextile fabric surrounded by silt fence. 6. See specifications (this manual) for installation of silt fence.

Soil Stockpiling

Construction Fence

Demolition and Tree Protection Key



Structure to remain.

Hardscape to be

Existing tree to be

removed



Protected tree to remain. Snow Type Protection - see detail 3

Root Compaction Protection -

see detail 5



Kekhman /

Grinberg

Swimming

Pool

2 Ardsley Avenue East

Irvington, New York

10/20/21 IPB Resubmission

9/22/21 IPB Resubmission 4/21/21 IPB Resubmission

3/23/21 IPB Submission

In developing the plans and specifications for the project, the Architect has taken into account

applicable state and municipal building laws and

regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State

Amendments) which includes Chapter 11 Energy

FERGUSON MALONE ARCHITECTURE

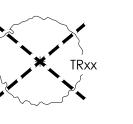
ONE BRIDGE STREET

IRVINGTON NY 10533

T 914 591 5066 F 914 591 5031

ISSUE/REVISION

NO. DATE



Tree to remain

Legend

Line of disturbance - 4,095 S.F. ______

Tree S	Tree Schedule				
Tag	Species	Caliper	Condition	Action	Remarks
TR01	Row of Pines				Outside of work area
TR02	Tree	20''			Outside of work area
TR03	Maple	14"			Outside of work area
TR04	Tree	16"			Outside of work area
TR05	Maple	16"			Outside of work area
TR06	Maple	12"			Outside of work area
TR07	Tree	6"			Outside of work area
TR08	Red Bud	4"	Good	Protected	See tree protection detail 3
TR09	Cornus Florida	8"	Good		
TR10	Cornus Florida	8"	Good		
TR11	Cornus Florida	8"	Good		
TR12	Cornus Florida	8"	Good		~~~~~
TR13	Cornus Florida	8"	Good	Protected,	See root compaction detail 2
TR14	Cornus Florida	8"	Good	Protected	See root compaction detail 2
Kev N	Key Notes				

Key Notes

- (01) Existing patio to be removed.
- (02) Existing grading line to be re-graded. See Proposed Architectural Site plan on sheet A-0.12.
- (03) Construction Entrance Construction access is to proceed limited the use of heavy equipment. The addition will be supported by the existing foundations and tube foundation piers which will require minimal excavation. See detail #5 for further information.
- (04) Silt Fence See detail #4 for further information.
- [05] Construction Fence See detail #6 for further information.
- [06] Soil Stockpiling See detail #5 for further information.
- [07] Location of stormwater system See Proposed Architectural Site plan on sheet A-0.12.
- (08) Existing metal fence to be carefully and selectively removed to allow for construction access.
- (9) Existing metal fence to be upgraded to be pool code compliant. See Fence detail #4 on sheet A-0.13.
- [10] Material Storage Material and equipment storage area lawn area is to be reestablished as soon as material storage area is no longer needed. Silt fencing to stay in place until lawn has been reestablished and there is no risk of erosion.

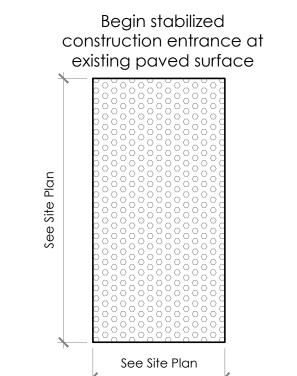
Existing shrubs in this area to be removed, stock piled and replanted.

[12] Existing retaining wall to be removed. Stone to be salvaged and reused if possible.

[13] Existing masonry stairs to be removed.

[14] Concrete Washout Area - Designated area which allows concrete liquids to pool, evaporate, dry out or soak into the ground. Settled, hardened concrete should be broken up, removed and disposed as garbage or recycled properly. Locate at least 10' away from inlets, water- courses and property lines. - See detail #8 for further information.

Installation Notes



Plan

Stabilized Construction Entrance

Concrete Washout Area

Finished grade

1-1/2" stone -

1. Stone size - use 1-1/2" stone 2. Length - As indicated on site plan 3. Thickness - not less than 4-6 inches 4. Width - As indicated on site plan 5. Filter cloth - will be placed over entire area

Geo-textile filter

Provide Berm on three

Compacted

6. Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted. 7. Maintenance - The entrance shall be maintained in a

condition which will prevent tracking or flowing of sediment onto public right of way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment, all sediment spilled, dropped, washed or tracked onto public right of way must be removed thoroughly.

8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When Washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping

> -Line of Berm - beyond -Pit with sloped sides

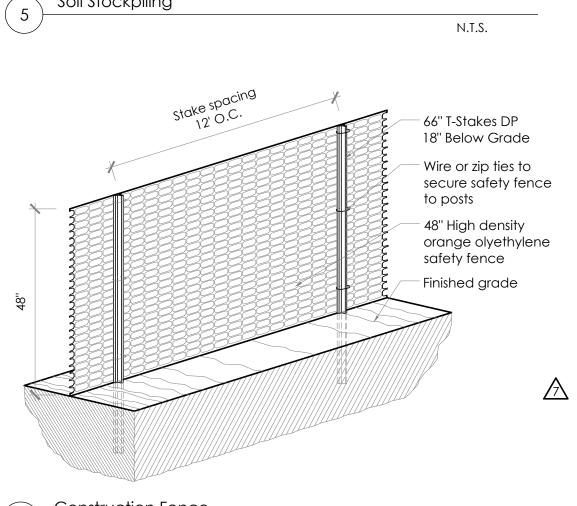
Pit Liner - 10 mil polyethylene sheet

9. Periodic inspection and needed maintenance shall occur each rainfall event

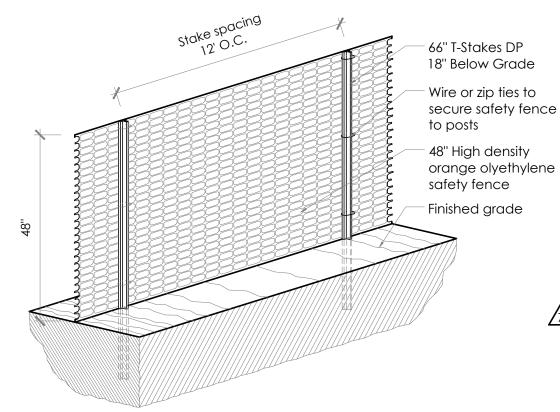
Protection and **Erosion Control Plan SCALE: AS NOTED**

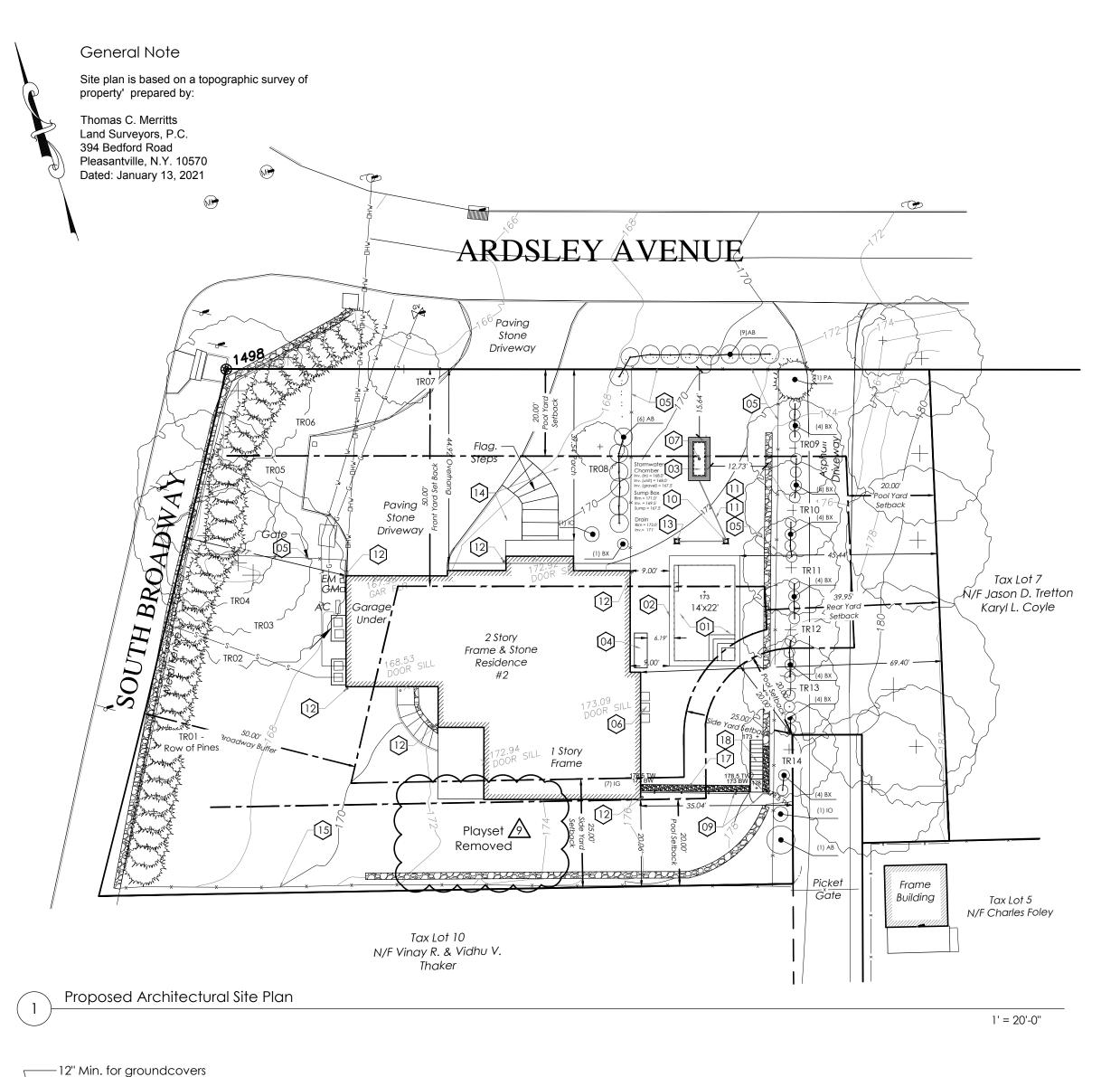
Demolition, Tree

DATE: 03/16/21 **JOB**: 20-30



N.T.S.







1. The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

2. As-built drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining certificate of occupancy.

3. Existing utilities will not be disturbed by proposed work.

4. The infiltration system must not be connected until construction is complete and the site is stabilized.

5. Infiltration system access ports shall be shown on the 'As-Built'.

6. All disturbed areas not indicated to be planted with groundcover or other plantings are to be seeded as lawn.

7. A temporary barrier shall completely surround the swimming pool during construction until a permanent barrier is provided. The temporary barrier shall be a minimum of 48 inches in height.

8. Exposed electrical wires shall not be nearer than 5 feet to the edge of the swimming pool

9. Exposed electrical wires shall not be less than 10 feet above ground level at the edge of the swimming pool.

10. There will be a cut from the excavation of approximately 375 cubic yards that will have to be removed from site. The soil is to be removed as per New York State requirements.

Post Construction Stormwater Management

Inspections shall be performed once per year, in the spring or early summer, to determine if the sediment deposition within the drain inlet sump needs to be removed. At that time, drain inlet cleaning shall be performed and shall consist of the removal of all accumulated sediment or leaves and their proper disposal as well as any necessary repairs to the drain inlet frame or gate.

Site Lighting General Notes

All outdoor lighting to be dark-sky compliant and to meet requirements of Section 224-72.C (4) of the Village

All lighting shall be dark-sky compliant. All lighting fixtures shall be full cutoff and shall utilize light shields as necessary to reduce light trespass and glare. Lighting shall be designed to the minimum level required for health and safety and shall not exceed five footcandles.

Key Notes

- Proposed swimming pool See enlarged pool plan and details on sheet A-0.13.
- 02) Proposed pool coping.
- (03) Proposed Stormwater chamber See detail #6.
- Proposed pool equipment to be located in the garage.
- (05) Existing 5' high metal fence and gate to be upgraded to be pool code compliant.
- (06) Proposed stone tread.
- [07] Inspection Port See detail #6 on this sheet.
- 08) Not Used
- (9) Proposed fence and gate to be pool code compliant See detail #4 on sheet A-0.13.
- Sump Box 12 x12 precast sump box with 24" sump below invert of pipe. Campbell Frame and Cover No. 2800 o.a.e.; see detail #7 on this sheet.
- (11) Stormwater Piping 6" Ø HDPE N-12 @1% Min.
- [12] Existing leader connected to existing stormwater system to remain.
- [13] Drain 12 x12 drain box
- [14] Existing foundation planting in this area not shown.

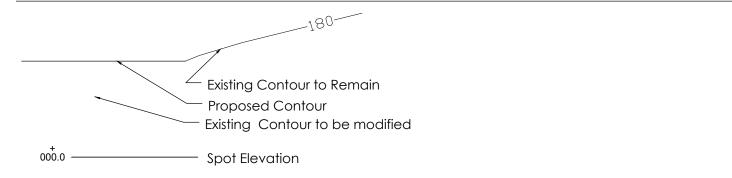
15 Existing 6' high solid fence

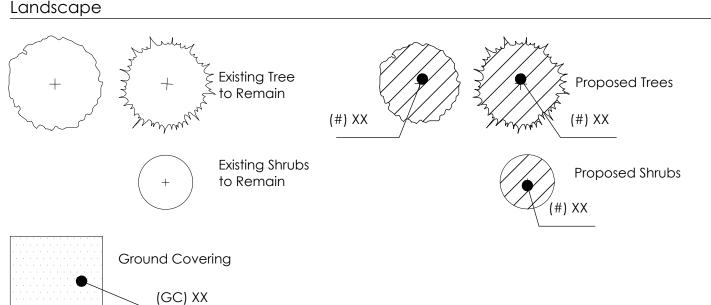
[17] Proposed retaining wall - See wall detail #2 on sheet A-0.14.

Bottom of Root Ball

[18] Proposed masonry stair - See stair detail #5 on sheet A-0.14.

Proposed and Existing Grading





Utilities Legend

	Overhead electrical wire
www	Water line
GGGG	Gas line

Plan	nt List					
Qty.	Key	Botanical Name	Common Name	Size	Size (Mature)	Remarks
Trees						
16	AB	Thuja standishii x plicata	Green Giant	10'	50'-60'	Existing
		'green giant'	Arborvitae	10	00 00	
1	PA	Picea Abies	Norway Spruce	12'	40'-60'	Existing
27	BX	Buxus 'Green Velvet'	Boxwood	3'	5'	Existing
2	Ю	Ilex Opaca	American Holly	6'	15'-30'	Existing

Kekhman / Grinberg Pool

2 Ardsley Avenue East Irvington, New York

NO	DATE	ISSUE/REVISION
	3/23/21	IPB Submission
1	4/21/21	IPB Resubmission
2	5/19/21	IPB Resubmission
3	6/21/21	IPB Resubmission
5	9/07/21	ZBA Resubmission
6	9/22/21	IPB Resubmission
<u>/</u>	10/20/21	IPB Resubmission
9	12/06/21	ARB Submission
		1

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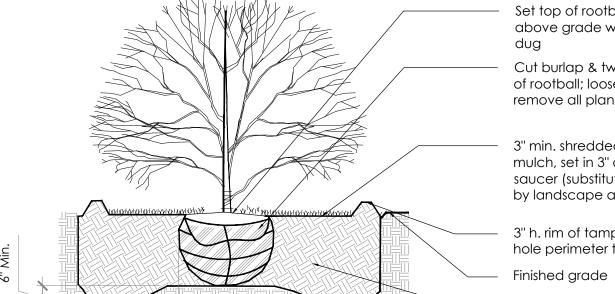


FERGUSON MALONE ARCHITECTURE ONE BRIDGE STREET **IRVINGTON NY 10533** T 914 591 5066 F 914 591 5031

Stormwater System Capacity Less than 4 ft dia. 2X Ball Dia. 1. Proposed additional impervious surface: 87 sf 4-5 Ft. Dia. 1-3/4X Ball Dia. 8 IN. Leader branch must not be

<u>Diameter</u>

1 1/2X Ball Dia. 8 IN.



1) Do not add fertilizer

to fall plantings.

Groundcover plants - set on sides to promote rooting

⁻2" Shredded cedar bark

Planting mix b (perennial mix), see specs for further

NTS

Set top of rootball at or slightly above grade where plant was Cut burlap & twine from top $\frac{1}{3}$ of rootball; loosen all ties, remove all plant tags

3" min. shredded cedar bark mulch, set in 3" deep watering saucer (substitutes approved by landscape architect only)

3" h. rim of tamped earth at hole perimeter to retain water

Planting soil mix A single area may be plantings to create one

excavated for groups of shrub continuous planting bed; bare root planting may be set in holes only 2x root spread

strands 10 ga galv. wire around trunk and 1/2" dia. reinforced black rubber hose set connection Remove burlap wrap from rootball. all metal baskets shall be cut and removed. remove all plastic burlap and cords from tree pit. Planting soil mix — Place rootball on undisturbed or compacted subgrade. provide 6" (min.) drainage to the tree pit perimeter for hole diameter

damaged or removed; Tree may be

Crown of rootball shall be set even —

pruned only at the direction of L.A.

with or slightly above adjacent

finished grade. do not bury trunk

Shredded cedar bark mulch 3"

3" deep saucer edge/dam for

Cedar tree stakes (3 per tree) w/2 -

water retention (typ.)

architect

deep, as approved by landscape

See schedule above

Root Ball Size

Over 5 ft Dia.

5. Total Proposed Capacity of Proposed System: 49.9 cf - See attached calculations. 6. Soil testing to confirm sizing and infiltration requirements will be

2. Proposed redeveloped impervious surface: 68 sf 3. Total impervious surface to be mitigated: 155sf 4. Required Retention Capacity (as per Condition1 of the Irvington Stormwater Management Requirements and Guidelines - 100yr storm, CN-pre 59, CN-post 98): (0.4F x 155sf)/2 = 31 cf performed prior to construction and results submitted to the Village.

12" min.

Finished grade Campbell Frame & Cover no. 2800 or approved equal -12" x 12" precast drain inlet & grate 6" subbase course type 2 Undisturbed earth 18''

Sump Box Detail

Proposed Architectural Site Plan

SCALE: AS NOTED DATE: 03/16/21

JOB: 20-30

12" Min.

24" Min. for perennials

Ground Covering

Evergreen Tree Planting

Stormwater Detail

N.T.S.

Inspection Port

Finished grade

duty chamber

beneath internal

pipes (for scour

protection)

Min. 95% compacted fill

Contractor 100HD heavy

Cultec no. 4800 woven

geotextile to be placed

manifold feature and

Project engineer of

ensuring that the

required bearing

soils has been met

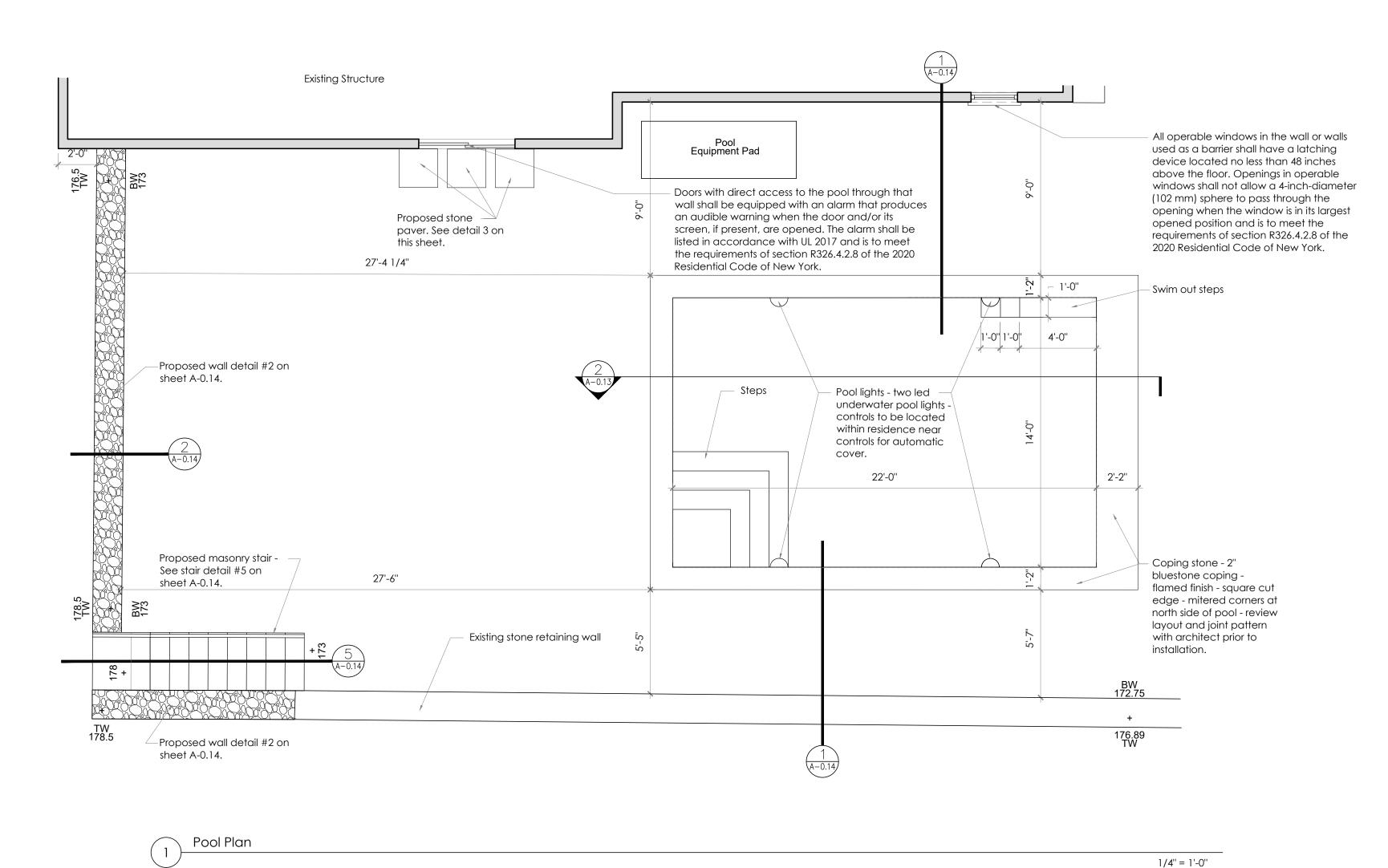
record is responsible for

capacity of sub-grade

beneath all inlet/outlet

1" - 2" washed, crushed stone

N.T.S.



Swimming Pool General Notes

Swimming pool to meet the requirements of all state and municipal codes, including Section R326 of the 2020 Residential Code of New York State, 2021 International Swimming Pool and Spa Code and the Zoning Code of the Village of Irvington.

Swimming pool to meet the design standards for in-ground swimming pools published by the national spa and pool institute, ANSI/NSP1-5

Swimming pools barrier/screening shall meet the requirements of Section 305 of the 2015 International Swimming Pool and Spa in addition to Section 310-8 (b)2 of the Irvington Zoning Code.

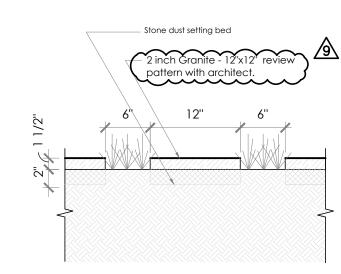
Pool cover must be capable of supporting a minimum dead weight of 200 pounds when fastened or locked in place over a swimming pool.

The pool cover must fully cover pool and hot tub when not in use and during the period of November 1 through March 31.

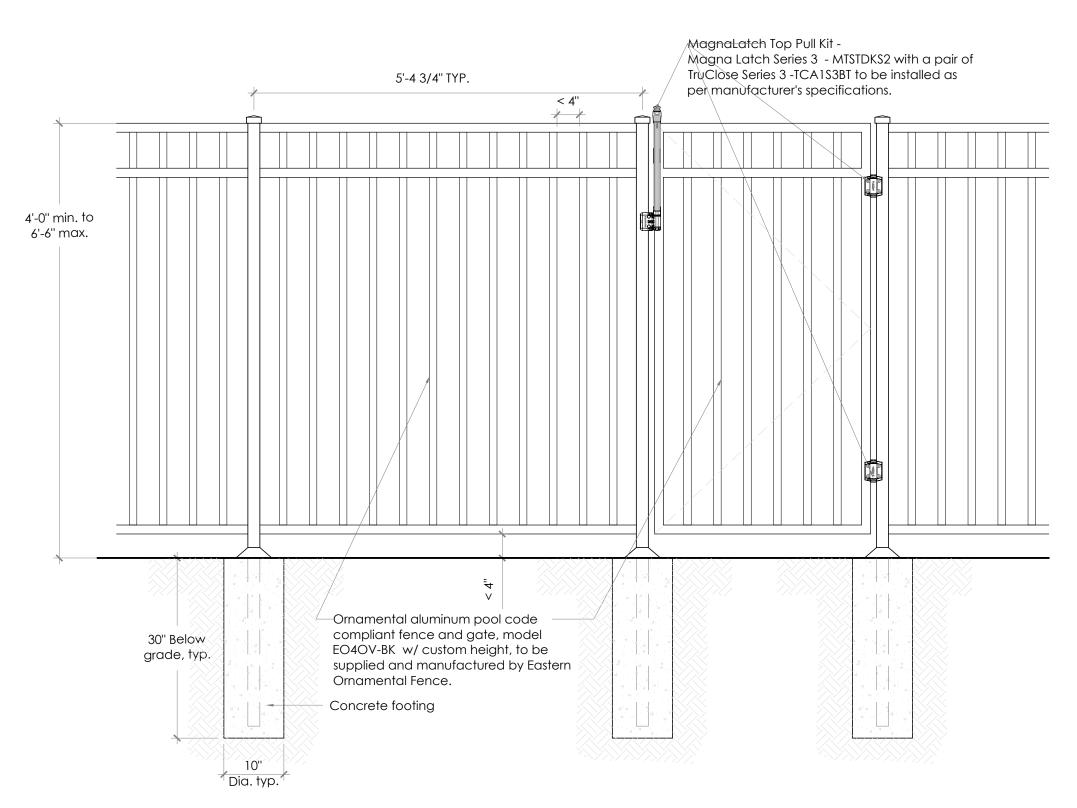
Pool to be chlorinated. The filter is to be cartridge type. The pool heater is to be 399K BTU -R406A gas heater - by Raypak

Include winter cover and pool water fill as part of pool installation scope of work.

Swimming pool is to be drained into the proposed storm water system.



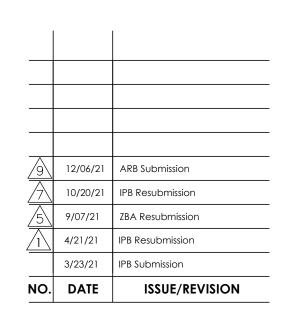




Ornamental Metal Fence-Single Gate (Pool Code Compliant)

Kekhman /
Grinberg
Swimming
Pool

2 Ardsley Avenue East Irvington, New York



In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Enlarged Proposed Pool Plans & Site Details

SCALE: AS NOTED

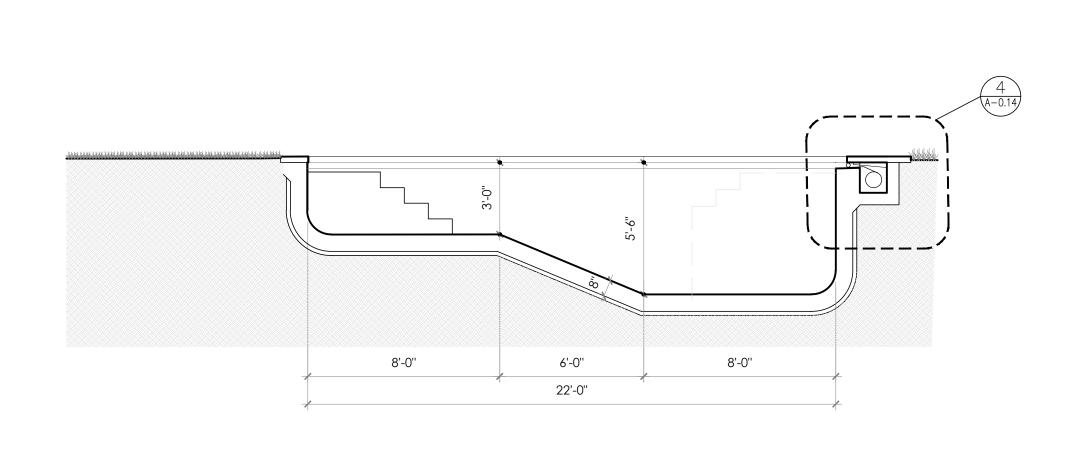
DATE: 03/16/21

JOB: 20-30

3/4" = 1'-0"

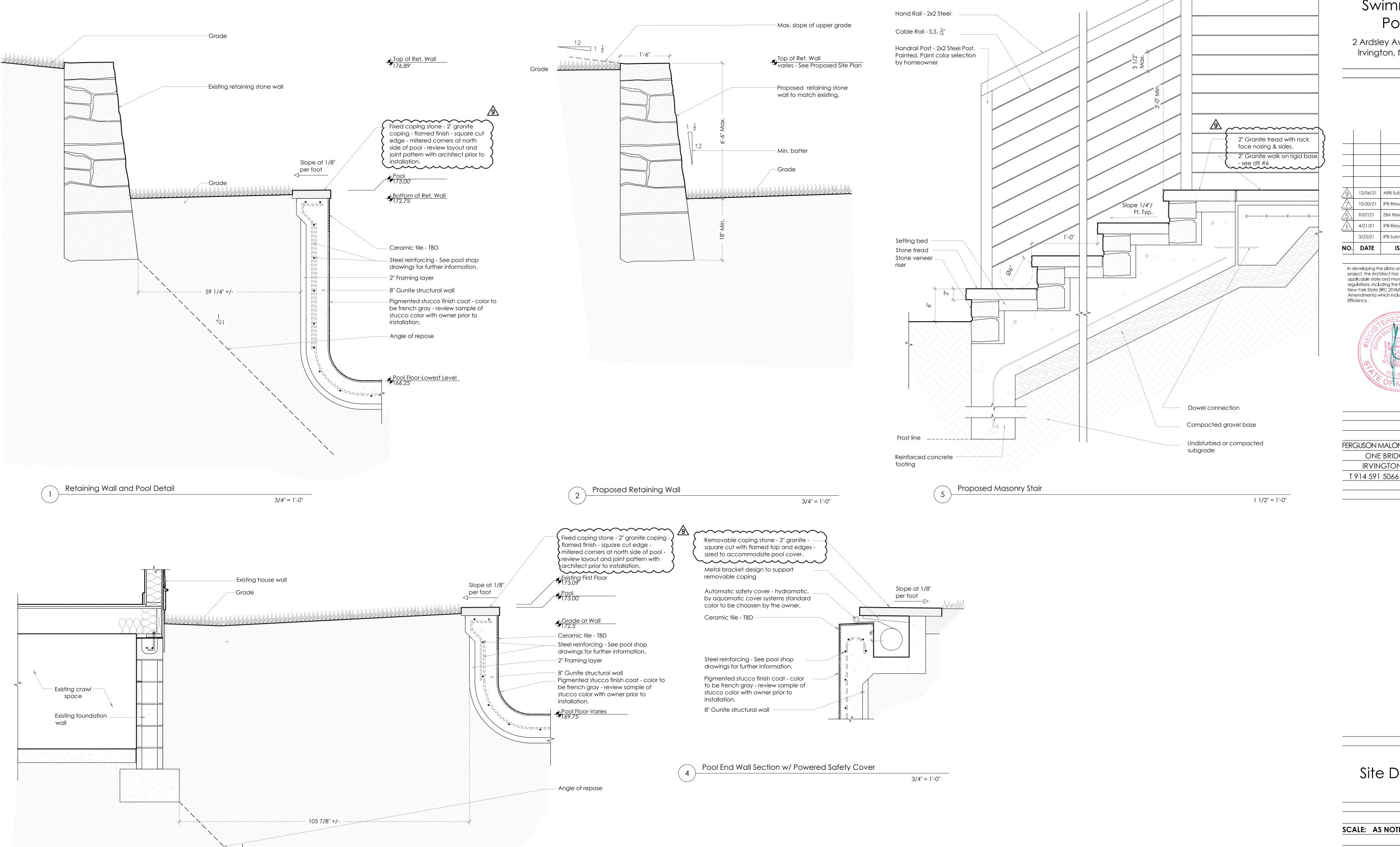
New sheet

A_O 1 3



Pool Section

1/4" = 1'-0"



Kekhman/ Grinberg Swimming Pool

2 Ardsley Avenue East Irvington, New York

9 12/06/21 ARB Submission 10/20/21 | IPB Resubmission 9/07/21 ZBA Resubmission \ 4/21/21 | IPB Resubmission 3/23/21 IPB Submission ISSUE/REVISION

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy



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Site Details

SCALE: AS NOTED

DATE: 03/16/21

JOB: 20-30

New sheet

Partial House Wall Section and Pool Detail

3/4" = 1'-0"