

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	1220	Date:	12/28/2021
Job Location:	32 OSCEOLA AVE	Parcel ID:	2.170-76-28
Property Owner:	Aram Rubinson	Property Class:	TWO FAMILY RES
Occupancy:		Zoning:	
Common Name:			

Applicant	Contractor
Aram Rubinson	King Fence
Homeowner	
32 Osceola Avelrvington NY 10533	
9172510802	9143378700

Description of Work

Type of Work:	Fence	Applicant is:	Owner
Work Requested by:		In association with:	
Cost of Work (Est.):	8000.00	Property Class:	TWO FAMILY RES

Description of Work

improve the aesthetics of the yard by extending wood lattice fencing replacing damaged chain link fence

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 32 OSCEOLA AVE

Parcel Id: 2.170-76-28

AFFIDAVIT OF APPLICANT

I **Aram Robinson** being duly sworn, depose and says: That s/he does business as: **Homeowner** with offices at: **32 Osceola Ave Irvington NY 10533** and that s/he is:

- ☒ The owner of the property described herein.
☐ The _____ of the New York Corporation _____ with offices at: _____
_____ duly authorized by resolution of the Board of Directors, and that
said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said
Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 28 day of December of 2021

Notary Public / Commission of Deeds


Applicant's Signature

OWNER'S AUTHORIZATION


I **Aram Robinson** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 9172510802 Owner email address arx920@gmail.com

- ☒ Aram Robinson I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 28 day of December of 2021


Notary Public / Commission of Deeds


Applicant's Signature

SARAH PALERMO
NOTARY PUBLIC, STATE OF NEW YORK
QUALIFIED IN WESTCHESTER COUNTY
No. 01PA6182438
COMMISSION EXPIRES FEBRUARY 25, 2024

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a licensed professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
136

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections 50

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

25

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total \$296

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)



MENU

(<https://kingfenceny.com>)



1-914-337-8700



48 Grassy Sprain Road
Yonkers, New York 10710



Mon - Fri 9:00 - 5:00
Sat - 9-1 & Sun - Closed

f (<https://www.facebook.com/King-Fence-605494382931196/>)

▶ (https://www.youtube.com/watch?v=_NoiU3MrLtk) **@**

(<https://www.instagram.com/kingfence/>)

Cedar Fences

King Fence: Westchester Fence Company

Westchester Fence Company - 914-337-8700

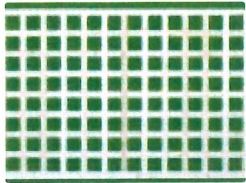
Cedar Fences

Cedar Fences

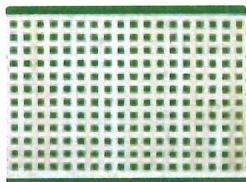
Are you looking for a Westchester fence company to help you select and install the perfect Cedar Fence on your property? You will fall in love with the Cedar Fences available to you at King Fence.

Many people feel that nothing can beat the simple elegance and homespun character of real cedar. Once you've smelled fresh-cut cedar wood, you'll never forget the fragrance. And not only does a cedar fence look beautiful, but the wood possesses a natural longevity.

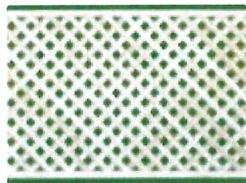
Lattice Fences



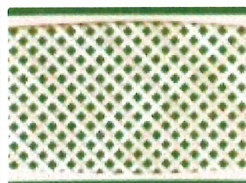
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(<https://kingfency.com/wp-content/gallery/lattice-fences/screenshot023.jpg>)

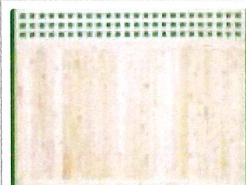


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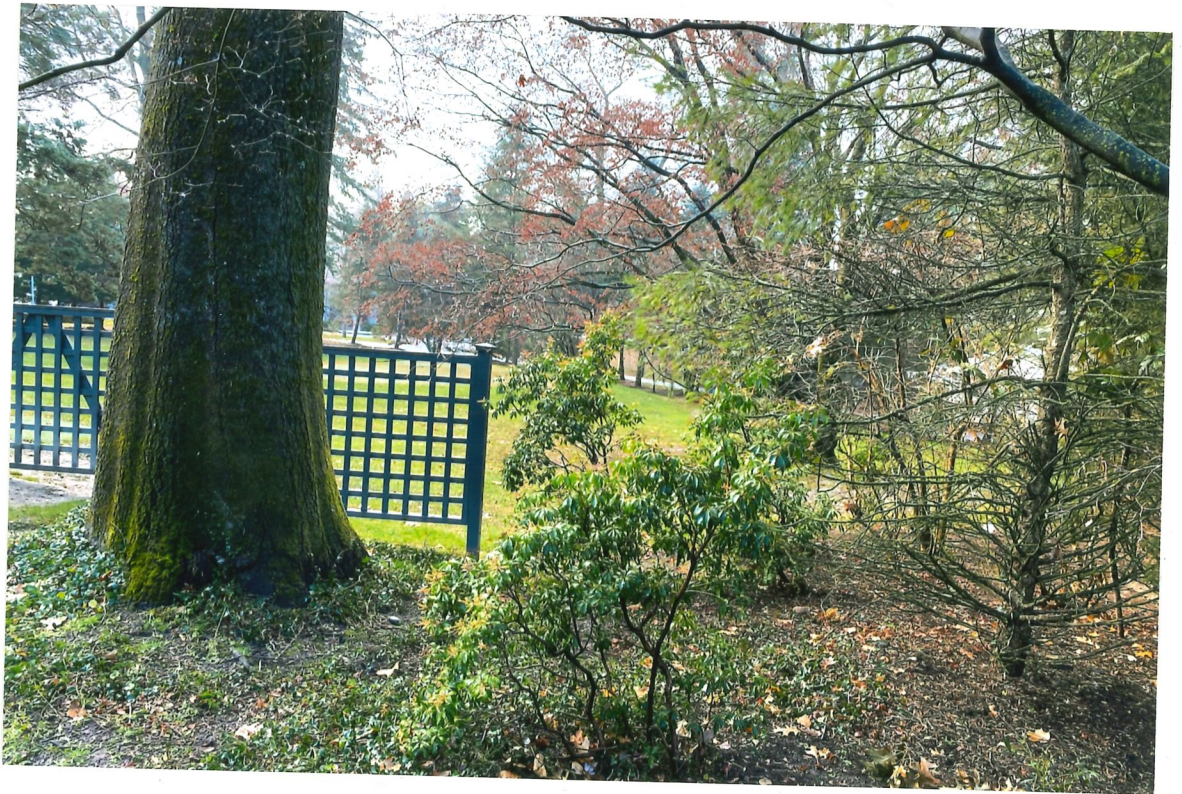


(<https://kingfency.com/wp-content/gallery/lattice-fences/screenshot025.jpg>)

Tongue & Groove – Double Sided Panels



(<https://kingfency.com/wp-content/gallery/tongue-groove-double-sided-panels/screenshot002.jpg>)

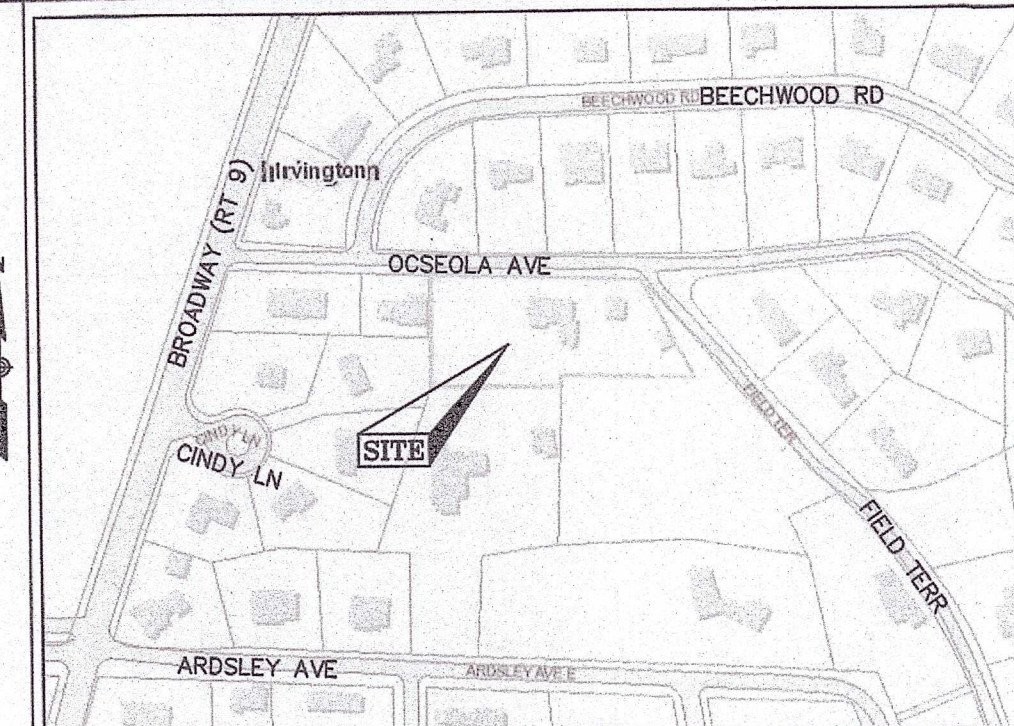








UNAUTHORIZED ALTERATION TO A MAP BEARING A LICENSED PROFESSIONAL LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW. THE CERTIFICATION IS NOT AN EXPRESS OR IMPLIED WARRANTY OR GUARANTEE. IT IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. PLAN PREPARED PURSUANT TO SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. SUBJECT TO THE FINDINGS OF AN UP TO DATE TITLE SEARCH. UNLESS THE SURVEYOR'S ORIGINAL SIGNATURE AND SEAL APPEARS RAISED ON THIS MAP, IT SHOULD NOT BE CONSIDERED A TRUE AND CORRECT COPY OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.



LOCUS MAP
(N.T.S.)

SURVEY NOTES

- THIS PLAN WAS PREPARED FROM AN ON THE GROUND FIELD SURVEY CONDUCTED BY RLS ON FEBRUARY 26, 2019 AND ON THE FOLLOWING DATUM -

MERIDIAN: CNTRL# 403000602

HORIZONTAL: ASSUMED

VERTICAL: ASSUMED

REFERENCES

STREET NAMES, R.O.W. WIDTHS, PROPERTY IDENTIFICATION NUMBERS, OWNER NAMES, EASEMENTS, AND ANY ADDITIONAL INFORMATION SHOWN HEREON ARE REFERENCED FROM THE FOLLOWING MAPS AND DOCUMENTS -

A. LAND CONVEYED TO ARKADY & DIANA SELENOW BY CNTRL# 403000602, FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON OCTOBER 2, 2000.

B. MAP 25305 ENTITLED, "FINAL SUBD. MAP PREPARED FOR HERBERT ALLEN & SUSAN KATHLEEN WILSON...", PREPARED BY WARD CARPENTER AND FILED IN THE WESTCHESTER CO. CLERKS OFFICE ON NOVEMBER 7, 1994.

- THE SURVEYED PROPERTY IS SUBJECT BUT NOT LIMITED TO THE INFORMATION SHOWN HEREON. ALL INFORMATION THAT MAY AFFECT THE QUALITY OF TITLE TO BOTH THE SUBJECT AND ADJOINING PARCELS SHOULD BE VERIFIED BY AND ACCURATE AND CURRENT TITLE REPORT.

- THE LOCATION OF THE UTILITIES AS SHOWN HEREON HAVE BEEN COMPILED FROM VISIBLE STRUCTURES AND INFORMATION OBTAINED FROM VARIOUS SOURCES. THE ACTUAL LOCATION OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHALL BE CONSIDERED APPROXIMATE AND SHALL BE VERIFIED BY THE OWNER PRIOR TO ANY CONSTRUCTION.

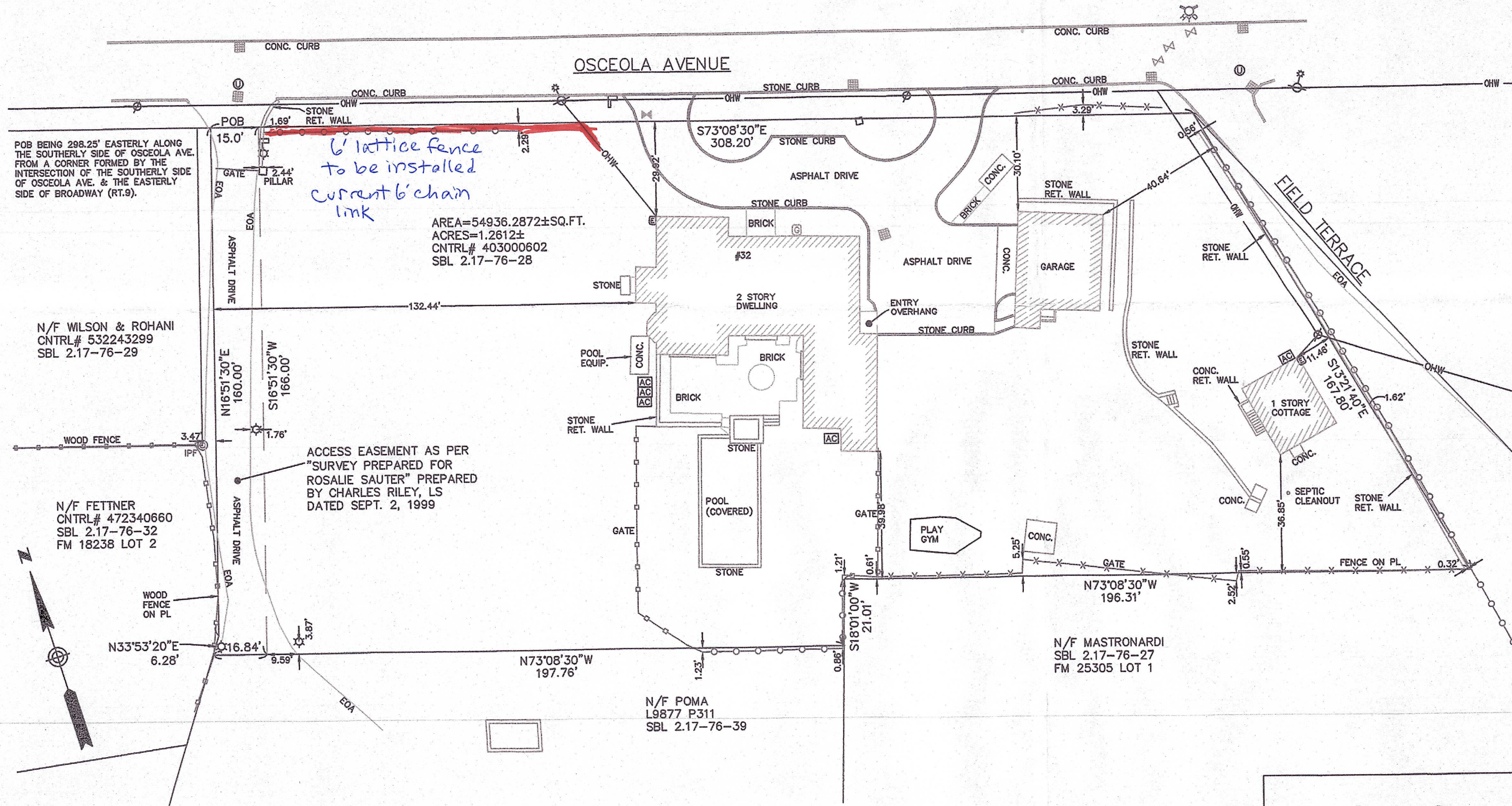
- WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT. [OR] WERE LOCATED AS MARKED AT THE TIME OF THE SURVEY.

- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

- CERTIFICATIONS INDICATED HEREON SIGNIFY THAT THIS SURVEY WAS PREPARED IN ACCORDANCE WITH THE EXISTING CODE OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS. THIS PLAN NOT VALID UNLESS ORIGINAL STAMP AND SIGNATURE OF A LICENSED SURVEYOR ARE LOCATED HEREON.

- OFFSETS OR DIMENSIONS FROM THE PROPERTY LINES TO STRUCTURES ARE SURVEY REFERENCES ONLY, AND NOT INTENDED TO MONUMENT THE PROPERTY LINES, NOR ARE THEY TO BE USED IN OR GUIDE CONSTRUCTION OF ANY TYPE..

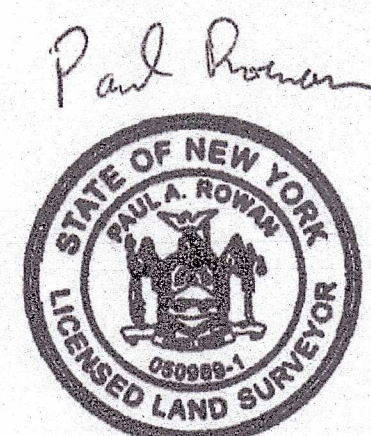
MAP CERTIFIED TO:
ARAM AND SHARI RUBINSON
CATIC TITLE INSURANCE COMPANY
CAT19-1623-W



LEGEND

- IRON PIPE
- CATCH BASIN
- ⊙ UNKNOWN MANHOLE
- ⊕ ELECTRIC METER
- ⊗ GAS METER
- ⊕ GAS VALVE
- ⊗ WATER VALVE
- ⊕ FIRE HYDRANT
- ⊗ UTILITY POLE
- ⊕ UTILITY POLE WITH LIGHT
- ⊗ AIR CONDITIONER
- ⊕ MAILBOX
- ⊗ LIGHT POLE

- PROPERTY LINE
- EASEMENT
- CHAIN LINK FENCE
- WIRE/MESH FENCE
- METAL FENCE
- OVERHEAD WIRES
- POB POINT OF BEGINNING
- PL PROPERTY LINE
- EOA EDGE OF ASPHALT
- CONC. CONCRETE
- RET. RETAINING



PROPERTY SURVEY
32 OSCEOLA AVENUE
IRVINGTON, NEW YORK
PREPARED FOR
ARAM & SHARI RUBINSON

ROWAN LAND SURVEYING, PLLC

330 OLD ALBANY POST ROAD
GARRISON, NY 10524
914 815 3986
rowanlandsurveying@outlook.com

Drawn By	PR	Date	Job No.
Surveyed By	PR	MARCH 8, 2019	019-023
		Scale	Sheet No.
		1" = 30'	1 OF 1