

February 7, 2022

Chairperson Rocco Rasulo and the
Village of Irvington Architectural Review Board
85 Main Street
Irvington, New York 10533

GEORGE ALISSANDRATOS
Associate
galissandratos@kblaw.com

Re: "Demolition" of a Contributing Building in the Historic Overlay District
20 Elm Park
Irvington, New York 10533
Parcel I.D.: 2.90-44-33 and 2.90-44-40

Dear Chairperson Rasulo and Members of the Architectural Review Board:

Keane & Beane, P.C. respectfully submits this letter on behalf of Paul T. Willingham ("Applicant"), the owner of property located at 20 Elm Park, Irvington, New York (Parcel I.D. Nos. 2.90-44-33 and 2.90-44-40) ("Property"). The Property, which is currently before the Planning Board for Site Development Plan Approval, contains an existing two-story single-family home with an attached two-car garage. The Applicant intends to "future-proof" the Property and make it more accommodating to their needs as they intend to age in place, providing a comfortable and safer access to the lower level and second floor of the house. To accomplish that goal, the Applicant proposes the following changes:

- A new primary bedroom suite on the ground floor;
- A new set of stairs to facilitate safer access to the second level;
- A new roof over the existing entrance that extends beyond the front door to provide protection from the elements when entering the house;
- Renovation to the existing first floor to accommodate handicap accessibility;
- Interior renovations that allow for a reconfigured bedroom suite on the second floor, a renovated kitchen, and lower-level improvements;
- A new driveway configuration (specifically, a circular turn-around at the end of the driveway adjacent to the garage and front walkway) to allow larger vehicles to access the house without having to park at the top of the driveway or on the

Chairperson Rasulo
Village of Irvington Architectural Review Board
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Page 2

street and then walk to the house. This is particularly important to provide proper access for an ambulance and other emergency vehicles; and

- Modifications to the existing exterior stair accessing the lower level to allow for better site drainage and correct the existing flooding conditions.

At the February 2, 2022 Planning Board meeting, it was determined that portions of the proposed work on the Property would constitute “demolition” of a contributing building in the Historic Overlay District, as defined in Village Code § 224-197. Specifically, as part of the proposed work on the Property, which is listed as a contributing building in the Historic Overlay District, the Applicant seeks to remove, relocate, and add certain windows on an exterior wall facing the Croton Aqueduct, as well as to modify a portion of an existing exterior wall which also faces the Aqueduct in order to accommodate a new set of stairs to facilitate access to the second level (“Proposed Relevant Changes”). Accordingly, this application seeking approval by the Architectural Review Board pursuant to § 224-199 is submitted herewith (“Application”).

Enclosed for your review are three (3) copies of the architectural plans for the Property prepared by Design Development, PLLC, which also contain the proposed site plan and elevations depicting the Proposed Relevant Changes, and a USB flash drive containing same. The architectural plans and elevations submitted herewith are slightly updated from those submitted to the Planning Board for the February 2, 2022 meeting. Specifically, the plans and elevations submitted with this Application incorporate certain recommendations made by the Planning Board (e.g., removal of the front and rear patios, and a 5-foot reduction in the proposed courtyard), and the elevations were reorganized so as to facilitate comparisons between the existing and proposed conditions of the Property. However, none of those changes affected the Proposed Relevant Changes (i.e., the portion of the project that is the subject of this Application). The Applicant is aware that further changes may be made in response to any potential Planning Board comments. Nevertheless, we are confident that the Proposed Relevant Changes will not be affected by any such alterations.

Given the above, the Applicant respectfully requests that the Proposed Relevant Changes be approved for the Property. We look forward to discussing the Application with the Architectural Review Board. Please feel free to contact me directly should you have any questions. If any other documents are necessary for your review, please let me know and we will provide you with same.

Chairperson Rasulo
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Page 3

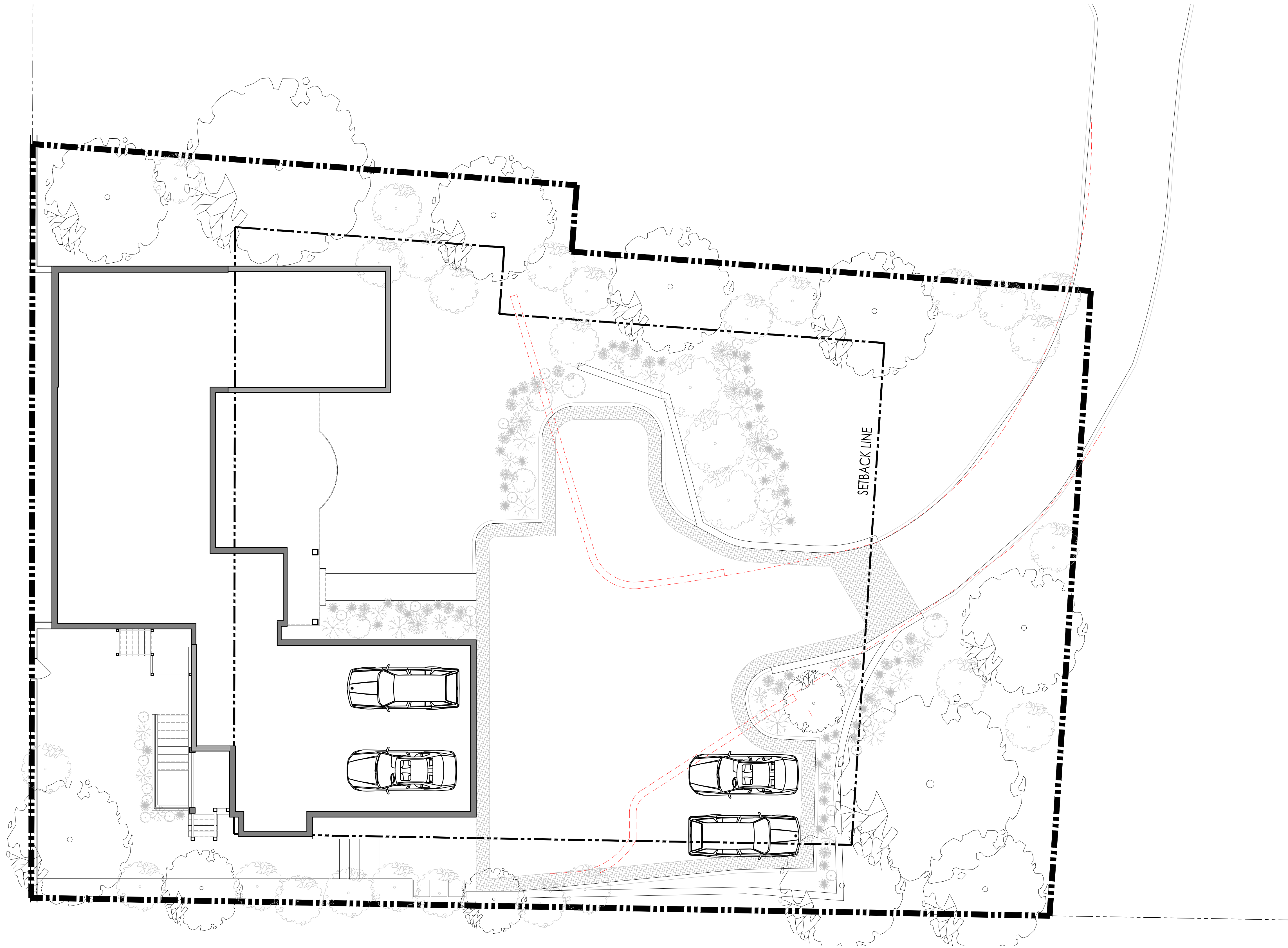
Thank you for your consideration.

Respectfully submitted,



George Alissandratos

cc: Richard L. O'Rourke, Keane & Beane, P.C.
Paul T. Willingham, Applicant
Chris Munch, Graybook, Inc.
Mark S. Schulman, R.A., Design Development, PLLC
Brian Hildenbrand, P.E., Hildenbrand Engineering, PLLC



1

PROPOSED SITE PLAN

SCALE: 1/8"=1'-0"

PROJECT :

WILLINGHAM
RESIDENCE

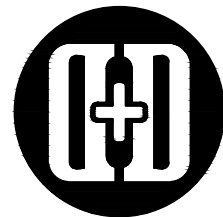
20 ELM PARK, IRVINGTON NEW YORK 10533

SITE / CIVIL ENGINEERS :

HILDENBRAND ENGINEERING, PLLC

208 Creamery Road
Hopewell Junction, NY 12533
T: 845.206.6994

ARCHITECT :



Design Development, pllc.
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914.949.4272 t.
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MARK DATE ISSUE

REVISIONS :

PROJECT NO :

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DRAWN BY :

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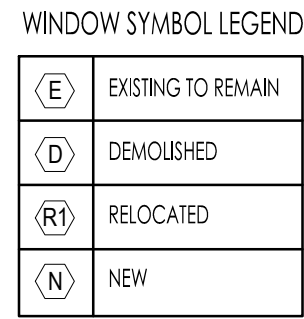
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ARCHITECTURAL SITE PLAN

DRAWING NO :

A-0

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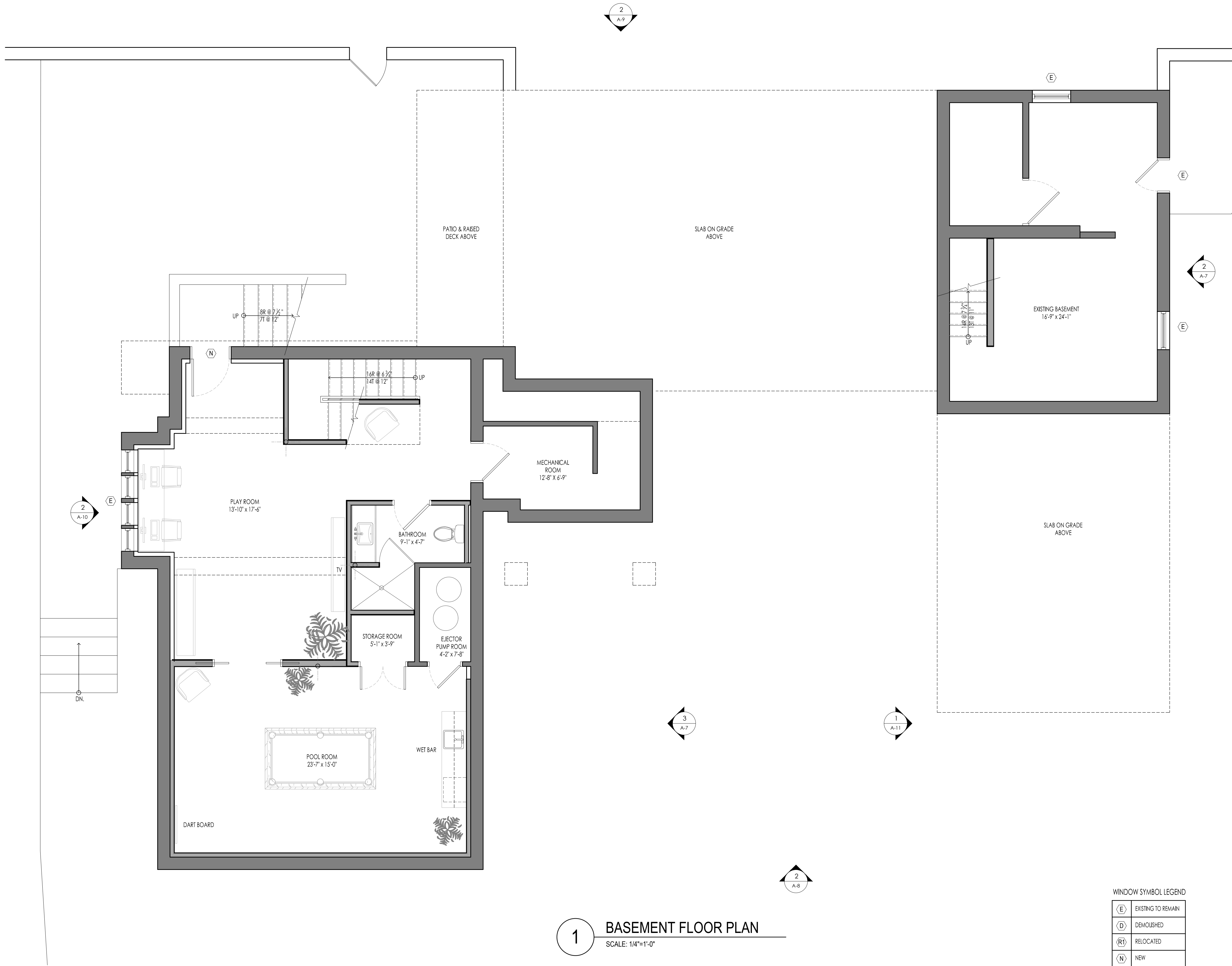
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A-1



PROJECT :

**WILLINGHAM
RESIDENCE**

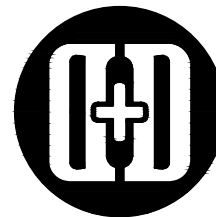
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REVISIONS :

PROJECT NO :

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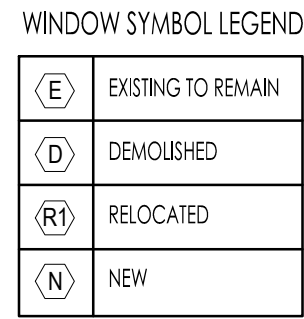
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SHEET TITLE :

BASEMENT FLOOR PLAN

DRAWING NO :

A-2



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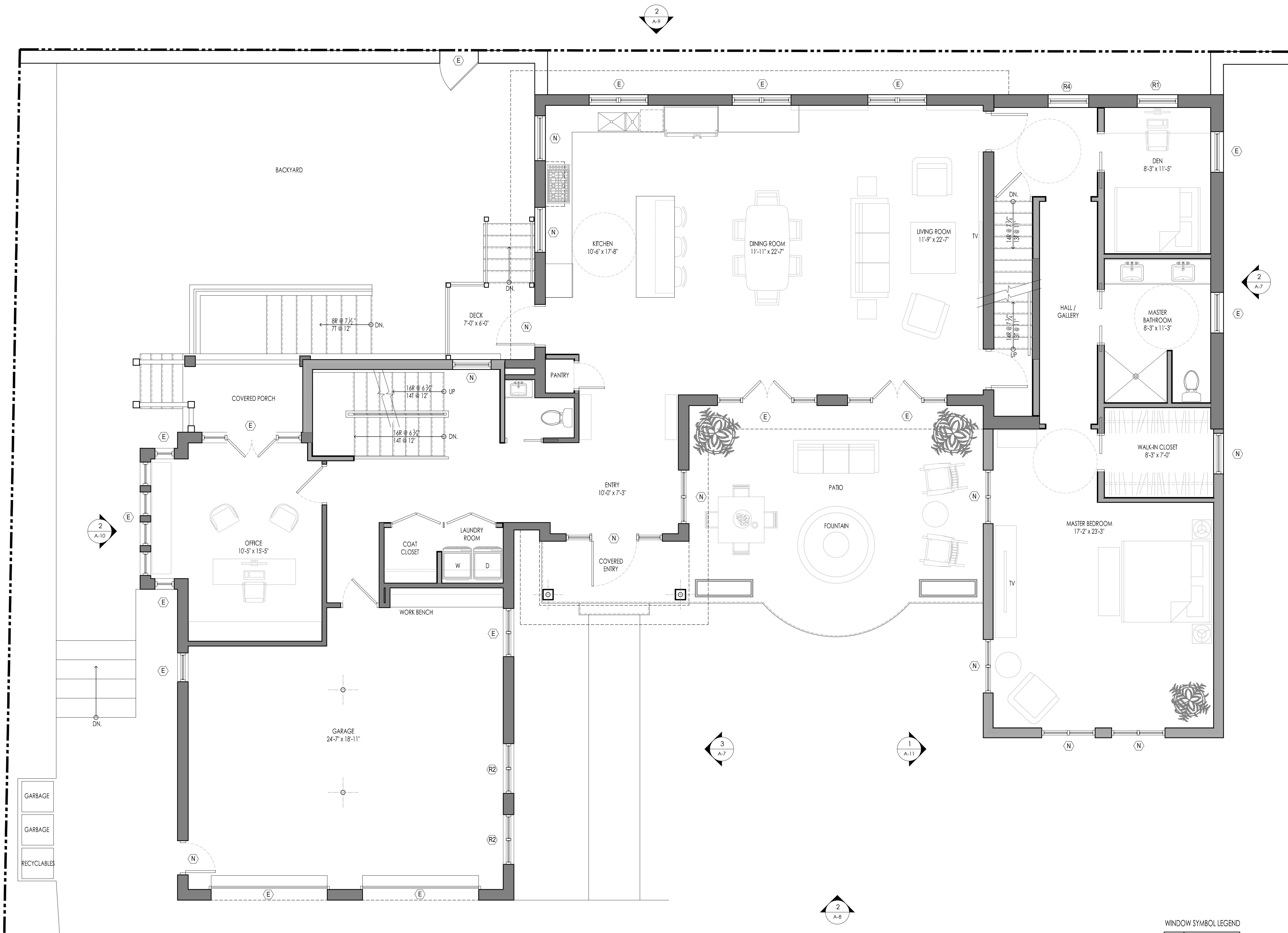
CAD DWG FILE :

DRAWN BY :

CHK'D BY :

SHEET TITLE:

A-3



1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

WINDOW SYMBOL LEGEND

(E)	EXISTING TO REMAIN
(D)	DEMOLISHED
(R)	RELOCATED
(N)	NEW

PROJECT :

**WILLINGHAM
RESIDENCE**

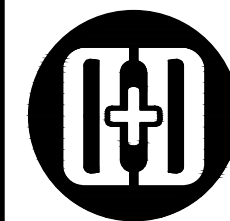
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REVISIONS :

PROJECT NO :

CAD DWG FILE : A-4 1ST FLOOR.DWG

DRAWN BY :

CHK'D BY :





SHEET TITLE :

FIRST FLOOR PLAN

DRAWING NO :

A-4



	EXISTING TO REMAIN
	DEMOLISHED
	RELOCATED
	NEW

A-5

2/6/2022 10:24 AM, G:\01 STUDIO M\EP01 - 20 ELM PARK SHEETS\ARB SUBMISSION\02.07.22\A-5 EXISTING 2ND FLOOR.DWG

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REVISIONS :

PROJECT NO :

CAD DWG FILE : A-6 2ND FLOOR.DWG

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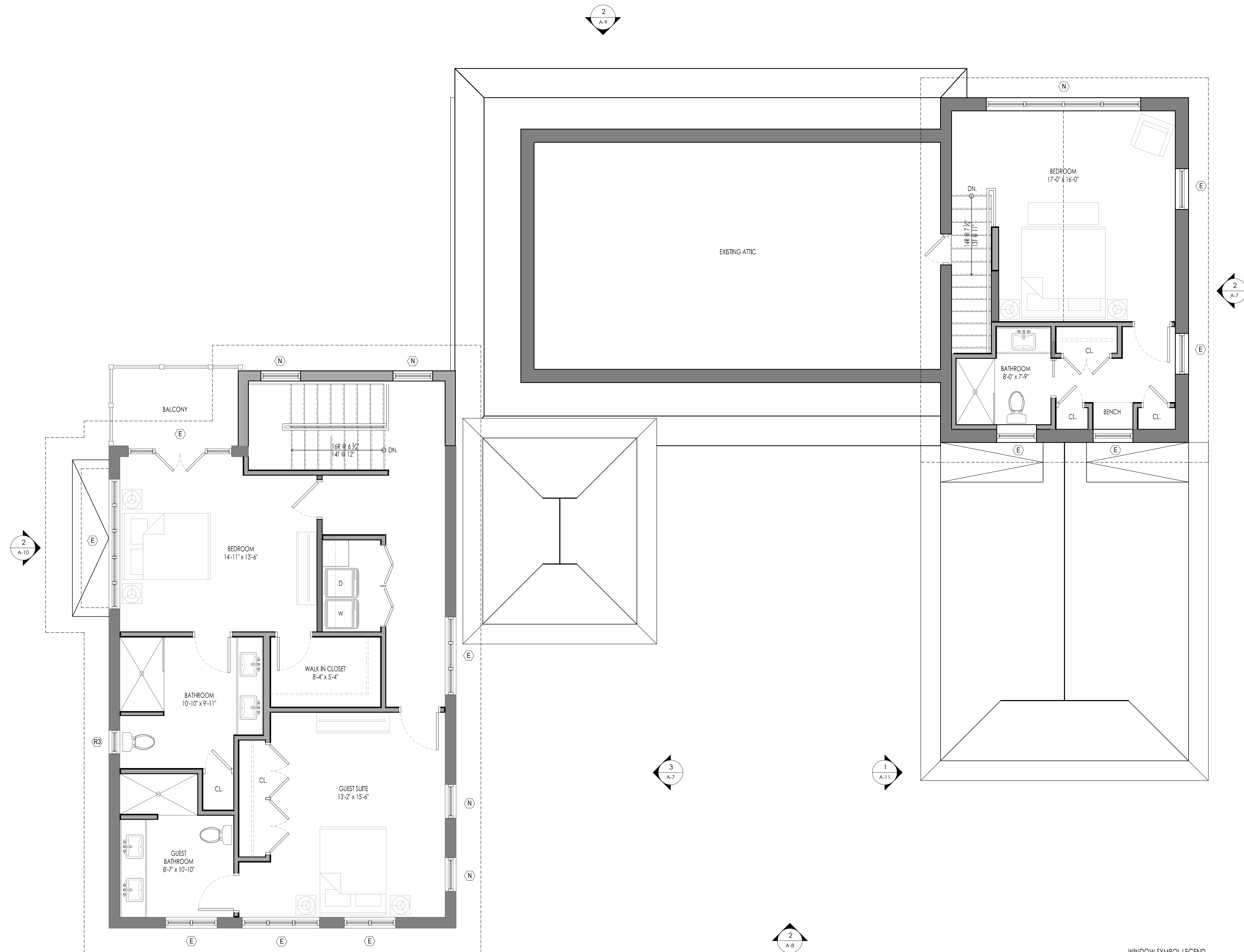
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SHEET TITLE:

SECOND FLOOR PLAN

DRAWING NO :

A-6



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SECOND FLOOR PLAN

SCALE: 1/4"=1'-0"

WINDOW SYMBOL LEGEND

E	EXISTING TO REMAIN
D	DEMOLISHED
R1	RELOCATED
N	NEW

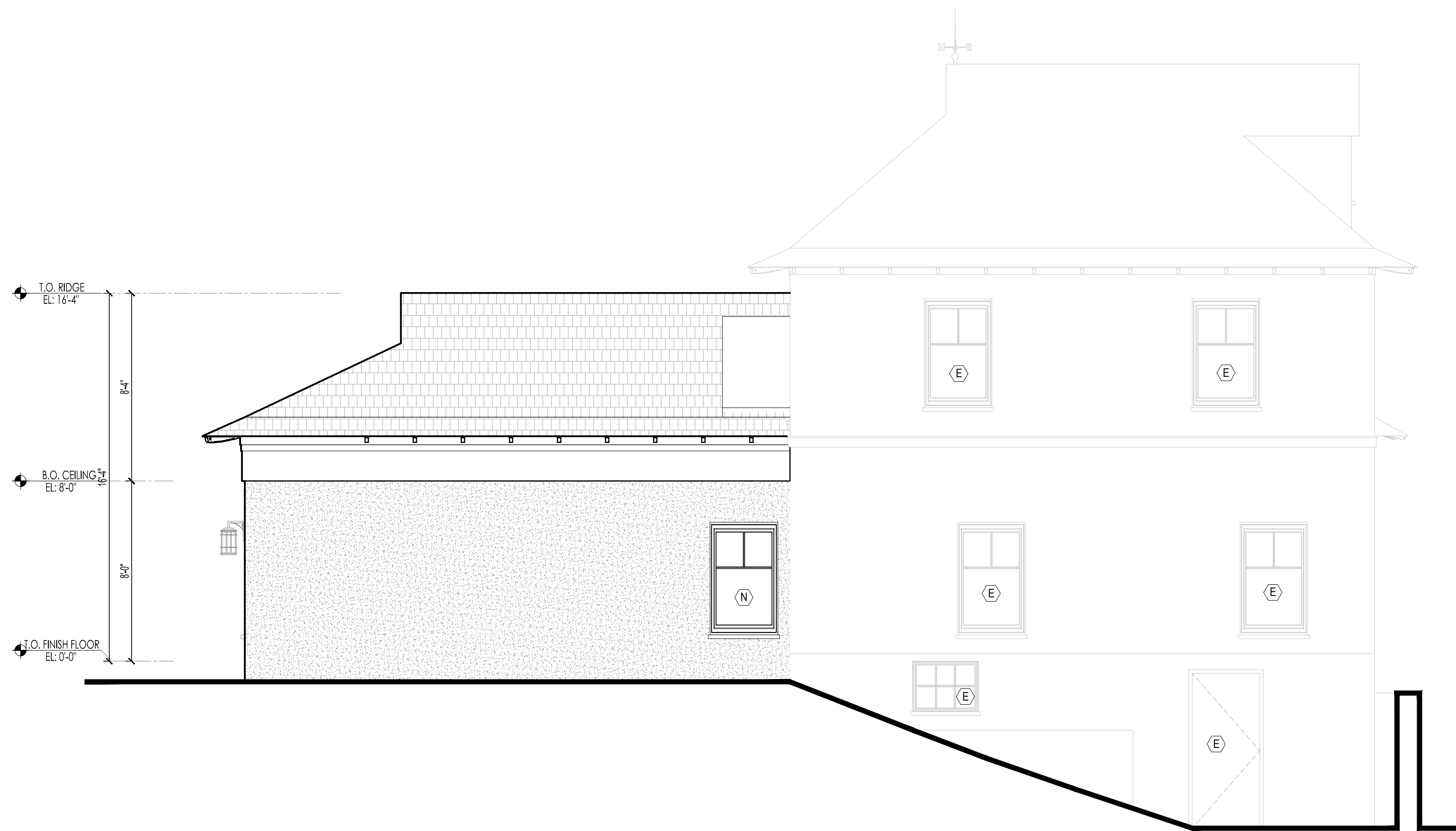




1 NORTH EXISTING ELEVATION
SCALE: 1/4"=1'-0"



2 NORTH PROPOSED ELEVATION
SCALE: 1/4"=1'-0"



3 NORTH PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

WINDOW SYMBOL LEGEND	
(E)	EXISTING TO REMAIN
(D)	DEMOLISHED
(R)	RELOCATED
(N)	NEW

PROJECT :

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RESIDENCE**

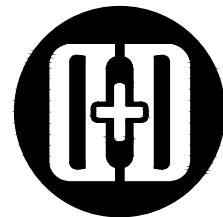
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REVISIONS :

PROJECT NO :

CAD DWG FILE : A-7 EXISTING ELEVATIONS.DWG

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SHEET TITLE :

ELEVATIONS

DRAWING NO :

A-7



1 EAST EXISTING ELEVATION
SCALE: 1/4"=1'-0"



2 EAST PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

WINDOW SYMBOL LEGEND	
(E)	EXISTING TO REMAIN
(D)	DEMOLISHED
(R)	RELOCATED
(N)	NEW

PROJECT :

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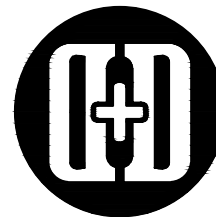
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PROJECT NO :

CAD DWG FILE : A-8 ELEVATIONS.DWG

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SHEET TITLE :

ELEVATIONS

DRAWING NO :

A-8



1 WEST EXISTING ELEVATION
SCALE: 1/4"=1'-0"



2 WEST PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

WINDOW SYMBOL LEGEND	
(E)	EXISTING TO REMAIN
(D)	DEMOLISHED
(R)	RELOCATED
(N)	NEW

PROJECT :

**WILLINGHAM
RESIDENCE**

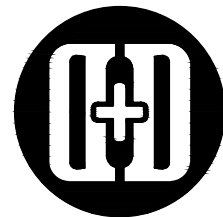
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REVISIONS :

PROJECT NO :

CAD DWG FILE : A-9 EXISTING ELEVATIONS.DWG

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SHEET TITLE :

ELEVATIONS

DRAWING NO :

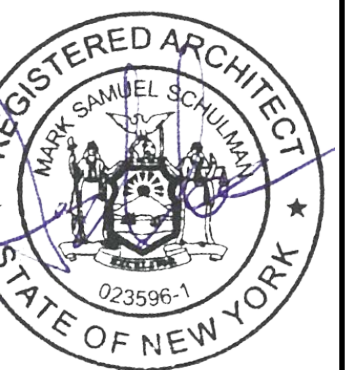
A-9

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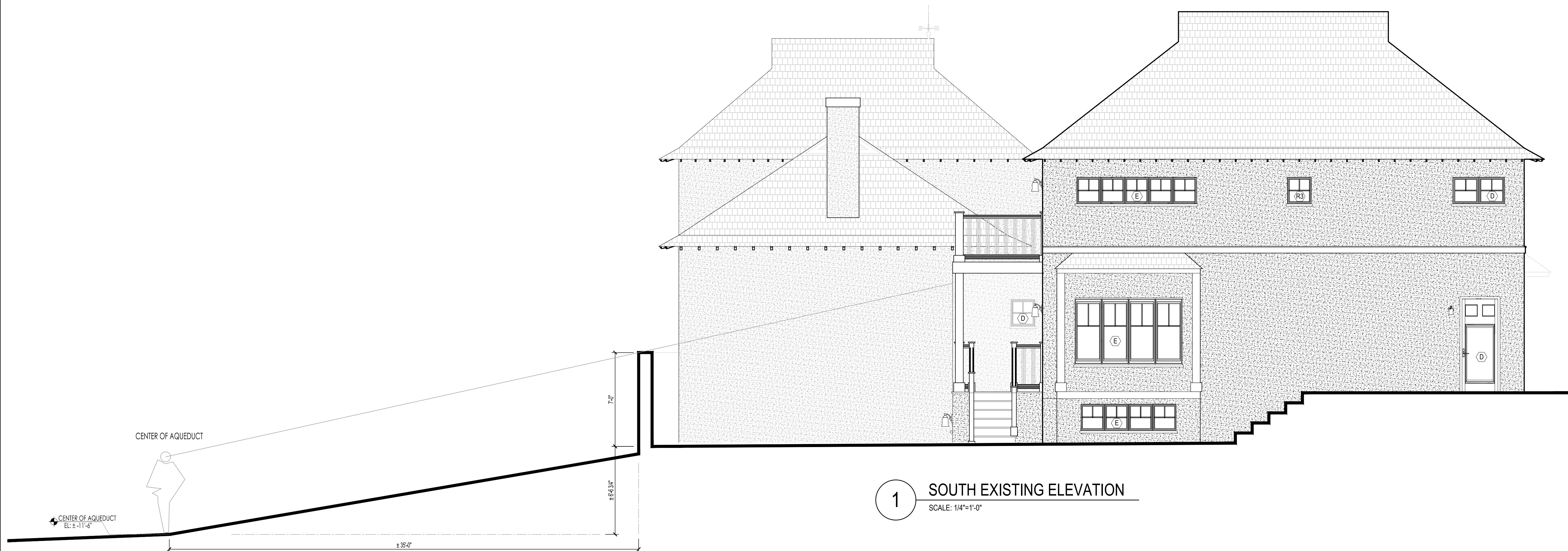
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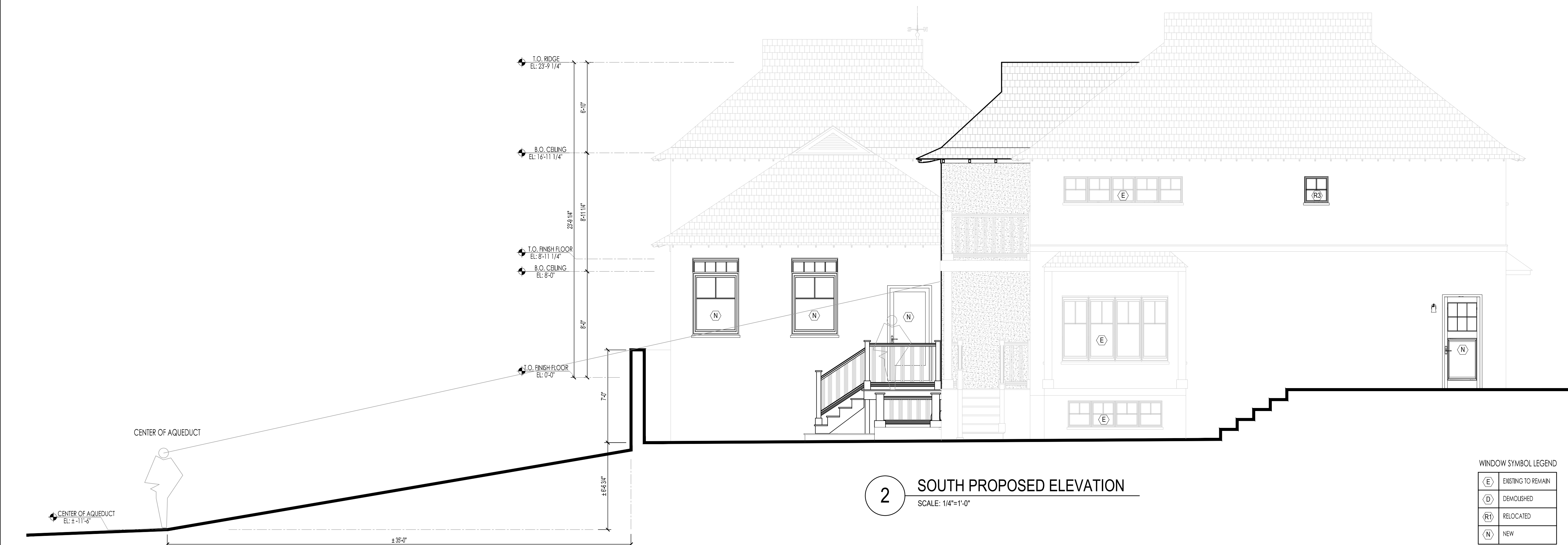
ELEVATIONS

DRAWING NO :





A-10



1 SOUTH EXISTING ELEVATION
SCALE: 1/4"=1'-0"



2 SOUTH PROPOSED ELEVATION
SCALE: 1/4"=1'-0"

	EXISTING TO REMAIN
	DEMOLISHED
	RELOCATED
	NEW

PROJECT :

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RESIDENCE**

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SITE / CIVIL ENGINEERS :

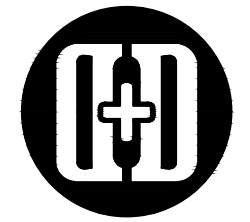
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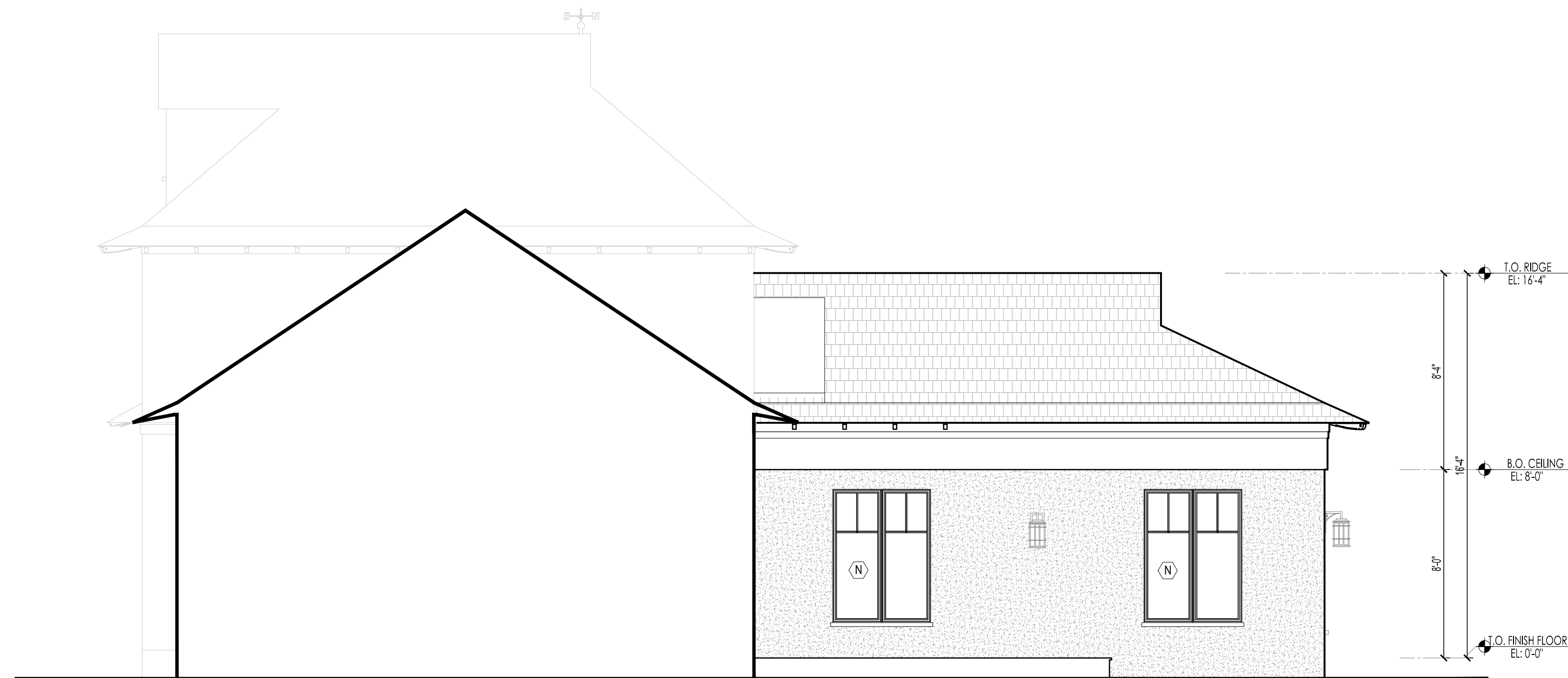
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1

SOUTH ELEVATION

SCALE: 1/4"=1'-0"

WINDOW SYMBOL LEGEND

E	EXISTING TO REMAIN
D	DEMOLISHED
R1	RELOCATED
N	NEW

REVISIONS :

PROJECT NO :

CAD DWG FILE : A-11 ELEVATIONS.DWG

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SHEET TITLE :

ELEVATIONS

DRAWING NO :

A-11

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