Trio Architecture pllc
17 Wilson Pl
Hastings on Hudson NY

For: Sharon and Chris Callahan
23 Matthiessen Park
Irvington, NY
Tax Map 2.50-17-17

To: Village of Irvington Architectural Review Board

Date: February 6. 2022

We are submitting for your review an addition of a fireplace to an existing house.

Thank you for your consideration

Yours

Kathy sullivan

Greenburgh, NY

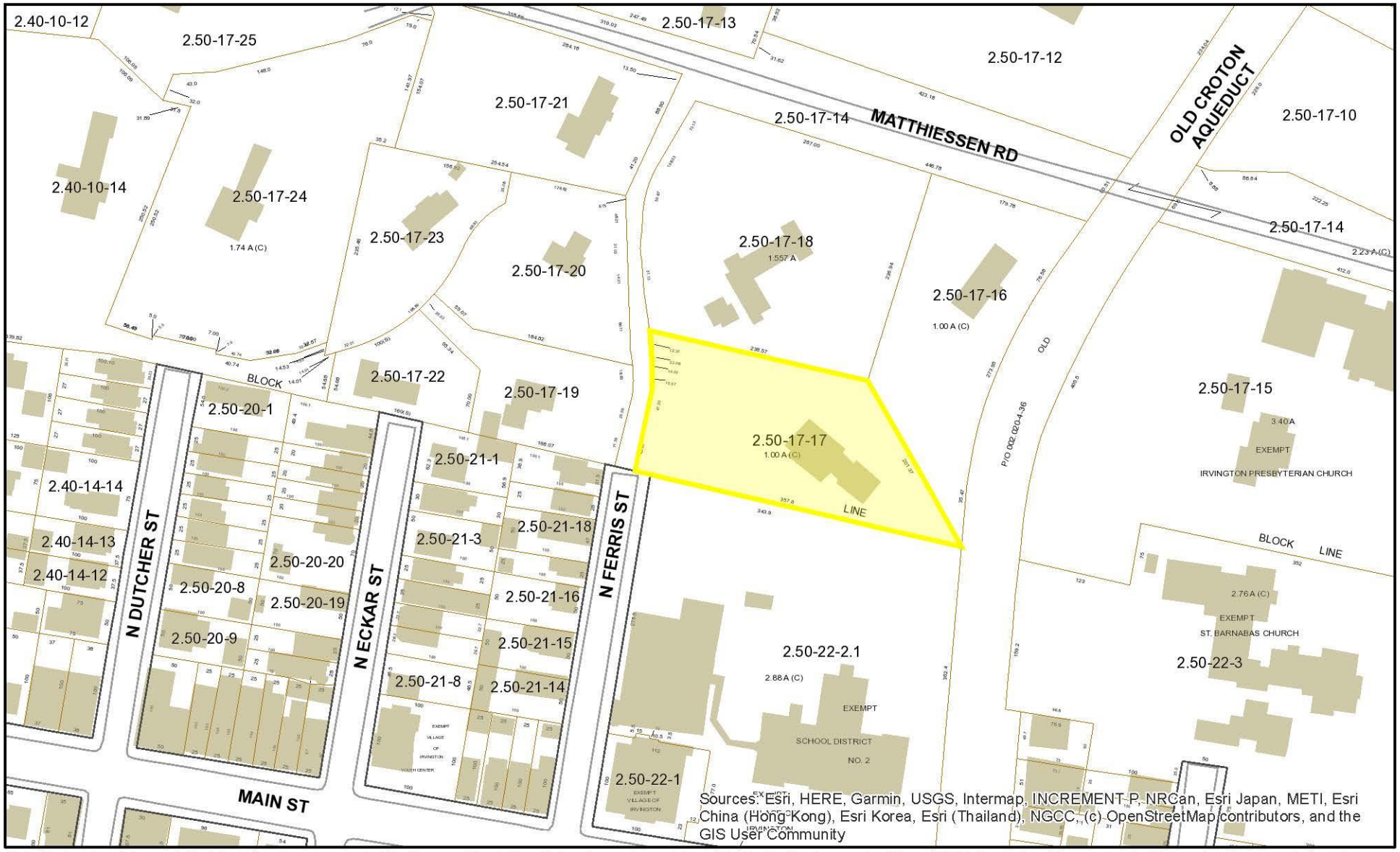
May 24, 2021

1 inch = 150 Feet

0 150 300 450

CAI Technologies
Precision Mapping Geospatial Solutions

www.cai-tech.com



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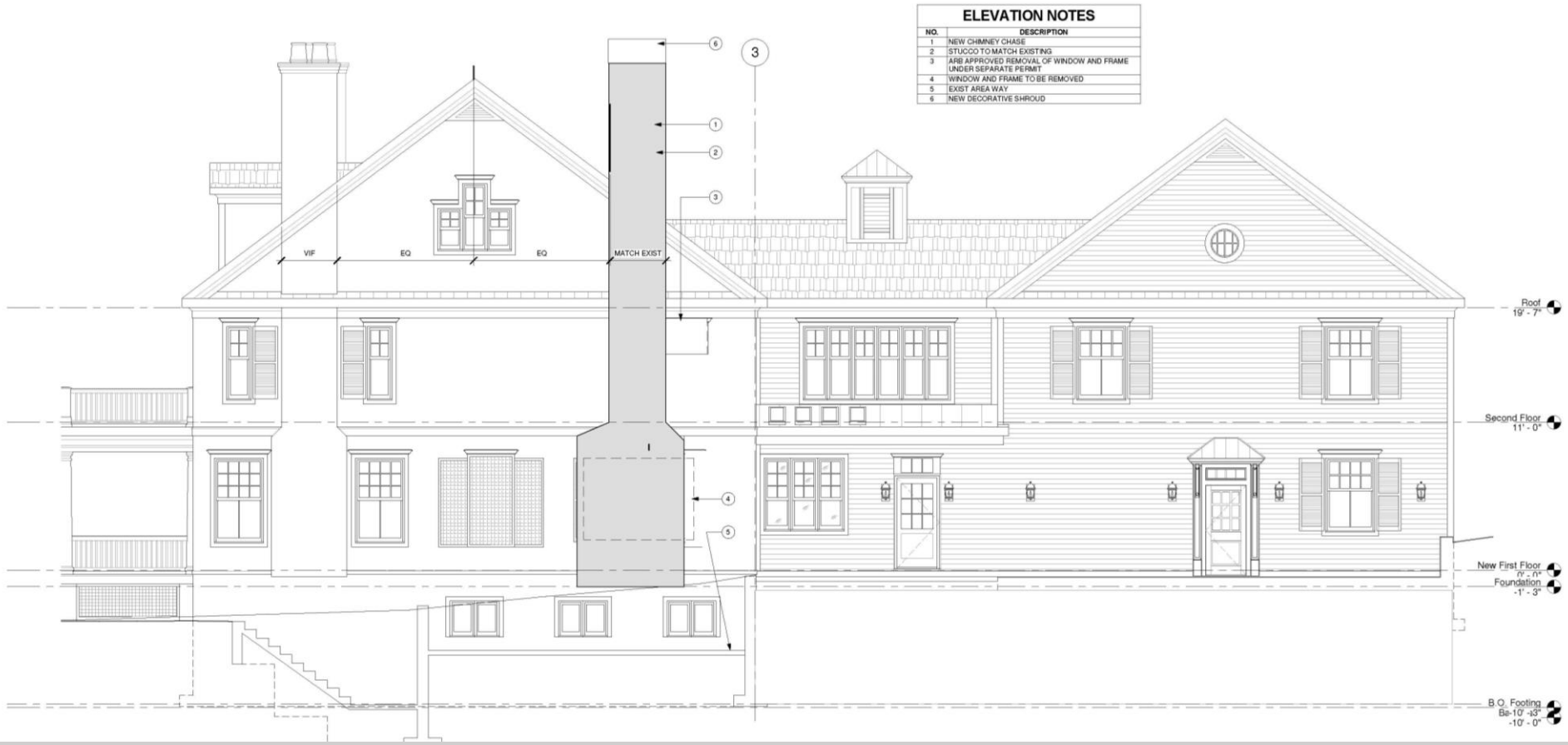
side elevation

04/26/2018

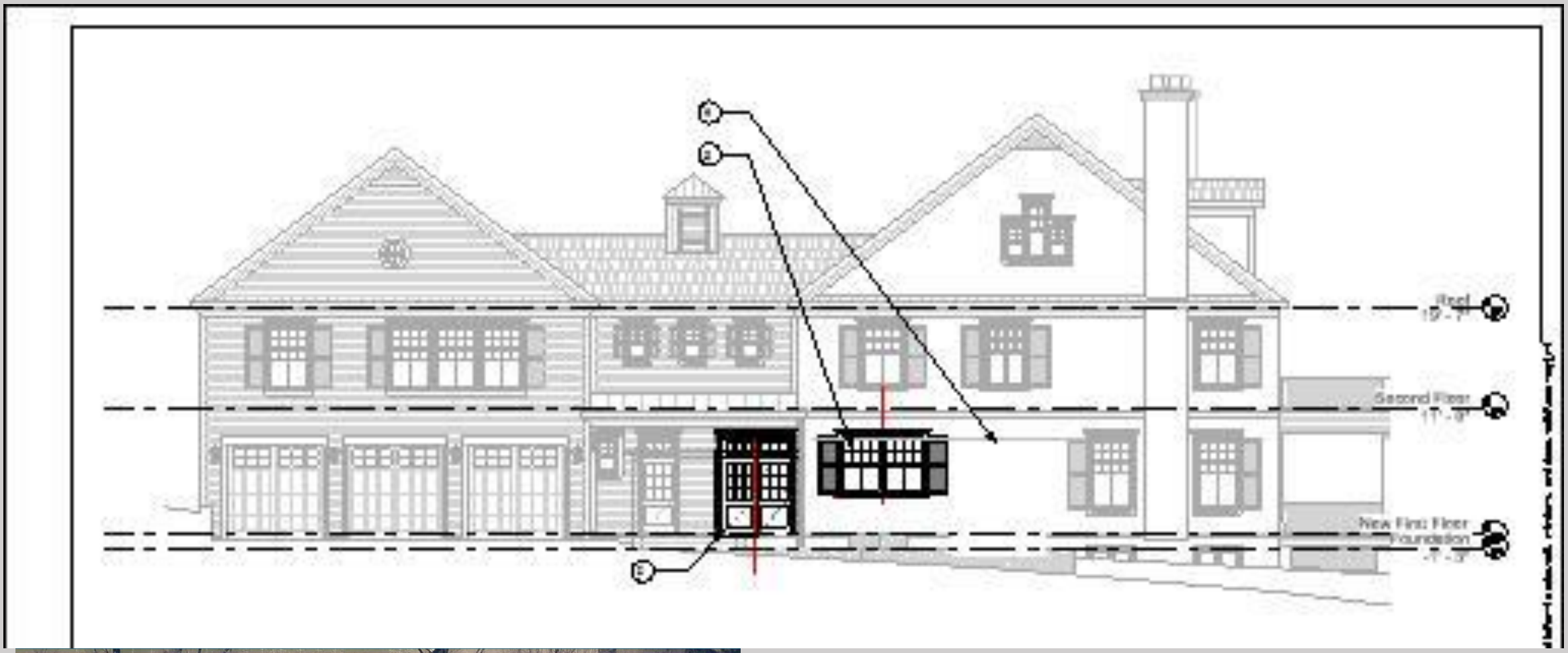
rear elevation

04/26/2018



TRIO ARCHITECTURE

23 Matthiessen Park ARB MEETING 2/22



TRIO ARCHITECTURE

23 Matthiessen Park
ARB MEETING 2/22

NOTES

GENERAL NOTES -CONSTRUCTION

A. ALL NEW WORK SHALL COMPLY WITH MATERIALS AND METHODS REQUIREMENTS THAT SPECIFY MATERIAL STANDARDS, DETAIL OF INSTALLATION AND CONNECTION, JOINTS, PENETRATIONS, AND CONTINUITY OF ANY ELEMENT, COMPONENT OF ANY ELEMENT, COMPONENT OR SYSTEM IN THE BUILDING.
B. CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE LICENSED IN THE COUNTY OF WORK TO PERFORM THE WORK REQUIRED
C. CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND CERTIFICATES.
D. CONTRACTOR TO PROVIDE INSURANCE AS REQUIRED BY LOCAL AUTHORITIES
E. THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM/HERSELF WITH EXISTING SITE CONDITIONS PRIOR TO SUBMITTING A BID. HE SHALL CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE OWNER AND ARCHITECT.
F. CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS AND FOR GENERAL CLEANING FOR THE DURATION OF THE PROJECT. UPON COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS AND IN A BROOM SWEPT CONDITION.
G. REFER TO ADDITIONAL NOTES ON PLANS FOR ADDITIONAL INFORMATION.
H. CONTRACTOR SHALL SHORE, BRACE AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS JOB CONDITIONS REQUIRE

LEAD -BASED PAINT.
A. IN ADDITION TO REQUIREMENTS OF THIS CODE, 4() CRT 745 (TITLED "LEAD-BASED PAINT POISONING PREVENTION IN CERTAIN RESIDENTIAL STRUCTURES"), A REGULATION ISSUED AND ENFORCED BY THE FEDERAL ENVIRONMENTAL PROTECTION AGENCY, APPLIES TO CERTAIN ACTIVITIES IN BUILDINGS THAT MAY CONTAIN LEAD-BASED PAINT, INCLUDING RENOVATIONS PERFORMED FOR COMPENSATION IN "TARGET HOUSING" AND "CHILD-OCCUPIED FACILITIES," "ABATEMENT" OF LEAD-BASED PAINT HAZARDS AND OTHER "LEAD-BASED PAINT ACTIVITIES"

HVAC, ELECTRICAL AND PLUMBING NOTES

ELECTRICAL NOTES
A. ALL ELECTRICAL EQUIPMENT, MATERIALS, COMPONENTS, DEVICES, FIXTURES SHALL BE LISTED FOR APPLICATION AND HAVE LABEL OF APPROVED AGENCY AND BE INSTALLED PER MANUFACTURERS
B. ELECTRICAL CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH RESPECT TO EXISTING FIELD CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES
C. ANY ALTERATION TO AN EXISTING ELECTRICAL SYSTEM RELATING TO WORK DONE IN ANY WORK AREA SHALL BE MADE IN CONFORMITY WITH THE CODE.
D. INCREASED LOADS. WHERE ALTERATIONS SUBJECT PORTIONS OF EXISTING ELECTRICAL SYSTEMS TO INCREASED LOADS, SUCH PORTIONS SHALL BE MADE TO COMPLY WITH THE CODE.
E. SERVICE TO DWELLING UNITS SHALL BE A MINIMUM OF 100 AMPERE, THREE-WIRE CAPACITY, AND SERVICE EQUIPMENT SHALL BE DEAD FRONT HAVING NO LIVE PARTS EXPOSED WHEREBY ACCIDENTAL CONTACT COULD BE MADE. TYPE “S” FUSES SHALL BE INSTALLED WHEN FUSED EQUIPMENT IS USE
F. CLEARANCE. CLEARANCE FOR ELECTRICAL SERVICE EQUIPMENT SHALL BE PROVIDED IN ACCORDANCE WITH THE CODE.
G. GROUND-FAULT AND ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION. GROUND-FAULT AND ARCFAULT CIRCUIT-INTERRUPTER PROTECTION SHALL BE PROVIDED ON NEWLY INSTALLED RECEPTACLE OUTLETS AS REQUIRED BY THE CODE.
H. ADDITIONAL ELECTRICAL REQUIREMENTS. WHEN THE WORK AREA INCLUDES ANY OF THE FOLLOWING AREAS WITHIN A DWELLING UNIT, THE REQUIREMENTS SHALL APPLY.
I. ENCLOSED AREAS. ALL ENCLOSED AREAS OTHER THAN CLOSETS, KITCHENS, BASEMENTS, GARAGES, HALLWAYS, LAUNDRY AREAS AND BATHROOMS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS, OR ONE DUPLEX RECEPTACLE OUTLET AND ONE CEILING OR WALL TYPE LIGHTING OUTLET.
J. KITCHEN AND LAUNDRY AREAS. KITCHEN AREAS SHALL HAVE A MINIMUM OF TWO DUPLEX RECEPTACLE OUTLETS. LAUNDRY AREAS SHALL HAVE A MINIMUM OF ONE DUPLEX RECEPTACLE OUTLET LOCATED NEAR THE LAUNDRY EQUIPMENT AND INSTALLED ON AN INDEPENDENT CIRCUIT.
K. BATHROOMS, HALLWAYS, STAIRWAYS, ATTACHED AND DETACHED GARAGES. AT LEAST ONE LIGHTING OUTLET SHALL BE PROVIDED IN EVERY BATHROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE AND DETACHED GARAGE WITH ELECTRIC POWER TO ILLUMINATE OUTDOOR ENTRANCES AND EXITS

PLUMBING NOTES
A. ALTERATIONS TO ANY PLUMBING SYSTEM SHALL CONFORM TO THE REQUIREMENTS FOR A NEW PLUMBING SYSTEM WITHOUT REQUIRING THE EXISTING PLUMBING SYSTEM TO COMPLY WITH ALL THE REQUIREMENTS OF THIS CODE. ALTERATIONS SHALL NOT CAUSE AN EXISTING SYSTEM TO BECOME UNSAFE, UNSANITARY OR OVERLOADED.
B. INCREASED DEMAND. WHERE ANY ALTERATION SUBJECTS ANY PORTION OF AN EXISTING PLUMBING SYSTEM TO INCREASED LOADS, SUCH PORTION SHALL BE MADE TO COMPLY WITH CHAPTERS 25 THROUGH 32.
C. DO NOT USE THESE PLUMBING MATERIALS :
  a. ALL-PURPOSE SOLVENT CEMENT, UNLESS LISTED FOR THE SPECIFIC APPLICATION;
  b. FLEXIBLE TRAPS AND TAILPIECES, UNLESS LISTED FOR THE SPECIFIC APPLICATION;
  c. SOLDER HAVING MORE THAN 0.2-PERCENT LEAD IN THE REPAIR OF POTABLE WATER SYSTEMS.
D. WHEN ANY WATER CLOSET IS REPLACED, THE REPLACEMENT WATER CLOSET SHALL COMPLY WITH SECTION P2903.2.
E. PLUMBING CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH RESPECT TO EXISTING FIELD CONDITIONS AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES.
F. PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGNOFFS.
G. PROVIDE SHIELD PLATES FOR PIPING IN WOOD FRAMING.
H. NOTCH WOOD FRAMING ONLY AS PERMITTED PER CODE.
I. PROVIDE ALL SLEEVES, SUPPORT & HANGERS FOR NEW PIPING AS REQ. FOLLOW CODE FOR SPACING & MATERIALS.
J. PROVIDE METAL PIPING. INSTALL ANTI SCALD DEVICES AS REQ.
K. SEE DWGS FOR EQUIPMENT, FIXTURES AND FITTINGS.

HVAC NOTES
A. GENERAL. ALTERATIONS TO ANY MECHANICAL SYSTEM SHALL CONFORM TO THE REQUIREMENTS OF THE CODE FOR A NEW MECHANICAL SYSTEM WITHOUT REQUIRING THE EXISTING MECHANICAL SYSTEM TO COMPLY WITH ALL THE REQUIREMENTS OF THIS CODE. ALTERATIONS SHALL NOT CAUSE AN EXISTING MECHANICAL SYSTEM TO BECOME UNSAFE, HAZARDOUS OR OVERLOADED.
B. RECONFIGURED SPACES. MECHANICALLY VENTILATED RECONFIGURED SPACES SHALL COMPLY WITH SECTION M1506 AS APPLICABLE.
C. ALL GAS-FIRED EQUIPMENT TO BE AGA OR MEA APPROVED. REQUIRED HEATING.
D. MAINTAIN ROOM TEMPERATURE OF MIN 68°F AT A POINT 3 FEET ABOVE THE FLOOR AND 2 FEET FROM EXTERIOR WALLS AT DESIGN TEMPERATURE.
E. HEATING, VENTILATING, AND AIR CONDITIONING
F. SUMMARY– EXTEND EXISTING SYSTEM FOR NEW SPACE SUBMITTALS
G. HVAC CONTRACTOR TO BALANCE SYSTEM IN RECONFIGURED SPACE
H. MATERIALS-HEATING, VENTILATING, AND AIR CONDITIONING:
I. APPLICATION: EXTEND EXISTING INSTALLATION
J. INSTALL MATERIALS AND SYSTEMS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND APPROVED SUBMITTALS. INSTALL MATERIALS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH UNIFORM APPEARANCE FOR EXPOSED WORK. COORDINATE WITH WORK OF OTHER SECTIONS. COMPLY WITH APPLICABLE REGULATIONS AND BUILDING CODE REQUIREMENTS.
K. CLEARLY LABEL AND TAG ALL COMPONENTS.
L. TEST AND BALANCE ALL SYSTEMS FOR PROPER OPERATION.
M. RESTORE DAMAGED FINISHES. CLEAN AND PROTECT WORK

GLASS IN HAZARDOUS AREAS

FOR GLAZING INDOORS, GLAZING ADJ TO DOORS, GLAZING IN WINDOWS, IN GUARD AND RAILINGS, NEAR WET AREAS, ADJ TO STAIRS AND RAMPS, ADJ TO STAIR BOTTOM LANDING,
A. EACH PANE OF GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS DEFINED IN SECTION R308.4 SHALL BE PROVIDED WITH A MANUFACTURER'S DESIGNATION SPECIFYING WHO APPLIED THE DESIGNATION, THE TYPE OF GLASS AND THE SAFETY GLAZING STANDARD WITH WHICH IT COMPLIES, AND THAT IS VISIBLE IN THE FINAL INSTALLATION.
B. SANDBLASTED, CERAMIC-FIRED, LASER ETCHED, EMBOSSED, OR BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED.
C. A LABEL SHALL BE PERMITTED IN LIEU OF THE MANUFACTURER'S DESIGNATION.

USE/LIVE LOAD PSF

UNINHABITABLE ATTICS WITHOUT STORAGE /10

UNINHABITABLE ATTICS WITH LIMITED STORAGE/20

HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS/30

BALCONIES (EXTERIOR) AND DECKS/40

FIRE ESCAPES/40

GUARDS AND HANDRAILS/200

GUARD IN-TILL COMPONENTS/50

PASSENGER VEHICLE GARAGES/50

ROOMS OTHER THAN SLEEPING ROOMS/ 40

SLEEPING ROOMS/30

STAIRS/40

ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	GWB, GYP BD	GYPSUM WALL BOARD
AFF	ABOVE FINISHED FLOOR	HGT	HEIGHT
APPL.	APPLIANCE	HM	HOLLOW METAL
BB.	BASE BOARD	HW	HOT WATER
BD.	BOARD	ICE	ICEMAKER
BET	BETWEEN	INFO	INFORMATION
BLDG	BUILDING	MAX	MAXIMUM
BLKG	BLOCKING	MBATH	MASTER BATHROOM
BM.	BEAM	MBR	MASTER BEDROOM
B.O.	BY OTHERS	MIN	MINIMUM
BR	BRICK	MTD	MOUNTED
CABT.	CABINET	MTL	METAL
C.J.	CONTROL JOINT	MW	MICROWAVE
CLG	CEILING	N.T.S.	NOT TO SCALE
CLO., CLOS.	CLOSET	0.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	OP'NG	OPENING
C.O.	CLEAN OUT	OPP.	OPPOSITE
COL	COLUMN	P-LAM	PLASTIC LAMINATE
CONC	CONCRETE	PLYWD	PLYWOOD
C.T.	CERAMIC TILE	P.T.	PRESSURE TREATED
CW	COLD WATER	PTD	PAINTED
DTLS	DETAILS	RCP	REFLECTED CEILING PLAN
DR.	DOOR	REF	REFRIGERATOR
DWGS	DRAWINGS	REQ'D	REQUIRED
DWR	DRAWER	RM.	ROOM
DW	DISHWASHER	SECT	SECTION
ELEV	ELEVATOR	SHT MTL	SHEET METAL
ENCL	ENCLOSURE	SIM	SIMILAR
EXIST., EX'G	EXISTING	SPECS	SPECIFICATIONS
F.B.O.	FURNISHED BY OWNER	STL	STEEL
FDN	FOUNDATION	S.S.	STAINLESS STEEL
FG	FIBERGLASS	TR	TRASH RECEPTACLE
FL., FLR.	FLOOR	TYP.	TYPICAL
FTG.	FOOTING	U.O.N.	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	VCT	VINYL COMPOSITION TILE
GC	GENERAL CONTRACTOR	V.I.F.	VERIFY IN FIELD
GL	GLASS	WD	WOOD

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIIGNED, THE PLANS AND SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISION OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CODE CURRENTLY IN EFFECT

THESE PLANS ARE DESIGNED IN ACCORDANCE WITH

THE 2020 NYS BUILDING CODE THE NOVEMBER 2019 ADDITION

THE PRESCRIPTIVE ENERGY REQUIREMENTS OF THE 2020 ENERGY CONSERVATION CODE OF NEW YORK STATE

AND THE NATIONAL ELECTRIC CODE NFPA 70 2019

PROJECT INFORMATION

PROPERTY INFORMATION

MUNICIPALITY: VILLAGE OF IRVINGTON
ADDRESS 23 MATTHIESSEN PARK
SBL 2.50-17-17
OWNER SHARON AND CHRIS CALLAHAN

PROJECT DESCRIPTION

- EXISTING TWO-STORY SINGLE FAMILY HOUSE
- ADDING PREFABRICATED WOOD BURRING FIREPLACE

BUILDING, PLUMBING MECHANICAL, FUEL GAS, AND ELECTRICAL CODES

BUILDING CODE, MECH CODE AND FUEL GAS CODE
2020 NYS RESIDENTIAL CODE

PLUMBING CODE
2020 PLUMBING CODE

ELECTRICAL CODE
2017 NEC NFPA 70-2017 CHAPTERS 34 TO 42

REQUIRED INSPECTIONS

R109.1.1 FOUNDATION INSPECTION.
A. INSPECTION REQUIRED AFTER POLES OR PIERS ARE SET OR TRENCHES OR BASEMENT AREAS ARE EXCAVATED AND ANY REQUIRED FORMS ERECTED AND ANY REQUIRED REINFORCING STEEL IS IN PLACE AND SUPPORTED PRIOR TO THE PLACING OF CONCRETE. THE FOUNDATION INSPECTION SHALL INCLUDE EXCAVATIONS TOR THICKENED SLABS INTENDED TOR THE SUPPORT OF BEARING WALLS, PARTITIONS STRUCTURAL SUPPORTS, OR EQUIPMENT AND SPECIAL REQUIREMENTS TOR WOOD FOUNDATIONS.

R109.1.2 PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS INSPECTION.
A. ROUGH INSPECTION OF PLUMBING, MECHANICAL, GAS AND ELECTRICAL SYSTEMS REQUIRED PRIOR TO COVERING OR CONCEALMENT, BEFORE FIXTURES OR APPLIANCES ARE SET OR INSTALLED AND PRIOR TO FRAMING INSPECTION

R109.1.4 FRAME AND MASONRY INSPECTION.
A. INSPECTION OF FRAMING AND MASONRY CONSTRUCTION SHALL BE MADE AFTER THE ROOF, MASONRY, FRAMING, FIRE STOPPING, DRAFT STOPPING AND BRACING ARE IN PLACE AND AFTER THE PLUMBING, MECHANICAL AND ELECTRICAL ROUGH INSPECTIONS ARE APPROVED.

R109.1.S FINAL INSPECTION.
A. FINAL INSPECTION SHALL BE MADE AFTER THE PERMITTED WORK IS COMPLETE AND PRIOR TO OCCUPANCY

REQUIRED PERMITS

1. BUILDING PERMIT

OCCUPANCY CLASS EXIST AND NEW RESIDENTIAL DETACHED SINGLE FAMILY UNDER 3 STORIES

CONSTRUCTION CLASS EXIST AND NEW 5B

Sheet List

Sheet Number	Sheet Name	Current Revision	Current Revision Description	Current Revision Date
A-000	COVER	2	ARB	9/7/21
A-001	Survey Fireplace	2	ARB	9/7/21
A-200	ENLARGED PLANS	2	ARB	9/7/21
A-201	FIREPLACE SECTION	2	ARB	9/7/21
A-300	EXTERIOR ELEVATION	2	ARB	9/7/21

CODE INFORMATION

CODE NOTES- EXISTING BUILDINGS

AJ301 WORK AREA
A. PART OF BUILDING WITH ALL RECONFIGURED SPACES AS INDICATED ON THE CONSTRUCTION DOCUMENTS. WORK AREA EXCLUDES OTHER PORTIONS OF BUILDING WHERE INCIDENTAL WORK ENTAILED BY THE INTENDED WORK MUST BE PERFORMED AND PORTIONS OF THE BUILDING WHERE WORK NOT INITIALLY INTENDED BY THE OWNER IS SPECIFICALLY REQUIRED BY THIS APPENDIX.

ALTERATIONS TO EXISTING BUILDINGS

ALTERATIONS - LEVEL 2
A. CONFIGURATION OF SPACE, ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

AJ502 BUILDING ELEMENTS AND MATERIALS
A. MATERIALS AND METHODS. ALL NEW WORK SHALL COMPLY WITH MATERIALS AND METHODS REQUIREMENTS OF THIS CODE.
B. REPLACEMENT DOOR AND WINDOW DIMENSIONS. MINOR REDUCTIONS IN CLEAR OPENING DIMENSIONS OF REPLACEMENT DOORS AND WINDOWS THAT RESULT FROM THE USE OF DIFFERENT MATERIALS SHALL BE ALLOWED.
C. REPLACEMENT WINDOWS. REPLACEMENT OF EMERGENCY ESCAPE AND RESCUE OPENING WINDOWS IN CONFORMANCE WITH THE CODE IN EFFECT AT THE TIME OF CONSTRUCTION DO NOT NEED TO MEET THIS CODE

AJ604 FIRE AND LIFE-SAFETY PROTECTION
A. SMOKE ALARMS- INTERCONNECTED AND HARD WIRED. IN EXISTING AREAS, PERMITTED TO BE BATTERY OPERATED AND NOT INTERCONNECTED WHEN EXISTING INTERIOR WALL OR CEILING FINISHES ARE NOT REMOVED TO EXPOSE THE STRUCTURE
B. CARBON MONOXIDE ALARMS -NOT BE REQUIRED TO BE INTERCONNECTED WHERE BATTERY OPERATED ALARMS ARE PERMITTED.

ENERGY CODE NOTES- ALTERATIONS TO EXIST BLDG

R1109.1.1 BUILDING ENVELOPE
A. REPLACEMENT FENESTRATION SHALL MEET REQUIREMENTS FOR U-FACTOR AND SHGC
B. THERMAL ENVELOPE TO MEET INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT- SEE TABLE ON SHEET A-000
C. CEILINGS WITH ATTIC SPACES.
  a. IF REQUIRED TO HAVE > R-38, CAN REDUCE TO R-30 IF EXTENDS OVER TOP PLATE. IF REQUIRED TO HAVE > R-49, CAN REDUCE TO R-38 IF EXTENDS OVER TOP PLATE.
D. CEILINGS WITHOUT ATTIC SPACES.
  a. IF REQUIRED TO HAVE > R-30, CAN REDUCE TO R-30 FOR A LIMITED AMOUNT OF SF
E. EAVE BATTLE. FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS
F. ACCESS HATCHES AND DOORS.
  a. FROM CONDITIONED SPACES TO UNCONDITIONED SPACES SUCH AS ATTICS AND CRAWL SPACES SHALL BE WEATHER-STRIPPED AND INSULATED TO A LEVEL EQUIVALENT TO INSULATION ON SURROUNDING SURFACES. A WOOD-FRAMED OR EQUIVALENT BATTLE OR RETAINER IS REQUIRED TO BE PROVIDED WHEN LOOSE-FILL INSULATION IS INSTALLED,

G. WALLS WITH PARTIAL STRUCTURAL SHEATHING.
  a. IF REQUIRE CONTINUOUS INSULATION ON EXTERIOR WALLS AND STRUCTURAL SHEATHING COVERS 40 PERCENT OR LESS OF GROSS AREA OF ALL EXTERIOR WALLS, CONTINUOUS INSULATION R-VALUE CAN BE REDUCED BY AN AMOUNT NECESSARY TO RESULT IN A CONSISTENT TOTAL SHEATHING THICKNESS BUT NOT MORE THAN R-3, ON AREAS OF WALLS COVERED BY STRUCTURAL SHEATHING
H. FLOORS. INSULATION
  a. TO MAINTAIN PERMANENT CONTACT WITH UNDERSIDE OF SUBFLOOR DECKING. EXCEPTION FOR CONTINUOUS INSULATION
I. BASEMENT WALLS.
  a. SHALL BE INSULATED FROM TOP OF BASEMENT WALL DOWN TO 10 FEET BELOW GRADE OR TO BASEMENT FLOOR, WHICHEVER IS LESS. WALLS ASSOCIATED WITH UNCONDITIONED BASEMENTS SHALL MEET THIS REQUIREMENT UNLESS FLOOR OVERHEAD IS INSULATED.
J. SLAB-ON-GRADE
  a. FLOORS WITH A FLOOR SURFACE LESS THAN 12 INCHES BELOW GRADE SHALL BE INSULATED IN ACCORDANCE WITH TABLE N1102.12. SLAB-EDGE INSULATION IS NOT REQUIRED IN JURISDICTIONS DESIGNATED BY BUILDING OFFICIAL AS HAVING A VERY HEAVY TERMITE INFESTATION.
K. CRAWL SPACE WALLS.
  a. ALTERNATIVE TO INSULATING FLOORS OVER CRAWL SPACES, INSULATION CRAWL SPACE WALLS IF CRAWL SPACE NOT VENTED TO OUTSIDE. COVER EXPOSED EARTH IN UNVENTED CRAWL SPACE WITH A CONTINUOUS CLASS I VAPOR RETARDER
L. MASONRY VENEER.
  a. NO INSULATION REQUIRED ON HORIZONTAL PORTION OF FOUNDATION SUPPORTING MASONRY VENEER.
M. FENESTRATION AIR LEAKAGE.
  a. WINDOWS, SKYLIGHTS AND SLIDING GLASS MAXIMUM AIR INFILTRATION RATE OF NO MORE THAN 0.3 CTM PER SQUARE FOOT (AND SWINGING DOORS NO MORE THAN 0.5 CTM PER SQUARE FOOT EXCEPTION: SITE-BUILT WINDOWS, SKYLIGHTS AND DOORS.
N. RECESSED LUMINARIES
  a. INSTALLED IN BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AIR LEAKAGE RATE NOT MORE THAN 2.0 CTM ALL RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN HOUSING AND INTERIOR WALL OR CEILING COVERING.

VILLAGE OF IRVINGTON
BUILDING DEPARTMENT
85 MAIN STREET IRVINGTON, NY 10533
(914) 591-8335

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 5/12/2020)

Location: VILLAGE OF IRVINGTON **Zip Code:** 10533

Ground Snow Load	Wind Design: Speed (mph)	Wind Design: Topo Effects	Wind Design: Special Wind Region	Wind Design: Wind-borne Debris Zone	Seismic Design Category (RCNY Only)	Subject to Damage From: Weathering	Subject to Damage From: Frost Line Depth	Subject to Damage From: Termite	Winter Design Temp	Ice Barrier Underlayment Reqd	Flood Hazards	Air Freezing Index	Mean Annual Temp
30	*Special Wind Region	No	Yes	No	C	Severe	42"	Moderate to Heavy	7	YES	**FIRM COMMUNITY-PANEL MAP# 36119C0261F EFFECTIVE DATE. 9-28-2007	1500 or less	51.6

* 115 MPH to 120 MPH, The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section
** State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the village website (www.irvingtonny.gov)

MANUAL J DESIGN CRITERIA

Elevation	Latitude	Winter heating	Summer cooling	Altitude correction factor	Indoor design temperature	Design temperature cooling	Heating temperature difference
179	41	7	87	1	68	75	61
Cooling temperature difference	**Wind velocity heating**	**Wind velocity cooling**	**Coincident wet bulb**	**Daily range**	**Winter humidity**	**Summer humidity**	
12	20.4	7.5	72	M	30	55	

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENSTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.32	0.55	0.4	49	20 or 13+5	8/13	19	10/13	10, 2 FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTORS										
4A	0.32	0.55		0.026	0.06	0.098	0. 047	0.059		0.055

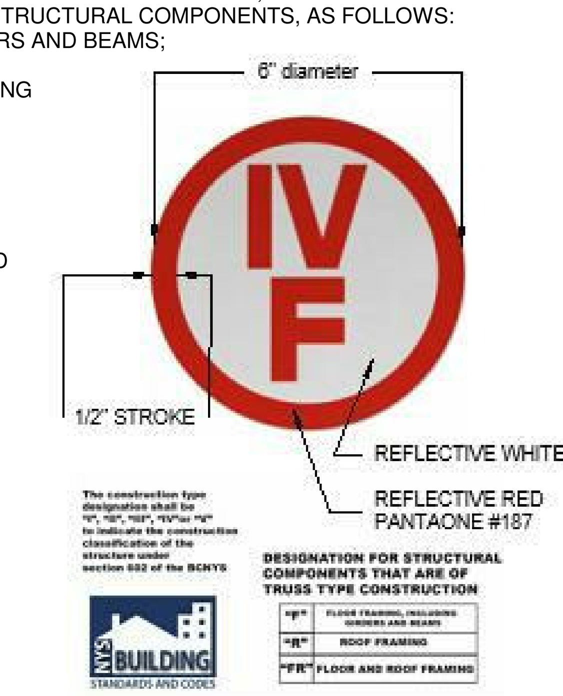
2020-05-12 CLIMATIC AND GEOGRPHIC DESIGN CRITERIA (IRVINGTON NY)
2020-05-12 MANUAL "J" DESIGN CRITERIA (IRVINGTON NY)
2020-05-12 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONET (IRVINGTON NY)

TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION
WHEN TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION, AND/OR TIMBER CONSTRUCTION IS USED, SIGN TO AFFIXED TO THE ELECTRIC BOX AT EXTERIOR OF THE RESIDENTIAL STRUCTURE; OR IN A LOCATION APPROVED BY THE AUTHORITY HAVING JURISDICTION AS A LOCATION LIKELY TO BE SEEN BY FIREFIGHTERS/FIRST RESPONDERS RESPONDING TO A FIRE OR OTHER EMERGENCY
SIGN OR SYMBOL
IF THE RESIDENTIAL STRUCTURE IS SUBJECT TO THE PROVISIONS OF THE IRC, THE CONSTRUCTION TYPE DESIGNATION SHALL BE “V”; IF THE RESIDENTIAL STRUCTURE IS SUBJECT TO THE PROVISIONS OF THE IBC, THE CONSTRUCTION TYPE DESIGNATION SHALL BE “I”, “II”, “III”, “IV” OR “V”
TO INDICATE THE LOCATIONS(S) CONTAINING TRUSS TYPE CONSTRUCTION, PRE-ENGINEERED WOOD CONSTRUCTION AND/OR TIMBER CONSTRUCTION STRUCTURAL COMPONENTS, AS FOLLOWS:
F SHALL MEAN FLOOR FRAMING, INCLUDING GIRDERS AND BEAMS;
R SHALL MEAN ROOF FRAMING; AND
FR SHALL MEAN FLOOR FRAMING AND ROOF FRAMING

USE/LIVE LOAD PSF

UNINHABITABLE ATTICS WITHOUT STORAGE /10
UNINHABITABLE ATTICS WITH LIMITED STORAGE/20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS/30

BALCONIES (EXTERIOR) AND DECKS/40
FIRE ESCAPES/40
GUARDS AND HANDRAILS/200
GUARD IN-TILL COMPONENTS/50
PASSENGER VEHICLE GARAGES/50
ROOMS OTHER THAN SLEEPING ROOMS/ 40
SLEEPING ROOMS/30
STAIRS/40



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architecture, pllc
17 Wilson Pl Hastings on Hudson NY
914 907 2511

No.	Description	Date
1	Planning Board	8/18/21
2	ARB	9/7/21

23 MATTHIESSEN PARK
IRVINGTON NY

RENOVATIONS

SHARON AND CHRIS CALLAHAN

Project Status

COVER

Scale 12" = 1'-0"

Date 5/28/21

A-000

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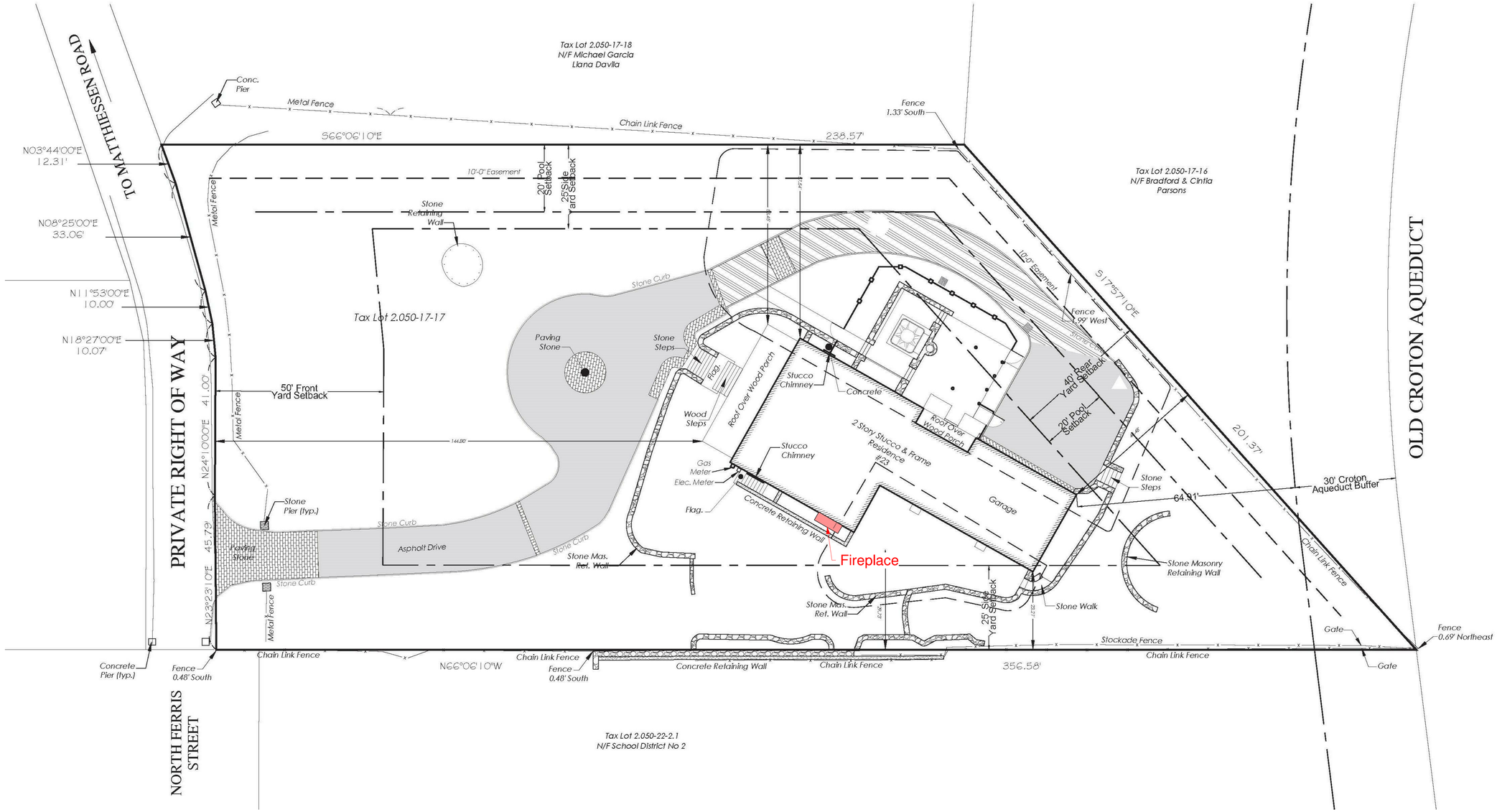

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No.	Description	Date
1	Planning Board	8/19/21
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RENOVATIONS

SHARON AND CHRIS CALLAHAN

Project Status

Survey Fireplace

Scale 1/16" = 1'-0"

Date 5/28/21

A-001

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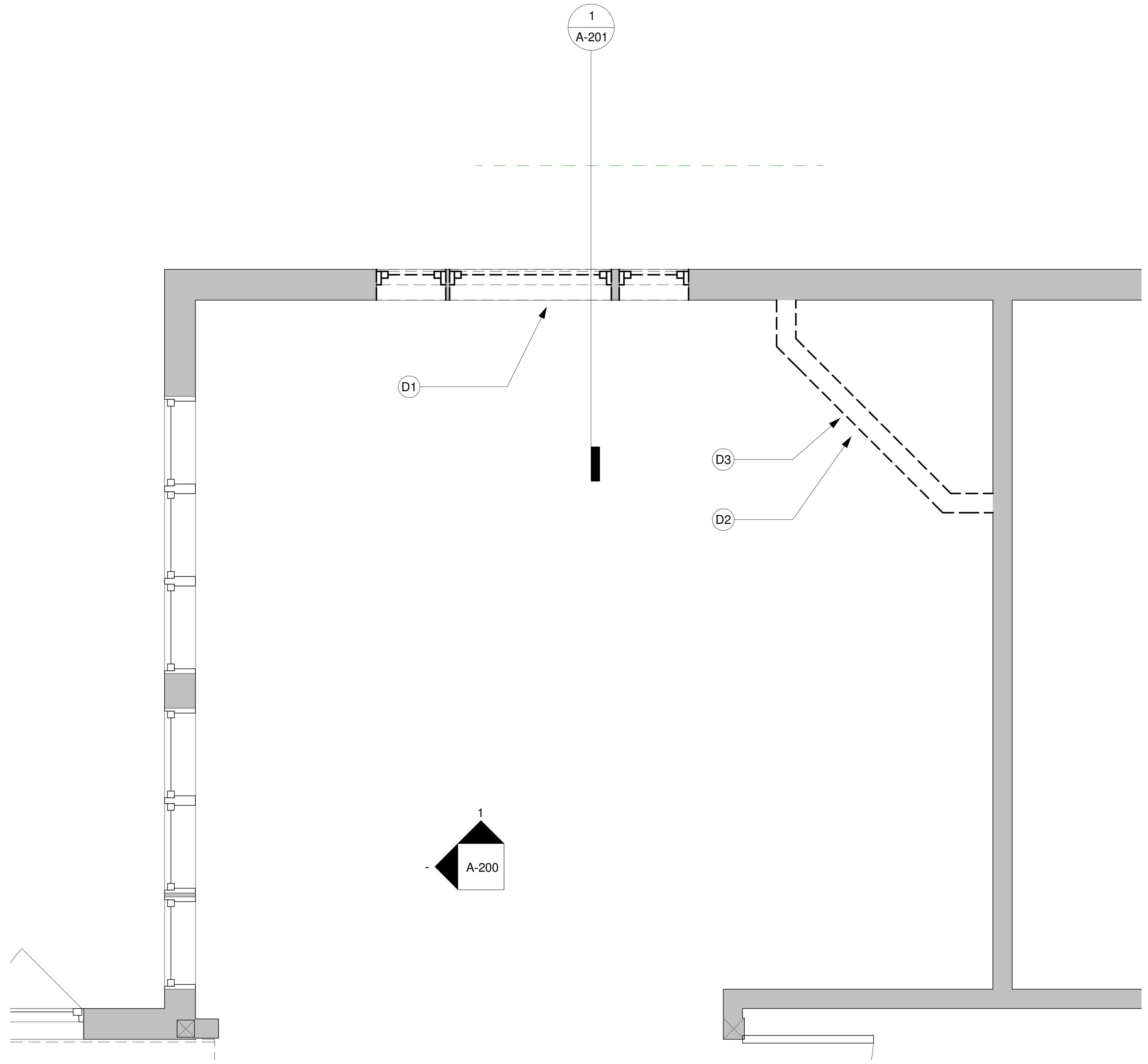
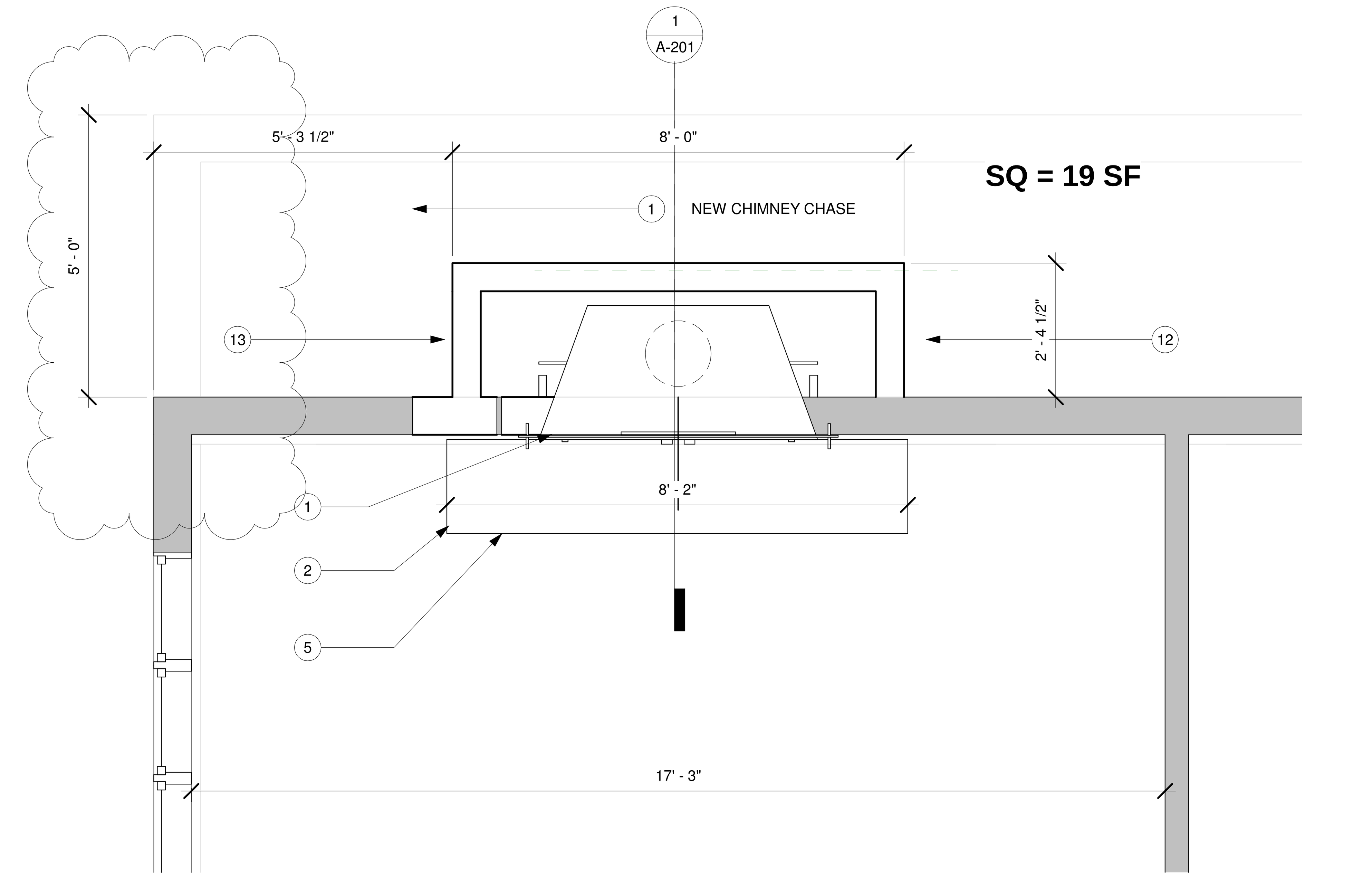
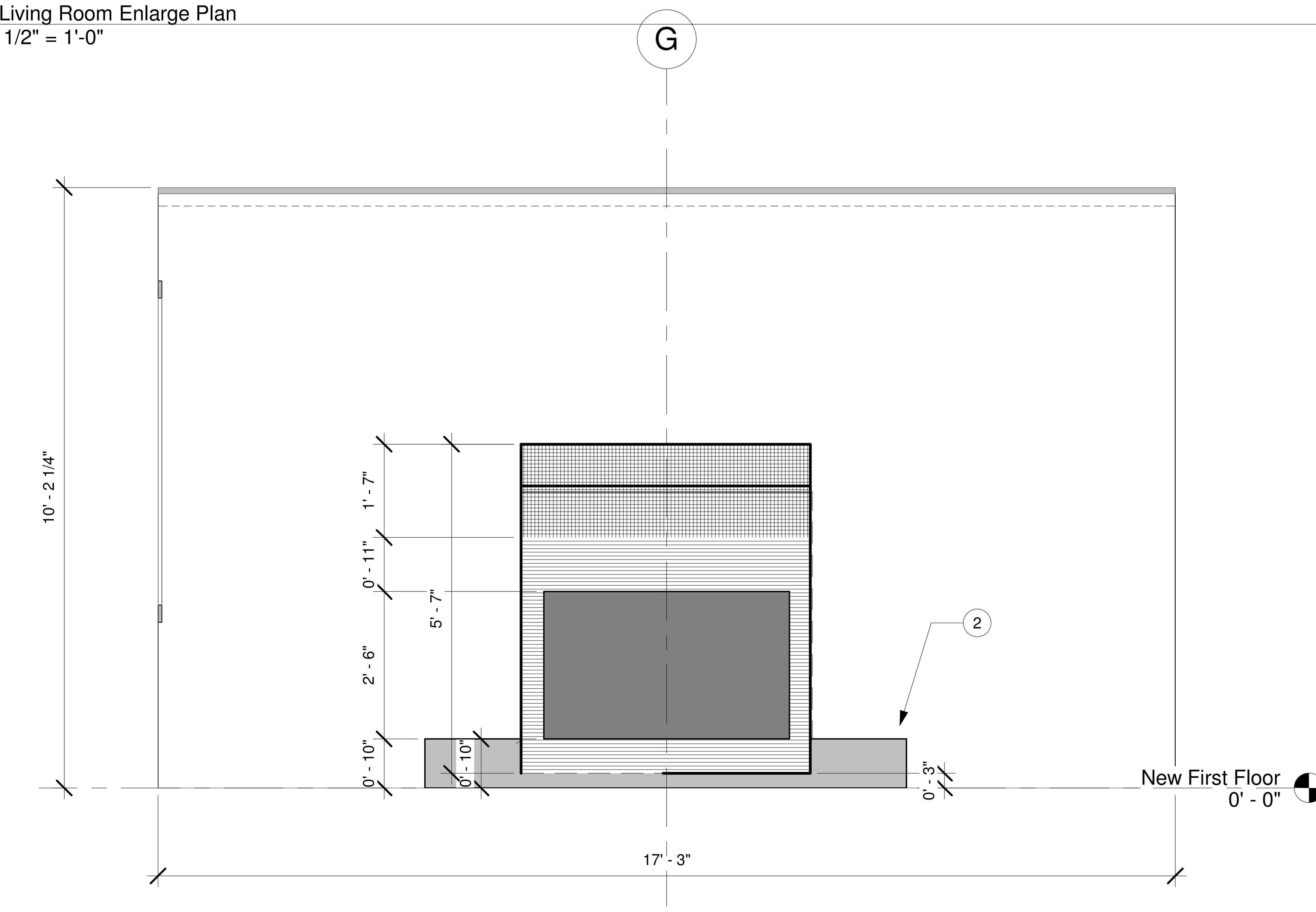


3 Living Room Enlarge Demo Plan
1/2" = 1'-0"



2 Living Room Enlarge Plan
1/2" = 1'-0"



1 Fireplace interior
1/2" = 1'-0"

NOTES

NO.	DESCRIPTION
1	INSTALL FACTORY BUILT FIREPLACE- TESTED PER UL 127
2	INSTALL HEARTH PER MANUFACTURER'S INSTRUCTIONS.
5	HEARTH EXTENSION TO BE INSTALLED WITH THE LISTING OF THE FIREPLACE- PROVIDE Z SHAPED EMBER PROTECTOR O F28 GA. MATERIAL TO BE NONCOMBUSTIBLE INORGANIC WITH THERMAL CONDUCTIVITY OF K-.984 BTCIN/FT
12	FLOOR CANTILEVER SEE STRUCTURAL DRAWING
13	NEW EXTERIOR WALL- 2X6 STUDS 16 IN OC- 1/2" TYPE X GYPBD ON INSIDE- SHEATHING AND STUCCO FINSH ON OUTSIDE
D1	WINDOW AND FRAME TO BE REMOVED
D2	WALL TO BE REMOVED
D3	GAS FIREPLACE TO BE REMOVED

WALL LEGEND

EXISTING
NEW
DEMO

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No.	Description	Date
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23 MATTHIESSEN PARK
IRVINGTON NY

RENOVATIONS

SHARON AND CHRIS CALLAHAN

Project Status

ENLARGED PLANS

Scale: As indicated

Date: 5/28/21

A-200

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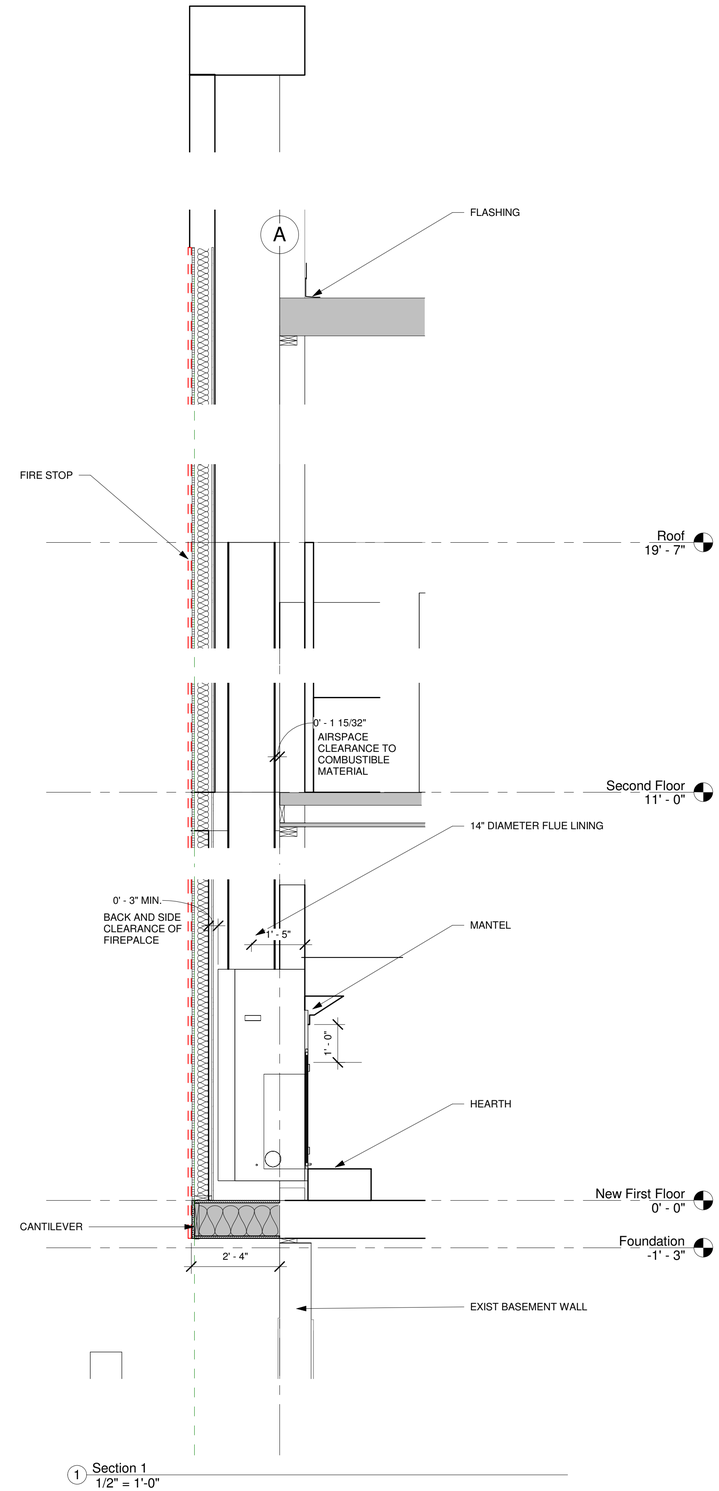

1 Section 1
1/2" = 1'-0"

Demo Notes

1 DASHED WALLS, DOORS AND FIXTURES TO BE DEMOLISHED
2 DEMO ALL BATHROOM FIXTURES
3 DEMO ALL BATHROOM MILLWORK
4 REMOVE WINDOWS
5 DEMO KITCHEN CABINETRY
6 REMOVE LOAD BEARING WALL
7 REMOVE ALL FINISHES
8 REMOVE BEAM
9 REMOVE CASEWORK

NEW

1 NEW STEEL BEAM
2 EXISTING FRAMING
3 NEW KITCHEN CABINETRY
4 NEW WINDOW
5 NEW PREFABRICATED FIREPLACE-WOOD BURNING WITH DAMPER
6 NEW DOOR
7 NEW BATHROOM FIXTURES
8 NEW BATHROOM MILLWORK
9 NEW PREFABRICATED FIREPLACE-GAS INSERT

WALL LEGEND

EXISTING
NEW
DEMO

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No.	Description	Date
2	ARB	9/7/21

23 MATTHIESSEN PARK
IRVINGTON NY

RENOVATIONS

SHARON AND CHRIS CALLAHAN

Project Status

FIREPLACE SECTION

Scale As indicated

Date 5/28/21

A-201

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ELEVATION NOTES

NO.	DESCRIPTION
1	NEW CHIMNEY CHASE
2	STUCCO TO MATCH EXISTING
3	ARB APPROVED REMOVAL OF WINDOW AND FRAME UNDER SEPARATE PERMIT
4	WINDOW AND FRAME TO BE REMOVED
5	EXIST AREA WAY
6	NEW DECORATIVE SHROUD

1 Side
1/4" = 1'-0"

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23 MATTHIESSEN
PARK
IRVINGTON NY

RENOVATIONS

SHARON AND
CHRIS CALLAHAN

Project Status

EXTERIOR
ELEVATION

Scale 1/4" = 1'-0"

Date 5/28/21

A-300

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