APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	1008	Date:	10/12/2021
Job Location:	31 MAPLE ST	Parcel ID:	2.80-36-15
Property Owner:	Justin Lukach	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:	Lukach Residence		

Applicant	**Contractor**
Gregory Sharp	
Gregory Sharp Architect	
917-597-1982	

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	200000.00	Property Class:	1 FAMILY RES

Description of Work

The project is a partial renovation of the interior of the house as well as a small addition at the rear of the house.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

VILLAGE OF IRVINGTON - APPLICATION DATA SHEET

www.irvingtonny.gov

Owner Silvia & Justin Lukach Owner Address 31 Maple Street Date 2/7/2022
Tax Account Number (*) 280-36-15 Sheet _____ Block 36 Lot 15 Parcel _____
Property Address 31 Maple street Phone # _____ Fax # _____

Architect or Engineer Gregory Sharp Email Address gregsharp@casedevelopment.com
Phone # _____ Cell # (917) 597-1982 Fax # _____ N Y S Lic. # 033786-01

Ref.		Existing	Proposed		Two Family 1F-5	Multi Family 1F-10	1F-20	1F-40	1F-60	1F-80
224-4	Zoning District	1F-5	n/a							
224-10	Square feet of lot	4,150	n/a	sf	5,000	10,000	20,000	40,000	60,000	80,000
224-11	Front yard setback	27	27	ft	30	30	35	50	60	75
224-11	Side yard setback 1	6.75	5.92	ft	10	15	15	25	30	50
224-11	Side yard setback 2	9	9	ft	10	15	15	25	30	50
224-11	Rear yard setback	32.25	26.25	ft	30	30	35	40	60	75
224-10	Lot width	41.5	41.5	ft	50	85	100	150	200	250
224-10	Lot depth	100	100	ft	100	100	125	150	200	200
224-13	Lot coverage	1,133	1,485	sf	24% upto 5000 sqft	20% upto 10000sqft	16% upto 20000sqft	12% upto 40000sqft	8.33% upto 60000sqft	6.75% upto 80000sqft
224-13	Coverage Bonus *over minimum lot size*				16% over 5000 sqft	12% over 10000sqft	6% over 20000sqft	4% over 40000sqft	2% over 60000sqft	2% over 80000sqft
224-11	Patios, sidwalks and other impervious surfaces	206	423	sf	15' from street line and 4 feet from all other property lines					

Coverage Information		
Structures	927	1,062
Decks		
Patios, walks	145	217
Porches		
Floor overhangs		
Swimming pools		
Other	61	206
Total (in Sq Ft)	1,133	1,485

Provide floor plan showing dimensions and Sq Ft

		Existing	Proposed	Applicable		Setback	
224-149	View Preservation Overlay			X yes	no		All properties west of Broadway
224-50	Aqueduct buffer			yes	X no	30'	All properties along Aqueduct
224-51 B	Broadway buffer			yes	X no	50'	Existing properties along Broadway
224-51 A	Cyrus Field Rd buffer			yes	X no	75'	All properties along Cyrus Field Rd

Additional information required (**)
- Survey showing all existing conditions
- All easments and restrictions
- Site plan showing all proposed improvments
- Location of all trees in affected areas

		Existing	Proposed
224-134	Floor Area Ratio		

(**in sq ft** - see Zoning Ordinance for definitions and exclusions)

Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)
< 5,000	0.43	varies	21,000	0.198	4,158	38,000	0.164	6,232	55,000	0.1325	7,288	72,000	0.125	9,000
5,000	0.43	2,150	22,000	0.196	4,312	39,000	0.162	6,318	56,000	0.1305	7,308	73,000	0.125	9,125
6,000	0.39	2,340	23,000	0.194	4,462	40,000	0.1625	6,500	57,000	0.1285	7,325	74,000	0.125	9,250
7,000	0.36	2,520	24,000	0.192	4,608	41,000	0.1605	6,581	58,000	0.1265	7,337	75,000	0.125	9,375
8,000	0.33	2,640	25,000	0.19	4,750	42,000	0.1585	6,657	59,000	0.1245	7,346	76,000	0.125	9,500
9,000	0.3	2,700	26,000	0.188	4,888	43,000	0.1565	6,730	60,000	0.125	7,500	77,000	0.125	9,625
10,000	0.28	2,800	27,000	0.186	5,022	44,000	0.1545	6,798	61,000	0.125	7,625	78,000	0.125	9,750
11,000	0.2725	2,998	28,000	0.184	5,152	45,000	0.1525	6,863	62,000	0.125	7,750	79,000	0.125	9,875
12,000	0.265	3,180	29,000	0.182	5,278	46,000	0.1505	6,923	63,000	0.125	7,875	80,000 and above	0.125	10,000
13,000	0.2575	3,348	30,000	0.18	5,400	47,000	0.1485	6,980	64,000	0.125	8,000			
14,000	0.25	3,500	31,000	0.178	5,518	48,000	0.1465	7,032	65,000	0.125	8,125			
15,000	0.2425	3,638	32,000	0.176	5,632	49,000	0.1445	7,081	66,000	0.125	8,250			
16,000	0.235	3,760	33,000	0.174	5,742	50,000	0.1425	7,125	67,000	0.125	8,375			
17,000	0.2275	3,868	34,000	0.172	5,848	51,000	0.1405	7,166	68,000	0.125	8,500			
18,000	0.22	3,960	35,000	0.17	5,950	52,000	0.1385	7,202	69,000	0.125	8,625			
19,000	0.2125	4,038	36,000	0.168	6,048	53,000	0.1365	7,235	70,000	0.125	8,750			
20,000	0.2	4,000	37,000	0.166	6,142	54,000	0.1345	7,263	71,000	0.125	8,875			

F.A.R. Information	Existing	Proposed
Basement Sq Ft	559	559
First Floor Sq Ft	742	877
Second Floor Sq Ft	618	753
Attic Sq Ft	273	0
Other Sq Ft	185	185
Total (in Sq Ft)	2,192	2,189

Provide floor plan showing dimensions and Sq Ft

For additional information refer to 224-134 of the Village Zoning Code

(*) Tax ID Number available from Village Clerk (591-7070)
(**) The Village Zoning Regulations should be consulted for additional requirements.

2011-07-19

VILLAGE OF IRVINGTON
85 MAIN STREET
IRVINGTON, NEW YORK 10533
TEL: (914) 591-7070 • **FAX:** (914) 591-4072
E-MAIL: office@irvingtonny.gov
WEB SITE: http://irvingtonny.gov

January 31, 2022

Silvia & Justin Lukach
31 Maple Street
Irvington, New York 10533

Re: Application for a Variance; Sheet 2.80; Block 36; Lot 15

Dear Mr. and Ms. Lukach:

This will confirm that at its meeting Tuesday night the Zoning Board of Appeals voted unanimously to grant your request for a variance from the provisions of §§224-13 (exceeds allowable coverage) and 224-134 (exceeds allowable FAR) of the Irvington Zoning Code ("Code"), in order to construct a two-story addition at the above referenced property.

The Board concluded that the benefit to you from granting the variance outweighed any detriment to the health, safety and welfare of the neighborhood or community. In particular, the Board found that granting the variance would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The variance requested is modest in size and would have minimal impact on neighboring properties.

The Board also found that the benefit that you seek could not feasibly be achieved by any method other than a variance. Finally, the Board found that your requested variance would not adversely affect the physical or environmental conditions of your neighborhood or district.

For these reasons, the Board voted to grant your request and your application is hereby granted to vary the requirements of the above cited sections of the Code to permit the construction a two-story addition at the above referenced property in accordance with plans submitted at the hearing.

The granting of this variance is not a substitute for a building permit. Construction may not commence until the Building Inspector issues a valid building permit. The Building Inspector may be contacted at 591-8335 for further assistance.

Very truly yours,

Sarah Gardner
Chairman
Irvington Zoning Board

cc: Zoning Board Members and Alternates
Sarah Palermo, Clerk
Edward Marron, Jr., Building Inspector

The Lukach Residence

31 Maple Street, Irvington, New York 10533

1 NOTES

1. All construction work shall be performed in compliance with the administrative Building Code of the Village of Irvington, NY, and all other applicable ordinances and regulation of all Governing Agencies having jurisdiction over the work.
2. All Construction, including Plumbing, Mechanical and Electrical work, to be performed by Licensed Contractors and all required permits and certification shall be obtained prior to commencement of work.
3. The services of Gregory Sharp Architect (GSA) are being performed solely for the client's benefit and no Contractor, Subcontractor, Supplier, Fabricator, Manufacturer, Tenant, Vendor, Consultant or other third party shall have any claim against GSA as a result of the architectural agreement with the client or the performance or non-performance of GSA' services. It is understood that this provision will be brought to the attention of the parties with whom the client contracts and have them do the same with those who they contract.
4. The Construction and vendor contracts shall include provision describing GSA's role as stated in this agreement with respect to construction and installation of the furnishing and require the Contractor(s) (and any Vendors(s) working on the job site) to indemnify the client and GSA as set forth in the indemnification clause below, which shall appearing in the Construction and Vendor Contracts. This obligation shall be insured by the contactor(s) and its subcontractors and any vendor working on the job site.
5. The contractor(s) shall defend, indemnify and hold harmless GSA and their respective directors, officers, partners, employees, and agents, from any and all claims directly or indirectly arising or alleged to arise out of the adjoining land or driveways, or streets or alleys used in connection with the performance of the work, and from any and all claims by Workmen, Suppliers or Subcontractors who are involved in the performance of the work.
6. The obligators set forth in this provision shall specifically include, but not be limited to, all claims directly or indirectly arising or alleged to arise under any scaffolding, structural work with respect to the protection of adjacent landowners.
7. The Contractor(s) shall be notified of any claims against GSA and given such reasonable information, authority and assistance as may be requested by him to enable him to perform the obligations set forth in this section. Failure to notify the Contractor(s) of a claim or to give such information, authority and assistance shall not discharge the obligations set forth in this section unless the Contractor(s) has been prejudiced in the defense of such a claim.
8. The Contractor(s) also expressly warrants and guarantees to GSA that all work performed by the Contractor(s), its Workmen, Suppliers and Subcontractors, shall conform to the requirements of the the contract documents and shall be performed in a safe and careful manner. The foregoing shall not deprive GSA of any other action, right or remedy otherwise available to them, at common law or otherwise. The term "Work" for purposes of this section means the obligations undertaken by the Contractor(s) pursuant to the contract documents. Work includes, unless specifically excepted, Furnishing all Material, Labor, Equipment, Supplies, Plant, Tools, Scaffolding, Transportation, Superintendence, Insurance, Taxes and all other Services, Facilities, and Expenses necessary for the full performance and Completion of the Requirements of the Contract Documents. Work also includes that which produced, constructed or built pursuant to the Contract Documents.
9. The Construction Contacts shall include a provision requiring the Contractor(s) or Vendor(s) to warrant to the Client and GSA that all Materials and Equipment Furnished will be new unless otherwise specified, and that all work will be of good quality, free from faults and defects and in conformance with the Construction Documents.

General Construction Notes: Building Department

1.0 The Building is a Single Family Residence
2.0 The New International Type Building Code went into effect in New York State on July 3, 2002.
Building Code Chapter 92 - Final Version June, 2009
3.0 Special Inspection Items:
*Sediment and Erosion Control
*Footing
*Preparation for Concrete Slabs and Walls
*Framing
*Building Systems, including underground rough in.
*Fire resistant Construction and Penetrations
*Insulation
*Solid Fuel
*Foundation and Footing drain
*Energy Code Compliance
*Final Inspection for Cof O
*Additional State and Local Law Inspections as required.

4.1 Scope of work: Remodelation House.
The project can be summarized as a Basement plus 2 floors with attached garage plus a room over the garage.
4.2 The Foundation Will be New and set on undisturbed soil.
4.3 All doors marked F.P.S.C. shall be at least 1 hour fire rated.
4.4 All masonry partitions shall be braced.
All finishes over .036 of an inch in thickness shall comply with flame spread rating or be approved by the Board of Standards and Appeals.
All sprinkler if required, Halon, fuel oil, etc. shall be filed under separate application.

General Safety Notes

1.2 Construction operations shall be confined to normal working hours:
7 am - 7 pm MONDAY-SATURDAY, except legal holidays.
2.1 All work shall be done in accordance with the New York State Building Code and regulations of all other state, local or federal agencies having jurisdiction.
2.2 The Contractor shall provide adequate bracing and shoring to ensure the structural stability of the premises.
2.3 The Contractor must conduct their activities so as not to endanger any individual.
Contractors shall comply with all applicable OSHA codes.
2.4 All Contractors shall be equipped with safety equipment including gloves, eye protection or other specialized equipment required for the work being performed.
2.5 The Contractor shall maintain work areas and access ways thereto safe against intrusion of unauthorized persons. The Contractor shall be responsible for keeping unauthorized persons out of the work area and for protecting the safety and security of the Owners and general public.
2.6 The Contractor shall be required to protect from falling debris all persons and property in areas beneath and adjoining the work area.
2.7 Work which necessitates the use of chemicals or equipment that produces noxious fumes or excessive noise, will be allowed during normal business hours. Should such work be required, arrangements shall be made with the the Owner. The Owner reserves the right to stop any work, which causes excessive disturbances.
2.8 Separate access to the affected areas shall be provided by the Contractor and shall be made safe and non-accessible during non-working hours. Construction-related traffic shall be permitted as designated by the Owner.
3.0 Storage
3.1 No flammable, toxic or hazardous materials or supplies shall be allowed in the Building unless specifically approved by the Owner. Storage of such materials is to be in a manner and location designated by the Property Owner.
3.2 Material Safety Data Statements covering safety information, contents and antidotes will be filed with the Property Owner for all materials used in the Building.
3.3 Contractor materials are not to be stored in any public or occupied areas Owner is not responsible for the theft or damage of construction equipment or materials stored in the building.
3.4 All building materials stored at the construction area and/or in any area of the building are to be secured in a locked area. Access to such areas to be controlled by Owner and/or Contractor.
4.0 Deliveries
5.0 Sprinklers and Fire Alarms
5.1 No work is to be done which affects any aspect of the Buildings sprinkler or fire alarm system without prior approval of the Property Owner. Alarm panels must be returned to full operation by the end of the day.
5.2 There must be one (1) fire extinguisher for every seventy-five feet (75'-0") on the job at all times. ABC type all-purpose extinguishers shall be used.
5.3 All required permits, a Fire Watch (by persons caring of Qualification and Fitness) and protective blankets are required for all burning and welding.
6.0 Trash Removal
6.1 Construction debris and all trash shall be removed from the work area daily and placed in a legal container arranged for by the Contractor. Contractor is responsible for general area of where debris is disposed of (ie where trash drops or is blown from the container).
7.0 Damage
7.2 The Contractor shall assume responsibility to protect all materials from loss or damage at no cost to the Owner, until they are finally incorporated into the work and accepted, whether or not the Owner has paid them for.
8.0 Disconnecting Equipment, Utilities

Energy Analysis

The Energy Analysis describes how the project complies with the ECCCNYS. It identifies the compliance path taken by the applicant. An Energy Analysis is not required if the project is exempt.The Energy Analysis must represent the entire project, including the envelope, HVAC, service water heating, lighting and electrical systems, and must be placed on a sheet in the construction drawings for the initial filing of the project. The Energy Analysis may take one of the following formats, - -REScheck; -Tabular prescriptive analysis.

Residential Provisions

The Residential Energy provision are still found in the 2015 Energy Conservation Construction Code and Chapter 11 of the Residential Code of New York State (RCNYS 2015). Multiple compliance paths are given in Chapter 4 of the ECCCNYS 2010, and in Chapter 11 of the RCNYS 2015. The plans show adherence with the requirements of one of the compliance paths. -Tabular prescriptive analysis

Residential Buildings

The ECCCNYS defines Residential Buildings as one- and two-family dwellings

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL R-VALUE	SLAB R-VALUE & DEPTH	CRAWL SPACE WALL R-VALUE
TABLE R402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT										
4A	0.35	0.55	0.4	49	20 or 13+5	8/13	19	10/13	10, 2FT	10/13
TABLE R402.1.4 EQUIVALENT U-FACTOR										
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

Required Notes from Town:

- The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.
- "As-Built" drawings of the site improvements shall be submitted to the Village Engineer for the review prior to obtaining Certificate of Occupancy.
- Infiltration system access ports shall be shown on the "As-Built".
- The infiltration system must not be connected until construction is complete and the site is stabilized. A note, stating as much, should be added to the plans.
- Cut/Fill material shall not be imported to or exported from the site.

TABLE OF CONTENTS

T-001	Title page
	Survey
ST-001	Existing Site Plan & Pictures
ST-002	Proposed Site Plan
T-002	Neighborhood Analysis
T-003	Landscape & Site Plan
T-004	Detailed Sheet For
T-005	Wall Schedule
D-001	Existing Conditions & Demo Plan
A-001	Proposed Floor Plans
A-002	Proposed Elevations
A-003	Door Details & Proposed Materials
A-004	Perspectives

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (Effective 10/03/2016)

Location: Village of Irvington
Zip Code: 10533

Ground Snow Load	Wind Design				Seismic Design Category (RCNY Only)	Subject to Damage From			Climate Zone	Ice Barrier Underlayment Reqd	Flood Hazards	Air Freezing Index	Mean Annual Temp
	Speed (mph)	Topo Effects	Special Wind Region	Wind - borne Debris Zone		Weathering	Frost Line Depth	Termite					
30	*Special Wind Region	NO	NO	NO	C	Severe	42"	Moderate to Heavy	4A	YES	**FIRM COMMUNITY - PANEL MAP# 36119C0261F EFFECTIVE DATE, 9-28-2007	2000	51.6

*115 MPH to 120 MPH, The specialist wind region should serve as warning to design professionals is evaluating wind loading conditions. Wind speed higher than the derived values taken from Section 1609 of the IBC and Figure R301.2(4)A of the IRC are likely to occur and should be consider in the design.
*State if applicable. For Flood Hazards the Design Professional shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the FIMA we site http://floodmap.floodsimple.com/

2.Construction Sequences

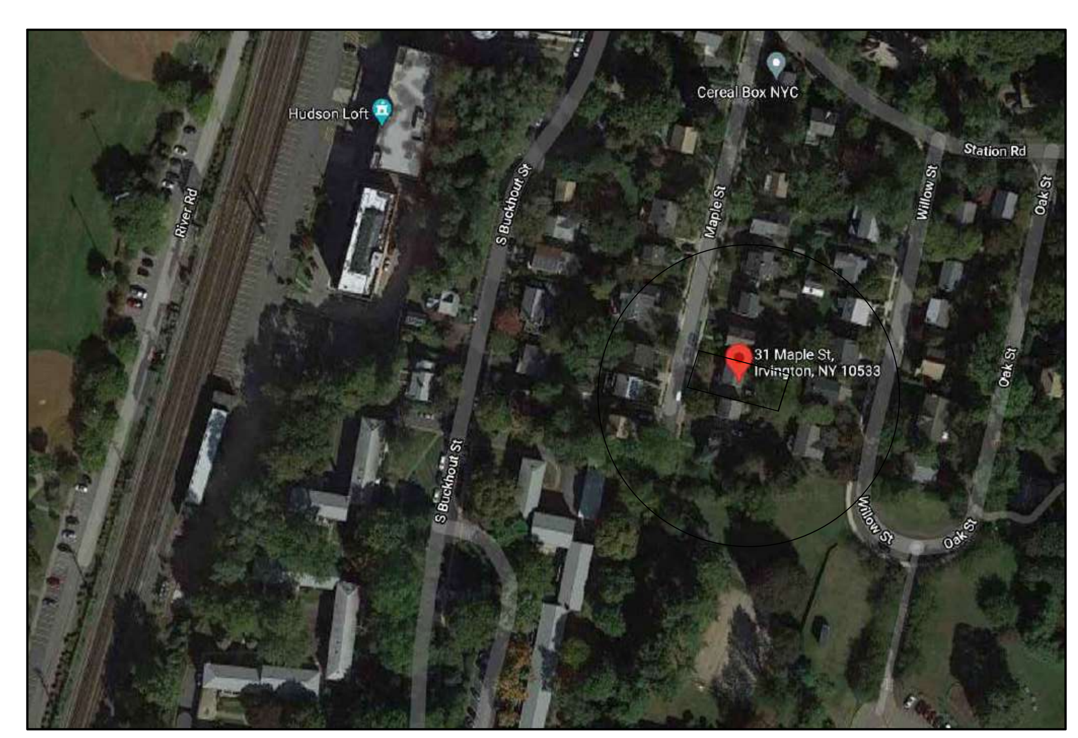
Phase 1 - 3 weeks.
General Site Work, Silt Fence, Tree Protection, Excavation, Utility Connections, Locate Concrete Footings and Foundation Preparation.
Phase 1.2 - 4 weeks
Concrete Foundation, Underground plumbing,
Phase1.3 - 3 weeks
Basement Concrete Slab, Backfilling foundation, Site Grading, Soil Retention, Site Drainage.
Phase 2 - 16 Weeks
Rough Framing, Structural Steel work, Wood Framing, Sub-floors, Sub-Roof, Sheathing, Air Barrier.
Phase 2.1 - 8 Weeks
Roofing, Installing Windows, Installing Siding and Exterior Finishes, Interior Framing and Stairs
Phase 2.2 - 12 Weeks
All rough in Mechanical, Electrical, and Plumbing. Modifying Framing as required, prepare to accommodate finishes etc.
Phase 3 - 12 Weeks
Install Sheetrock, Tape and Prime, Tile and Stone Finishes, Bathroom and Kitchen Waterproofing, Wood Flooring, Decking etc.
Phase 4 - 12 Weeks
Install Millwork, Cabinets, Closets, Doors, Hardware, Appliances, Final Paint and Accessories
Phase 4.1 - 6 Weeks
Final Landscaping, Hardscape, Plantings, Clean Up, Close Out, C of O. Punch List.
*Case Development Projects that this project will take approximately 15 Months in total construction time and there will be some overlap between the phases. We are hoping to begin upon approval from the Village in the early spring 2017.

3.Maintenance Guidelines For Cultec Stormwater System

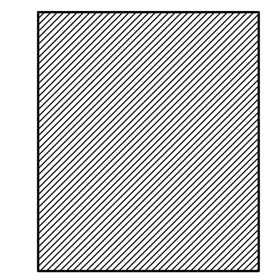
The following guidelines shall be adhered to for the operation and maintenance of the CULTEC stormwater management system:
a. The owner shall keep a maintenance log which shall include details of any events which would have an effect on the system's operational capacity.
b. The operation and maintenance procedure shall be reviewed periodically and changed to meet site conditions.
c. Maintenance of the stormwater management system shall be performed by qualified workers and shall follow applicable occupational health and safety requirements.
d. Debris removed from the stormwater management system shall be disposed of in accordance with applicable laws and regulations.

4. Suggested Maintenance Schedules

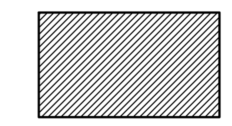
a. Minor Maintenance
The following suggested schedule shall be followed for routine maintenance during the regular operation of the stormwater system:
Frequency Action Monthly in first year Check inlets and outlets for clogging and remove any debris as required.
Spring and Fall Check inlets and outlets for clogging and remove any debris as required.
One year after commissioning and every third year following
Check inlets and outlets for clogging and remove any debris as required.
b. Major Maintenance
The following suggested maintenance schedule shall be followed to maintain the performance of the CULTEC stormwater management chambers. Additional work may be necessary due to insuffi cient performance and other issues that might be found during the inspection of the stormwater management chambers.



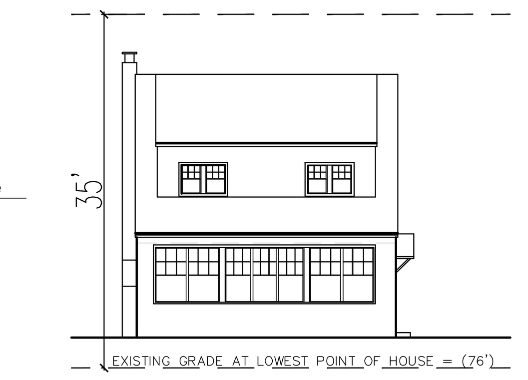
11 Land Parcel and Surrounds from above
Do Not Scale See – Dimensions



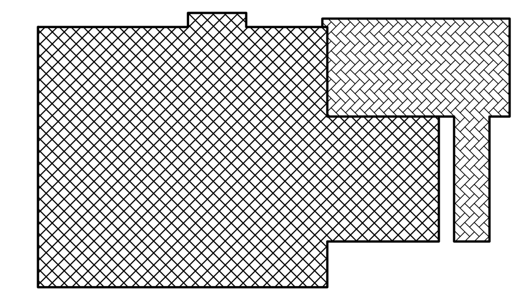
2 Zoning Diagram - Basement
SCALE: NS
Basment: 559 Sqft
FAR: 0 sqft.



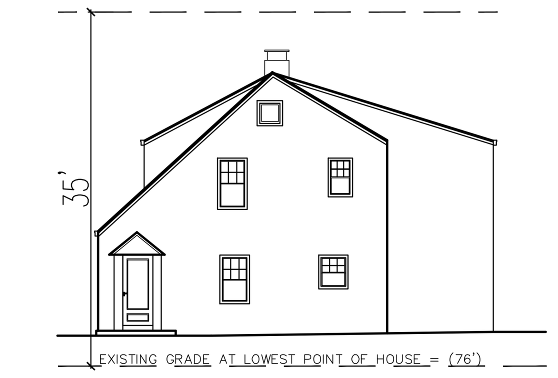
3 Zoning Diagram - Garage
SCALE: NS
Garage: 185 < 250 sqft.
FAR: 0 sqft.



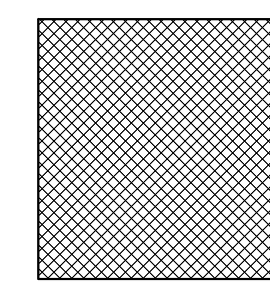
7 Zoning Diagram - Front Elevation



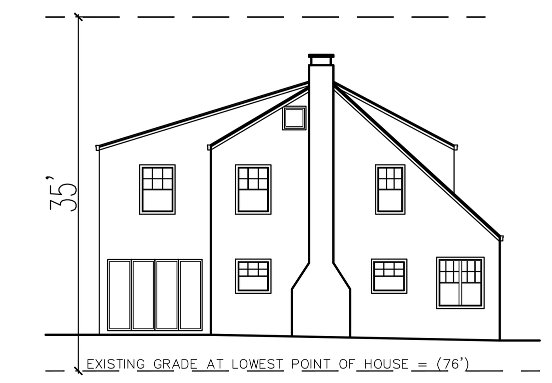
4 Zoning Diagram - First Floor
SCALE: NS
FAR: 877 sqft.
Exterior Deck: 217 sqft.



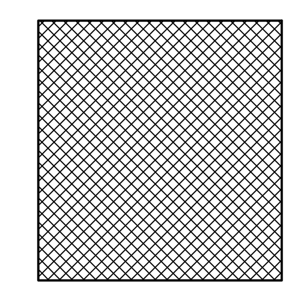
7 Zoning Diagram - Side Elevation



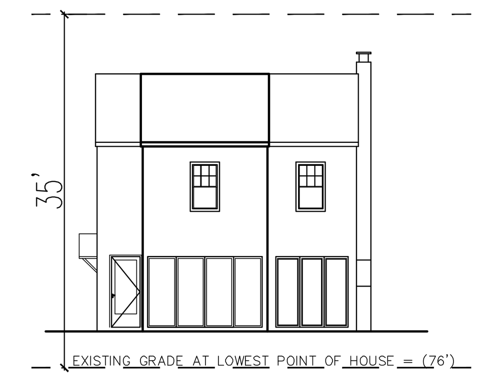
5 Zoning Diagram - Second Floor
SCALE: NS
FAR: 753 sqft.



7 Zoning Diagram - Side Elevation



6 Zoning Diagram - Attic
SCALE: NS
Attic: 546 sqft.
FAR: 546(50%)=273 sqft.



9 Zoning Diagram - Rear Elevation

Design Criteria-
Exist - Land, 2 Story house + Garage
Exist - Driveway Coverage = (+/- (844 square ft.)

Filed Map - Lot 15
Tax - Lot 280-36-15
Zone - IF-5*
Lot Size - 4,150 sq.ft.
24% first 5k then 16% over
New - Building Coverage = (+/- (2,135.40 square ft.)
[Amended 8-6-1990 by L.L. No. 13-1990;
6-26-2003 by L.L. No. 7-2003]

Lot Requirements 1-Family Residence 1F-5
Total Lot Min . = 5,000 - (4,150.)
Total Lot Width - 50 (41.5' on Maple Street .)
Depth Total Depth - 100 (100')
Minimum Required Yards
Front 35' / 41.5' Maple Street
Side 10'
Rear 30'
FAR - .43 x (Lot Size -4,150 sqft.) =Max FA = 1,784.5 sqft.
Existing FAR = 2,192 sqft.-
Proposed FAR = 2,189 sqft.-
Lot Coverage:Building + Decks + Garage
Building:877 sqft.
Rear Exterior Deck:217 sqft.
Exterior Wall: 8 sqft.
Garage:184 sqft.
Driveway: 844
Max Lot Coverage = (996 square ft.)
Proposed Lot Coverage: 1,485 - Compliant

ZONING TABLE

PROPERTY LOCATION: 31 MAPLE STREET, IRVINGTON N.Y.
BLOCK: 36 LOT: 15 TAX ID No. 280-36-15
ZONNING DISTRICT: 1 FAMILY RESIDENCE 1F-5*
OWNER: SILVIA LUKACH

ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	5,000 S.F.	4,150 SF.	NO CHANGE
MEAN WIDTH	50 FT.	41.5 FT.	NO CHANGE
MEAN DEPTH	100 FT.	100 FT.	NO CHANGE
BUILDING HEIGHT	35 FT.	26'-1"	NO CHANGE
	2½ STORIES	2	NO CHANGE
SETBACKS			
FRONT	30* FT.	27	NO CHANGE
REAR	30 FT.	32.25	26.25
SIDE 1	10 FT.	6.75	5.92
SIDE 2	10 FT.	9	NO CHANGE
MAX LOT COVERAGE	24%(4,150sqft.)= 996 sqft.	1,133 sqft.	1,485
Total Floor Area & F.A.R.	.43 (4,150 SF.) =1,785	2,192 sqft. (0.53)	2,189 sqft. (0.53)
PARKING SPACE	1	1	NO CHANGE

Project Architect:
GREGORY SHARP ARCHITECT,PC
145 Palisade Street, Suite 211
Dobbs Ferry
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 Palisade Street, suite 211
Dobbs Ferry, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

See Detail
Elevation
Section Cut
115 Window Number
Interior Elevation
PF-1.2 Coordination Tag
15 Door Number
3 Wall Type
0.0" Elevation Target
Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE 5-14-2021
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

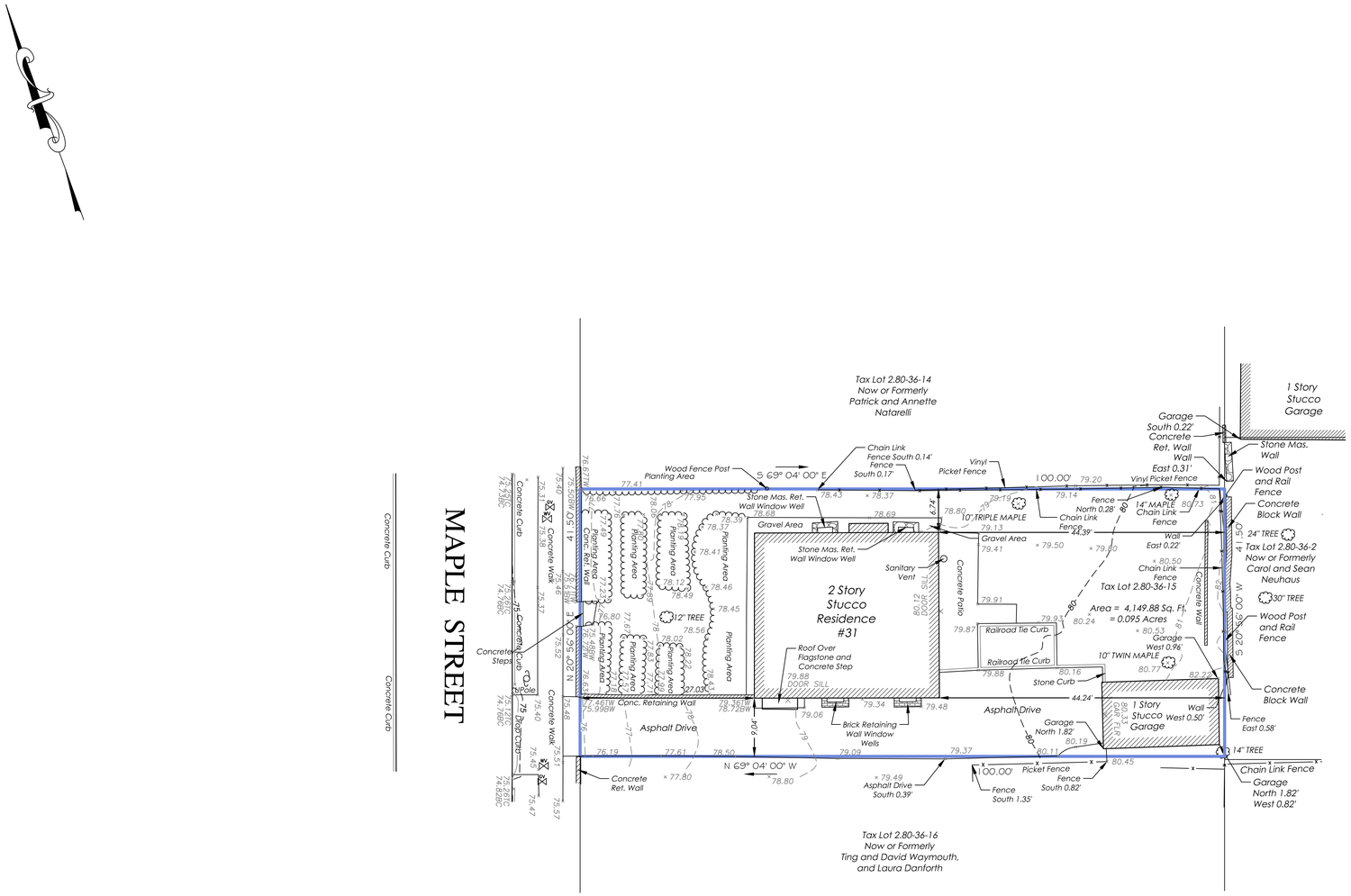
PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

TITLE PAGE

SEAL AND SIGNATURE:
REGISTERED ARCHITECT GREGORY CASE SHARP 033796-1 STATE OF NEW YORK

DATE: 02/07/2022
PROJECT No: LUKACH 2022
DRAWING BY: GS
CHK BY:
DWG No:
T-001.00
CADO No:

BSCAN:



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified.
Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating.
Additional underground utilities are not shown or certified.
Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Premises hereon being Plot 3E as shown on a certain map entitled, "Survey and Resubdivision by Ward Carpenter and Co., Sept. 1925 as Map No. 2921."
Said map filed in the Westchester County Clerk's Office, Division of Land Records April 10, 1929 in Volume 68 of Maps at Page 87.

Surveyed in accordance with Deed Control Number 582473060.

Premises shown hereon designated on the Town of Greenburgh Tax Maps as: Section 2.80, Block 36, Lot 15.

Property Address: 31 Maple Street,
Irvington, NY, 10533

TOPOGRAPHY OF PROPERTY PREPARED FOR SYLVIA LUKACH

SITUATE IN THE
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 10'

GRAPHIC SCALE

10 0 5 10 20 40

(IN FEET)
1 inch = 10 ft.

COPYRIGHT © 2021
TC MERRITTS LAND SURVEYORS
ALL RIGHTS RESERVED. UNAUTHORIZED DUPLICATION OR ELECTRONIC TRANSMISSION WITHOUT PRIOR PERMISSION IS A VIOLATION OF APPLICABLE LAWS.

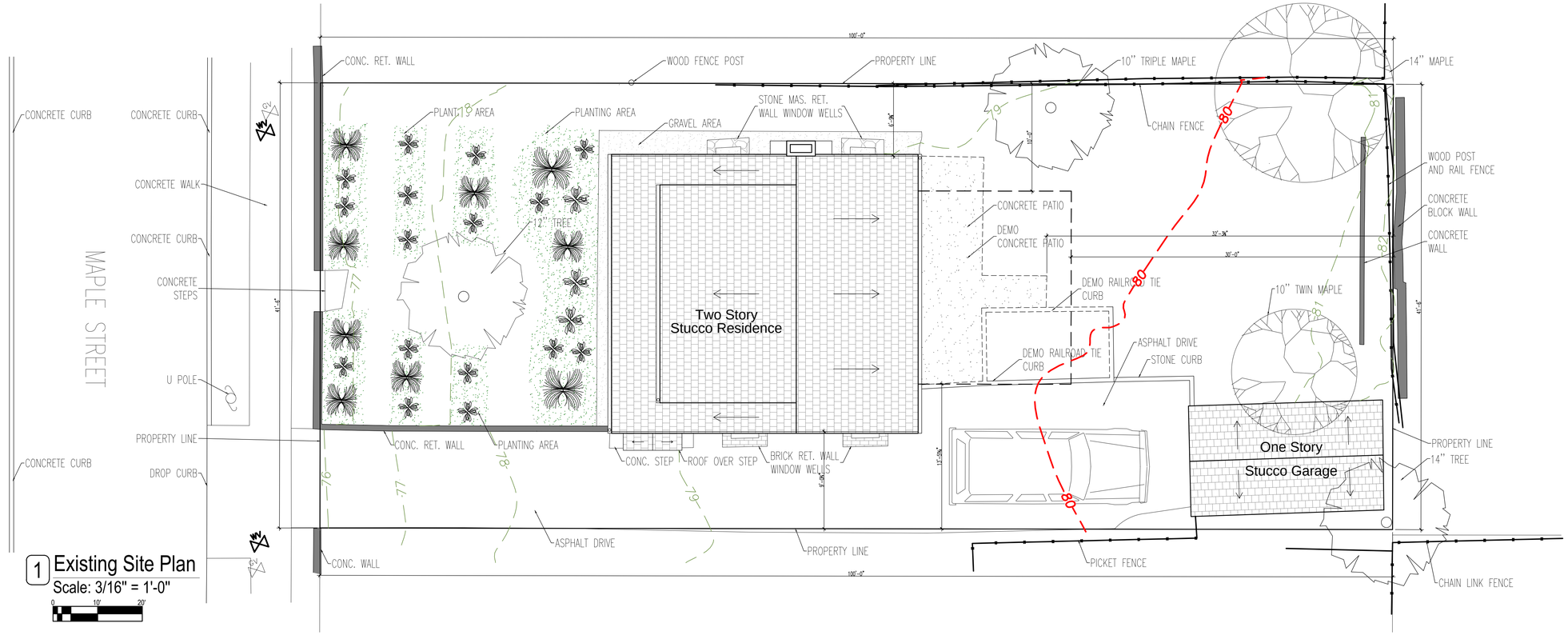
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • (203) 622-8899

STATE OF NEW YORK
DANIEL THOMAS MERRITTS
050604
LICENSED LAND SURVEYOR

Surveyed: April 13, 2021
Map Prepared: April 19, 2021

By: Daniel T. Merritts
New York State Licensed Land Surveyor No.050604

Project: 20-277 *Job: 21-139*	*Field Survey By:* *EM/BFC*
Drawn By: *BJC*	*Checked By:* *DM*



1 Existing Site Plan
Scale: 3/16" = 1'-0"

2 Existing Pictures of the House
Scale: NS

3 Front View of Adjacent Buildings
Scale: NS

Project Architect:

GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

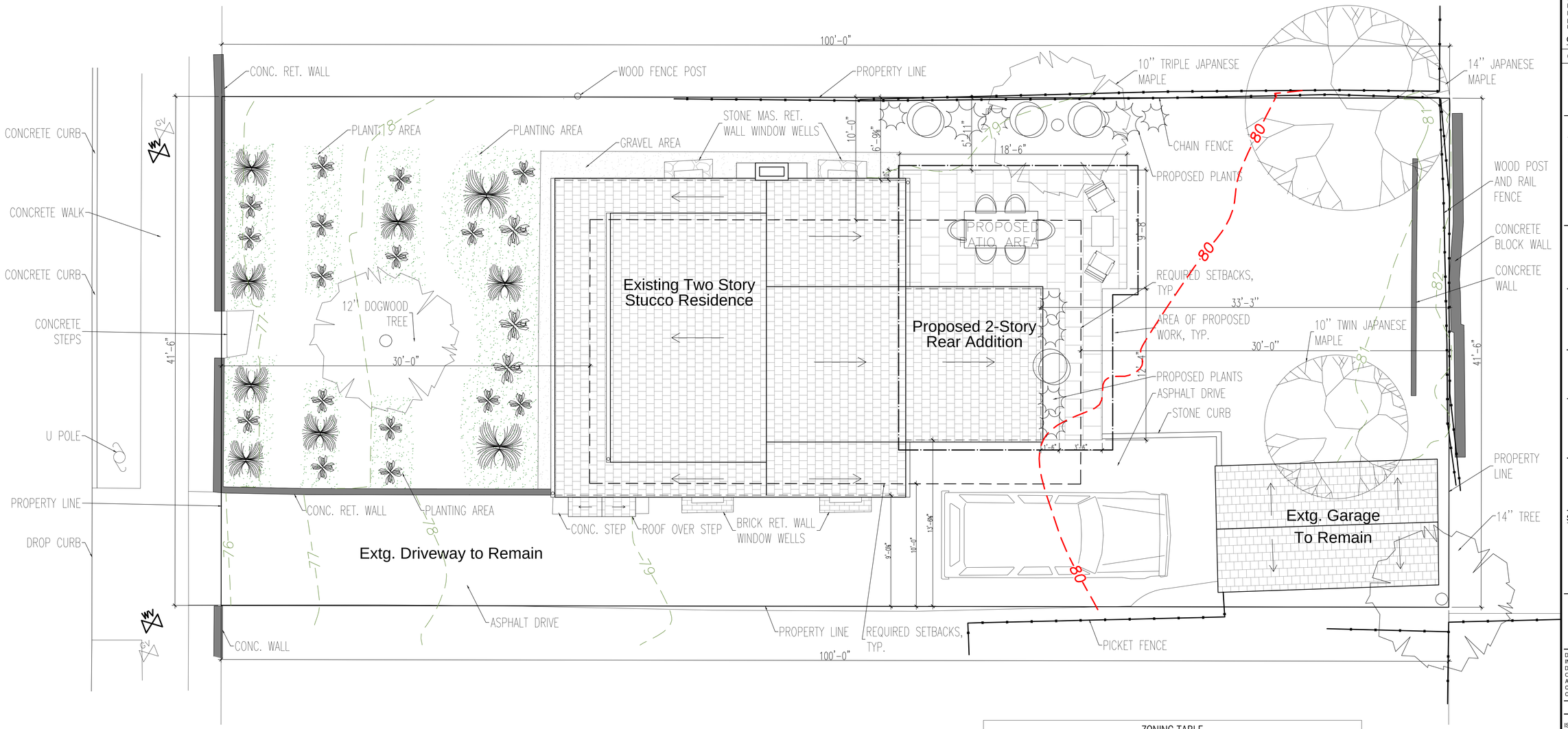
PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

EXISTING CONDITIONS

SEAL AND SIGNATURE:
REGISTERED ARCHITECT GREGORY CASE SHARP 031956-1 STATE OF NEW YORK

DATE:	02-07-2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	ST-001.00
CADD No:	

BSCAN:



1 Proposed Site Plan

Scale: 1/4" = 1'-0"

0 10'

ZONING TABLE			
PROPERTY LOCATION: 31 MAPLE STREET, IRVINGTON N.Y.			
BLOCK: 36 LOT: 15		TAX ID No. 280-36-15	
ZONNING DISTRICT:		1 FAMILY RESIDENCE 1F-5*	
OWNER: SILVIA LUKACH			
ITEM	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	5,000 S.F.	4,150 SF.	NO CHANGE
MEAN WIDTH	50 FT.	41.5 FT.	NO CHANGE
MEAN DEPTH	100 FT.	100 FT.	NO CHANGE
BUILDING HEIGHT	35 FT.	26'-1"	NO CHANGE
	2½ STORIES	2	NO CHANGE
SETBACKS			
FRONT	30* FT.	27	NO CHANGE
REAR	30 FT.	32.25	26.25
SIDE 1	10 FT.	6.75	5.92
SIDE 2	10 FT.	9	NO CHANGE
MAX LOT COVERAGE	24%(4,150sqft.)= 996 sqft.	1,133 sqft.	1,485
Total Floor Area & F.A.R.	.43 (4,150 SF.) =1,785	2,192 sqft. (0.53)	2,189 sqft. (0.53)
PARKING SPACE	1	1	NO CHANGE

Project Architect:

GSA

GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE 5-14-2021
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

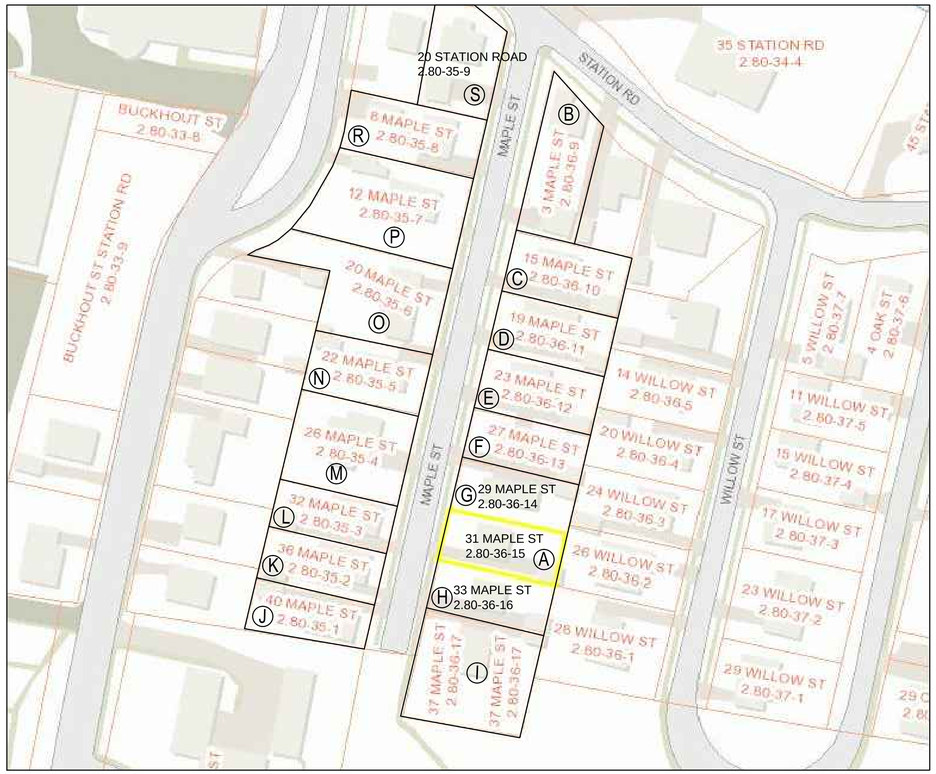
PROPOSED SITE PLAN

SEAL AND SIGNATURE:

REGISTERED ARCHITECT GREGORY CASE SHARP OF NEW YORK

DATE:	02-07-2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	ST-002.00
CADD No:	

BSCAN:



1 Aerial Tax Map
Scale: NS

ZONING ANALYSIS OF ADJACENT PROPERTIES							
TAG	ZONING DISCTRIC: 1F-5"						
	LOT INFORMATION			COVERAGE		FAR	
	PARCEL ID	AREA	ADRESS	ALLOWED (24%)	EXISTING	ALLOWED (.43)	EXISTING
A	280-36-15	4,150sqft.	31 Maple St.	24%(4,150sqft.)= 996 sqft.	1,133 sqft.	1,785	2,192 sqft. (0.53)
				Proposed	1,485	Proposed	2,189 sqft. (0.53)
B	280-36-9	8,276sqft.	3 Maple St.	1,986	1,472	3,559	1,344
C	280-36-10	4,792sqft.	15 Maple St.	1,183	1,170	2,060	1,129
D	280-36-11	4,792sqft.	19 Maple St.	1,150	1,574	2,060	1,778
E	280-36-12	4,792sqft.	23 Maple St.	1,150	1,253	2,060	1,539
F	280-36-13	4,150sqft.	27 Maple St.	996	1,351	1,785	1,322
G	280-36-14	4,150sqft.	29 Maple St.	996	1,611	1,785	1,553
H	280-36-16	4,150sqft.	33 Maple St.	996	925	1,785	1,196
I	280-36-17	8,712sqft.	37 Maple St.	1,794	1,758	3,746	1,886
J	280-35-1	3,485sqft.	40 Maple St.	836	1,772	1,498	1,589
K	280-35-2	3,920sqft.	36 Maple St.	941	1,636	1,685	1,556
L	280-35-3	3,920sqft.	32 Maple St.	941	1,431	1,685	1,372
M	280-35-4	7,405sqft.	26 Maple St.	1,777	2,354	3,197	2,909
N	280-35-5	4,792sqft.	22 Maple St.	1,150	1,528	2,060	1,444
O	280-35-6	12,197sqft.	20 Maple St.	2,927	2,537	5,245	2,229
P	280-35-7	7,841sqft.	12 Maple St.	1,882	1,534	3,372	1,436
R	280-35-8	5,227sqft.	8 Maple St.	1,255	1,672	2,248	1,912
S	280-35-9	4,356sqft.	20 Road Station	1,045	1,592	1,873	1,664

1 3 Maple Street
Scale: NS

2 15 Maple Street
Scale: NS

3 19 Maple Street
Scale: NS

4 23 Maple Street
Scale: NS

5 27 Maple Street
Scale: NS

6 29 Maple Street
Scale: NS

7 31 Maple Street
Scale: NS

8 33 Maple Street
Scale: NS

9 37 Maple Street
Scale: NS

10 40 Maple Street
Scale: NS

11 36 Maple Street
Scale: NS

12 32 Maple Street
Scale: NS

13 26 Maple Street
Scale: NS

14 22 Maple Street
Scale: NS

15 20 Maple Street
Scale: NS

16 12 Maple Street
Scale: NS

17 8 Maple Street
Scale: NS

18 20 Station Road
Scale: NS

Project Architect:

GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:

THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

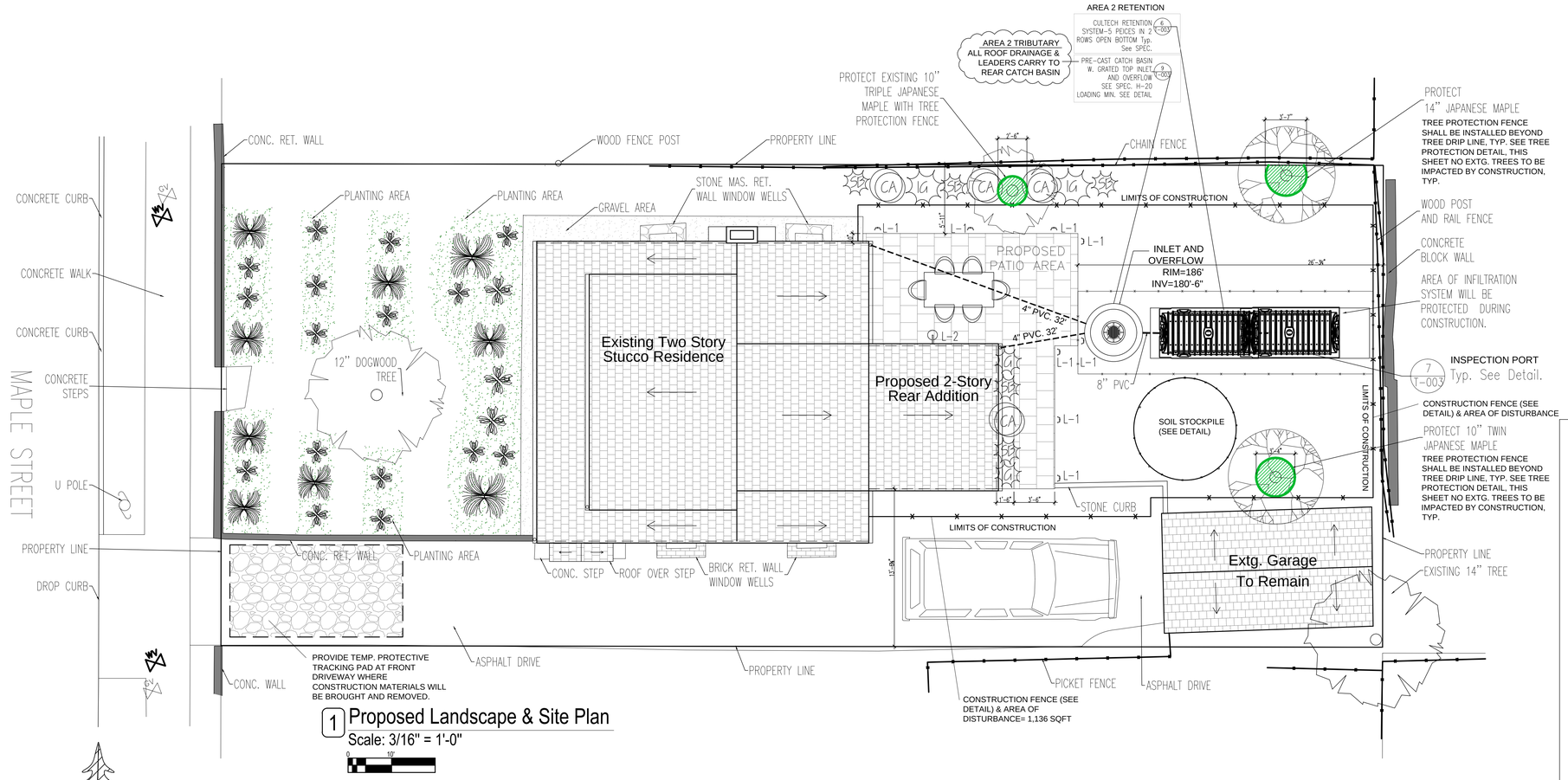
NEIGHBORHOOD ANALYSIS

SEAL AND SIGNATURE:

REGISTERED ARCHITECT GREGORY CASE SHARP 031790-1 STATE OF NEW YORK

DATE:	02/07/2022
PROJECT No:	LUKACH 2032
DRAWING BY:	GS
CHK BY:	
DWG No:	T-002.00
CADD No:	

BSCAN:



1 Proposed Landscape & Site Plan

Scale: 3/16" = 1'-0"

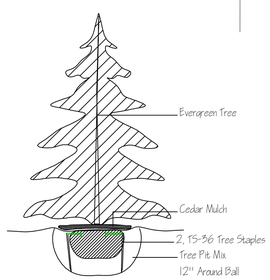
Soil Note -
Map Unit - UhD - Urban land-Charlton complex,
VL- holdrege silt loams
15 to 25% percent slopes
Urban Land - Hydrological Soil Group B

Drainage Requirement for All Surfaces
Additional Area To Be Drained = 352 sqft.
Building Lot Coverage = 877 sq. ft.
Existing Driveway Impervious Area = 844
Cobblestone and Walkway Area =217
Design Rainfall = 10" per 24hrs

100 Year Storm - 10" Rainfall per 24 Hour Duration to be Retained

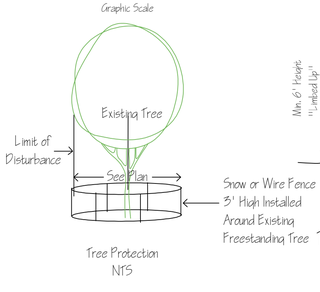
AREA 2 - FOR PROPOSED NEW HOUSE AREA USING CULTEC 330 XL CHAMBER SYSTEM NET GAIN OF ADDITION CONNECTED TO ROOF DRAINS AND LEADERS

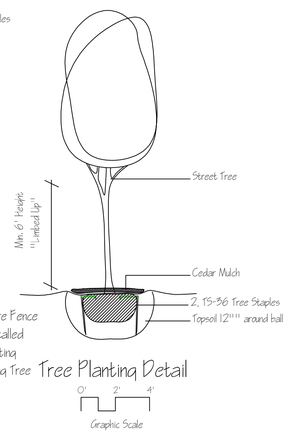
Vs = (Chamber Storage Capacity = L8'-6" x W4'-4" x 2'-6.5" (H-20) = 52.2 CF.
+ Storage Capacity Surrounded by Stone) = 79.26 CF. Per Unit
Percolation Rate Per Chamber
24Hour Percolation Volume (Vp)
Vp =(∏ r² h)/x Sr
Vp = (3.14 x 8.5' x 4.33')/2 x 5.476 CF/SF/DAY = 316.58 C.F.
Total 24 Hour Percolation (Vt)
Vt = Vs+Vp = 79.26 CF. + 316.58 CF. = 395.84 CF.
NUMBER OF CHAMBERS REQUIRED:
352 SF. ADD AREA X 10.0"/12 = 293.33 CF. / 395.84 CF.
PER UNIT= 1 units.
Capacity Required = 352 CF.
Capacity Provided = 2 UNITS = 791.68CF.
Capacity Provided is Greater than Capacity Required -
∴System Complies



Tree Planting Detail

0' 2' 4'
Graphic Scale





Tree Planting Detail

0' 2' 4'
Graphic Scale

2 Typical Planting Details

Scale: NTS

PLANT LIST				
PROPERTY LOCATION: 31 MAPLE STREET, IRVINGTON, N.Y.			BLOCK:36	LOT:15
ABB.	BOTANICAL NAME	COMMON NAME	SIZE	QUAN.
SHRUBS				
CA	CLETHRA AL NIFOLIA	SWEET PEPPERBUSH	4-5' HT.	4
IG	ILEX GLABRA	INKBERRY	3-3.5' HT.	4
SB	SPIREA BULMEDA	A.W. SPIREA	2.5-3' HT.	5
NOTES:				
1. ALL PLANTS TO BE HEALTHY, FULL AND OF A FORM TYPICAL OF THE SPECIES ON PLANTING, AND WARRANTED IN THE SAME CONDITION FOR 2 FULL GROWING SEASONS.				
2. ALL TREES TO HAVE 18" OF TOPSOIL AROUND THE ROOYS, ALL SHRUBS 12".				
3. ALL PLANTS AND PLANT BEDS TO BE MULCHED WITH 2" OF BROWN SHREDDED CEDAR.				
4. WATER ALL PLANTS THOROUGHLY AT PLANTING, AND WEEKLY DURING THE FIRST 2 GROWING SEASONS AS NECESSARY.				

Notes:
INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTIONS IS COMPLETE AND THE SITE IS STABILIZED.

NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK.

3 Lighting Schedule & Detail

Scale: NTS

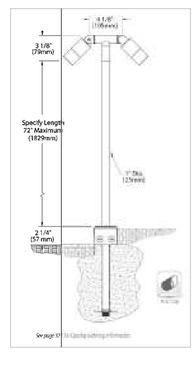
ALL LIGHTING IS DARK SKY COMPLIANT

COUNT	SYMBOL	DESCRIPTION
8	L-1	EXTERIOR –LED–MINI MICRO/STYLE C–DARK SKY
1	L-2	EXTERIOR – JAMES ALLAN FLORA SINGLE LIGHT 11" TALL OUTDOOR WALL SCONCE 75 WATTS.

COMPLIANT WITH SECTION 300–41(B)(2), 300–41(B)(d), 300–41(C).

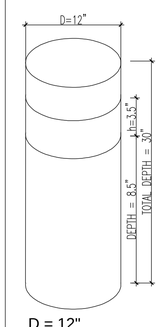
LIGHTING FIXTURES BY OWNER,
PROVIDE INSTALLATION AND COORDINATION ONLY.

L–1



L–2

SOIL PERCOLATION RATE (Sr)



D = 12"
Haveg = 8.5
h=3.5"
TIME = 15Min.

Drop Dimension 3.5" Avg.(2 Holes)
Perc. Rate Time 15 mins.

a. Surface Area of Cylinder (Ac)
Ac= PI x D x Haveg = 2.225 S.F.

b. Bottom Area of Cylinder (Ab)
Ab. = (PI x D x D)/4 = 0.7854 S.F.

c. Percolation Area (Ap)
Ap = Ab + Ac = 3.011 S.F.

d. Percolation Volume (Pv)
Vp = Ab x h = 0.229 C.F.

Soil Percolation Rate (Sr)
Sr = Vp/Ap/Time
Sr = .00507 CF/SF/MIN.
Sr = 7.301 CF/SF/DAY
Note - Deduct 25% For Clogging factor
Sr =7.301 - 1.825 =5.476 CF/SF/DAY

Project Architect:
GSA
GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE NY 10570
DIRECT (914) 769 8003 - (203) 622 8899
SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE 5-14-2021
ISSUED FOR PRE-FILE
ISSUED FOR PERMIT

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

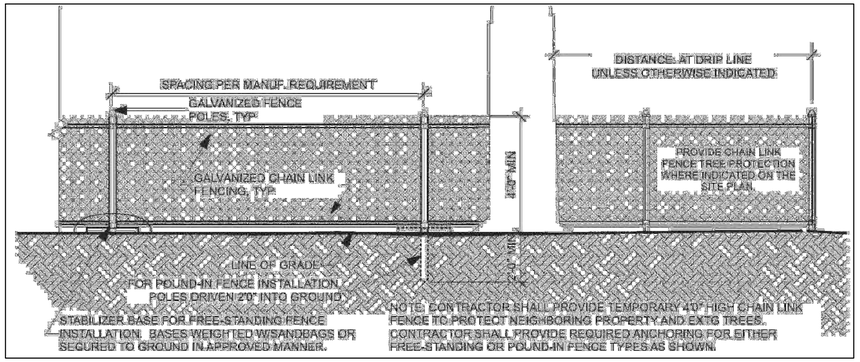
PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

PROPOSED LANDSCAPE & SITE PLAN

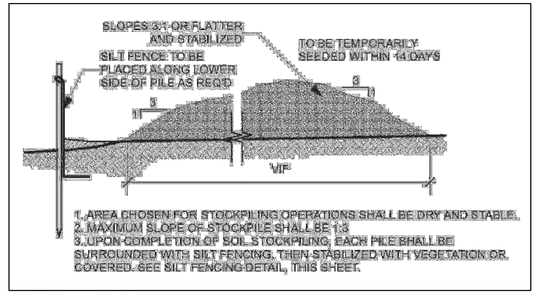
SEAL AND SIGNATURE:
REGISTERED ARCHITECT GREGORY CASE SHARP
STATE OF NEW YORK

DATE:	02-07-2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	T-003.00
CADD No:	

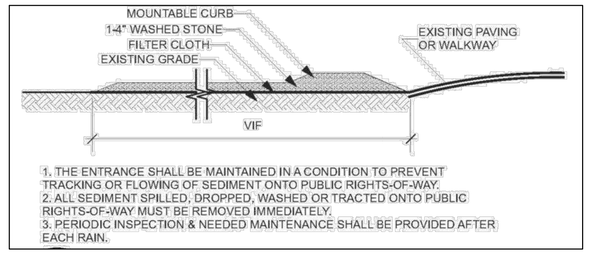
BSCAN:



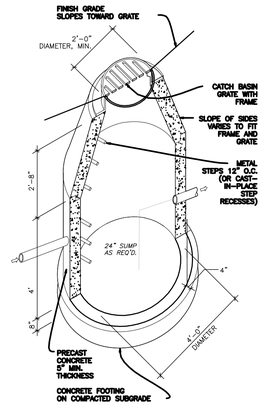
1 Construction Fence & Tree Protection Detail
Scale: NTS



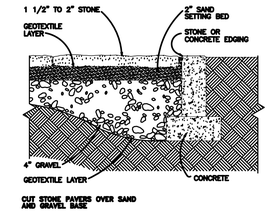
2 Soil Stockpiling
Scale: NTS



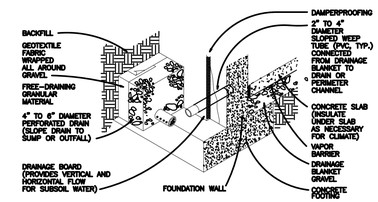
3 Tracking Pad Detail
Scale: NTS



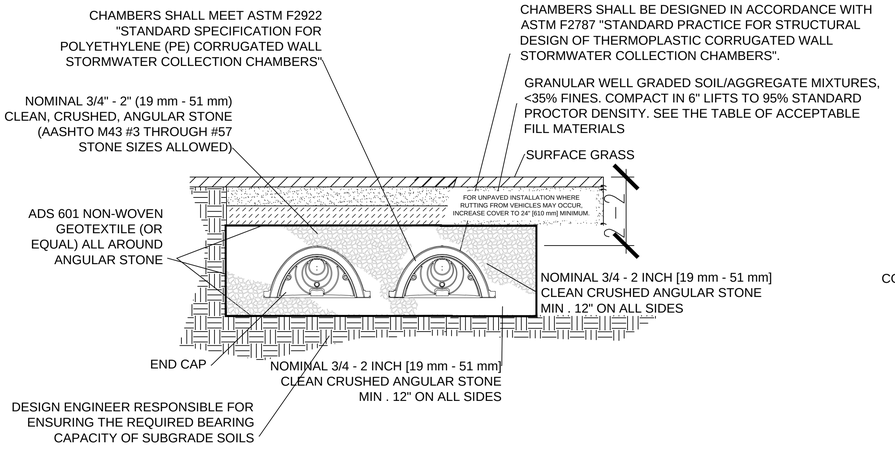
9 Catch Basin
Scale: NTS



10 Cut Stone Pavers/ Cobblestones Over Sand and Gravel Bas
Scale: NTS

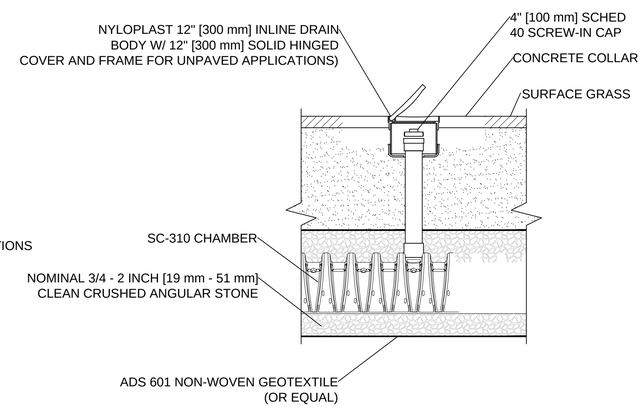


11 Typ. Perimeter Footing Drain
Scale: NTS

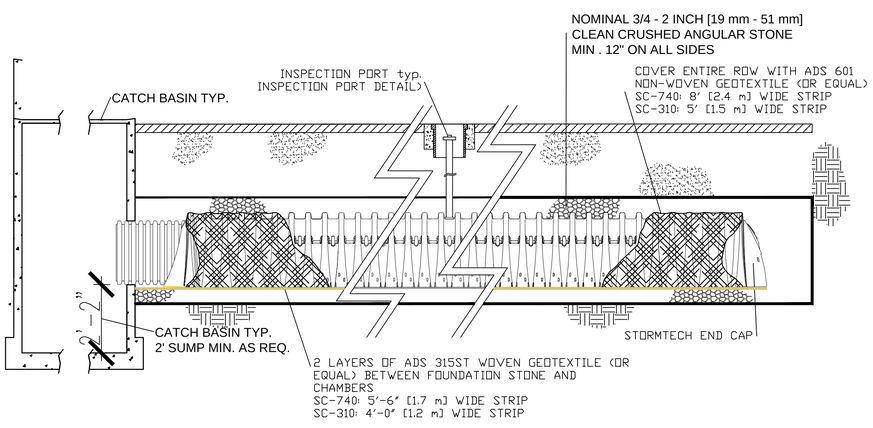


4 Typical Cross Section
Scale: NTS

CULTEC 330 XLHD –



6 Inspection Cross Point
Scale: NTS



5 Isolator Row Profile
Scale: NTS

Project Architect:

GSA
GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

DETAILED SHEET FOR

SEAL AND SIGNATURE:
REGISTERED ARCHITECT GREGORY CASE SHARP 036766-1 STATE OF NEW YORK

DATE:	02/07/2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	T-004.00
CADD No:	

BSCAN:

1 Electrical Symbols

LE-1	DECORATIVE RECESSED TRIMLESS SINGLE-LIGHT PAR 30
LE-2	DECORATIVE RECESSED TRIMLESS DOUBLE-LIGHT
LC-1	DECORATIVE RECESSED TRIM WET AREA LIGHT
LE-4	LED STRIP UP/DN-COVE LIGHT, MILLWORK AND COUNTER AREAS
CH-1	CHANDELIER
CH-2	SURFACE MOUNTED PENDANT FIXTURE OR CHANDELIER
WS	DECORATIVE WALL SCONCE
TL-1	TRACK LIGHTS – DECORATIVE FIXTURE BOX – 4'X6"X6" DEEP
	LANDSCAPING PLANTER LIGHTS
LA	INTERIOR – UTILITY LIGHTS
CL	INTERIOR – CLOSET LIGHTS
LE-SL	DECORATIVE RECESSED TRIMLESS ANGLED SINGLE-LIGHT
EX-3	EXTERIOR – LED-MULTI LIGHT – DECORATIVE IN BOX
EX-4	EXTERIOR – LED-ACCENT LIGHTS
EXL-1	EXTERIOR – LED-FLOOD LIGHTS
LKP	LIGHTING KEYPAD
VPI	VIDEO PHONE INTERCOM
STR	STRUCTURED JACK
TPS	AUDIO VISUAL TOUCHPANEL
K	SECURITY KEYPAD
LP	ELECTRONIC LOCK –LOW VOLTAGE –(1) 18/4 WIRE
I I B	INTERIOR INTERCOM (AUDIO ONLY) 60"AFF U.O.N. (2) CAT5 WIRES.
E I	ENTRY INTERCOM – (3) 18/6 WIRES, (1) SIAMESE WIRE & (2) CAT5 WIRES. MOUNTED ON WALL 60" AFF U.O.N.
KP-CR	KEYPAD/CARDREADER–(2) 18 SHIELDED WIRES & (2) CAT5 WIRES MOUNTED ON WALL 60" AFF U.O.N.
SPK	SPEAKER
LMS	LUTRON MOTORIZED SHADE
SUB	SUB WOOFER
1	NUMBER CORRESPONDS TO LIGHTING CONTROL ZONE
TEX-1	TOILET EXHAUST FAN
	RECESSED CEILING
CM / SD	COMBINED SMOKE AND CARBON MONOXIDE DETECTOR,AUDIBLE AND VISUAL HARDWIRE CONNECTED.TYP IN COMPLIANCE WITH LL07/04. SEE SPEC.
A	SECURITY ALARM SYSTEM
DRS	DOOR ACTIVATED SWITCH
	SPRINKLER HEAD

2 Symbols Legend

- DOOR NUMBER.
- SEE DETAIL.
- ELEVATION SYMBOL.
- SECTION CUT.
- WINDOW NUMBER.
- WALL TYPE.
- ELEVATION LEVEL TARGET. GAS SUPPLY.
- WATER METER.
- GAS METER.
- SPRINKLER PUMP.
- STEEL COLUMN.
- MASONRY.
- CEMENT.
- WOOD.
- TILE.
- PLYWOOD.
- KITCHEN SINK.
- STOVE/OVEN.
- REFRIGERATOR.
- BATHROOM SINK.
- TANK TOILET.
- TUB/SHOWER.
- GRAB BAR.
- GAS SUPPLY.
- WASHER AND DRYER.
- WINDOW.
- DOOR & SWING.
- FRENCH DOOR & SWING.
- MECHANICAL UNIT.
- HOT WATER HEATER.
- LAUNDRY DRAIN & SUPPLY.
- WS WATER SPICKET.

3 Emergency Symbols Legend

*MIN 1 HR BATTERY BACKUP

MAY BE COMBINED INTERCONNECT ALL FLOORS & ANNUNCIATOR 3PANEL. MONITORED CENTRAL STATION FIRE DETECTION/ALARM SYSTEM. ELEVATOR RECALL TO 1ST FLOOR TO BE SMOKE DETECTOR ACTIVATED.

- LIGHTED EXIT SIGN*
- EMERGENCY LIGHT*
- SMOKE DETECTOR 110 V +/- 8'-0" A.F.F.
- H HORN / STROBE +/- 6'-6" A.F.F.
- P PULL STATION +/- 4'-6" A.F.F.
- F TYPE ABC FIRE EXTINGUISHER

4 Abbreviations

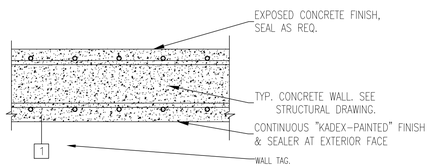
TYP.	– TYPICAL CONSTRUCTION ACTIVATED.
O/C	– ALIGN ON THE CENTER.
EXT.	– EXTERIOR.
EXIST.	– EXISTING ELEMENT.
AFF.	– ABOVE FINISHED FLOOR.
MECH.	– MECHANICAL
HVAC	– HEATING, VENTILATION, AC
AC.	– AIR CONDITIONING
GWB.	– GYPSUM WALL BOARD
@	– AROUND, CLOSE IN PROXIMITY
CLG.	– CEILING
CONC.	– CONCRETE
ETC.	– ETCETERAS, AND SO FORTH
REF.	– REFRIGERATOR
D.	– DIMMER SWITCH
VIF.	– VERIFY IN FIELD
SE.	– STRUCTURAL ENGINEER
DN.	– DOWN
MIN.	– MINIMUM DISTANCE/ REQUIREMENT
MAX.	– MAXIMUM DISTANCE/ REQUIREMENT
S.	– SWITCH

5 Wall Schedule

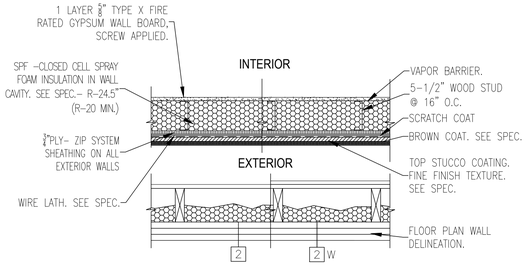
NOTES:

PROVIDE ALL STRUCTURE, BLOCKING, AND FIREPROOFING, LABOR AND MATERIALS REQUIRED TO ACCEPT ALL WALL TYPES AND FINISHES.

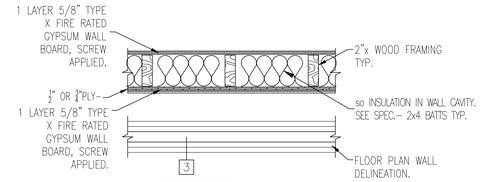
BASE TRIM DETAILS 2-3 AT ALL INTERIOR WALLS. COORDINATE WITH ARCHITECT.



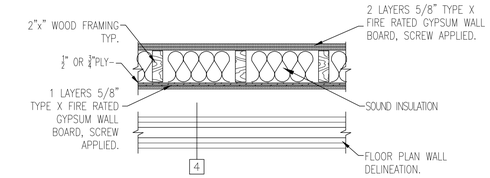
01 CONCRETE WALL
WALL TYPE 01



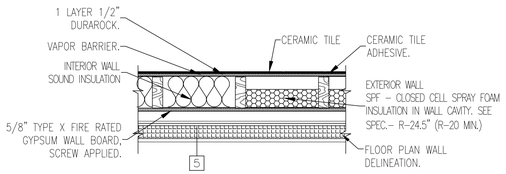
02 TYPICAL STUCCO FINISHED WALL
WALL TYPE 2 & 2 W



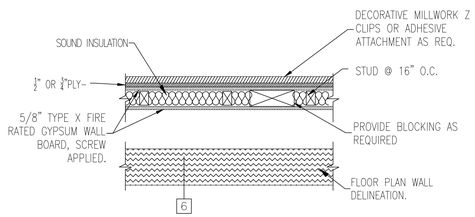
03 1-HOUR WALL
WALL TYPE 03



04 2-HOUR WALL
WALL TYPE 04

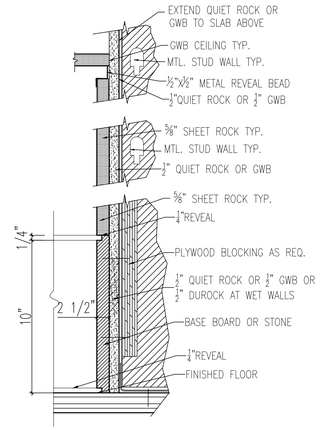


05 TYPICAL WET WALL
WALL TYPE 05

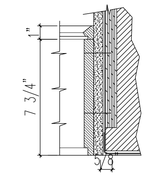


06 DECORATIVE MILLWORK WALL
WALL TYPE 6

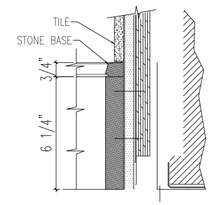
5 Typical Base Details



1 TYP. FLUSH BASE DETAIL
SCALE: Do not scale

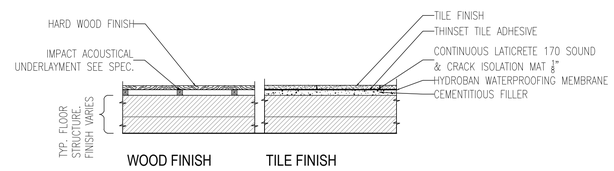


2 BASE DET. OPT.2
SCALE: Do not scale

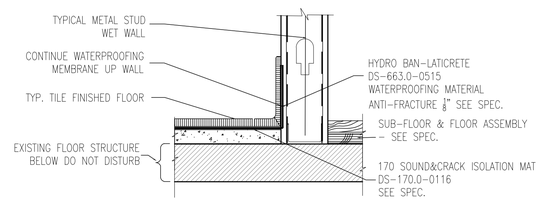


3 STONE BASE
SCALE: Do not scale

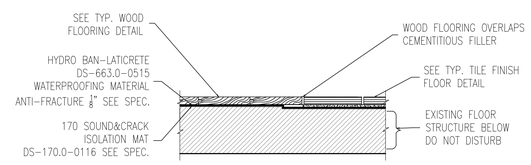
5 Typical Floor & Ceiling Details



1 Typ. Finished Floor
SCALE: Do not scale



2 Bathroom Tile Floor
SCALE: Do not scale



3 Wood/Tile Transition
SCALE: Do not scale

Project Architect:
GSA
GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

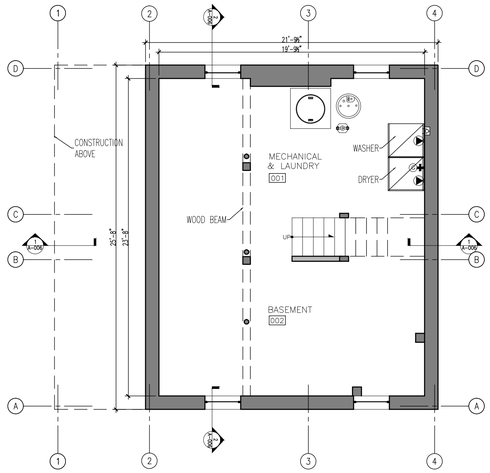
WALL SCHEDULE & DETAILS

SEAL AND SIGNATURE:

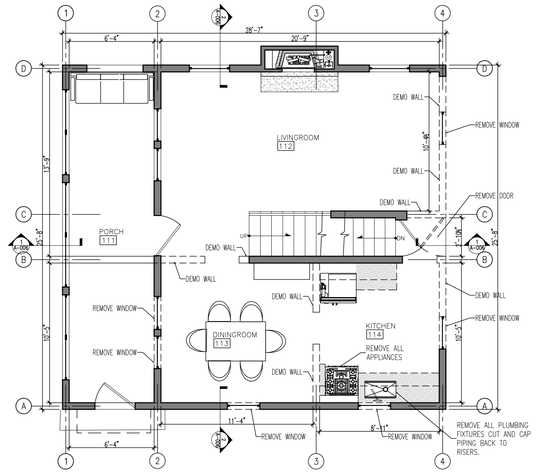
REGISTERED ARCHITECT GREGORY CASE SHARP 041950-1 STATE OF NEW YORK

DATE:	02/07/2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	T-005.00
CADD No:	1

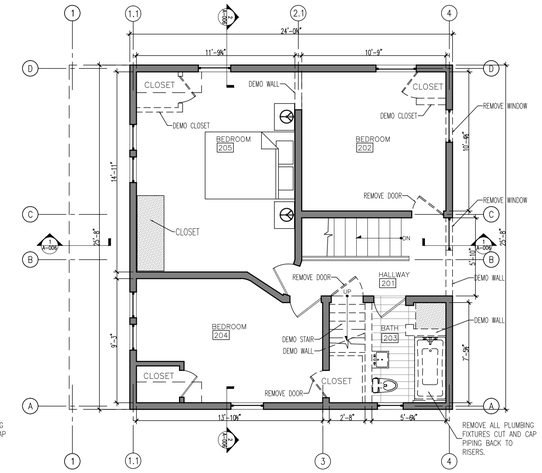
ESCAN:



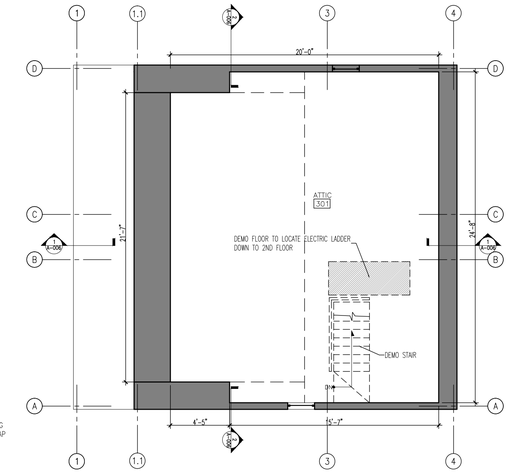
1 Existing Basement Floor Plan
Scale: 3/16"=1'-0"



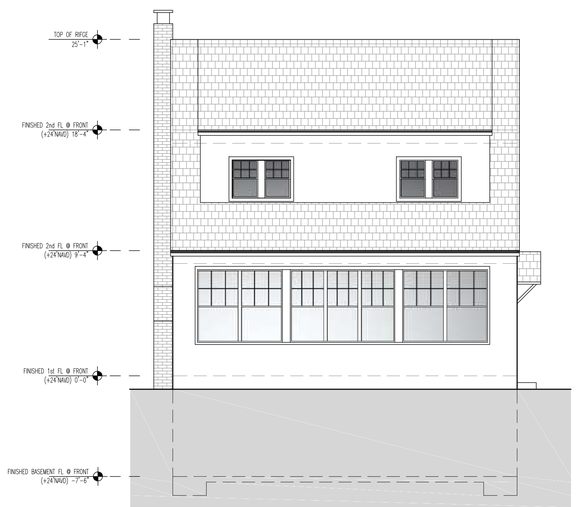
2 Existing First Floor & Demo Plan
Scale: 3/16"=1'-0"



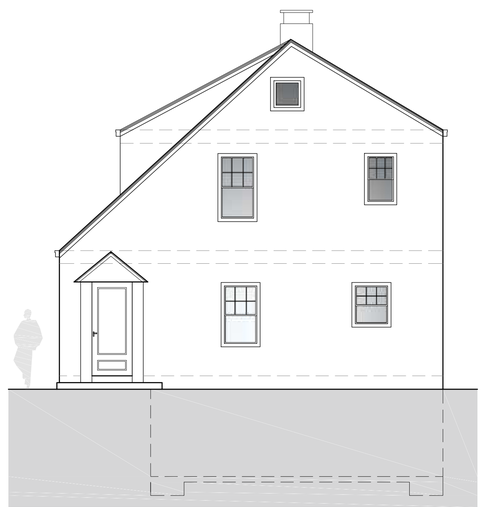
3 Existing Second Floor Plan
Scale: 3/16"=1'-0"



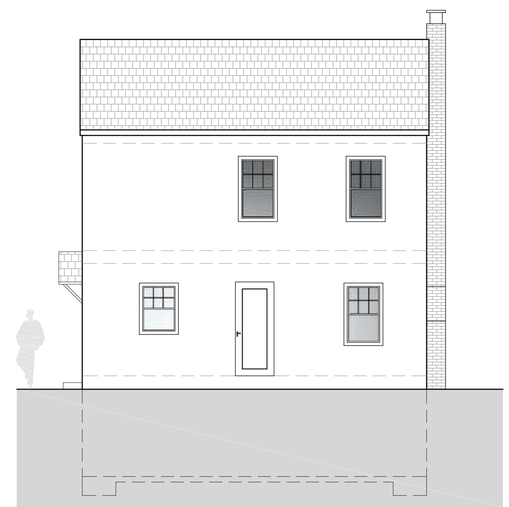
4 Existing Attic Floor Plan
Scale: 3/16"=1'-0"



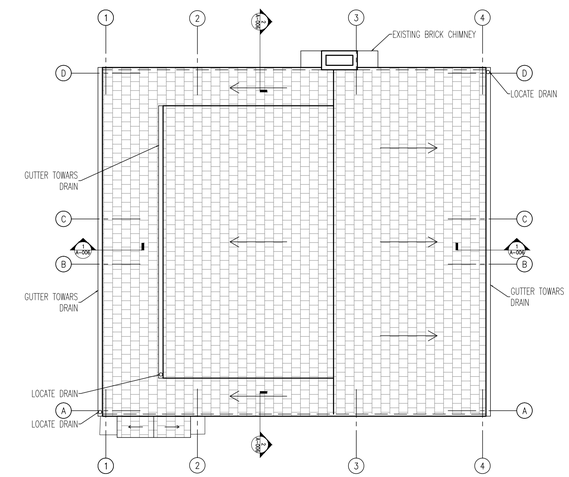
5 Elevation - Front Elevation
Scale: 3/16"=1'-0"



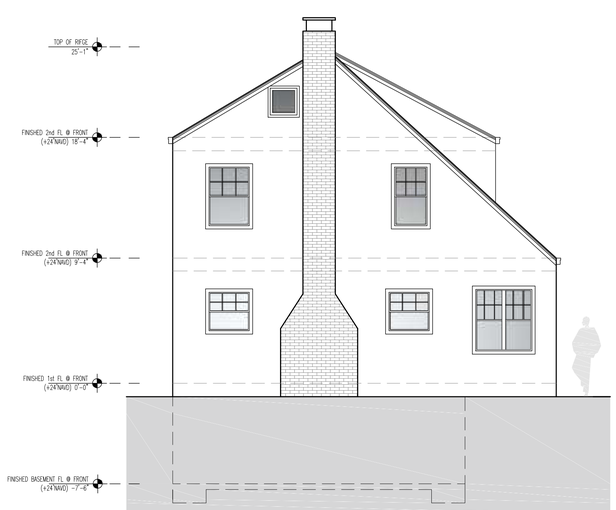
6 Elevation - Side Elevation
Scale: 3/16"=1'-0"



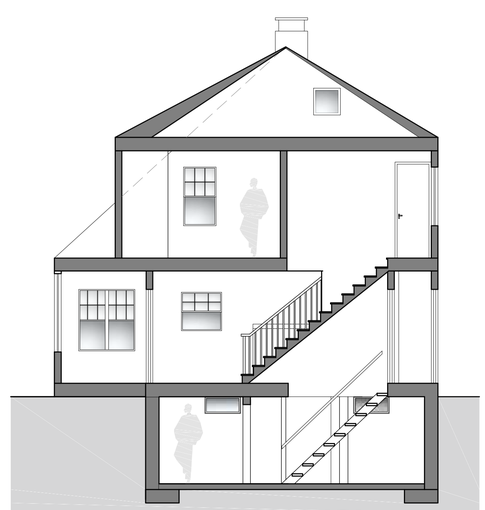
7 Elevation - Rear Elevation
Scale: 3/16"=1'-0"



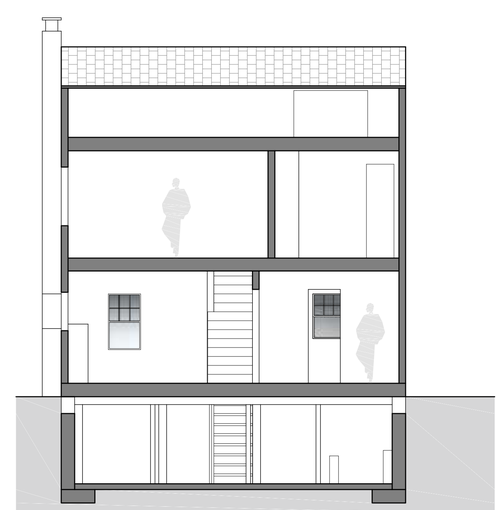
8 Existing Roof Floor Plan
Scale: 3/16"=1'-0"



9 Elevation - Side Elevation
Scale: 3/16"=1'-0"



10 Section 1
Scale: 3/16"=1'-0"



11 Section 2
Scale: 3/16"=1'-0"

DEMOLITION NOTES:

1. DEMOLISH ALL NON-BEARING WALLS (AS INDICATED BY DASHED LINES ON PLANS), PARTITIONS, DOORS, WALL COVERINGS, LOOSE PLASTER, LOOSE PAINT, WOOD TRIM, LOOSE FLOORING AND MISC DEBRIS OR DAMAGED MATERIALS FROM EXISTING CONDITION. CLEAN AND PREPARE ALL SURFACES FOR NEW WALLS AND FINISHES.

2. REMOVE AND CAP ALL MECHANICAL, ELECTRIC AND PLUMBING. DISCONNECT ALL POWER PRIOR TO DEMOLITION. PREPARE TO RELOCATE AS REQUIRED.

3. STRUCTURAL DEMOLITION REQUIRED. STRUCTURAL AND SOE WORK FILED UNDER SEPERATE APPLICATION.

4. STRUCTURAL DEMOLITION REQUIRED. CONTRACTOR TO PROVIDE STRUCTURAL DEMOLITION DRAWINGS AS REQUIRED FOR SUPPORT BRACING AND APPROVED METHOD OF REMOVAL. SUBMIT TO ARCHITECT.

5. NO MECHANICAL DEMOLITION EQUIPMENT WILL BE USED FOR THE DEMOLTION WORK AS INDICATED.

Project Architect:
GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER
CASE DEVELOPMENT
Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR
TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

	See Detail		Interior Elevation
	Elevation	PF-1,2	Coordination Tag
	Section Cut	15	Door Number
115	Window Number	3	Wall Type
		0.0"	Elevation Target
		5	Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

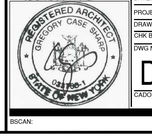
A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

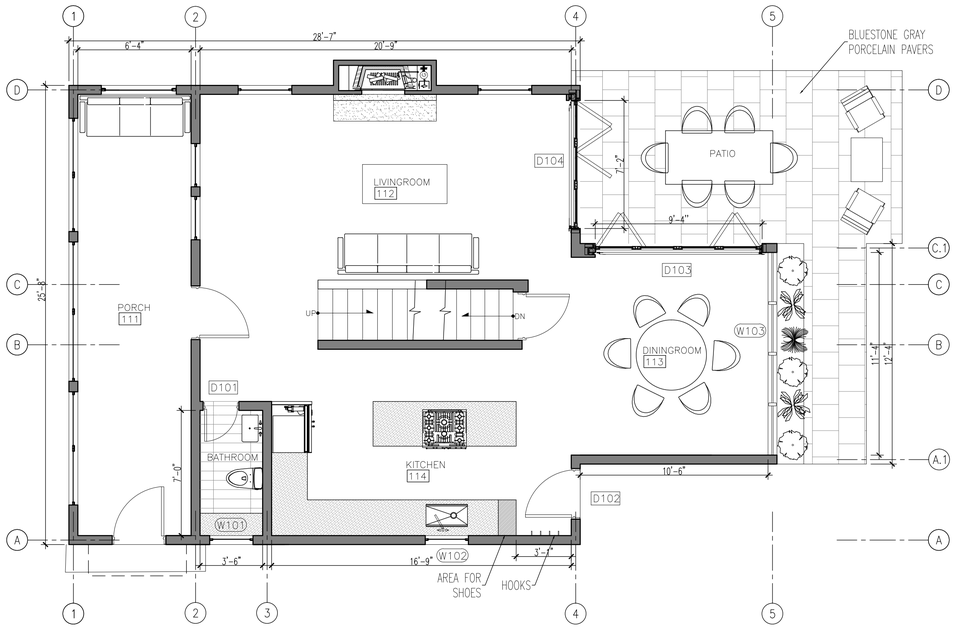
EXISTING CONDITIONS & DEMO PLAN

SEAL AND SIGNATURE:

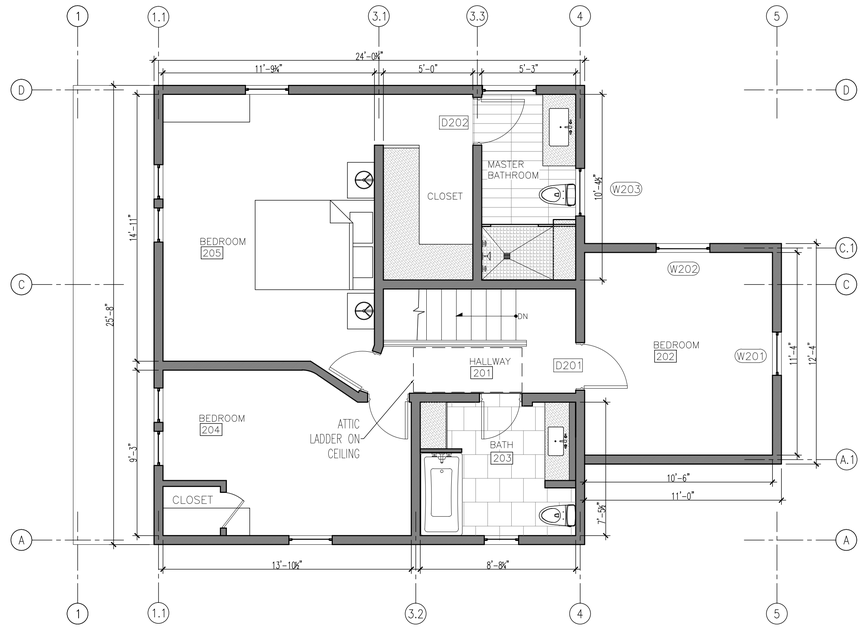


DATE:	02/07/2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	D-001.00
CADD No:	

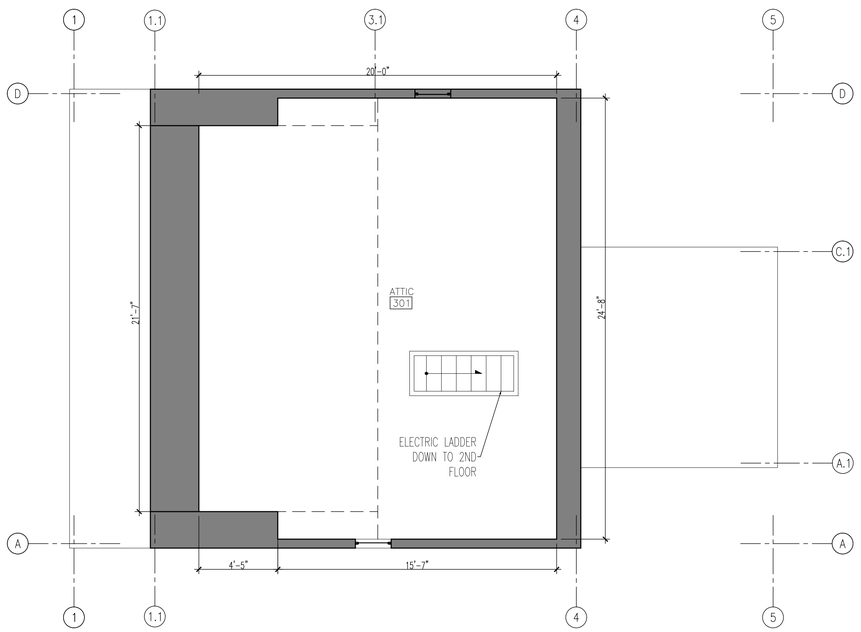
BSCAN:



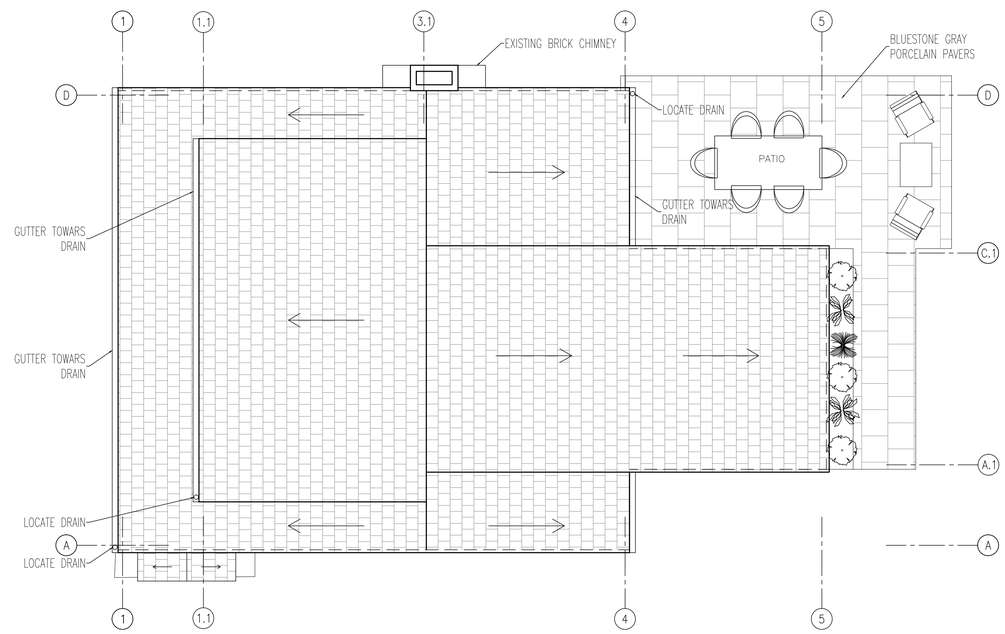
1 Proposed First Floor Plan
Scale: 1/4"=1'-0"



2 Proposed Second Floor Plan
Scale: 1/4"=1'-0"



3 Existing Attic Floor Plan
Scale: 1/4"=1'-0"



4 Existing Roof Floor Plan
Scale: 1/4"=1'-0"

Project Architect:

GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

	See Detail		Interior Elevation
	Elevation		Coordination Tag
	Section Cut		Door Number
	Window Number		Wall Type
			Elevation Target
			Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

PROPOSED FLOOR PLANS

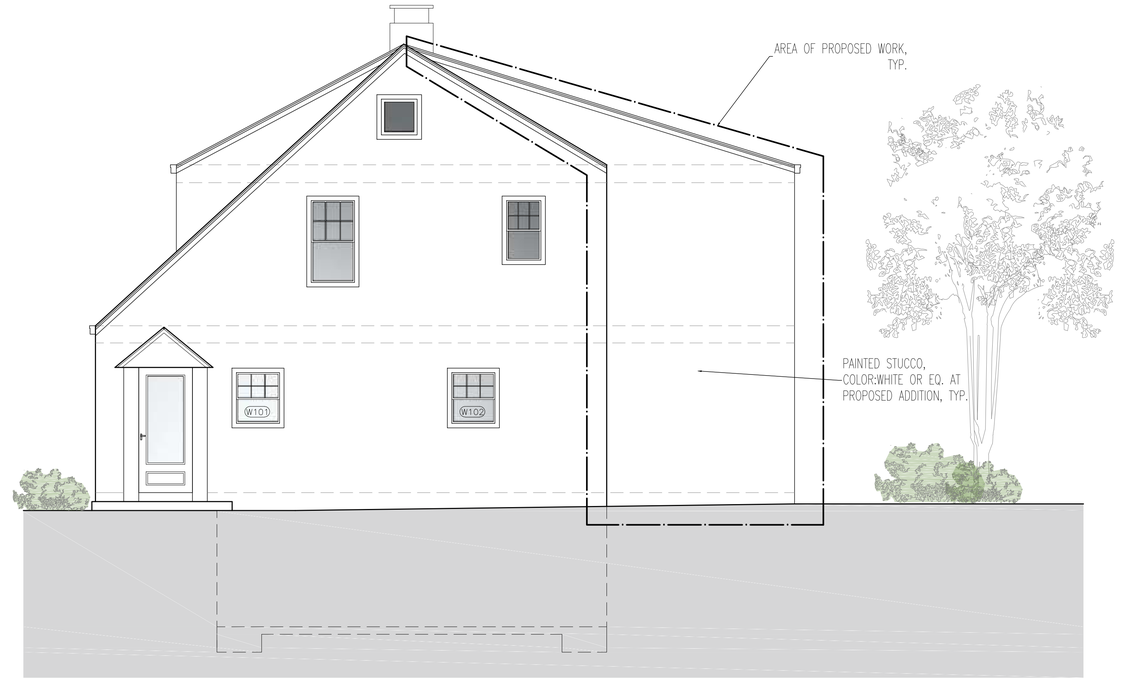
SEAL AND SIGNATURE:

REGISTERED ARCHITECT GREGORY CASE SHARP 031760-1 STATE OF NEW YORK

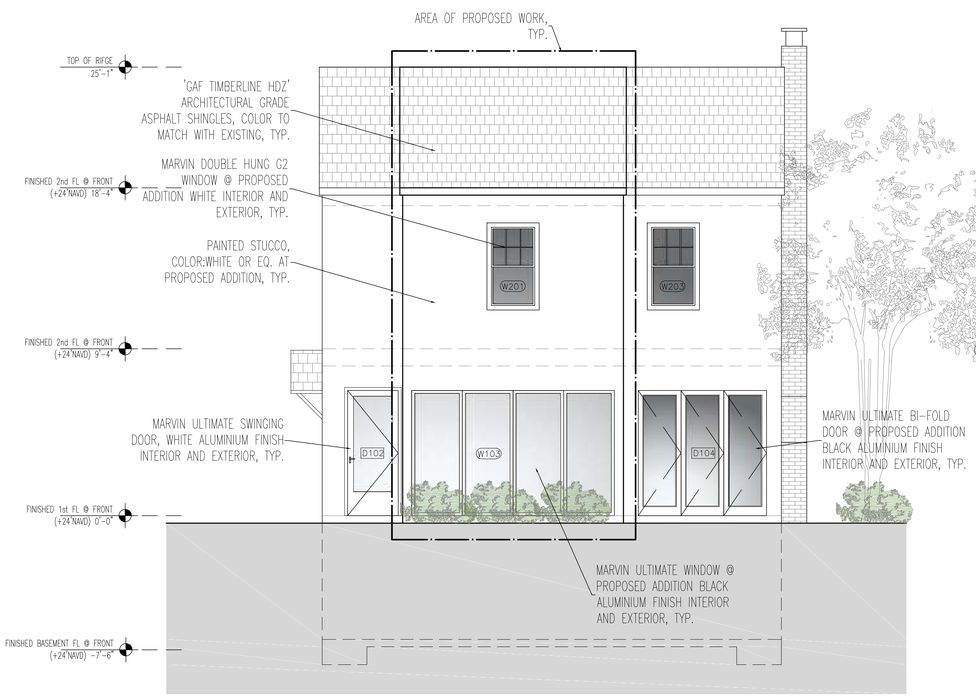
DATE:	02-07-2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	A-001.00
CADD No:	

BSCAN:

1 Existing Front Elevation
Scale: 1/4"=1'-0"



2 Proposed Side Elevation
Scale: 1/4"=1'-0"



3 Proposed Rear Elevation
Scale: 1/4"=1'-0"

4 Proposed Side Elevation
Scale: 1/4"=1'-0"

Project Architect:
GSA
GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- 0.0" Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

PROPOSED ELEVATIONS

SEAL AND SIGNATURE:
REGISTERED ARCHITECT GREGORY CASE SHARP 041760-1 STATE OF NEW YORK

DATE:	02-07-2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	A-002.00
CADD No:	

BSCAN:

MARVIN

INTERIOR EXTERIOR

Features of the Ultimate Bi-Fold Door

- Choose from 81 operating configurations
- Available in heights up to 10 feet or widths up to 55 feet
- Individual panel sizes available up to 3.5 feet wide by 9.5 feet high
- Optional single swinging active access door panel allows for convenient everyday use
- Integrated multi-point hardware system at folding panels for smooth and effortless operation
- Contemporary hardware for a sleek and simple aesthetic
- Retractable screen available in widths up to 29.5 feet is nearly invisible when not in use
- Hidden Lock Status Sensor option connects with your smart home to indicate when door is closed and locked
- Performance and high-performance sills available, along with a low-profile, flush universal design sill for accessibility
- Available with IZ3 coastal/hurricane certification
- Contemporary or Traditional hardware options for design flexibility

INTERIOR EXTERIOR

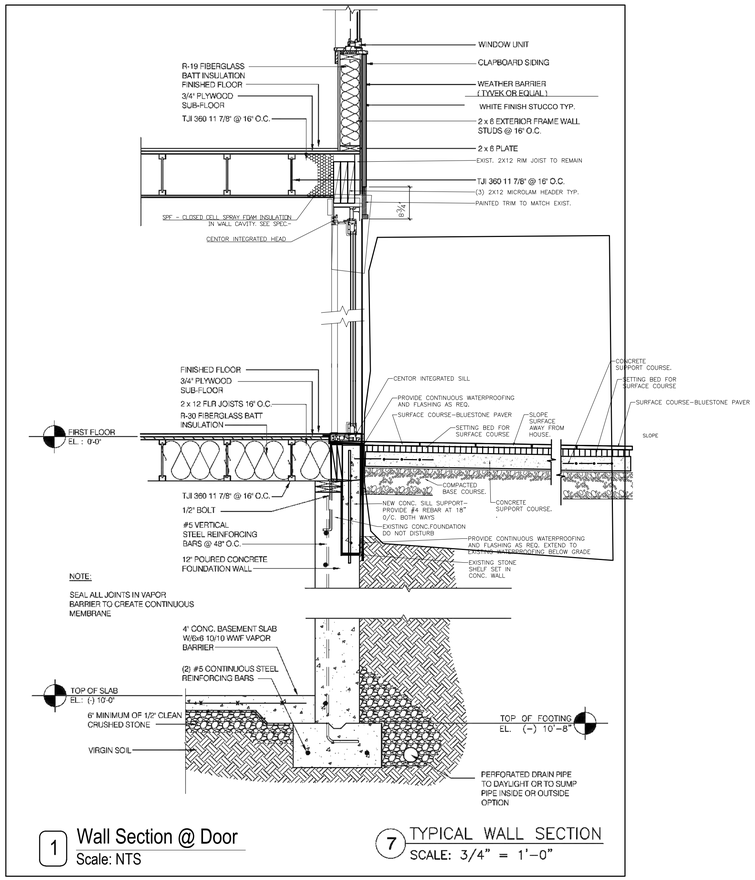
Features of the Ultimate Swinging Door

- Inswing or Outswing
- Available in heights up to 10 feet
- Four-panel configurations in widths up to 14 feet
- Robust 2¼" standard panel thickness delivers confidence in operating even the largest door panel
- Unequal panel widths
- Ultrex® sill is engineered for years of energy-efficient and weathertight performance
- Fully concealed multi-point locking system
- Adjustable hinges for easy installation and years of smooth operation
- Hidden Lock Status Sensor option connects with your smart home to indicate when door is closed and locked

INTERIOR EXTERIOR

FEATURES OF THE ULTIMATE DOUBLE HUNG G2 WINDOW

- Available in heights up to 10.5 feet or widths up to 5.5 feet
- Marvin's exclusive auto-lock activates when sashes are closed for convenient security
- Unique wash mode allows cleaning of both sides of glass from indoors
- Narrow checkrail maximizes view, while maintaining historical accuracy
- Available with the same features in a single hung style, with optional Lift Lock
- Additional configurations include round top, stationary transom or picture window
- Hidden Lock Status Sensor option connects with your smart home to indicate when windows are closed and locked
- Available with IZ3 coastal/hurricane certification
- Available with Commercial Windows Performance certification
- CE certified

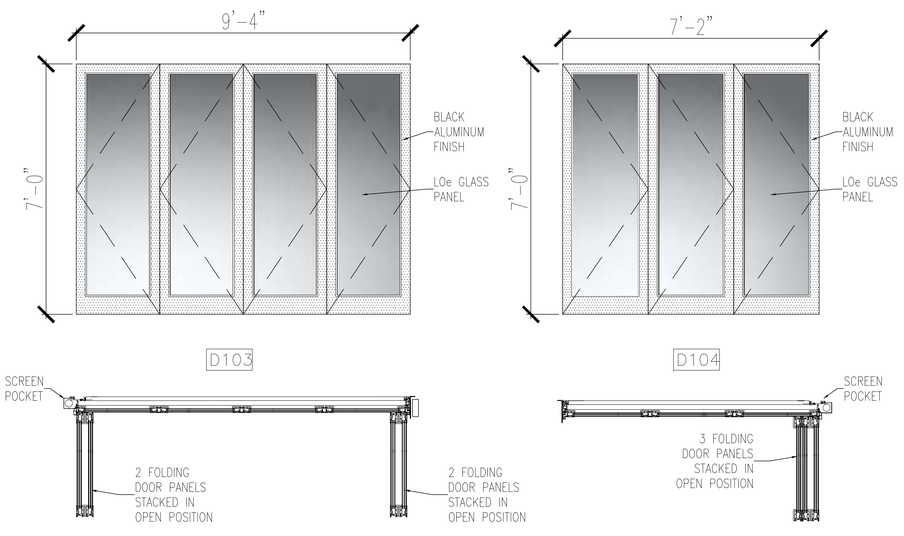


1 Wall Section @ Door
Scale: NTS

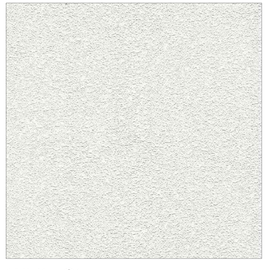
7 TYPICAL WALL SECTION
SCALE: 3/4" = 1'-0"

Patio Surface Stone
Bluestone Gray Porcelain Paver

Shingles



2 Folding Doors Details
SCALE: N.T.S.



White Stucco

Project Architect:

GSA
GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:
THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

DOORS DETAILS PROPOSED MATERIALS

SEAL AND SIGNATURE:

REGISTERED ARCHITECT GREGORY CASE SHARP 031700-1 STATE OF NEW YORK

DATE:	02/07/2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	A-003.00
CADD No:	

BSCAN:

Project Architect:

GSA

GREGORY SHARP ARCHITECT,PC
145 PALISADE STREET, SUITE 211
DOBBS FERRY
DIRECT 917 597 1982
INFO@CASEDEVELOPMENT.COM

OWNER'S REP / PROJECT MANAGER

CASE DEVELOPMENT

Case Development Inc
145 PALISADE STREET, SUITE 211
DOBBS FERRY, NY 10522
www.casedevelopment.com
DIRECT 917 597 1982

SURVEYOR

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD, PLEASANTVILLE
NY 10570
DIRECT (914) 769 8003 - (203) 622 8899

SURVEYED: APRIL 13,2021

LANDSCAPE ARCHITECT

ARBORIST

STRUCTURAL ENGINEER

PROJECT ENGINEER

NOTES

SYMBOL LEGEND

- See Detail
- Elevation
- Section Cut
- Window Number
- Interior Elevation
- Coordination Tag
- Door Number
- Wall Type
- Elevation Target
- Revision

North Arrow:

DRAWINGS AND SPCECIFICATIONS REPRESENTED AND OR INDICATED HEREBY ARE THE PROPERTY OF CASE DEVELOPMENT, AND ARE NOT TO BE USED, EITHER IN WHOLE OR IN PART, FOR ANY OTHER PROJECTS OR PURPOSES, BY ANY PARTIES OTHER THAN THOSE AUTHORIZED BY CONTRACT, WITHOUT PRIOR WRITTEN AUTHORIZATION FROM CASE DEVELOPMENT.

DRAWING INFORMATION

ISSUED FOR PRE-FILE	5-14-2021
ISSUED FOR PRE-FILE	
ISSUED FOR PERMIT	

D.O.B. No. -

A Remodelation House located in Irvington, NY developed by:

The Lukach Residence

PROJECT:

THE LUKACH RESIDENCE
31 MAPLE STREET,
IRVINGTON, NY 10533

PERSPECTIVES

SEAL AND SIGNATURE:

REGISTERED ARCHITECT GREGORY CASE SHARP 031760-1 STATE OF NEW YORK

DATE:	02-07-2022
PROJECT No:	LUKACH 2022
DRAWING BY:	GS
CHK BY:	
DWG No:	A-004.00
CADO No:	

BSCAN: