

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	235	Date:	03/01/2022
Job Location:	16 PARK RD	Parcel ID:	2.100-56-15
Property Owner:	Christine Lamsvelt & Ben Thompson	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
John Malone	Roman Vrydnyk
Ferguson Malone Architecture	High Street Construction LLC
One Bridge Street Suite 29 Irvington NY 10533	26 Bedford Avenue Bedford Hills NY 10507
9145643166	914 434-7426

Description of Work

Type of Work:	Ext. Elevation Changes	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	4000.00	Property Class:	1 FAMILY RES

Description of Work

Existing window in primary bathroom being replaced as part of existing building permit #BP2021-0145.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

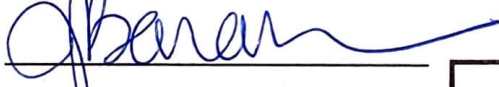
AFFIDAVIT OF APPLICANT

I **John Malone** being duly sworn, depose and says: That s/he does business as: **Ferguson Malone Architecture** with offices at: **One Bridge Street Suite 29 Irvington NY 10533** and that s/he is:

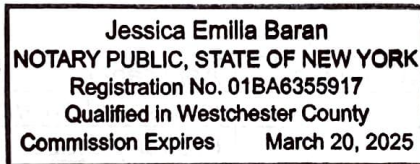
- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 2nd day of March of 2022



Notary Public / Commission of Deeds



Applicant's Signature

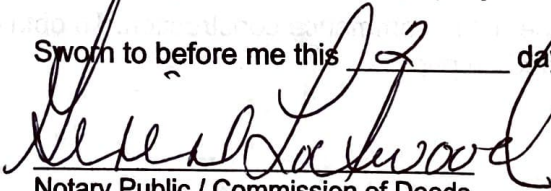
OWNER'S AUTHORIZATION

I **Christine Lamsvelt & Ben Thompson** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number (646) 429-0517 Owner email address lamsvelt@gmail.com

- ☐ Christine Lamsvelt I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

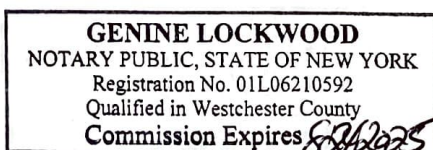
Sworn to before me this 2 day of March of 2022



Notary Public / Commission of Deeds



Applicant's Signature



INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

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* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total 153

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

FERGUSON MALONE ARCHITECTURE

February 07, 2022

Jim Flandreau
Assistant Building inspector
Village of Irvington
Village Hall
85 Main Street
Irvington, NY 10533

Lamsvelt/ Thompson Residence
Building Permit No. BP2021-0145 (16 Park Road, Irvington NY)
Parcel No. 2.100-56-15 (06 13B00000 P5A2)

Mr. Flandreau,

Attached please find the following revised sheets:

- Sheet A-0.10 Door and Window Schedules:
 - New sheet
 - Exterior window in Primary Bath is to be replaced – Refer to schedule for window specification.

We are assuming the window replacement will be referred for Architectural Review Board approval.

The long-term goal is to replace all the windows and patio doors on the house. The North facade windows will have the Tudor style divided lites, in living and dining room.

The North façade is acting as the front entry of the house. The South façade is not visible from the street.

Figure 1 Image of window being replaced on Existing South Façade



Figure 2 Image of Existing North Facade



Figure 4 Image of Existing South Facade



Figure 5 Image of Existing East Facade



- Sheet A-1.00 Demolition and Proposed Floor Plans:
 - A note has been revised to indicate the change of insulation from comfort batt mineral wool.
 - Finish schedule has been added.
 - Tempered glass has been added to window in shower.
 - Exterior window on Primary Bath is to be replaced. Refer to note and
- Sheet A-1.01 Reflected Ceiling and Electrical Plans:
 - Lighting has been revised on the second-floor primary bathroom.
- Sheet A-2.00 Enlarged Plans and Interiors:
 - Vanities in Primary bath and Powder Room revised.
 - Plumbing and Accessory Schedules has been updated.
- Sheet A-2.10 Interior Details
 - Tile floor detail has been added.

Please feel free to contact me at (914) 591-5066 or via email at jmalone@fergusonmalone.com.

Sincerely,



John Malone, AIA LEED AP

Enc:

- Revised set of drawings – Dated 02/07/2022

cc: Christine Lamsvelt and Ben Thompson
File

Lamsvelt Thompson
Residence
Phase I
16 Park Road
Irvington, NY

Submitted for Bidding
November 09, 2021

Submitted for Building Permit
November 17, 2021

Submitted for Building Permit
December 13, 2021 Revision 

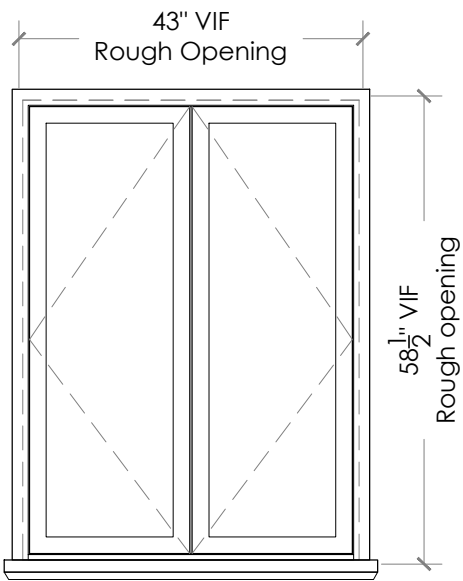
Submitted for Construction
December 15, 2021 Revision 

Building Permit Revision
February 07, 2022 Revision 

Irvington Architectural Review Board Submission
March 07, 2022

PROJECT NO.: 2109

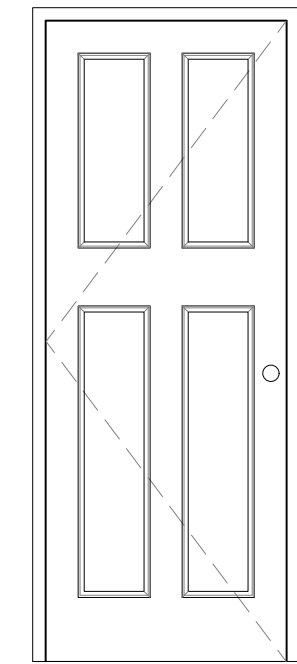
FERGUSON MALONE ARCHITECTURE



Type A1

Window Types

Window Schedule							
Type	Description	Manufacturer	Product No.	Rough Opening	Material	Finish	Remark
A1	Ultimate Wood Casement Pushout	Marvin	Custom	43" x 58 1/2"	Aluminum / Wood	Bronze Ext. / White Primed Int.	Tempered glass. Provide casement in-swing screen. G.C. to verify existing unit dimensions.



Type A

Door Types

Door Schedule								
Number	Location	Door			Frame		Hardware	Saddle
		Type	Unit Size	Function	Type	Finish	Type	
001	Proposed Pwdr. Room	A	2'-2" x 6'-8"	RH	Wood/Poplar	Primed White	TBD	N/A
002	Proposed Primary Bathroom	A	2'-2" x 6'-8"	RH	Wood/Poplar	Primed White	TBD	3

Door Type Schedule							
Type	Description	Manufacturer	Product No.	Width	Material	Finish	Remark
A	Interior 4 Panel Wood Interior Door	TBD	TBD	1 3/4"	Wood/Pine	Painted	New door to match existing doors.

Window Notes:

All new windows to meet the requirements of 2020 Residential Code of New York and are to have a U-factor of 0.32 or less and SHGC of 0.4 or less. See Insulation and Fenestration Requirements by Component Chart and Table R4.02.1 Equivalent U-Factors on the General Notes sheet.

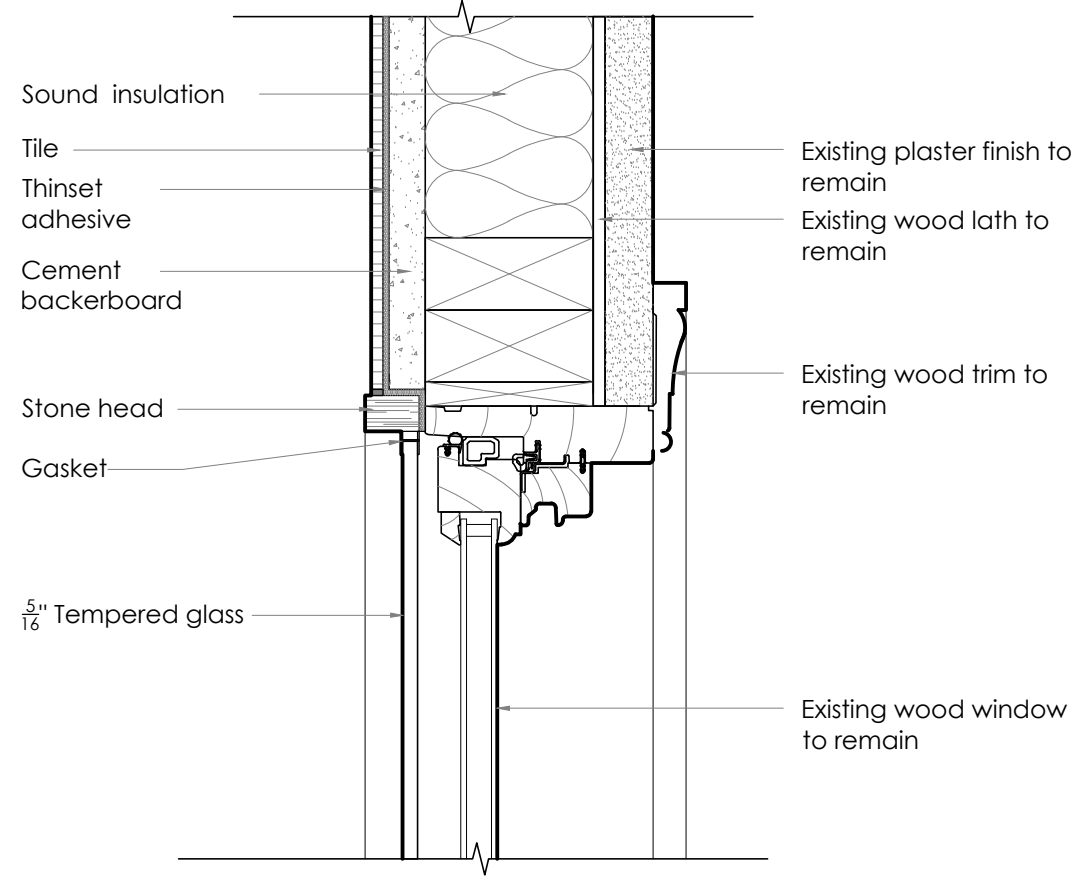
Prior to ordering, verify all rough openings and wall thickness for window jamb dimensions in field.

Door Hardware Notes

Door and hardware are to match existing. Submit door and hardware specifications and shop drawings for architects approval.

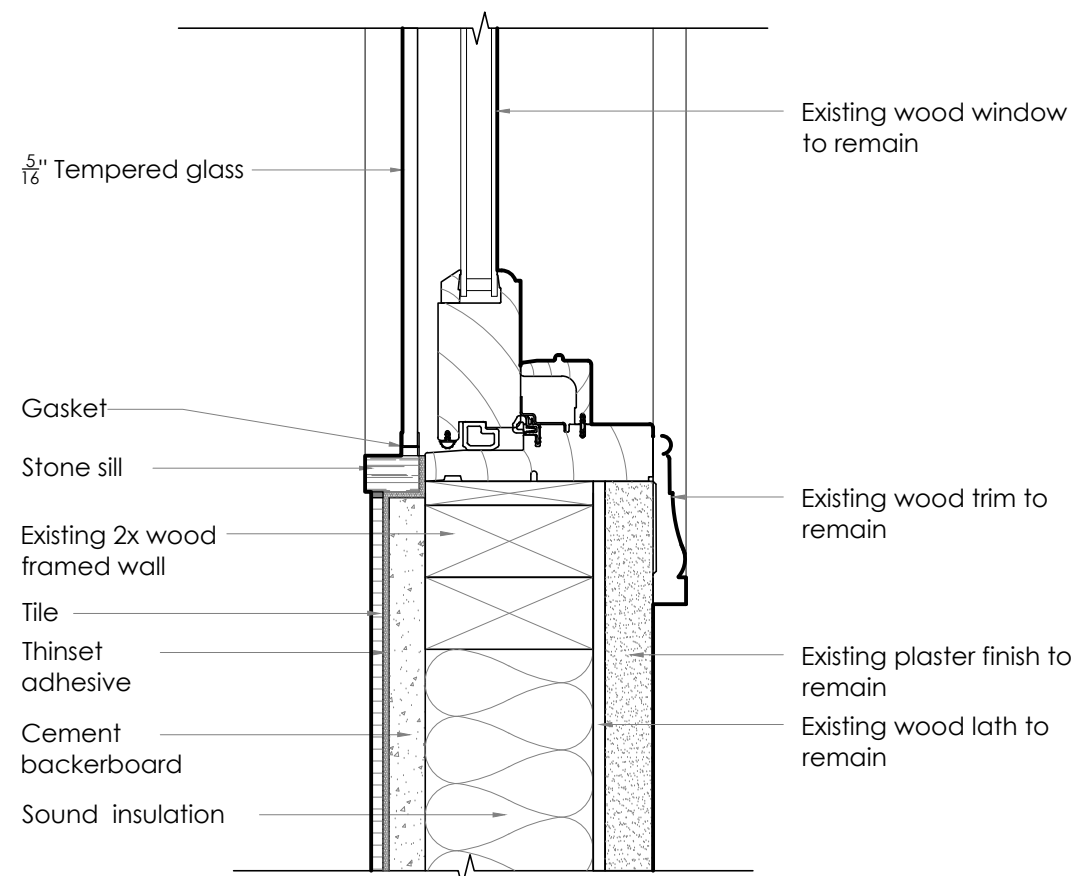
Functional and finish hardware shall be provided by and installed by contractor and shall be installed as per manufacturer's specifications.

Verify backset distance and door thickness and coordinate with selected door hardware.



1 Window Head @ Primary Bathroom Shower

3" = 1'-0"



2 Window Sill @ Primary Bathroom Shower

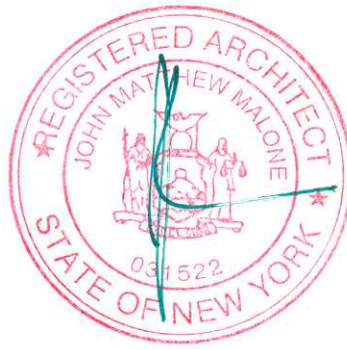
3" = 1'-0"

Lamsvelt
Thompson
Residence
Phase I

16 Park Road
Irvington, NY

NO.	DATE	ISSUE/REVISION
3	02/07/2022	Permit Resubmission
2	12/15/2021	Submitted for Construction
1	12/13/2021	Resubmitted for Permitting
	11/17/2021	Submitted for Permitting
	11/09/2021	Submitted for Bidding

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Door and
Window
Schedule

SCALE: As Noted

DATE: 09/24/2021

JOB: 2109

3 New Sheet

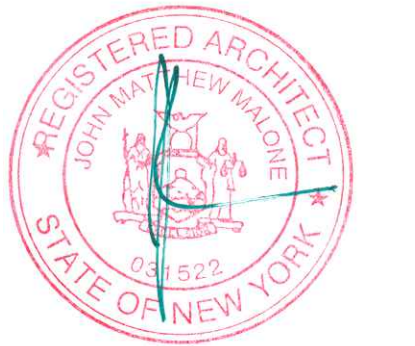
A-0.10

16 Park Road
Irvington, NY

16 Park Road
Irvington, NY

A	02/07/2022	Building Permit Revision
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NO.	DATE	ISSUE/REVISION

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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
4 591 5066 F 914 591 5031

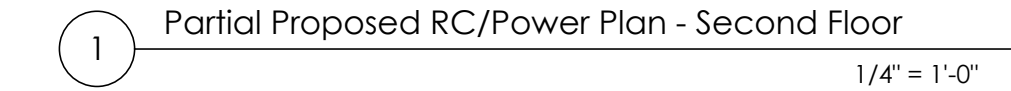
Reflected Ceiling and Electrical Plans

SCALE: As Noted

DATE: 09/24/2021

JOB: 2109

A-1.01



3

Key

②

A

A 4x5 grid of dots. To the left of the first column, there is a vertical line segment. The dots are arranged in four rows and five columns. The first column has four dots, the second has four, the third has four, the fourth has four, and the fifth has four. The vertical line is positioned to the left of the first column, starting from the top dot and extending to the bottom dot.

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Lighting Notes

All lighting shall comply with Section 300-41 in the Village of Dobbs Ferry Zoning Code.

New lighting fixtures shall be provided as indicated on the fixture schedule. Install all accessories, wiring and conduit as required.

All new fixtures are to be controlled with switches as indicated, Lutron Caseta or approved equal. Provide LED compatible dimmers as indicated.

Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Light switches to be mounted at 3'-6" to centerline above finish floor.

All IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤ 2.0 cfm leakage at 75 Pa.

Electrical Distribution Notes

All work shall be performed by licensed personnel, and shall comply with N.Y. State Uniform Fire Prevention and Building Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association and all federal, state, and municipal authorities having jurisdiction over the work.

All work shall comply w/ the National Electrical Code NFPA70 edition 2020.

Contractor shall obtain exact requirements before proceeding with the work.

Install wiring and conduit as required by code.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

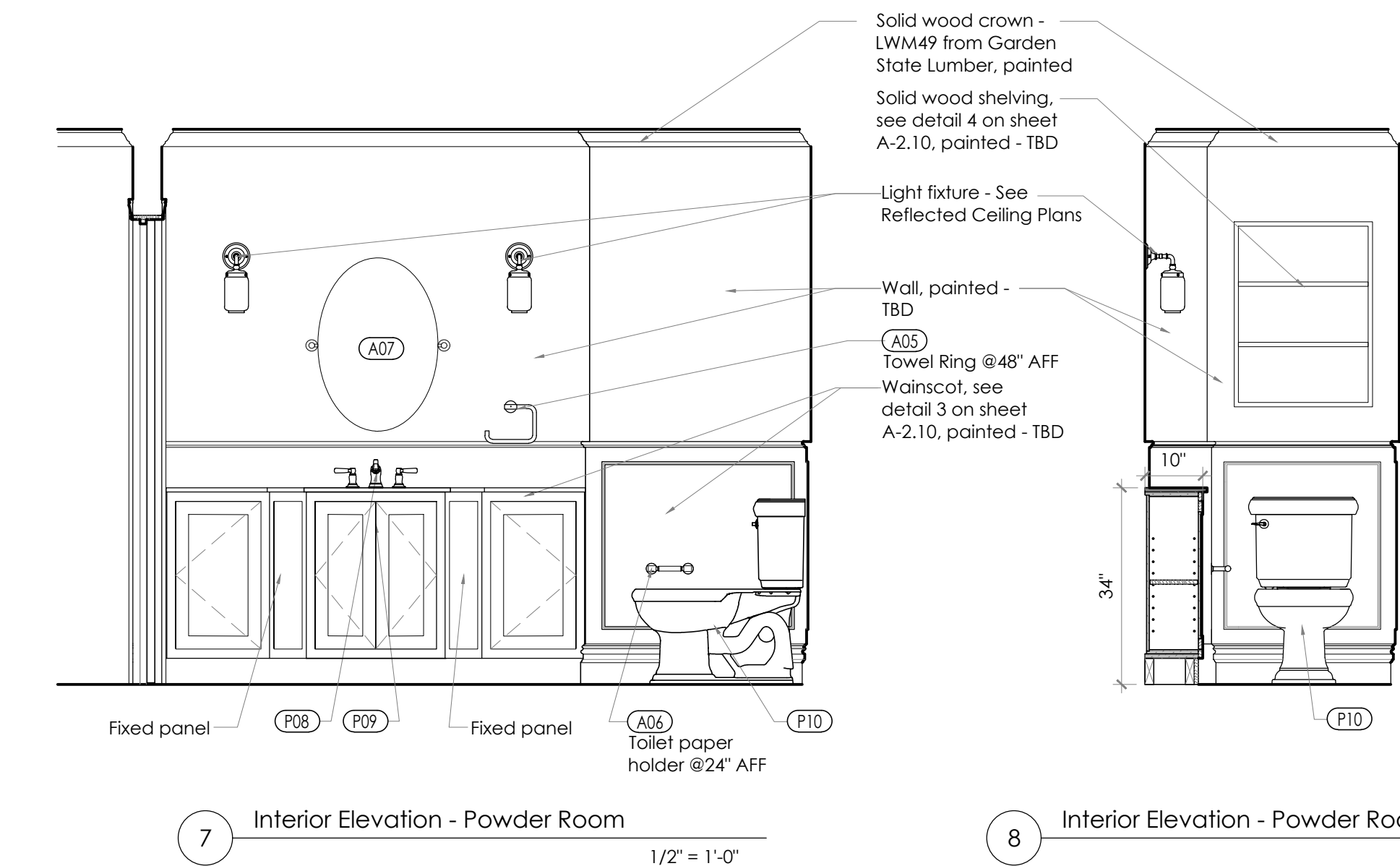
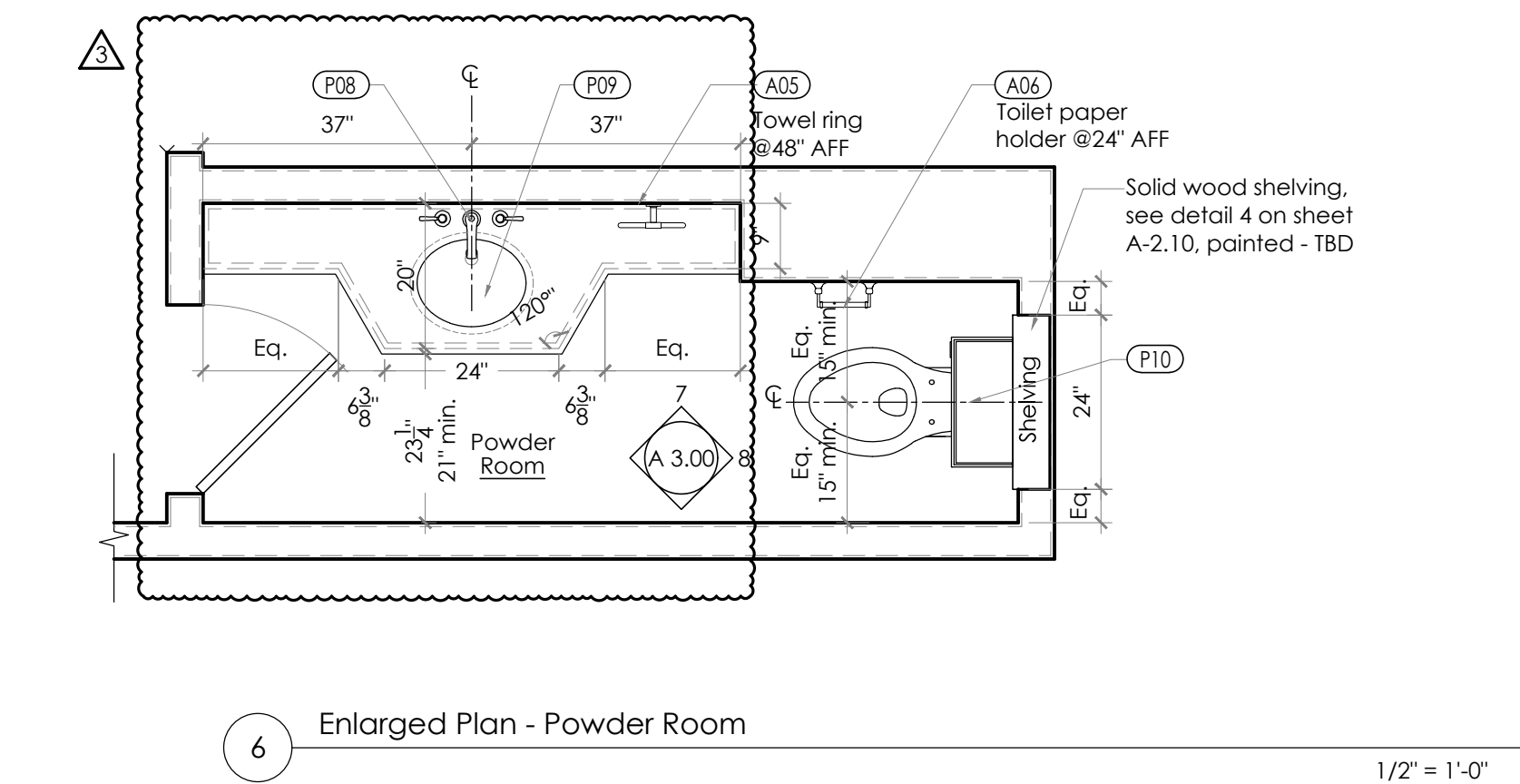
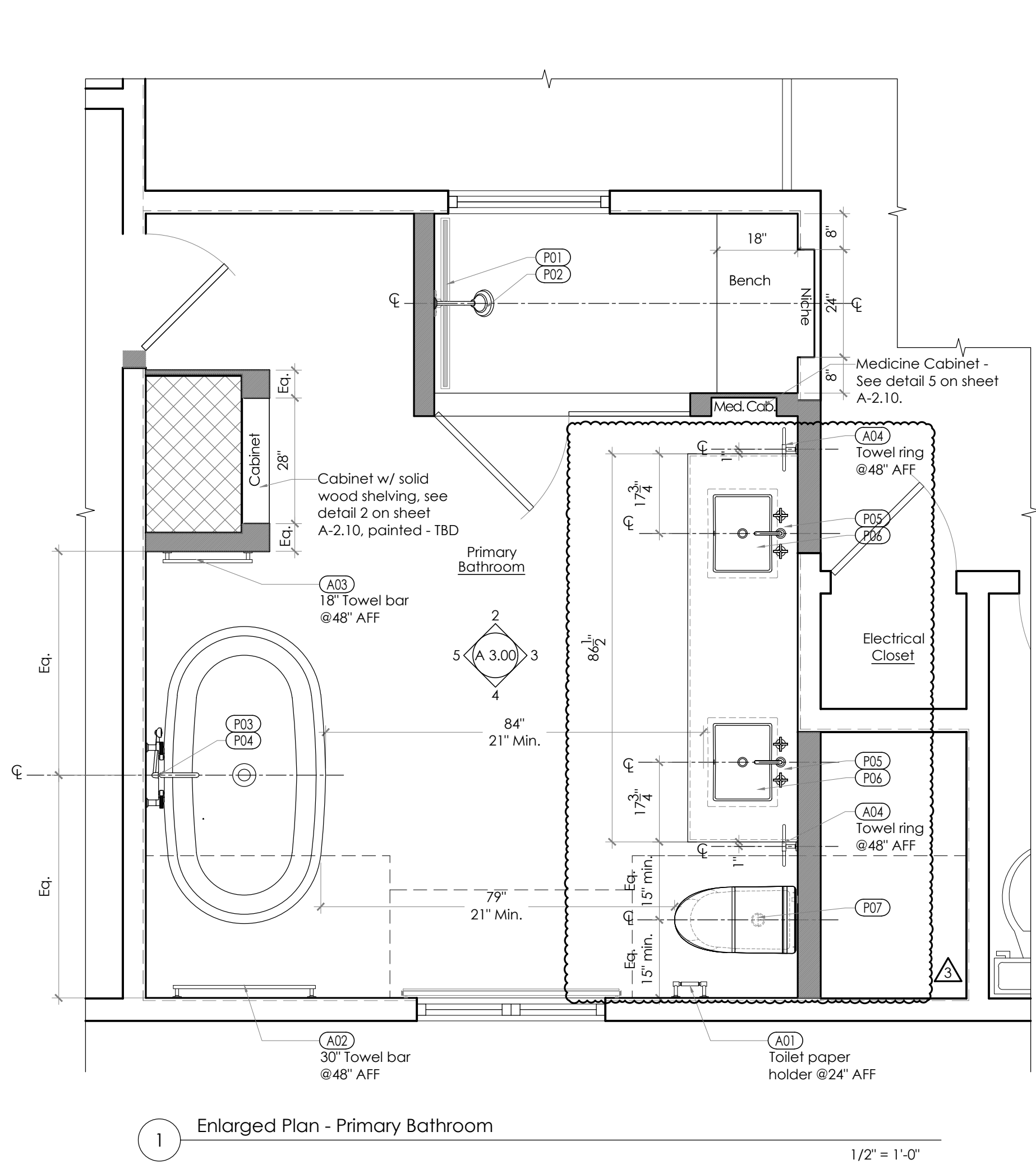
All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices are to be white.

Adjacent switches and receptacles are to be installed in ganged with single coverplate.

Exact locations of outlets & switches shall be verified. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

Light switches to be mounted at 3'-6" to centerline above finish floor.

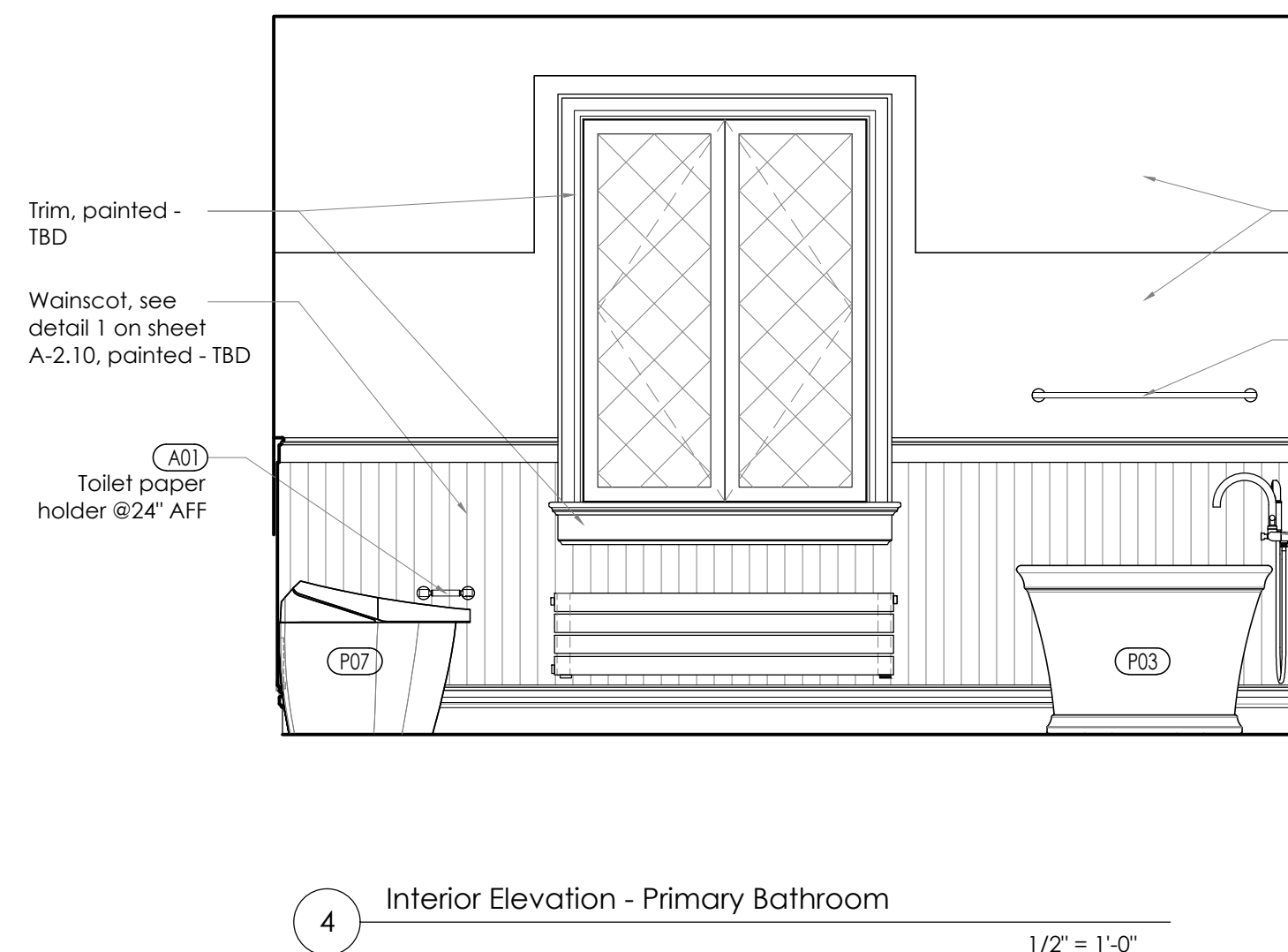
Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and household fire warning equipment provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms.



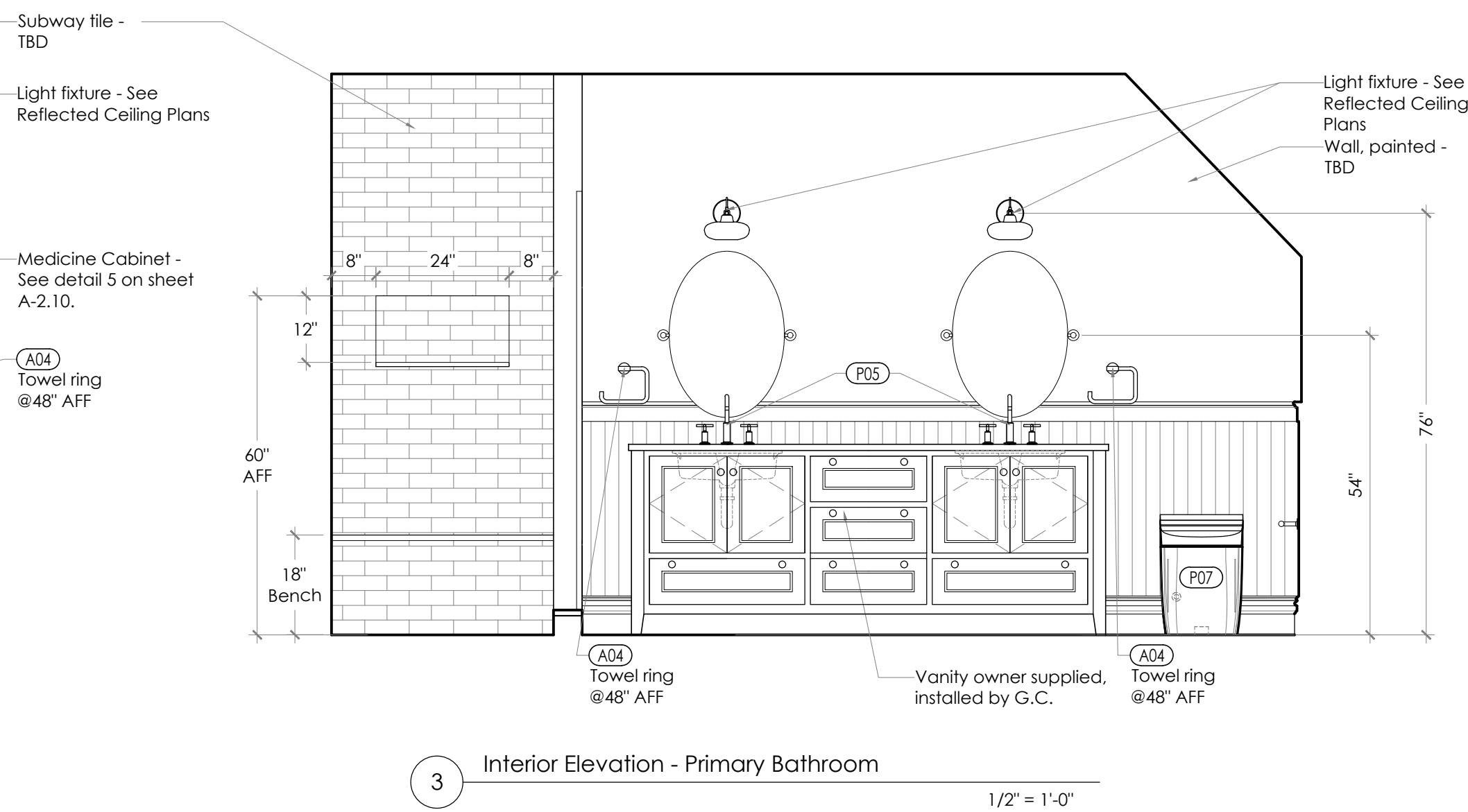
7 Interior Elevation - Powder Room 1/2" = 1'-0"



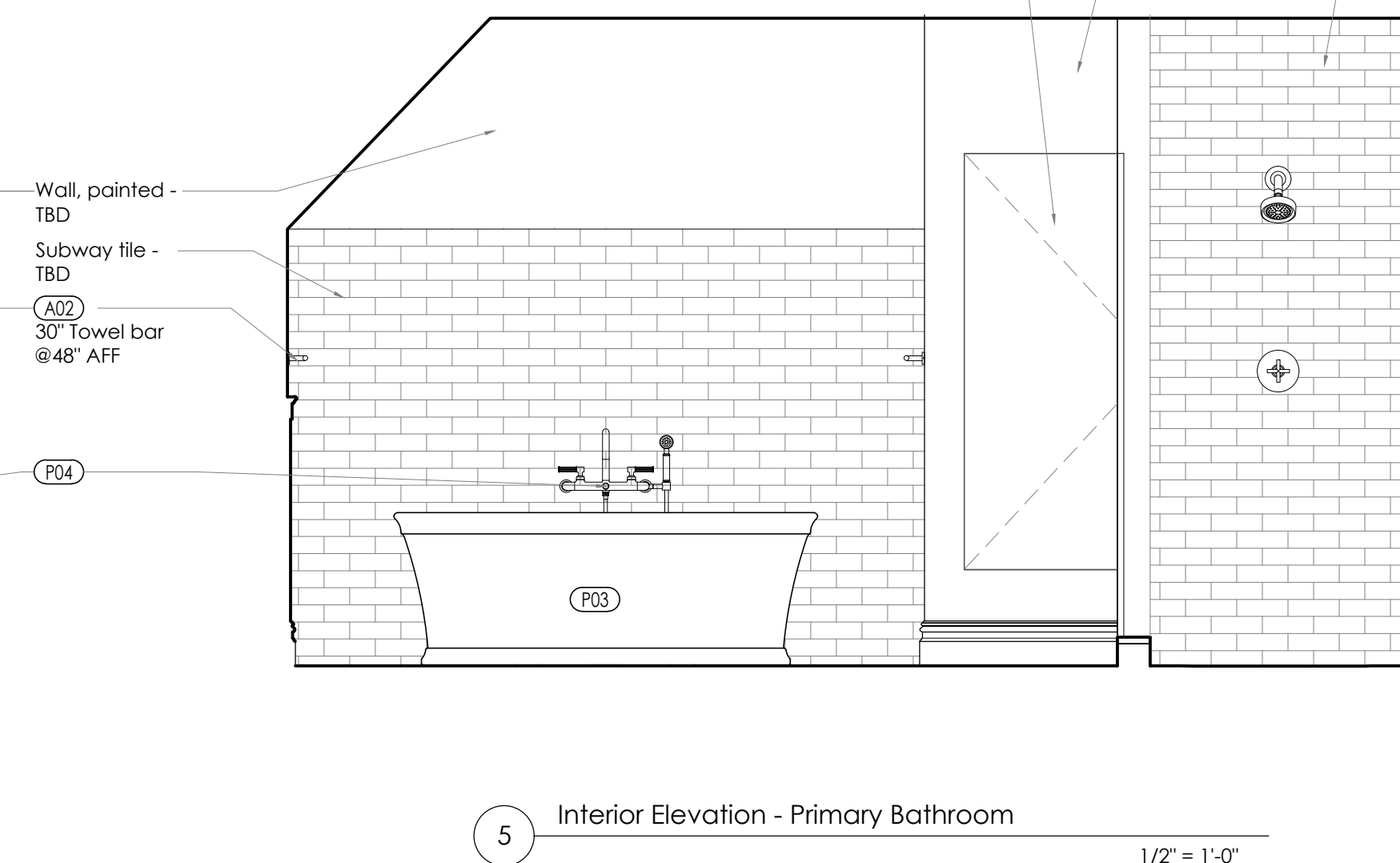
2 Interior Elevation - Primary Bathroom 1/2" = 1'-0"



4 Interior Elevation - Primary Bathroom 1/2" = 1'-0"



3 Interior Elevation - Primary Bathroom 1/2" = 1'-0"



5 Interior Elevation - Primary Bathroom 1/2" = 1'-0"

Plumbing Schedule						
Tag	Description	Location	Manufacturer	Product Name /Number	Finish	Remark
P01	Linear Drain	Primary Bathroom	Infinity Drain	S-LAG 3848	N/A	Contractor supplied and installed.
P02	Shower Trim Set	Primary Bathroom	Rejuvenation	C5174	Polished Nickel	W/ShowerHead C104916, Polished Nickel, Owner supplied and contractor installed.
P03	Freestanding Tub	Primary Bathroom	Randolph Morris	RMD51	White	Owner supplied and contractor installed.
P04	Wall Mounted Tub Filler	Primary Bathroom	Waterworks	BXT160	Nickel	Owner supplied and contractor installed.
P05	Lavatory Faucet	Primary Bathroom	Rejuvenation	C3094	Polished Nickel	Owner supplied and contractor installed.
P06	Lavatory	Primary Bathroom	TBD	TBD	TBD	Owner supplied and contractor installed.
P07	Toilet	Primary Bathroom	TOTO	MW6463046CUMFG(A)	White	Owner supplied and contractor installed.
P08	Lavatory Faucet	Powder Room	TBD	TBD	TBD	Owner supplied and contractor installed.
P09	Lavatory	Powder Room	Kohler	Caxton K-2209	White	Owner supplied and contractor installed.
P10	Toilet	Powder Room	TOTO	MW6463046CUMFG(A)	White	Owner supplied and contractor installed.

Accessory Schedule						
Tag	Description	Location	Manufacturer	Product Name /Number	Finish	Remark
A01	Toilet Paper Holder	Primary Bathroom	Rejuvenation	C101424	TBD	Owner supplied and contractor installed.
A02	30" Towel Bar	Primary Bathroom	TBD	TBD	TBD	Owner supplied and contractor installed.
A03	18" Towel Bar	Primary Bathroom	TBD	TBD	TBD	Owner supplied and contractor installed.
A04	Towel Ring	Primary Bathroom	Rejuvenation	C101428	TBD	Owner supplied and contractor installed.
A05	Towel Ring	Powder Room	TBD	TBD	TBD	Owner supplied and contractor installed.
A06	Toilet Paper Holder	Powder Room	TBD	TBD	TBD	Owner supplied and contractor installed.
A07	Mirror	Powder Room	McGee & Co.	MMIR0171-OAK-OS	TBD	Owner supplied and contractor installed.

General Plumbing notes

Design and installation of plumbing shall be performed by licensed personnel as per applicable codes.

All fixtures shall be plumbed with fixture shutoff valves and hose bibs where required. provide isolation valves at each fixture. All waste lines above grade shall be insulated for acoustical treatment. All underground waste lines shall be 4" pvc and installed in accordance with code

Cold water piping shall be insulated with min. 1/2 inch fiberglass as manufactured by Owens Corning. Install continuous on pipes and through walls and floors. All underground water lines shall be run with insulplex or approved equal. size of main water lines from well tank across building shall be min. 1". Then 3/4" branch lines up or down to local areas.

All work must be filed by contractor and inspected by local plumbing inspector.

Contractor shall supply and install all necessary plumbing to complete the project as implied in the drawings. This shall include all new rough-in, including all miscellaneous valves fixtures, hangers, valves etc. To meet both code and professional standards. This shall also include installing all fixtures and faucets supplied by owner or provided as otherwise specified. Protect fixtures and fittings throughout construction.

Premium quality silicone joint sealant and putty fixture setting compound shall be used.

Coordinate with tile contractor and other finishing trades.

Coordinate all work with heating, ventilating and air conditioning trades.

Newly installed toilet or replaced toilet must be either low flush toilets or equal to or less than 1.28 gallons per flush (gpf) or dual -flush toilets where the low flush feature is no more than 1.28 gpf.

Newly installed or replaced shower head must provide an average flow of no more than 2 gallons per minute (gpm).

Newly installed or replaced lavatory faucet must provide an average flow rate of no more than 2 gallons per minute (gpm).

General Accessory Notes

All accessories to be installed as per manufacturer's specification.

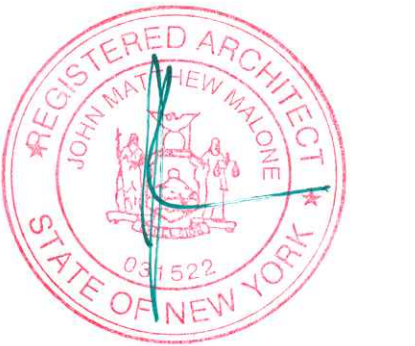
Confirm locations of installation with architect prior to installing.

Lamsvelt Thompson Residence Phase I

16 Park Road
Irvington, NY

NO.	DATE	ISSUE/REVISION
3	02/07/2022	Building Permit Revision
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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (RCS 2018 New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Enlarged Plans and Interiors

SCALE: As Noted

DATE: 09/24/2021

JOB: 2109

A-2.00

16 Park Road
Irvington, NY

16 Park Road
Irvington, NY

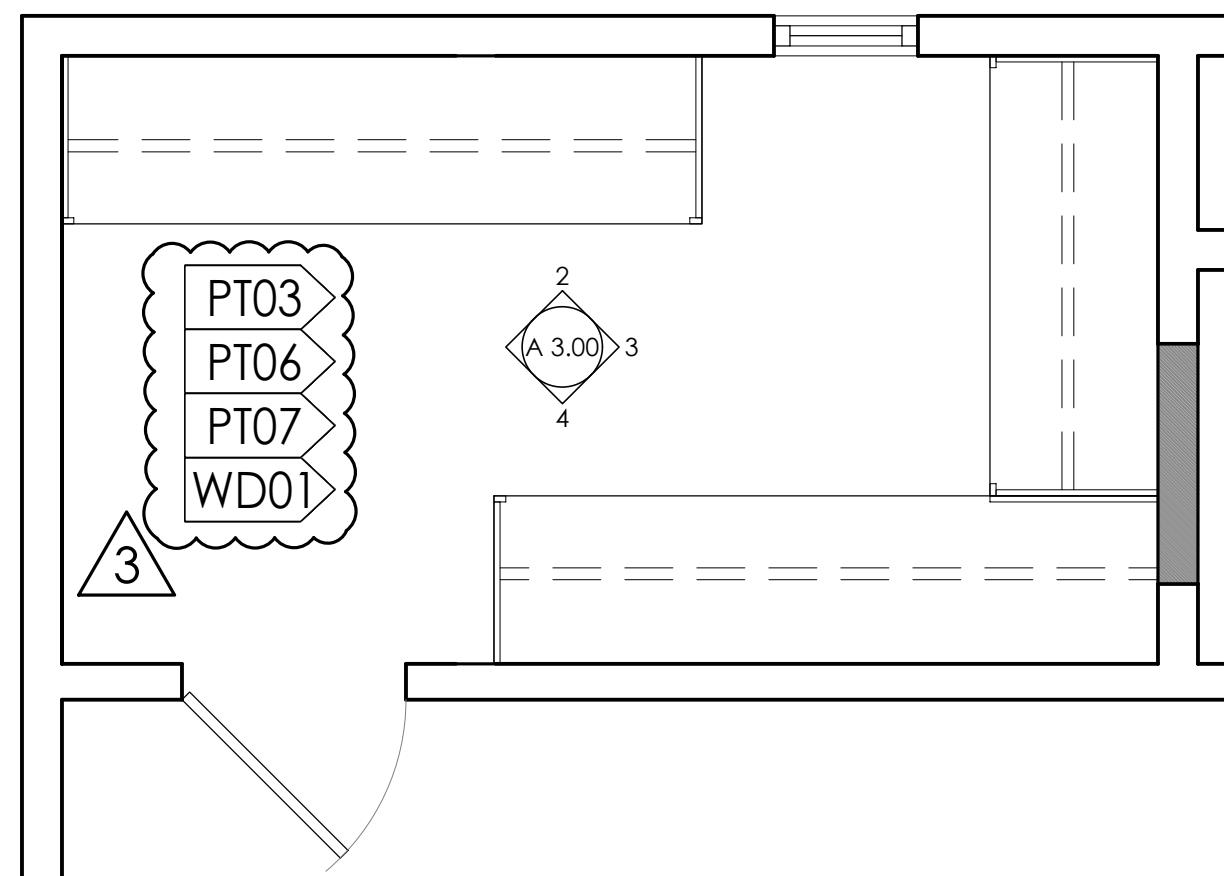
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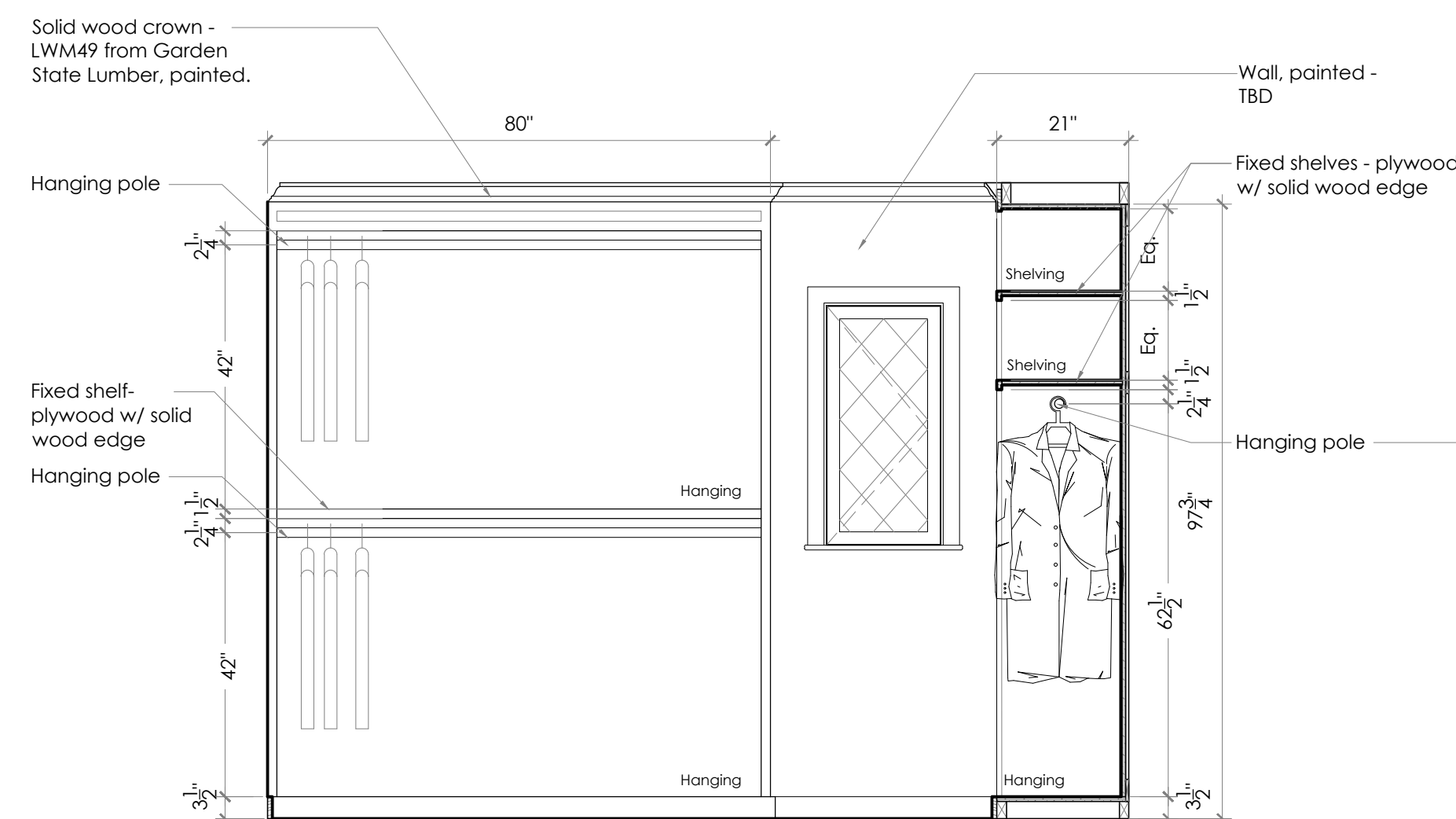


FERGUSON MALONE ARCHITECTURE

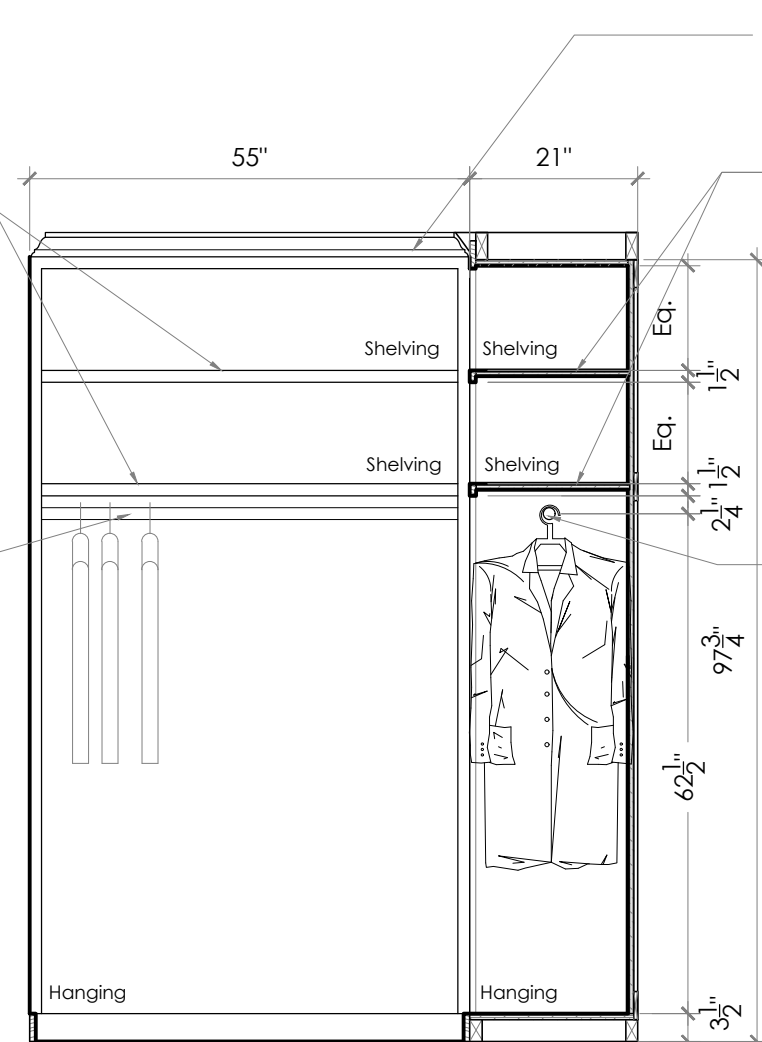
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 503



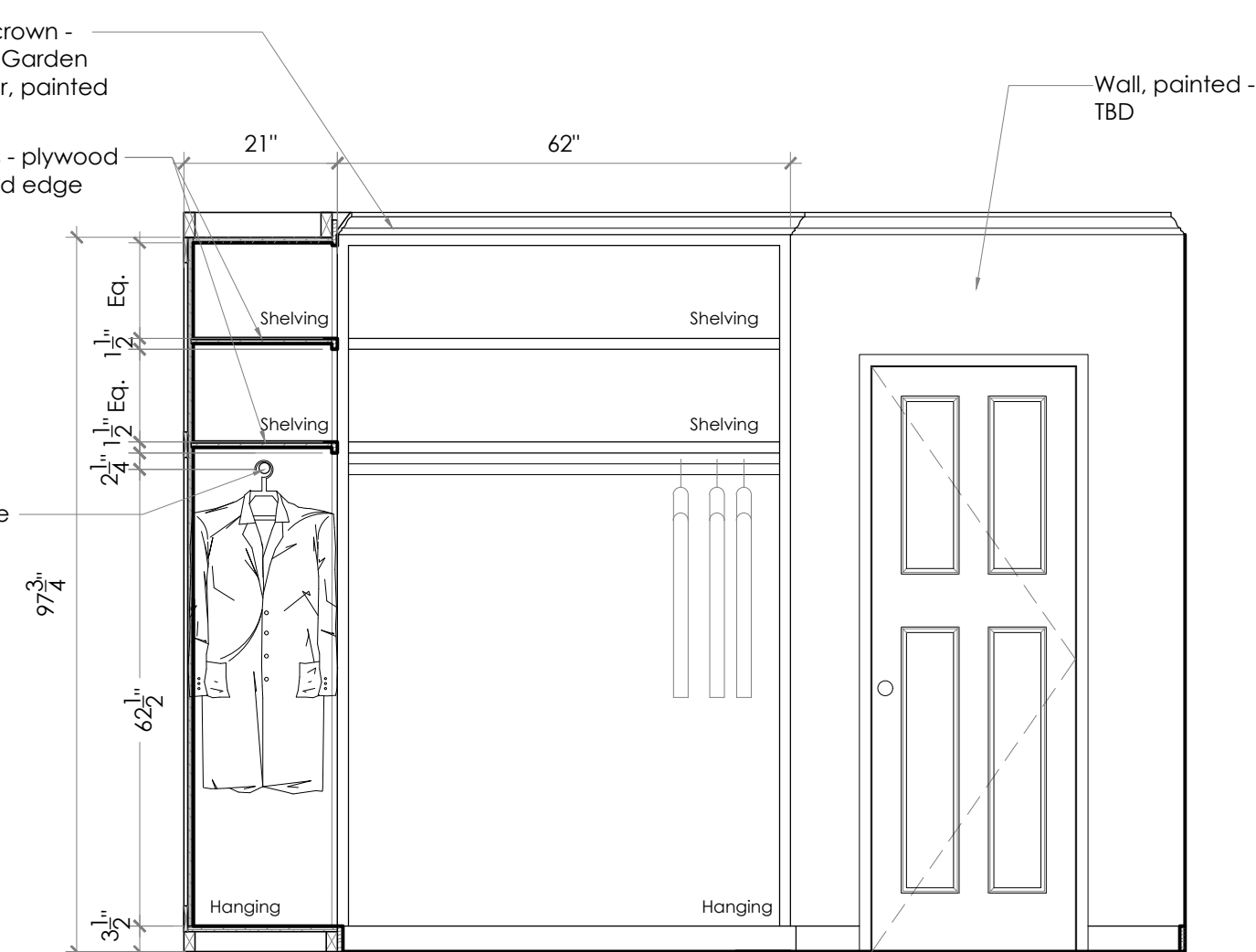
1 Enlarged Plan - Primary Closet 1/2" = 1'-0"



2 Interior Elevation - Primary Closet 1/2" = 1'-0"



3 Interior Elevation - Primary Closet
1/2" = 1'-0"



4 Interior Elevation - Primary Closet 1/2" = 1'-0"

SCALE: As Noted

DATE: 09/24/2021

JOB: 2109

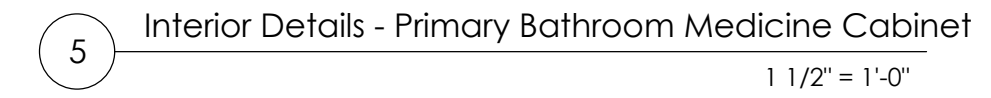
A-2.01

16 Park Road
Irvington, NY

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



ONE BRIDGE STREET
IRVINGTON NY 10533
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SCALE: As Noted

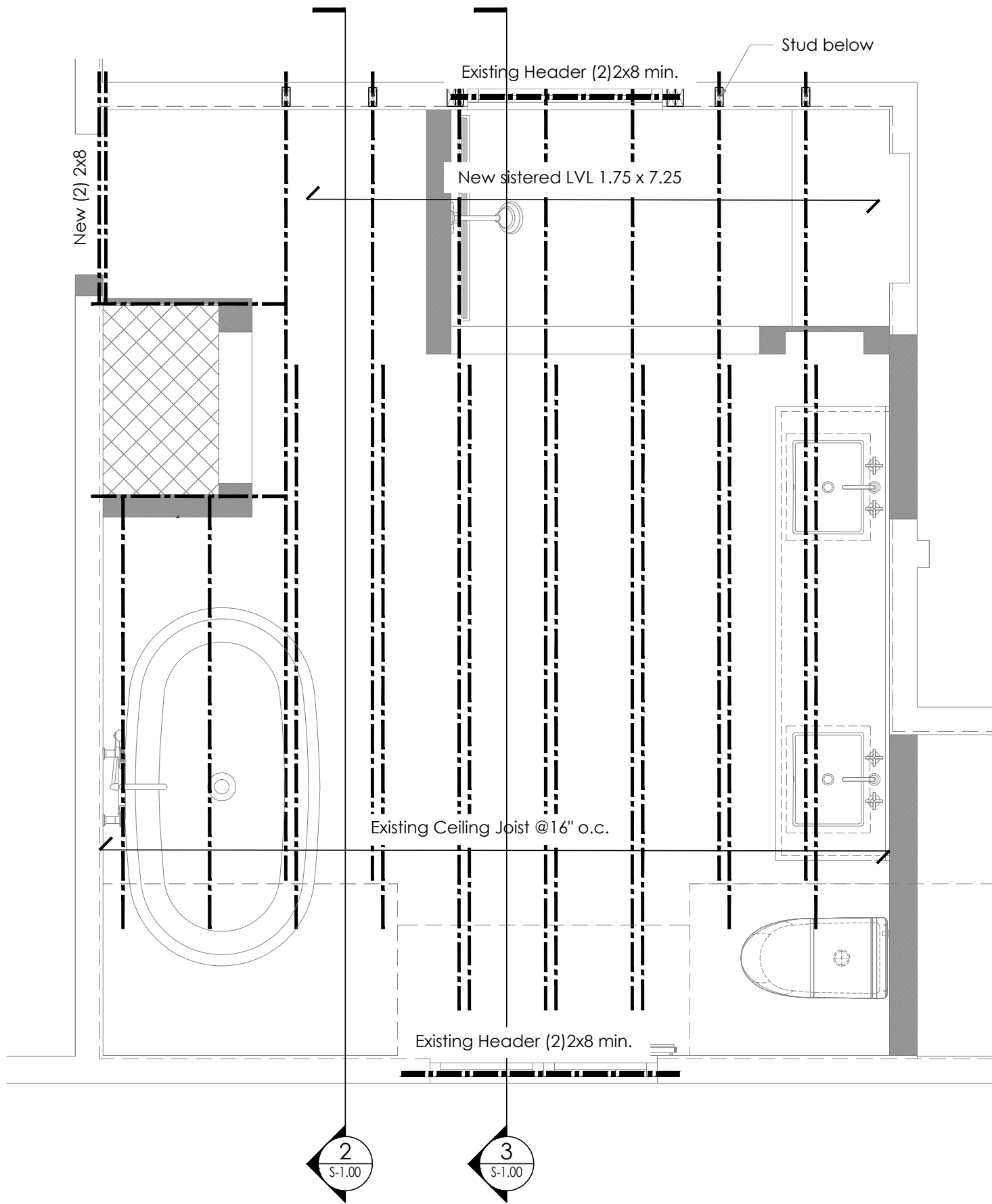
DATE: 09/24/2021

JOB: 2109

A-2.10

Lamsvelt
Thompson
Residence
Phase I

16 Park Road
Irvington, NY



1 Partial Ceiling Framing Plan - Primary Bathroom
1/2" = 1'-0"

Legend

- New Ceiling Joist or Rafter
- .-.- Existing Ceiling Joist or Rafter
- Existing Header

Framing Notes

1. All framing lumber and details of wood construction shall conform to national design specifications for stress grade lumber and its fastenings (including supplement no. 1). All new framing lumber shall be grade marked at mill and shall be surfaced dry new joists shall comply with PS 20-70 for sizes and shall conform to the following specie and grade.

Rafters and joists: Douglas Fir, larch #2
Beams, girders and headers: Douglas Fir, larch #1
Studs and plates: Douglas Fir, larch stud grade

All factory manufactured glue laminated wood framing members (LVL, TJI, PSL) shall be Microllam, TJI joists or Parallam members as manufactured by Trus Joist Corporation or architect approved equal.

2. Set rough carpentry to required levels and lines, with members plumb, true to line, cut, and fitted. Fit rough carpentry to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking, grounds, and similar supports to comply with requirements for attaching other construction.

3. Framing standard: comply with AF&PA's "details for conventional wood frame construction," unless otherwise indicated.

4. Metal framing anchors: install metal framing to comply with manufacturer's written instructions. All flush framed connections shall be made with approved galvanized steel joists or beam hangers, minimum 18 gauge. All metal including joist hangers, flashing, anchor bolts, post bases, etc. that come in contact with pressure treated lumber shall be hot dipped galvanized g186 by Simpson strong tie, stainless steel, or approved equal by architect.

5. Do not splice structural members between supports, unless otherwise indicated.

6. The general contractor is to identify any discrepancies prior to beginning any re-framing work.

7. All doors, windows and openings shall have minimum header to be as follows, u.o.n. on structural plans:

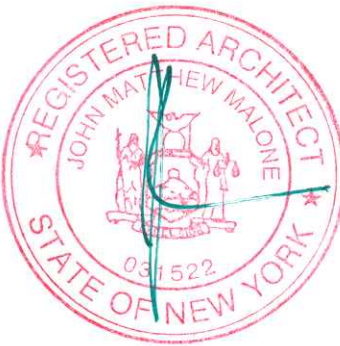
- a. Up to 5'-0" wide, use (2) 2x10
- b. Up to 8'-0" wide, use (3) 2x10 or (2) 2x12
- c. Openings greater than 8'-0", see plans for header sizes or as specified by P.E.

8. Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance with Title 19 NYCRR Part 1265) affidavit.

12/13/2021	Resubmitted for Permitting
11/17/2021	Submitted for Permitting
11/09/2021	Submitted for Bidding

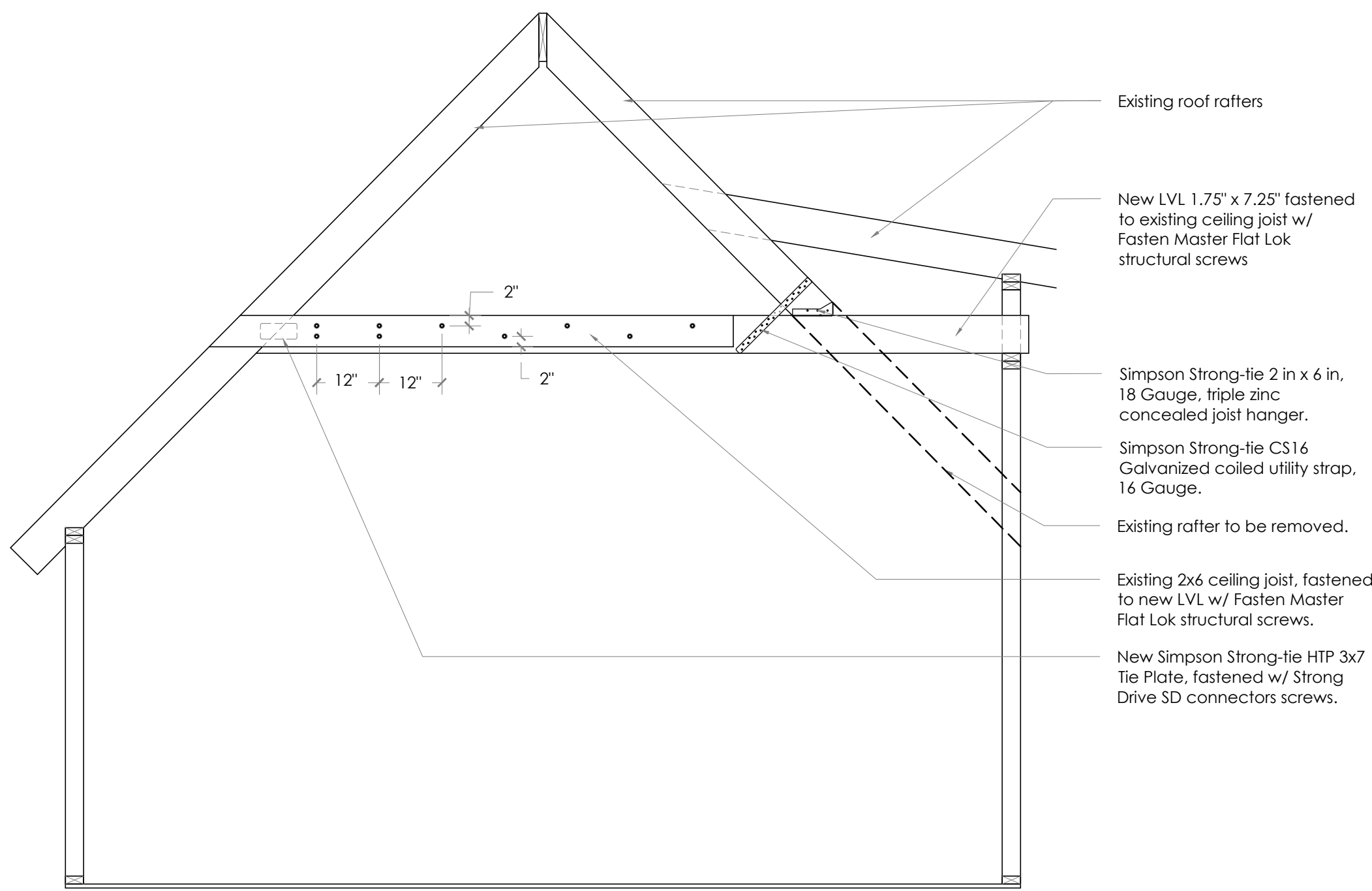
NO.	DATE	ISSUE/REVISION
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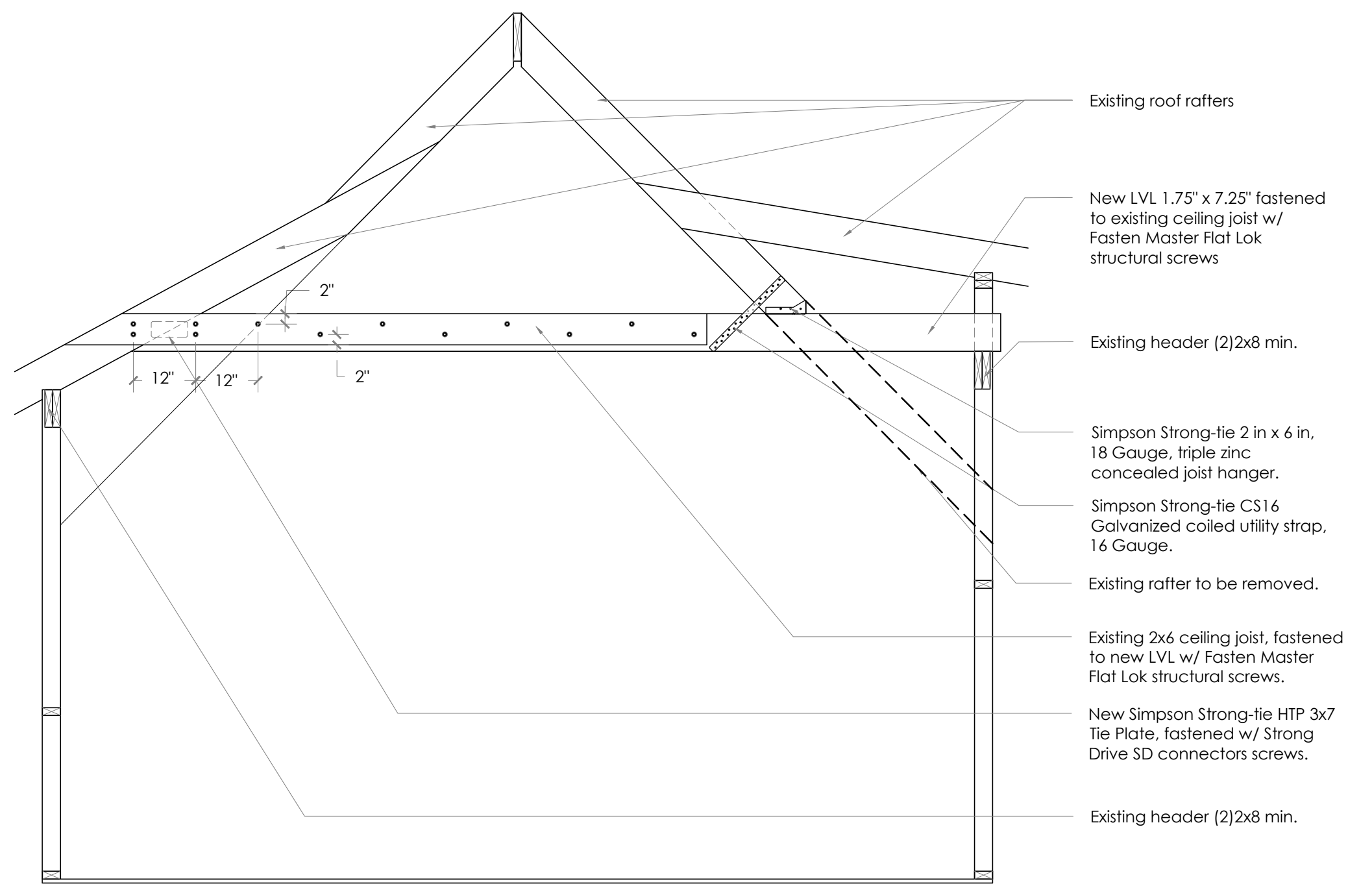


FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
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2 Partial Ceiling Framing Section
1/2" = 1'-0"



3 Partial Ceiling Framing Section
1/2" = 1'-0"

Framing Plan
and Section

SCALE: As Noted

DATE: 09/24/2021

JOB: 2109

S-1.00