### **APPLICATION FOR BUILDING PERMIT**

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	235	Date:	03/01/2022
Job Location:	16 PARK RD	Parcel ID:	2.100-56-15
Property Owner:	Christine Lamsvelt & Ben Thompson	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
John Malone	Roman Vrydnyk
Ferguson Malone Architecture	High Street Construction LLC
One Bridge StreetSuite 29Irvington NY 10533	26 Bedford Avenue Bedford Hills NY 10507
9145643166	914 434-7426

#### **Description of Work**

Type of Work:	Ext. Elevation Changes	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	4000.00	Property Class:	1 FAMILY RES

#### **Description of Work**

Existing window in primary bathroom being replaced as part of existing building permit #BP2021-0145.

**Please Note:** Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

#### **AFFIDAVIT OF APPLICANT**

I John Malone being duly sworn, depose and says: That s/he does business as: Ferguson Malone Architecture with offices at: One Bridge StreetSuite 29 Irvington NY 10533 and that s/he is:

	The owner of the property described here	in.		
П	The	of the New York Corporation _	wi	th offices at:
	-	duly authorized by res	olution of the Board	of Directors, and that
	said corporation is duly authorized by the	owner to make this application		
		with offices	a	nd that said
_	Partnership is duly authorized by the Owr	her to make this application.		
Ц	The Lessee of the premises, duly authorized	zed by the owner to make this a	pplication.	
A	The Architect of Engineer duly authorized	by the owner to make this app	lication.	
	The contractor authorized by the owner to	o make this application.		
Th	That the information contained in this applicat	tion and on the accompanying	lrawings is true to t	he best of his
	nowledge and belief. The undersigned here			
	Jniform Fire Prevention and Building Code, the			
	aws pertaining to same, in the construction a		n on plans of speci	ly in this application.
Sv	Sworn to before me this $2nd$ day	of March of 20	The h	
1				
(	MANIN			
t		Jessica Emilla Baran		and the second second
No	Notary Public / Commission of Deeds NOTAR		Applicant's Signa	turo
	Re	egistration No. 01BA6355917	rippilounit 5 Olgina	
	the second se	alified in Westchester County		
		ssion Expires March 20, 2025		
				1004

I Christine Lamsvelt & Ben Thompson as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number (646) 429-0517 Owner email address lamsvelt@gmail.com

CMSTA Lamburg I hereby acknowledge that it is my responsibility as the property owner to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

day of March of 202 Swoth to before me this Notary Public / Commission of Deeds Applicant's Signa

GENINE LOCKWOOD	
NOTARY PUBLIC, STATE OF NEW YORK	
Registration No. 01L06210592	
Qualified in Westchester County	/
Commission Expires	

#### INSTRUCTIONS **REQUIREMENTS FOR OBTAINING A PERMIT:**

#### The following items must be submitted in order to obtain a Building Permit:

- 1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
- 2. One (1) property survey (signed and sealed), reflecting existing conditions.
- 3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
- 4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
- 5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR. footprint, coverage, driveways and increases of cubic content under a roof).
- 6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov ) prior to submission).
- 7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
- 8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
- 9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

#### Contractor Requirements in order to obtain a Building Permit:

- 10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
- 11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
- 12. Copy of Contractor's Westchester County Home Improvement License.
- **13.** All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
- 14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

#### Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

#### ES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All foos must be paid at time of application):

Fee schedule	S FERMIT AFFLICATION (All lees must be paid	rat time of application.	
Building Permit (Non-Refundable)			
* Application fee \$85			85
* Permit fee \$17 per thousand doll	ars (\$1000) of estimated cost of construction, or fr	raction thereof	
<ul> <li>Inspection Fees (as applicable)</li> </ul>			
Insulation: \$50	• Footing: \$50		
• Solid Fuel: \$50	<ul> <li>Preparation for concrete slabs and walls: \$50</li> </ul>		
<ul> <li>Foundation and footing drain: \$50</li> </ul>	• Framing: \$50		
<ul> <li>Energy Code Compliance: \$50</li> </ul>	• Building systems, including underground and rough-i	in: \$50	
<ul> <li>Sediment and erosion control: \$50</li> </ul>	<ul> <li>Fire resistant construction and penetrations: \$50</li> </ul>		
• Footing: \$50	Final Inspection for C.O.: \$50		
Preparation for concrete slabs and walls: \$50	State and local laws (per re-inspection): \$50	Total Inspections	
1 3	One dollar (\$1.00) per thousand dollars of estimate : \$50.00 (plus \$17 per thousand (\$1000), of the es		
and any additional inspections fee			68

\* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

\* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

#### (To be collected at time of submission of application)Total <u>153</u>

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit Any permit that expires will be subject to additional fees.)

#### FERGUSON MALONE ARCHITECTURE

February 07, 2022

Jim Flandreau Assistant Building inspector Village of Irvington Village Hall 85 Main Street Irvington, NY 10533

> Lamsvelt/ Thompson Residence Building Permit No. BP2021-0145 (16 Park Road, Irvington NY) Parcel No. 2.100-56-15 (06 13B00000 P5A2)

Mr. Flandreau,

Attached please find the following revised sheets:

- Sheet A-0.10 Door and Window Schedules:
  - o New sheet
  - Exterior window in Primary Bath is to be replaced Refer to schedule for window specification.

We are assuming the window replacement will be referred for Architectural Review Board approval.

The long-term goal is to replace all the windows and patio doors on the house. The North facade windows will have the Tudor style divided lites, in livening and dining room.

The North façade is acting as the front entry of the house. The South façade is not visible from the street.

#### Figure 1 Image of window being replaced on Existing South Façade



Window to be replaced

ONE BRIDGE STREET, IRVINGTON NY | T: 914·591·5066 | F: 914·591·5031 | WWW.FERGUSONMALONE.COM

Lamsvelt/ Thompson Residence Project No. 2109 BP No. BP2021-0145 Ferguson Malone Architecture 02/07/2022 Page 2 of 4

Figure 2 Image of Existing North Facade





Lamsvelt/ Thompson Residence Project No. 2109 BP No. BP2021-0145

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#### Figure 4 Image of Existing South Facade



Window to be replaced

#### Figure 5 Image of Existing East Facade



- Sheet A-1.00 Demolition and Proposed Floor Plans:
  - A note has been revised to indicate the change of insulation from comfort batt mineral wool.
  - Finish schedule has been added.
  - Tempered glass has been added to window in shower.
  - Exterior window on Primary Bath is to be replaced. Refer to note and
- Sheet A-1.01 Reflected Ceiling and Electrical Plans:
  - Lighting has been revised on the second-floor primary bathroom.
- Sheet A-2.00 Enlarged Plans and Interiors:
  - Vanities in Primary bath and Powder Room revised.
  - Plumbing and Accessory Schedules has been updated.
- Sheet A-2.10 Interior Details
  - Tile floor detail has been added.

Please feel free to contact me at (914) 591-5066 or via email at jmalone@fergusonmalone.com.

Sincerely,

John Malone, AIA LEED AP

Enc:

- Revised set of drawings Dated 02/07/2022
- cc: Christine Lamsvelt and Ben Thompson File

# Lamsvelt Thompson Residence Phase I 16 Park Road Irvington, NY

Submitted for Bidding
November 09, 2021

Submitted for Building Permit **November 17, 2021** 

Submitted for Building Permit **December 13, 2021** 

Revision 🛆

Submitted for Construction **December 15, 2021** 

Revision 🖄

Building Permit Revision **February 07, 2022** 

Revision 🖄

Irvington Architectural Review Board Submission March 07, 2022

PROJECT NO.: 2109

FERGUSON MALONE ARCHITECTURE

Location: Vil	lage of Irvington	1			hic Design Crite		ve 10/3/20	516)			
		Wind	Design			Subjec	ct to Damage	e From			
Ground Snow Load	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone	Seismic Design Category (RCNY Only)	Weathering	Frost Line Depth	Termite	Climate Zone	lce Barrier Underlayment Reqd	Floo
30	*Special Wind Region	No	Yes	No	С	Severe	42"	Moderate to Heavy	4A	Yes	**Firm Co Map # Effective

\*115 MPH to 120 MPH. The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind Speeds higher than the derived values takes from Section 1609 of to IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

\*\*State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

Insulation and Fenestration Requirements by Component										
Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
	Table R402.1.2 Insultation and Fenestration Requirements by Component									
4A	0.32	0.55	0.4	49	20 or 13 + 5	8/13	19	10/13	10,2 FT	10/13
Table R402.1.4 Equivalent U-Factors										
4A	0.32	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

<u>Notes</u>: \* Plans have been designed in accordance with the prescriptive energy requirements of the 2020 Energy Conservation Construction Code of New York State. \* Plans have been designed in accordance with the National Electrical code NFPA 70 2020 Edition.

\* All wall insulation is to be installed as per manufacturer's instructions.

\* All ceiling insulation is to be installed as per manufacturer's instruction. Blown insulation is to be marked every 300 ft<sup>2</sup>.

* Blower door test@50Pa. <=5 ach in C	e installed as per manufacturer's instructions. Climate Zones 1-2, and <=3 ach in Climate Zones 3 truction to be Type 5 B: Wood-Framed, combustib :: 1 Family		
Legend and Symbols		General Construction Requirements	General Framing Notes
ELEVATION NUMBER	ELEVATION	All work shall be in accordance with the 2020 New York State Building Code and the November 2019 addition, and all applicable local jurisdiction and fire department regulations.	1. All framing lumber and details of wood construction shall conform to national design specifications for stress grade lumber and its fastenings (including supplement no. 1). All new framing lumber shall be grade marked at mill and shall be surfaced dry new joists shall comply with PS 20-70 for sizes and shall conform to the following specie and grade.
DRAWING NUMBER	DETAIL	Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.	Rafters and joists:       Douglas Fir, larch #2         Beams, girders and headers:       Douglas Fir, larch #1         Studs and plates:       Douglas Fir, larch stud grade
(XX) DOOR NUMBER		All work, including plumbing and electrical work, shall be performed by licensed contractors.	Microllam, TJI joists or Parallam members as manufactured by Trus Joist Corporation or architect approved equal.
		All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS.	2. Set rough carpentry to required levels and lines, with members plumb, true to line, cut, and fitted. Fit rough carpentry to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking,grounds, and similar supports to comply with requirements for attaching other construction.
(PXX) PLUMBING FIXTURE TAG	X WALL TYPE	The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.	3. Framing standard: comply with AF&PA's "details for conventional wood frame construction," unless otherwise indicated.
EXX EQUIPMENT TAG	ROOM NAME ROOM NO. ROOM TAG	Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.	4. Metal framing anchors: install metal framing to comply with manufacturer's written instructions. All flush framed connections shall be made with approved galvanized steel joists or beam hangers, minimum 18 gauge. All metal including joist hangers,
		Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.	flashing, anchor bolts, post bases, etc. that come in contact with pressure treated lumber shall be hot dipped galvanized g186 by Simpson strong tie, stainless steel, or approved equal by architect.
		The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.	<ol> <li>5. Do not splice structural members between supports, unless otherwise indicated.</li> <li>6. The general contractor is to identify any discrepancies prior to beginning any</li> </ol>
		Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.	<ul> <li>7. All doors, windows and openings shall have minimum header to be as follows, u.o.n.</li> </ul>
		Contractor shall exercise strict control over safety and security of the site.	on structural plans: a. Up to 5'-0" wide, use (2) 2x10
		The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test	<ul> <li>b. Up to 8'-0" wide, use (3) 2x10 or (2) 2x12</li> <li>c. Openings greater than 8'-0", see plans for header sizes or as specified by P.E.</li> </ul>
		all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per	8. Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance with Title 19 NYCRR Part 1265) affidavit.
		minimum standard appropriate for the respective purpose.	9. Provide a termite shield between foundation and framing members.
		Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.	General Structural Steel and Miscellaneous Metal Work
		The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.	Provide all structural steel and miscellaneous metal work including lintels, flitch plates, and all support members, complete with bracing, welds, washers, nuts, shims & anchor bolts.
		All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.	Steel shall be designed in accordance with the latest edition of the A.I.S.C. code.
		Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.	Fabricate and erect structural steel in accordance with A.I.S.C. Manual of Steel Construction latest edition. verify all dimensions prior to fabrication.
		Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.	<ul> <li>Materials:</li> <li>1. All wide flange sections shall ASTM A992Fy 50 ksi steel.</li> <li>2. All other shapes including plates shall be ASTM A36 steel.</li> <li>3. All pipe columns shall be ASTM A53 Grade B.</li> <li>4. All HSS sections shall be ASTM A501 or ASTM A500.</li> <li>5. Bolts and washers shall conform to ASTM A325, ¾" diameter u.o.n.</li> <li>6. Anchor bolts shall be galvanized and conform to ASTM A307, 3/4"</li> </ul>
		Cutting and Patching	6. Anchor bolts shall be galvanized and conform to ASIM A307, 3/4 diameter u.o.n.
		Contractors shall neatly cut and fit work required to make all parts and systems work with those of other trades shown on the notes, drawings and specifications. All materials shall be as appropriate for surrounding material to minimize visual impact. All cutting or patching must be performed by the trade	For Flitch Plate Beam: Provide a minimum of 7/8" dia. thru bolts @ 32" o.c. max. to connect wood framing to steel plates u.o.n. Welding shall be performed by certified welders, electrodes shall be ASTM A233, class

responsible for materials to be cut or patched, with no damage to adjacent surfaces.

Contractor shall survey all damaged surfaces and other defects causing an appearance different from a new first class finished installation. These defective surfaces shall be repaired or if beyond repair, contractor shall remove existing and install new surfaces to the satisfaction of the architect and owner.

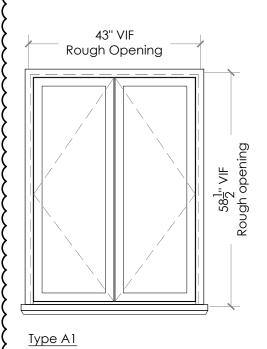
		10500
	Zip C	Code: 10533
Flood Hazards	Air Freezing Index	Mean Annual Temp
rm Community - Panel Nap # 36119C0261F ective Date, 9-28-2007	2000	51.6

vveiaing shall be performed by certi. E70XX.

ACOUS.T	AIR CONDITIONING ACOUSTICAL ACOUSTICAL TILE (OR	JAN. JT.	JANITOR JOINT
	AC.T.) ADDITION(AL)	L	
ADD'N(L). ADJ.	ADJUSTABLE	L LAM.	ANGLE LAMINATE
ALUM. ALT.	ALUMINUM ALTERNATE	LB. (OR #) L.H.	POUND LEFT HAND
ANOD. APPVD.	ANODIZED APPROVED	LAV.	LAVATORY
APPROX. ARCH.	APPROXIMATE ARCHITECT or	M	
	ARCHITECTURAL	MAINT. MAX.	MAINTENANCE MAXIMUM
AUTO. AVG.	AUTOMATIC AVERAGE	MECH.	MECHANICAL
& A.F.F.	AND ABOVE FINISH	M.C. MTL.	MAIL CHUTE METAL
ABV.	FLOOR ABOVE	MEZZ. MGR.	MEZZANINE MANAGER
	ADOVE	MIN.	MINIMUM
B BD.	BOARD	MISC. MTD.	MISCELLANEOUS MOUNTED
BLDG.	BUILDING	MUL. M.TH.	MULLION METAL THRESHOLD
BLKG. BRKT.	BLOCKING BRACKET	MW.	MICROWAVE
BRZ. BSMT.	BRONZE BASEMENT	N	
		(N) N.	NORTH NEW
C CAB.	CABINET	NEG.	NEGATIVE
C.C.	CENTER TO CENTER	N.I.C.	NOT IN CONTRACT
CER. CLKG.	CERAMIC CALKING	NO.(OR #) N.T.S.	NUMBER NOT TO SCALE
CLG.	CENTER LINE CEILING	<u>0</u>	
(OR CEIL.)		O.A. O.C.	OVERALL ON CENTER
CLOS. CLR.	CLOSET CLEAR	0.C. O.D.	OUTSIDE DIAMETER (
CLR. OPG. COL.	CLEAR OPENING COLUMN	O.H.	OFFICE OPPOSITE HAND
CONC.	CONCRETE	OPNG. OPP.	OPENING OPPOSITE
CONN.	CONNECT OR CONNECTION	OPP. ORIG.	ORIGINAL
CONST. CONT.	CONSTRUCTION	Р	
COR.	CORNER	PART. BD.	PARTICLE BOARD
CORR. C.T.	CORRIDOR COUNTERTOP	P.LAM. PLAS.	PLASTIC LAMINATE PLASTER
CTR.	CENTER	PLYWD. PNL.	PLYWOOD PANEL
C.W. CM.	COLD WATER CARBON MONOXIDE	PR.	PAIR
D		PREFAB. PROJ.	PREFABRICATED PROJECT
D.A.	DOUBLE-ACTING	PTN. PTD.	PARTITION PAINTED
DBL. DEPT.	DOUBLE DEPARTMENT	PWG.	PAINTED WOOD &
DET. D.F.	DETAIL DRINKING		GLASS
	FOUNTAIN	Q	
DIA. DIM.	DIAMETER DIMENSION	QUAL. QUAN.	QUALITY QUANTITY
DIV. DN.	DIVISION DOWN	R	
DR. DWG.	DOOR DRAWING	R/A	RETURN AIR
DWG. DRW.	DRAWING DRAWER	RAD. RECEP.	radius receptacle
E		REF.	REFERENCE
(E.)	EAST	REFL. REINF.	REFLECTED REINFORCED
ELEC. El.	ELECTRIC ELEVATION	resil. Req'd.	RESILIENT REQUIRED
ELEVR. ENGR.	ELEVATOR ENGINEER	R.H.	<b>RIGHT HAND</b>
EQ.	EQUAL	RM. RND.	ROOM ROUND
EQUIP. EXH.	EQUIPMENT EXHAUST	R.O. REV.	ROUGH OPENING REVISION
E, EXIST. EXPAN.	EXISTING EXPANSION EXPOS.		
	EXPOSED	<u>S</u> (S)	South
EXT. ELECT.	EXTERIOR ELECTRICAL	SCHED.	SCHEDULE
F		sect. Sim.	section Similar
F.ALM.	FIRE ALARM	SQ. S.F.	SQUARE SQUARE FEET
FABR. F.E.	FABRICATE FIRE EXTINGUISHER	STL.	STEEL
F.E.C.	FIRE EXTINGUISHER	s.s. std.	STAINLESS STEEL STANDARD
FIN. FL.	CABINET FINISH FLOOR	STRUCT. SUSP.	STRUCTURAL SUSPEND(ED)
F.H.C. FIN.	FIRE HOSE CABINET FINISH(ED)	SYMM.	SYMMETRICAL
FLR.	FLOOR	SYS. SPL.	SYSTEM SPLASH
FLUOR. F.O.C.	FLUORESCENT FACE OF CONCRETE	s.d. stor.	SMOKE DETECTOR STORAGE
F.O.F. F.O.G.	FACE OF FINISH FACE OF GYP.BD.		
F.O.S.	FACE OF STUD	T TECH.	TECHNICAL
F.O.W.	FACE OF WALL FRAME	TEL.	TELEPHONE
FR.	FULL SIZE	TEMPD. TEMP. GL.	TEMPERED TEMPERED GLASS
F.S.		THK. TYP.	THICK (NESS) TYPICAL
F.S. FT. F.A.R.	FOOT OR FEET FLOOR AREA RATIO		
F.S. FT. F.A.R. F-F		T.M.E.	TO MATCH EXISTING
F.S. FT. F.A.R. F-F FURR.	FLOOR AREA RATIO FACE TO FACE		TO MATCH EXISTING
F.S. FT. F.A.R. F-F FURR. FIXT. <u>G</u>	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE	T.M.E.	UNDERWRITERS
F.S. FT. F.A.R. F-F FURR. FIXT.	FLOOR AREA RATIO FACE TO FACE FURRING	T.M.E. <u>U</u> U.L. UTIL.	UNDERWRITERS LABORATORY UTILITY
F.S. FT. F.A.R. F-F FURR. FIXT. G GA. GEN. GL.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED	T.M.E. <u>U</u> U.L.	UNDERWRITERS LABORATORY
F.S. FT. F.A.R. F-F FURR. FIXT. <u>G</u> GA. GEN.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL	T.M.E. <u>U</u> U.L. UTIL. U.O.N.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE
F.S. FT. F.A.R. F-F FURR. FIXT. G GA. GEN. GL. GYP.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM	T.M.E. <u>U</u> U.L. UTIL.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWD. HGT.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST. V.I.F. VOL.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWR. HDWD. HGT. H.M. HORIZ.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL	T.M.E. U.L. UTIL. U.O.N. V VERT. VEST. V.I.F. VOL. W	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWR. HDWD. HGT. H.M. HORIZ.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VERT. VEST. V.I.F. VOL. <u>W</u> (W) W/	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH
GA. GEN. GL. GYP. GWB HDWR. HDWD. HGT. H.M. HORIZ. HVAC	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATING AND AIR CONDITIONING	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST. V.I.F. VOL. <u>W</u> (W)	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VERTIBULE VERIFY IN FIELD VOLUME WEST
F.S. FT. F.A.R. F-F FURR. FIXT. G. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWD. HGT. H.M. HORIZ. HVAC H.W.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATING AND	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST. V.I.F. VOL. <u>W</u> (W) W/ W.C. WD WIN.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WOOD WINDOW
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWD. HGT. H.M. HORIZ. HVAC H.W. <u>I</u>	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATING AND AIR CONDITIONING HOT WATER	T.M.E. U U.L. UTIL. U.O.N. V VERT. VEST. V.I.F. VOL. W (W) W/ W.C. WD WIN. W.H.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WOOD WINDOW WATER HEATER W/C WITHOUT
F.S. FT. F.A.R. F-F FURR. FIXT. G. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWD. HGT. H.M. HORIZ. HVAC H.W. <u>I</u> I.D. INCL.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATING AND AIR CONDITIONING HOT WATER INSIDE DIAMETER INCLUDE(D)(ING)	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST. V.I.F. VOL. <u>W</u> (W) W/ W.C. WD WIN.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WOOD WINDOW WATER HEATER W/C
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWD. HGT. H.M. HORIZ. HVAC H.W. <u>I</u> I.D.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATING AND AIR CONDITIONING HOT WATER	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST. V.I.F. VOL. <u>W</u> (W) W/ W.C. WD WIN. W.H. W.S.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WOOD WINDOW WATER HEATER W/C WITHOUT WEATHERSTRIPPING
F.S. FT. F.A.R. F-F FURR. FIXT. GA. GEN. GL. GYP. GWB <u>H</u> HDWR. HDWD. HGT. H.M. HORIZ. HVAC H.W. <u>I</u> I.D. INCL.	FLOOR AREA RATIO FACE TO FACE FURRING FIXTURE GAUGE GENERAL GLASS OR GLAZED GYPSUM GYPSUM WALL BOARD HARDWARE HARDWOOD HEIGHT HOLLOW METAL HORIZONTAL HEATING, VENTILATING AND AIR CONDITIONING HOT WATER INSIDE DIAMETER INCLUDE(D) (ING) INFORMATION INCAN.	T.M.E. <u>U</u> U.L. UTIL. U.O.N. <u>V</u> VERT. VEST. V.I.F. VOL. <u>W</u> (W) W/ W.C. WD WIN. W.H. W.S.	UNDERWRITERS LABORATORY UTILITY UNLESS OTHERWISE NOTED VERTICAL VESTIBULE VERIFY IN FIELD VOLUME WEST WITH WATER CLOSET WOOD WINDOW WATER HEATER W/O WITHOUT WEATHERSTRIPPING

ABBREVIATIONS

LIST OF DE		REVISION	DATE	Lamsvelt
G-1.00	General Notes And List of Drawings		02/07/22	Thompson
				Residence
A-0.10	Window and Door Schedules	3	02/07/22	Phase I
A-1.00	Demolition and Proposed Floor Plans	3	02/07/22	16 Park Road
A-1.01	Reflected Ceiling and Electrical Floor Plans		02/07/22	Irvington, NY
A-2.00	Enlarged Proposed Plan and Interior Elevations Enlarged Proposed Plan and Interior Elevations		02/07/22	
A-2.10	Interior Details	<u>_3</u>	02/07/22	
S-1.00	Framing Plan and Section		12/13/21	
				3 02/07/2022 Building Permit Revision
				2     12/15/2021     Submitted for Construction       1     12/13/2021     Resubmitted for Permitting
				11/17/2021     Submitted for Permitting       11/09/2021     Submitted for Bidding
				NO. DATE ISSUE/REVISION
				In developing the plans and specifications for the
				project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State
				Amendments) which includes Chapter 11 Energy Efficiency.
				CTERED ARCA
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				COF NEW ?
				FERGUSON MALONE ARCHITECTURE
				ONE BRIDGE STREET IRVINGTON NY 10533
				T 914 591 5066 F 914 591 5031
				General Notes & List
				of Drawings
				SCALE: As Noted
				DATE: 09/24/2021
				<b>JOB:</b> 2109
				$\frown$ $\land$ $\land$ $\land$
				G-1.00



Window Notes:

#### Window Types

ype	Description	Manufacturer	Product I	No.	Rough Openin	g Mate	rial	Finish	Remark
A1	Ultimate Wood Casement Pushout	Marvin	Custom		43" x 58 1/2"	Alum	inum / Wood	Bronze Ext. / White Primed Int.	Tempered glass. Provide casement in-swing screen. G.C. to verify existing unit dimensions.
								Door Hardware Note	28
k(́∥'									match existing. Submit door and hardware specifications and shop drawings for architects
								approval.	
									rare shall be provided by and installed by contractor and shall be installed as per manufactu
								specifications.	
								Verify backset distance and	d door thickness and coordinate with selected door hardware.
	, ,								
Type A									
Door Ty	vpes								
Joor Sc	hedule								
		Door			Frame		Hardware	Saddle Remark	
	Location		Unit Size	Function		Finish	Туре		
	Proposed Pwdr. Room	A	2'-2" x 6'-8"	RH		Primed White		N/A	
	Proposed Primary Bathroom	A	2'-2" x 6'-8"	RH	Wood/Poplar	Primed White	IRD	3	

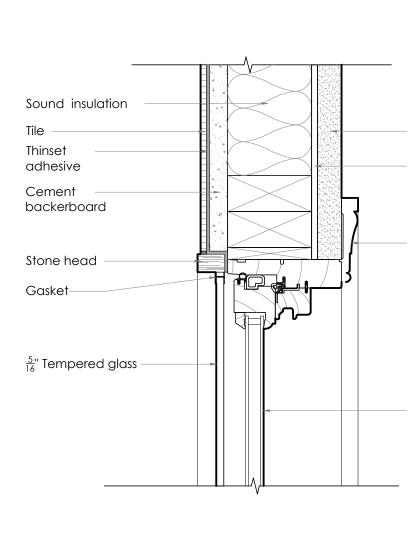
Door Type Schedule

 $\underline{3}$ 

Type       Description       Manufacturer       Product No.       Width       Material       Finish       Remark         A       Interior 4 Panel Wood Interior Door       TBD       TBD       1 3/4"       Wood/Pine       Painted       New door to match existing doors.         Image: Comparison of the compar								
A       Interior 4 Panel Wood Interior Door       TBD       TBD       1 3/4"       Wood/Pine       Painted       New door to match existing doors.	Type Description		Manufacturer	Product No.	Width	Material	Finish	Remark
	A Interior 4 Panel Wood Interior Door		TBD	TBD	1 3/4"	Wood/Pine	Painted	New door to match existing doors.
<pre></pre>	>							

All new windows to meet the requirements of 2020 Residential Code of New York and are to have a U-factor of 0.32 or less and SHGC of 0.4 or less. See Insulation and Fenestration Requirements by Component Chart and Table R4.02.1 Equivalent U-Factors on the General Notes sheet.

Prior to ordering, verify all rough openings and wall thickness for window jamb dimensions in field.





<sup>5</sup>/<sub>16</sub>" Tempered glass Gasket-Stone sill Existing 2x wood framed wall Tile Thinset adhesive Cement backerboard Sound insulation



emark lew door to match existing doors.

(2) Window Sill @ Primary Bathroom Shower

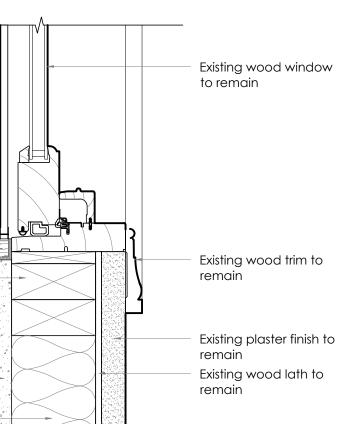
Existing plaster finish to remain Existing wood lath to remain

Existing wood trim to remain

Existing wood window to remain

3'' = 1'-0''

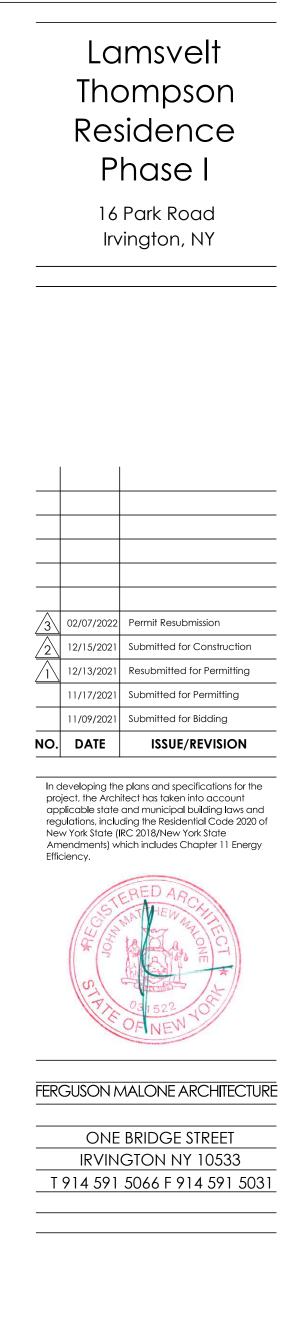
Window Head @ Primary Bathroom Shower



Existing wood trim to

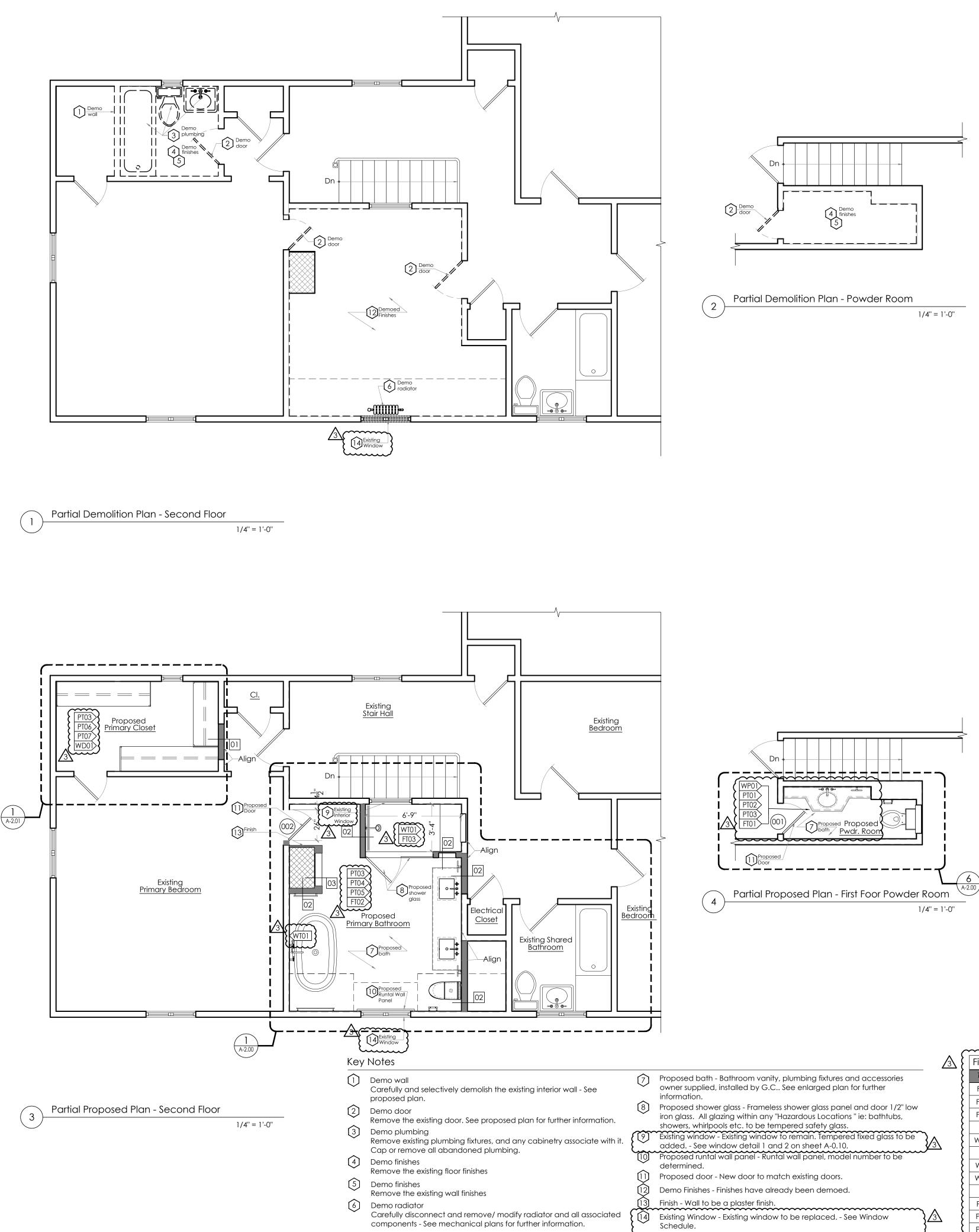
Existing plaster finish to remain Existing wood lath to

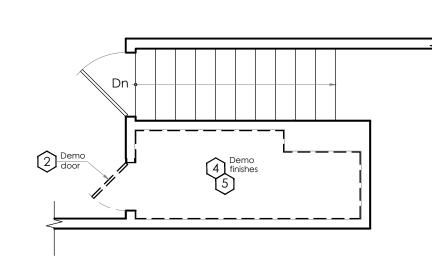
3" = 1'-0"



Door and Window Schedule							
SCALE:	SCALE: As Noted						
DATE:	09/24/2021						
JOB:	2109						
A-0.10							

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#### Legend

Existing Partition Wall To Remain  $\Box \equiv \Box$  Existing Partition To be Removed

New Partition

General Notes

Proposed Primary Bedroom, Proposed Primary Closet and Proposed Powder Room will comply with the energy efficiency code requirements as per the 2020 Residential Code of Proposed York State.

Any existing ceiling, wall or floor cavities exposed during construction will be insulated as per Section N1109.1.1 Exceptions 2 and 5.

All existing exterior walls abutting unconditioned space must be insulated to full depth of cavity. Insulation is to be installed as per manufacturer's instructions. Install air barriers as per manufacturers instructions.

Exterior insulation to be open cell spray foam insulation.

Primary Bath floor and interior walls are to have sound insulation.

The dwelling unit is to be tested and verified as having an air leakage rate not exceeding three air changes per hour. Testing shall be conducted in accordance with RESNET/ ICC 380, ASTM E779 or ASTM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a qualified testing agency, at any time after creation of all penetrations of the building thermal envelope.

#### Demolition Notes

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective demolition operations. Promptly notify the Architect if any such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties.

Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

> Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches , receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. see electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. return adjacent areas to condition existing before selective demolition operations began.

$\cdots$	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	)
Ť	Schedule.	5
5	Existing Window - Existing Window to be replaced See Window	۶Z

Finish Schedule								
Tag	Description	Location	Manufacturer	Product Name /Number	Finish/Color	Remark		
FT01	Mosaic Stone Tile	Proposed Powder Room	Bedrosians Tile & Stone	Blomma Honed Marble mosaic Tile in Bianco	Bianco	Owner supplied, G.C. installed.		
FT02	Mosaic Stone Tile	Proposed Primary Bathroom	TBD	TBD	TBD	Owner supplied, G.C. installed.		
FT03	Shower Floor	Proposed Primary Bathroom	TBD	TBD	TBD	Owner supplied, G.C. installed.		
WD01	Wood Floor	Proposed Primary Closet	TBD	TBD	TBD	Wood flooring to match existing.		
WT01	Wall Tile	Proposed Primary Bathroom	TBD	TBD	TBD	Owner supplied, G.C. installed.		
WP01	Wall Paper	Proposed Powder Room	Rifle Paper Co.	Juniper Forest Wallpaper	Evergreen	Owner supplied, G.C. installed.		
PT01	Wall Paint	Proposed Powder Room	Benjamin Moore	TBD	Egg shell			
PT02	Trim Paint	Proposed Powder Room	Benjamin Moore	TBD	Semi-gloss			
PT03	Ceiling Paint	Proposed Powder Room	Benjamin Moore	TBD	Flat			
PT04	Wall Paint	Proposed Primary Bathroom	Benjamin Moore	TBD	Egg shell			
PT05	Trim Paint	Proposed Primary Bathroom	Benjamin Moore	TBD	Semi-gloss			
PT06	Wall Paint	Proposed Primary Closet	Benjamin Moore	TBD	Egg shell			
PT07	Trim Paint	Proposed Primary Closet	Benjamin Moore	TBD	Semi-gloss			

#### Partition Types

- Full Height Partition One layer of 5/8" GWB on each side, 2x wood studs @16" o.c., from floor to ceiling Moisture Resistant Partition One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
- Moisture Resistant Partition One layer of 5/8" moisture resistant GWB on side facing wet area of existing 2x6 wood studs from floor to ceiling.

#### Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

- Use cement board as substrate for tile in all showers.
- Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

#### Finish Carpentry Notes

See finish location schedule for additional information

Where finish materials are indicated to be owner supplied, the g.c. is to coordinate delivery and is to install.

Exterior trim, fascias, window & door trim and misc. Wood trim shall be western red cedar aw1 custom grade ii. back prime for stained finish. Sub sills, wood railings, posts and balusters shall be wrc awi custom grade ii. Use hot dipped galvanized common head nails of required size per fs ff-105b. Conceal with countersink and fill with caulk or putty as required. Shop mill lengths as long as practical to minimize joints. Scarf joints where necessary. No finger joints allowed. Allow for shrinkage and expansion.

Unless otherwise noted, interior trim shall be #1 white pine or poplar (to receive painted finish), neatly fitted, mitered, including moldings, base, doors and window casing, aprons & stools. Install plumb and level with tightly fitted joints. Blind nail where possible. face nails shall be set and stopped with non-staining filler. Stagger conceal or place all joints in discrete locations.

#### Painting Notes

Unless otherwise specified, all areas are to be painted in accordance w/ the finish schedule. Paint colors shall be selected by owner.

Contractor shall apply to all surfaces indicated to be painted , one prime and two finish coats of premium paints or stains listed under finish location schedule.

Contractor, upon completion, shall remove all paint from all surfaces where it has been spilled or splashed, including light fixtures, diffusers, registers, fittings, etc. Protect all electric switches and outlet plates and remove surface hardware, etc. Before painting. Protect and replace same when painting is completed.

All painting or stain shall be applied in a manner which is free from runs sags sprinkles, streaks, shiner and brush marks. All material shall be applied uniformly. Before painting begins, all other crafts shall have completed their work and shall remove all dirt and debris resulting therefrom.

Contractor shall patch, putty or spackle all imperfections in surfaces of walls, ceilings and trim to provide continuously smooth surfaces prior to installation of finishes and floor materials.

Painting scope of work to include installation of owner supplied wall covering as indicated in finish location schedule.

#### Ceramic Installation Notes

See finish material schedule, elevations and finish location schedule for location and extent of ceramic tile.

Comply w/ tca installation guidelines.

Install stone thresholds as necessary; set on same type of setting bed as abutting field tile.

Install floor and wall tile w/ a joint width of 1/16"

Accurately form intersections and returns. perform cutting and drilling of tile without marring visible surfaces. Grind cut edges of tile abutting trim, finish or built-in items. Closely fit tile to electrical outlets, piping, fixtures, and other penetrations so plates, collars or covers overlap tile.

Lay tile grid pattern or as indicated on drawings. Adjust pattern to minimize cutting. Provide uniform joint widths, unless otherwise indicated.

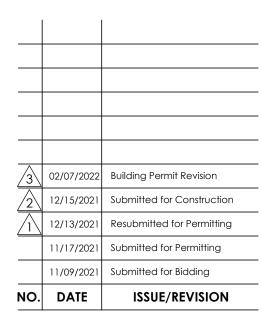
Layout tile wainscot to next full tile beyond dimensions indicated.

Grout tile to comply with ansi a 108-10. Provide samples of grout for architect or owner's approval prior to installation.

	Product Name /Number	Finish/Color	Remark
ne	Blomma Honed Marble mosaic Tile in Bianco	Bianco	Owner supplied, G.C. installed.
	TBD	TBD	Owner supplied, G.C. installed.
	TBD	TBD	Owner supplied, G.C. installed.
	TBD	TBD	Wood flooring to match existing.
	TBD	TBD	Owner supplied, G.C. installed.
	Juniper Forest Wallpaper	Evergreen	Owner supplied, G.C. installed.
	TBD	Egg shell	
	TBD	Semi-gloss	
	TBD	Flat	
	TBD	Egg shell	
	TBD	Semi-gloss	
	TBD	Egg shell	
	TBD	Semi-gloss	

## Lamsvelt Thompson Residence Phase I

16 Park Road Irvington, NY



In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State

Amendments) which includes Chapter 11 Energy

Efficiency.



FERGUSON MALONE ARCHITECTURE

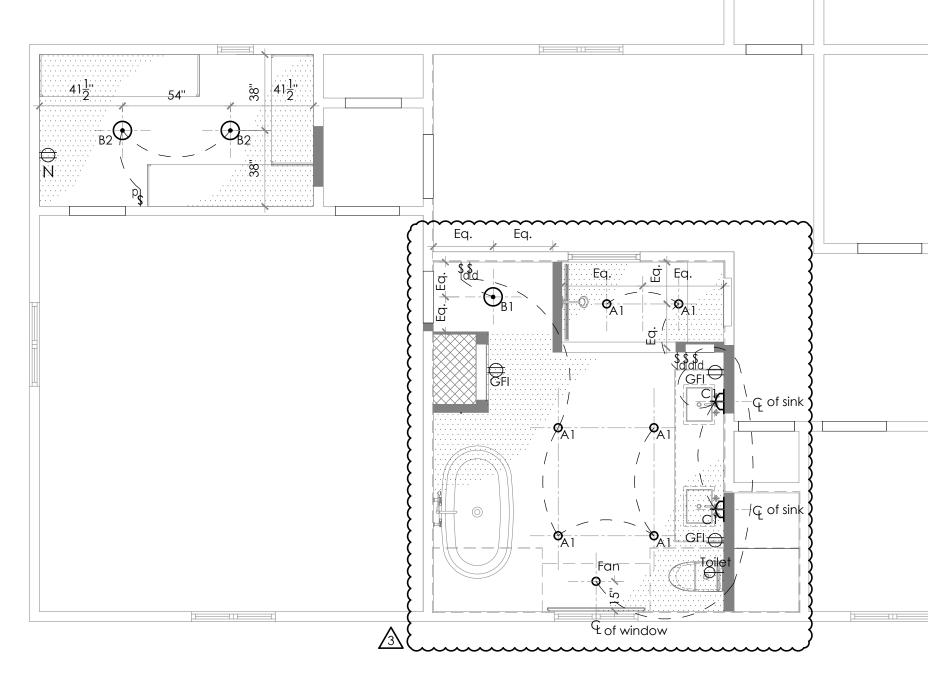
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031
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## Demolition and Proposed Floor Plans

SCALE: As Noted
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ATE:	09/24/2021	

**JOB:** 2109



Partial Proposed RC/Power Plan - Second Floor 1/4" = 1'-0"

#### Lighting Fixture Schedule

Tag	Description	Location	Manufacturer	Product Name /Number	Volt	Finish	Remark
A1	Aether 2" LED Round Downlight - Wet Locations	Proposed Primary Bath	WAC Lighting	R2ARDT-W930-WT	120	White	Contractor supplied and installed
B1	Decorative Ceiling Mounted Fixture	Proposed Primary Bath	TBD	TBD	120	TBD	Owner supplied, contractor installed
B2	Decorative Ceiling Mounted Fixture	Proposed Primary Closet	TBD	TBD	120	TBD	Owner supplied, contractor installed
B3	Decorative Ceiling Mounted Fixture	Proposed Powder Room	TBD	ТВД	120	TBD	Owner supplied, contractor installed
	Decorative Wall Mount Fixture	Proposed Primary Bath	Kohler	Modern Farm K-23668-SC01	120	CPL	Owner supplied, contractor installed
C2	Decorative Wall Mount Fixture	Proposed Powder Room	Pottery Barn	Harbin Single Sconce, Brass & Black	120	TBD	Owner supplied, contractor installed

#### Key

⇔ N	New wall mounted duple a.f.f. (typ) u.o.n.
⊖ GFI	New wall mounted duple
⊖– APP	Appliance connection
\$	New single pole switch
\$ <sub>d</sub>	New switch with dimming
	New exhaust fan - Whisp
$O_{Fan}$	New exhaust fan - Fanteo
	New $\frac{1}{2}$ G.W.B. Ceiling - To



indicated.

required.

All IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0. cfm leakage at 75 Pa.

#### Electrical Distribution Notes

All work shall be performed by licensed personnel, and shall comply with N.Y. State Uniform Fire Prevention and Building Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association and all federal, state, and municipal authorities having jurisdiction over the work.

All work shall comply w/ the National Electrical Code NFPA70 edition 2020.

Contractor shall obtain exact requirements before proceeding with the work.

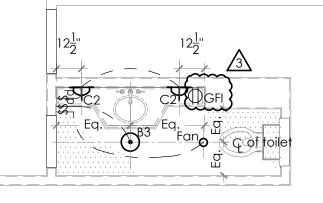
Install wiring and conduit as required by code.

required.

are to be white.

Exact locations of outlets & switches shall be verified. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

will activate all of the alarms.





Partial Proposed RC/Power Plan - First Foor Powder Room 1/4" = 1'-0"

olex electrical receptacle @ 18"

lex electrical receptacle ground-fault circuit interrupter.

ng capability

perWarm DC Ventilation Fan/Heater Combo FV-0511VH1 by Panasonic ech Bath fan w/ grill PB110

To be finished and painted

All lighting shall comply with Section 300-41 in the Village of Dobbs Ferry Zoning Code.

New lighting fixtures shall be provided as indicated on the fixture schedule. Install all accessories, wiring and conduit as required. All new fixtures are to be controlled with switches as indicated, Lutron Caseta or approved equal. Provide LED compatible dimmers as

Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where

Light switches to be mounted at 3'-6" to centerline above finish floor.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices

Adjacent switches and receptacles are to be installed in ganged with single coverplate.

Light switches to be mounted at 3'-6" to centerline above finish floor.

Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and household fire warning equipment provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm



16 Park Road Irvington, NY

3	02/07/2022	Building Permit Revision
2	12/15/2021	Submitted for Construction
$\overline{\mathbb{A}}$	12/13/2021	Resubmitted for Permitting
	11/17/2021	Submitted for Permitting
	11/09/2021	Submitted for Bidding
NO.	DATE	ISSUE/REVISION

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy

Efficiency.



FERGUSON MALONE ARCHITECTURE

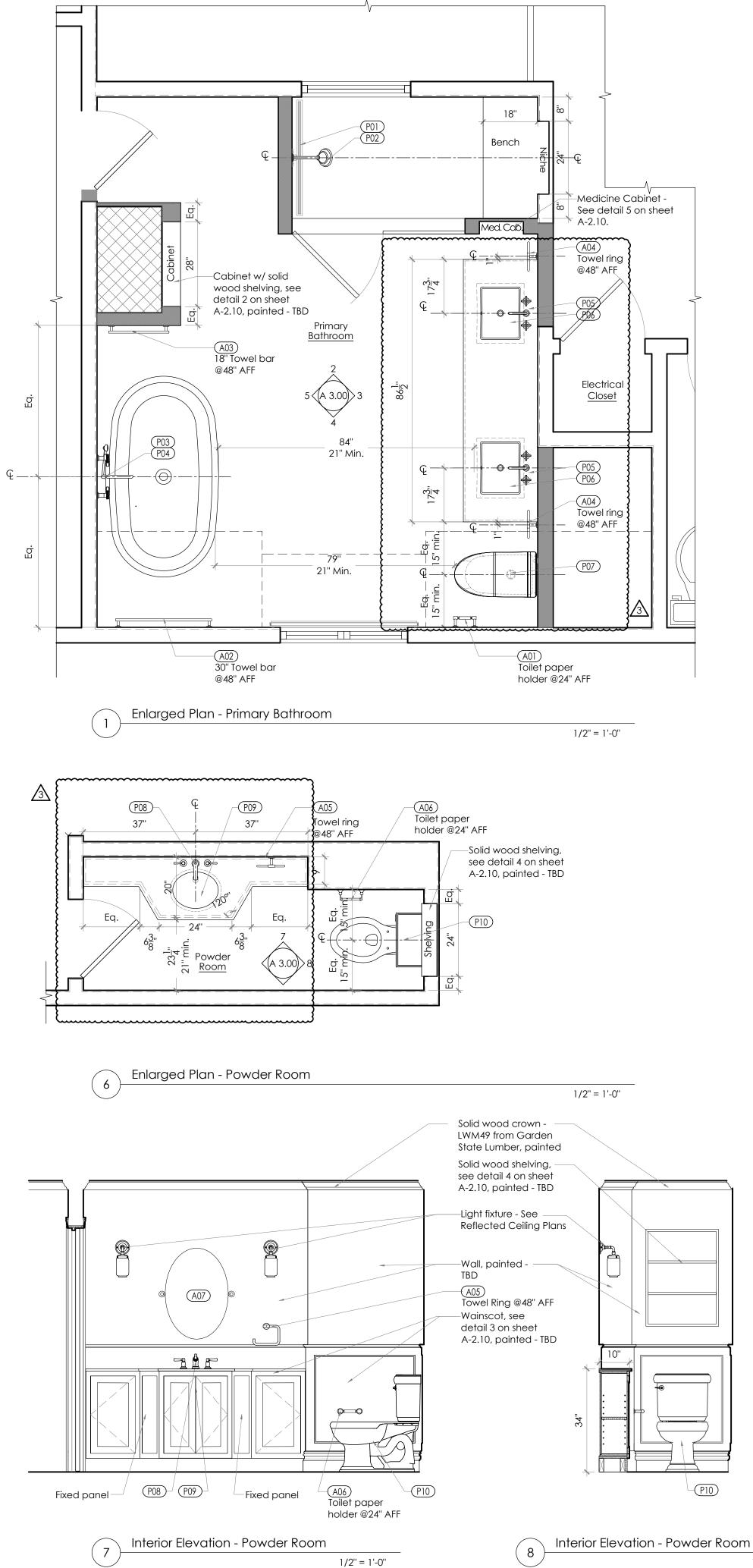
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Reflected Ceiling and Electrical Plans

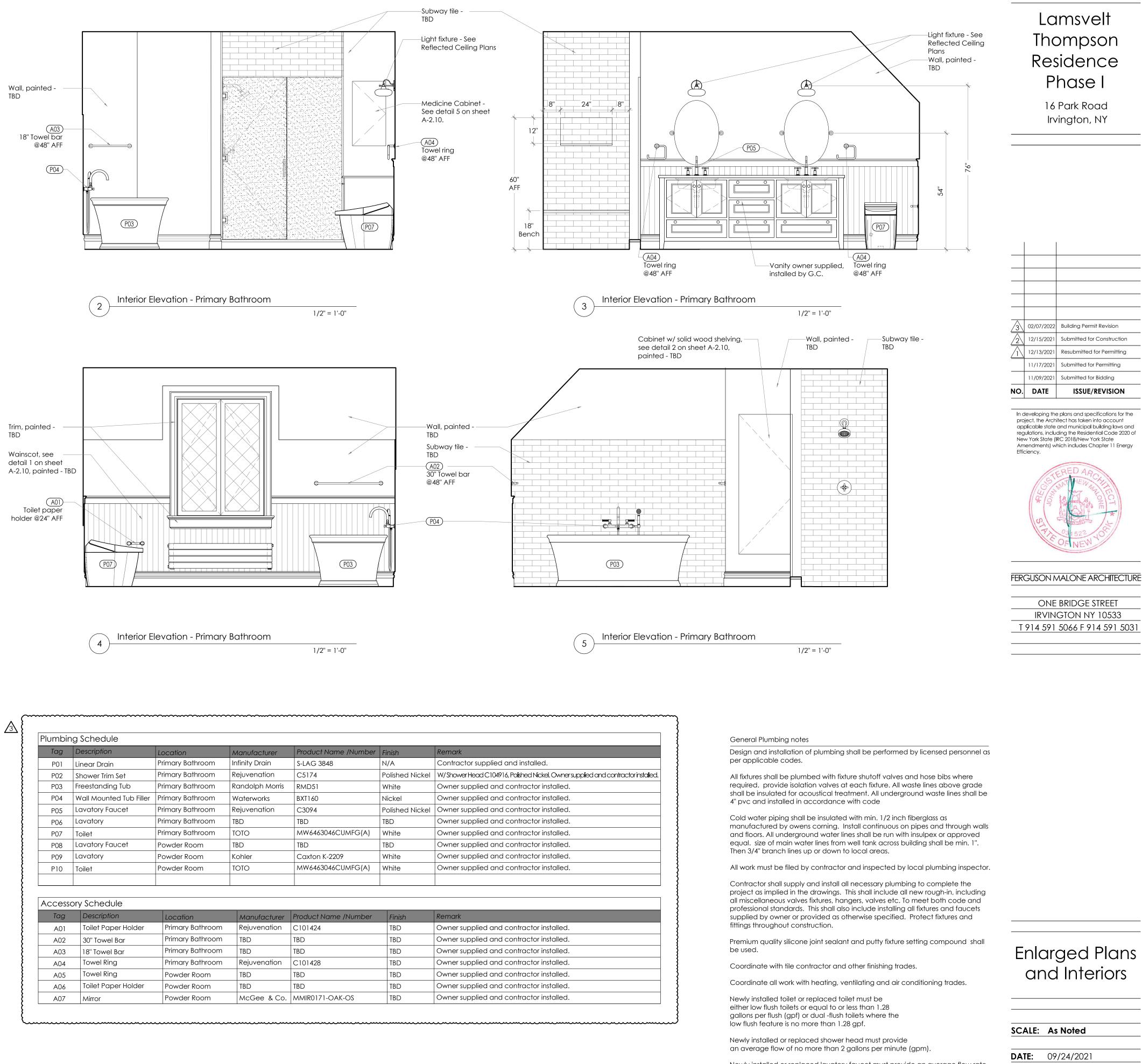
SCALE:	As Noted	
DATE:	09/24/2021	

**JOB:** 2109

A-1.01



1/2" = 1'-0"



Tag	Description	Location	Manufacturer	Product Name /Number	Finish	Remark
P01	Linear Drain	Primary Bathroom	Infinity Drain	S-LAG 3848	N/A	Contractor supplied and installed.
P02	Shower Trim Set	Primary Bathroom	Rejuvenation	C5174	Polished Nickel	W/Shower Head C104916, Polished Nickel. Owner supplied and contractor in
P03	Freestanding Tub	Primary Bathroom	Randolph Morris	RMD51	White	Owner supplied and contractor installed.
P04	Wall Mounted Tub Filler	Primary Bathroom	Waterworks	BXT160	Nickel	Owner supplied and contractor installed.
P05	Lavatory Faucet	Primary Bathroom	Rejuvenation	C3094	Polished Nickel	Owner supplied and contractor installed.
P06	Lavatory	Primary Bathroom	TBD	TBD	TBD	Owner supplied and contractor installed.
P07	Toilet	Primary Bathroom	τοτο	MW6463046CUMFG(A)	White	Owner supplied and contractor installed.
P08	Lavatory Faucet	Powder Room	TBD	TBD	TBD	Owner supplied and contractor installed.
P09	Lavatory	Powder Room	Kohler	Caxton K-2209	White	Owner supplied and contractor installed.
P10	Toilet	Powder Room	ΤΟΤΟ	MW6463046CUMFG(A)	White	Owner supplied and contractor installed.
	ory Schedule					
CCESS Tag	ory Schedule Description	Location	Manufacturer	Product Name /Number	Finish	Remark
	,	Location Primary Bathroom	Manufacturer Rejuvenation	Product Name /Number C101424	Finish TBD	Remark Owner supplied and contractor installed.
Tag	Description					
Tag A01	Description Toilet Paper Holder	Primary Bathroom	Rejuvenation	C101424	TBD	Owner supplied and contractor installed.
Tag A01 A02	Description Toilet Paper Holder 30" Towel Bar	Primary Bathroom Primary Bathroom	Rejuvenation TBD	C101424 TBD	TBD TBD	Owner supplied and contractor installed. Owner supplied and contractor installed.
Tag           A01           A02           A03	Description Toilet Paper Holder 30" Towel Bar 18" Towel Bar	Primary Bathroom Primary Bathroom Primary Bathroom	Rejuvenation TBD TBD	C101424 TBD TBD	TBD TBD TBD	Owner supplied and contractor installed. Owner supplied and contractor installed. Owner supplied and contractor installed.
Tag           A01           A02           A03           A04	DescriptionToilet Paper Holder30" Towel Bar18" Towel BarTowel Ring	Primary Bathroom Primary Bathroom Primary Bathroom Primary Bathroom	Rejuvenation TBD TBD Rejuvenation	C101424 TBD TBD C101428	TBD TBD TBD TBD	Owner supplied and contractor installed. Owner supplied and contractor installed. Owner supplied and contractor installed. Owner supplied and contractor installed.

Newly installed or replaced lavatory faucet must provide an average flow rate of no more than 2 gallons per minute (gpm).

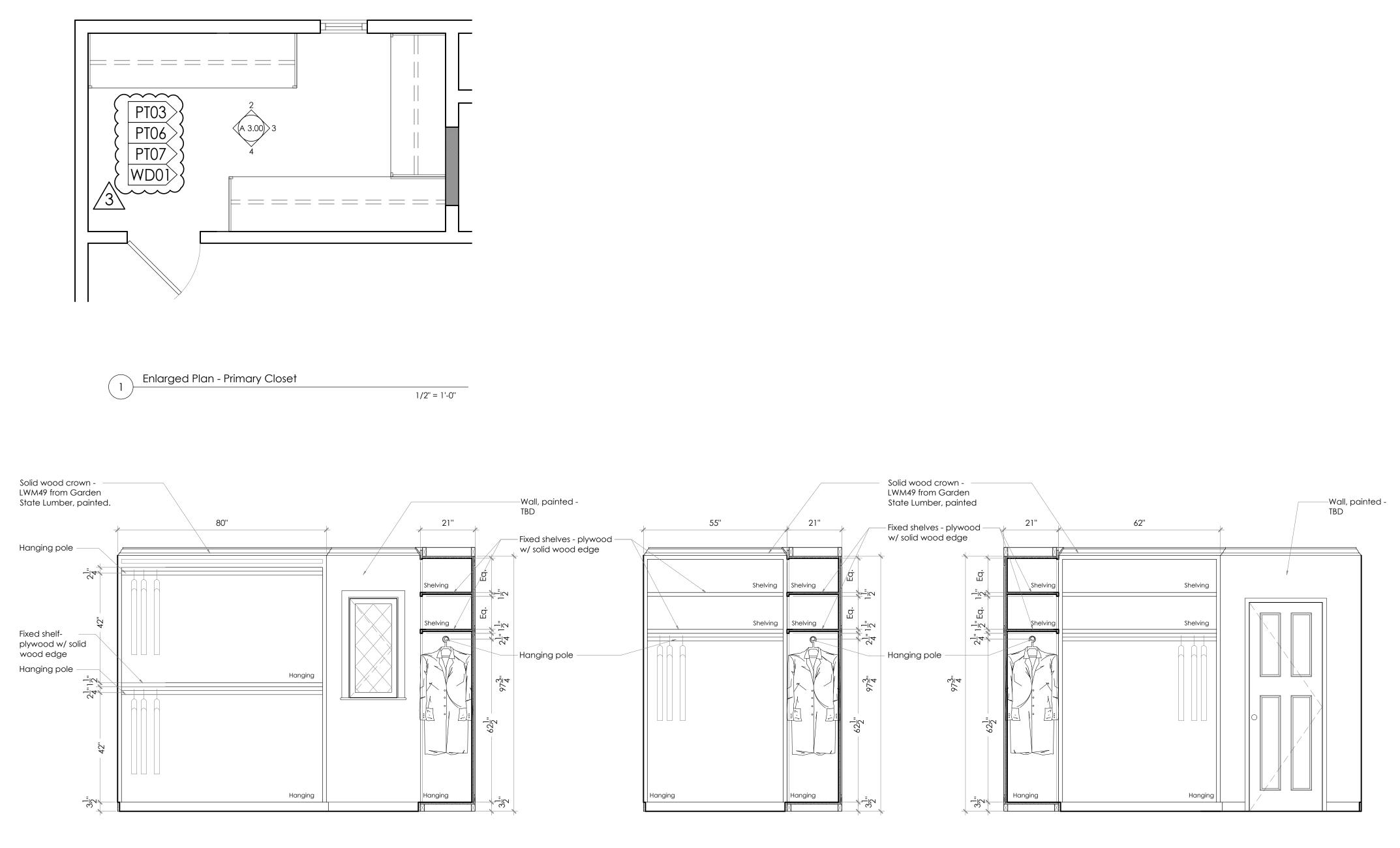
General Accessory Notes

All accessories to be installed as per manufacturer's specification.

Confirm locations of installation with architect prior to installing.

SCALE:	As Noted
DATE:	09/24/2021
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A-2.00



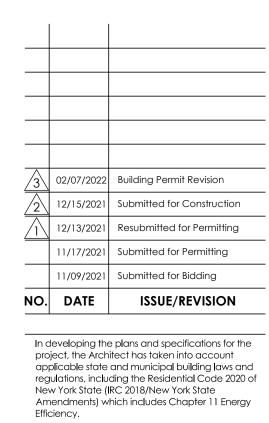
2 Interior Elevation - Primary Closet 1/2" = 1'-0"

3 Interior Elevation - Primary Closet 1/2" = 1'-0"

4 Interior Elevation - Primary Closet 1/2" = 1'-0"

# Lamsvelt Thompson Residence Phase I

16 Park Road Irvington, NY



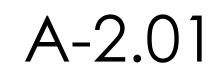


FERGUSON MALONE ARCHITECTURE

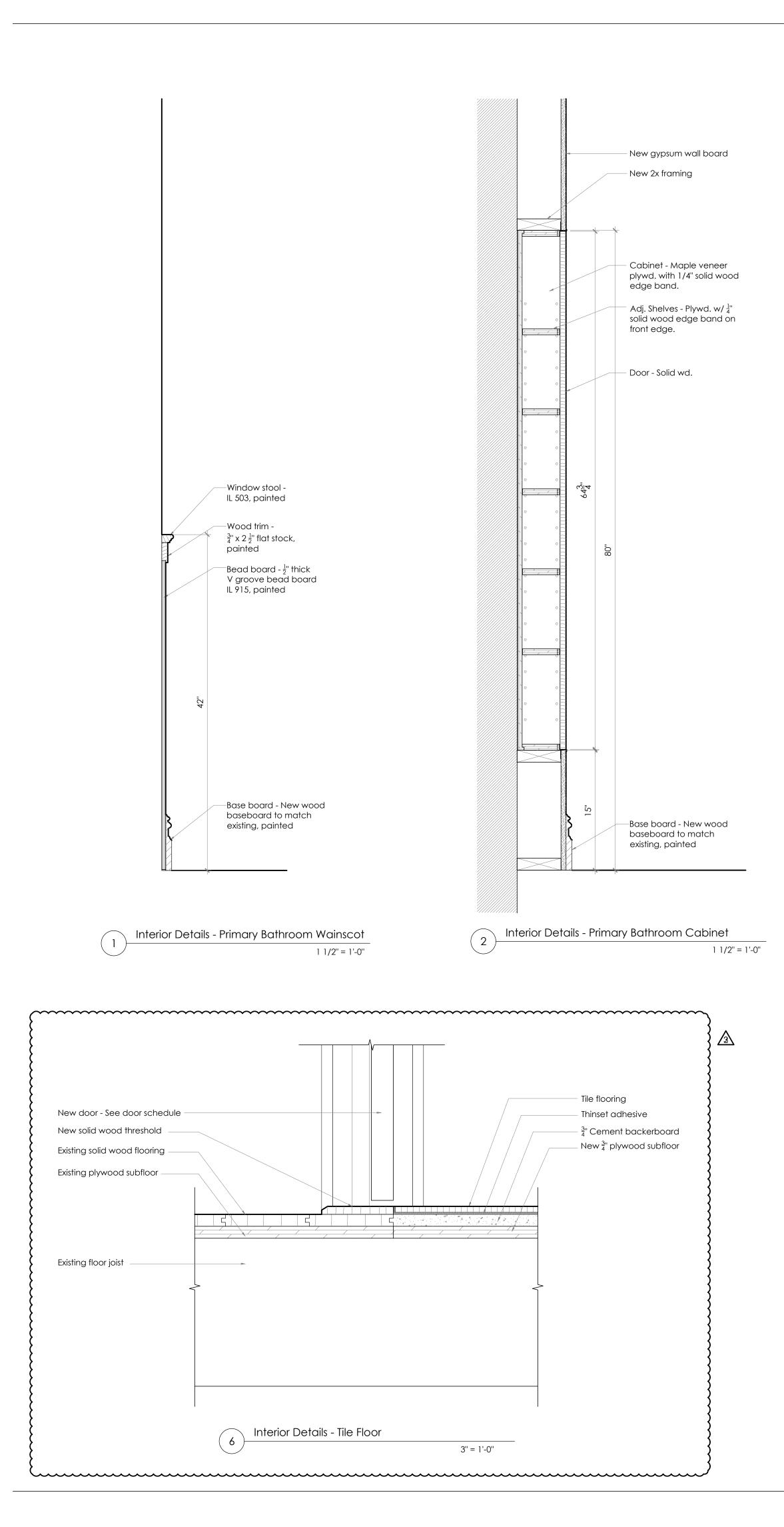
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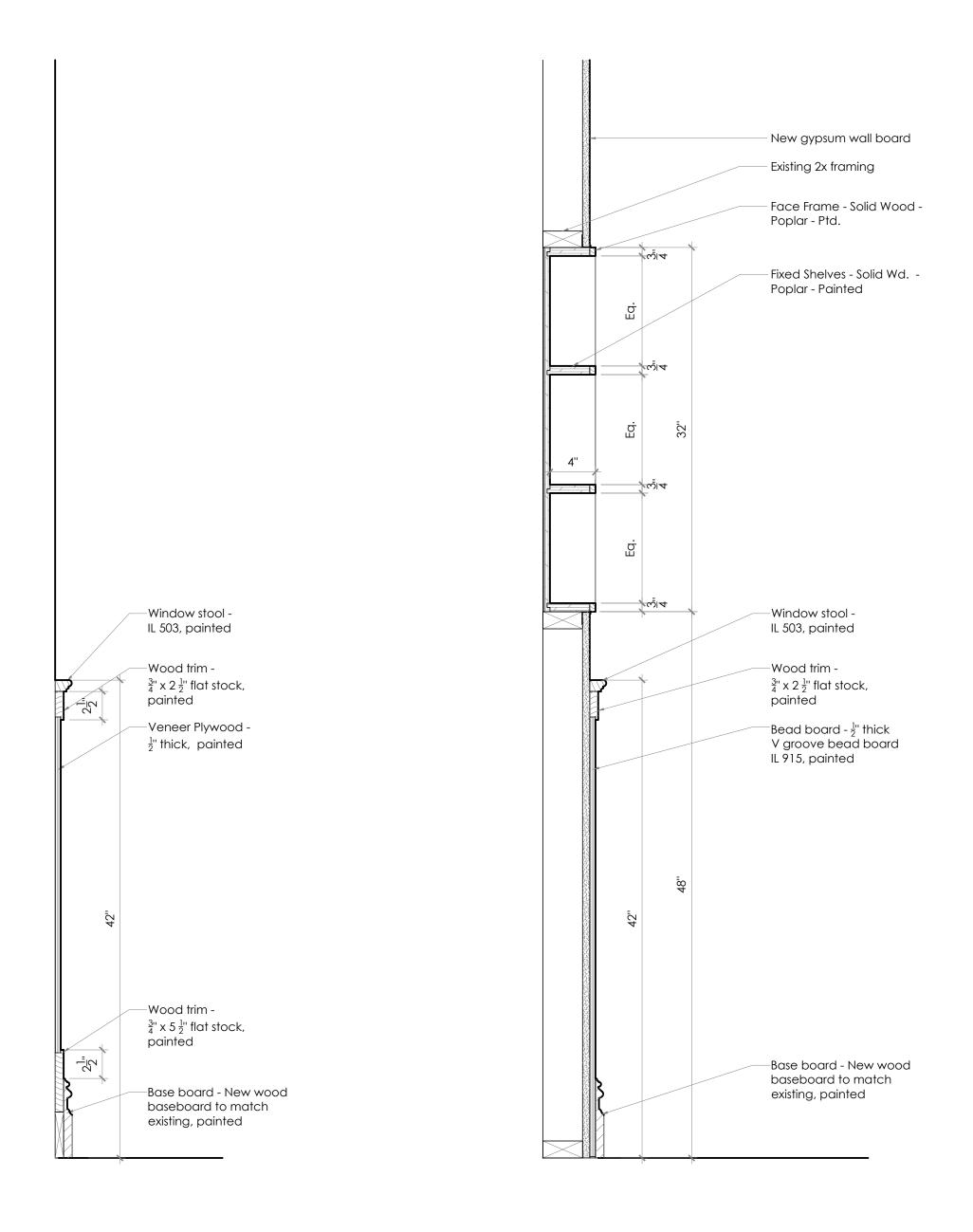
# Enlarged Plans and Interiors

SCALE:	As Noted		
DATE:	09/24/2021		
JOB:	2109		
-			



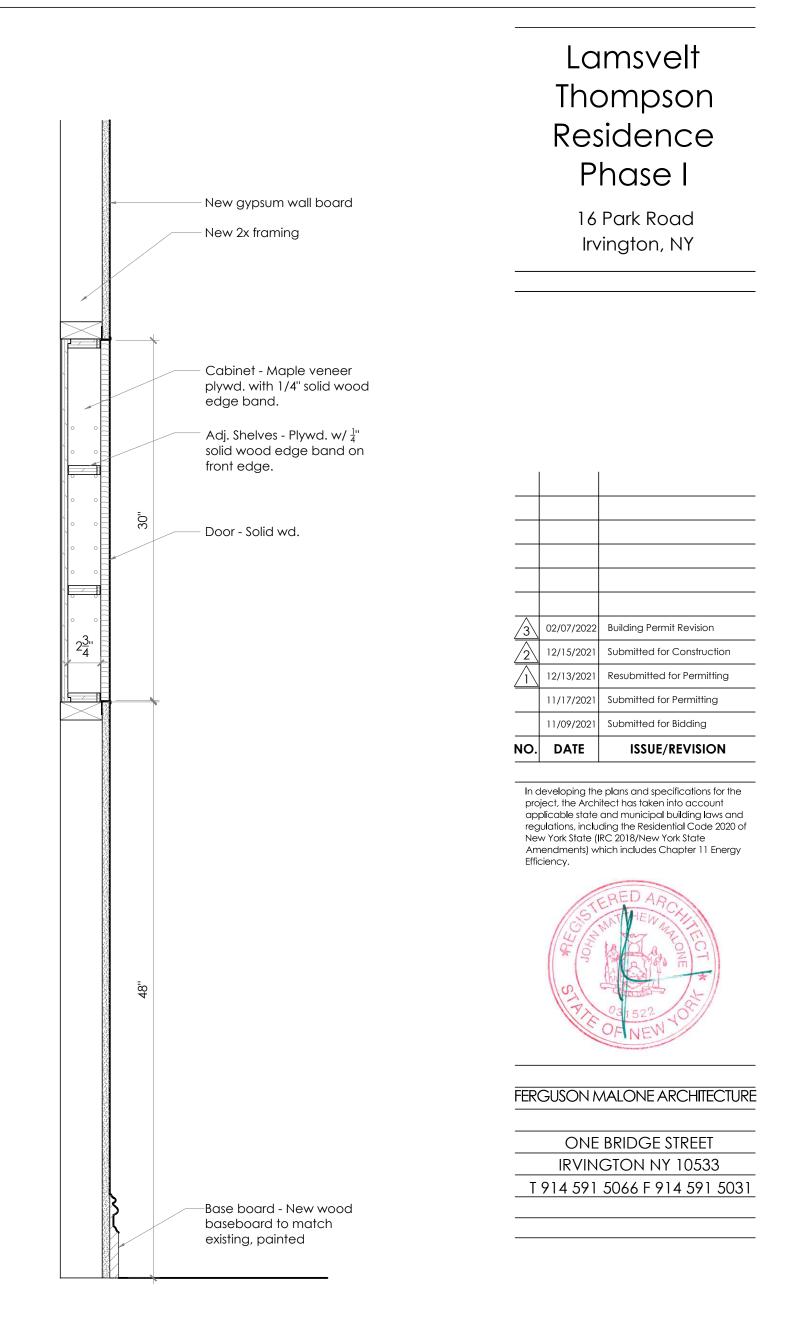
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3 Interior Details - Powder Room Wainscot 1 1/2" = 1'-0"

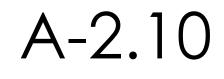
4 Interior Details - Powder Room Shelving 1 1/2" = 1'-0"

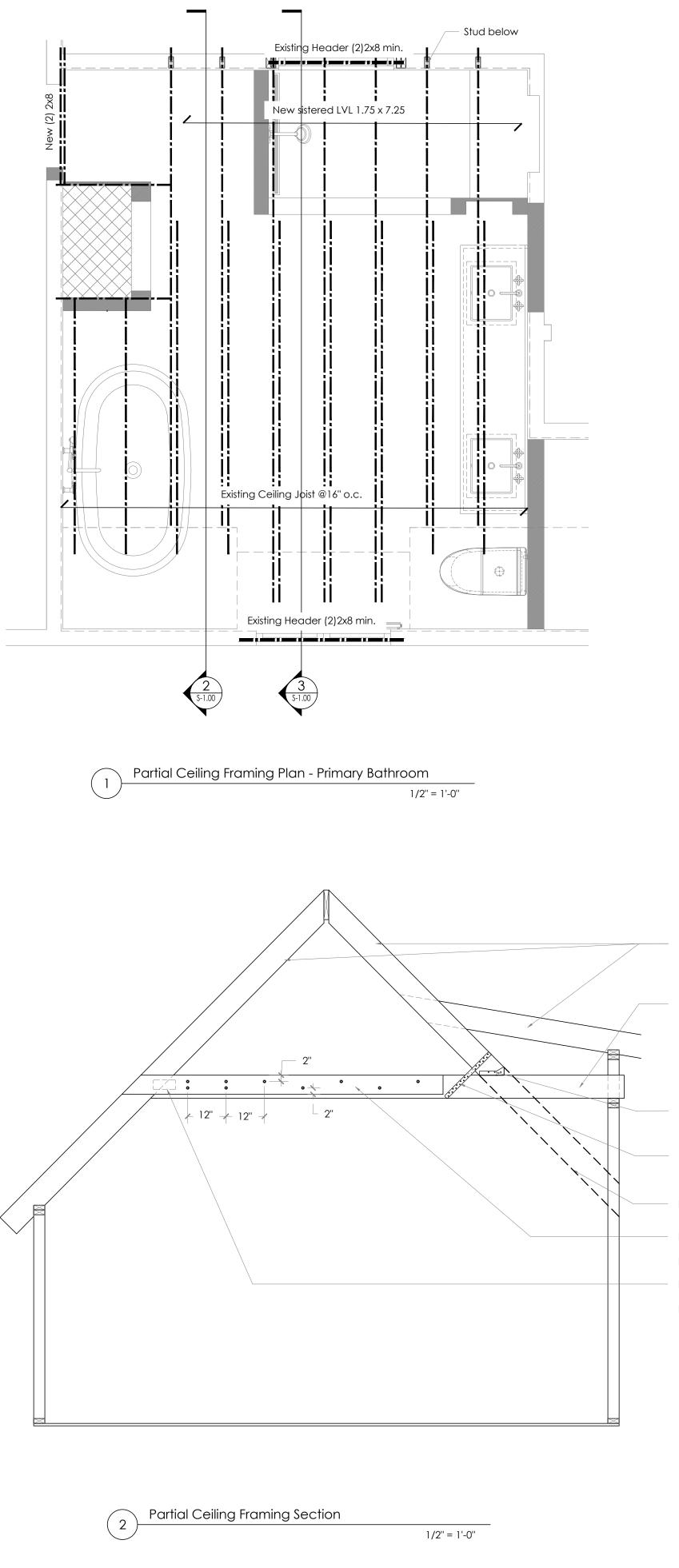


5 Interior Details - Primary Bathroom Medicine Cabinet 1 1/2" = 1'-0"

# Interior Details

SCALE:	As Noted		
DATE:	09/24/2021		
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Legend

------------------------ New Ceiling Joist or Rafter

Existing Ceiling Joist or Rafter

Existing Header

Framing Notes

1. All framing lumber and details of wood construction shall conform to national design specifications for stress grade lumber and its fastenings (including supplement no. 1). All new framing lumber shall be grade marked at mill and shall be surfaced dry new joists shall comply with PS 20-70 for sizes and shall conform to the following specie and grade.

Rafters and joists: Beams, girders and headers: Studs and plates:

Douglas Fir, larch #2 Douglas Fir, larch #1 Douglas Fir, larch stud grade

All factory manufactured glue laminated wood framing members (LVL, TJI, PSL) shall be Microllam, TJI joists or Parallam members as manufactured by Trus Joist Corporation or architect approved equal.

2. Set rough carpentry to required levels and lines, with members plumb, true to line, cut, and fitted. Fit rough carpentry to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking,grounds, and similar supports to comply with requirements for attaching other construction.

3. Framing standard: comply with AF&PA's "details for conventional wood frame construction," unless otherwise indicated.

P.E.

Existing roof rafters

New LVL 1.75" x 7.25" fastened to existing ceiling joist w/ Fasten Master Flat Lok structural screws

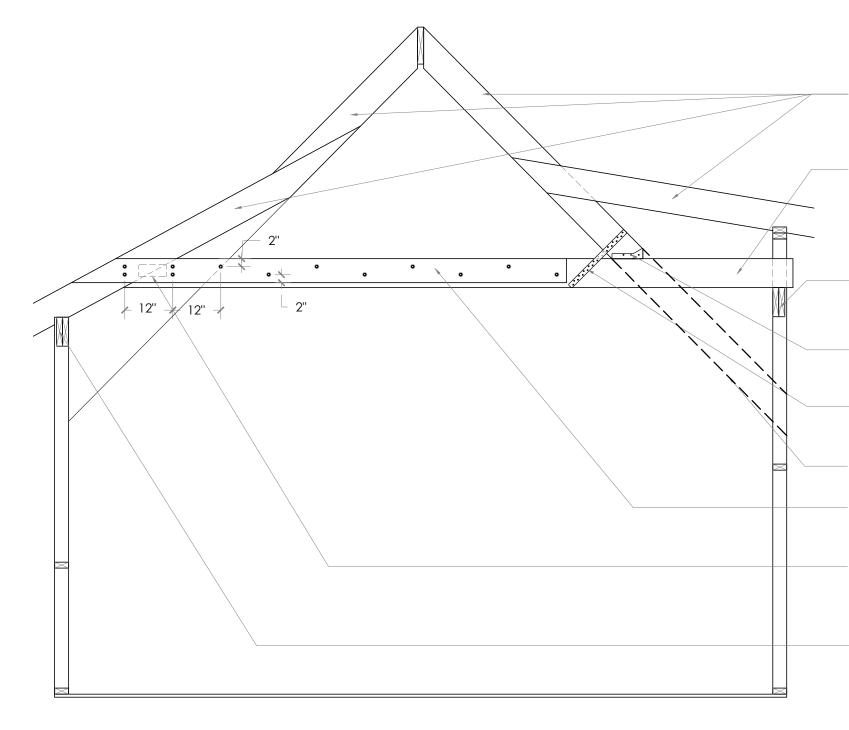
Simpson Strong-tie 2 in x 6 in, 18 Gauge, triple zinc concealed joist hanger.

Simpson Strong-tie CS16 Galvanized coiled utility strap,

16 Gauge. Existing rafter to be removed.

Existing 2x6 ceiling joist, fastened to new LVL w/ Fasten Master Flat Lok structural screws.

New Simpson Strong-tie HTP 3x7 Tie Plate, fastened w/ Strong Drive SD connectors screws.





Lamsvelt Thompson Residence Phase I

### 16 Park Road Irvington, NY

4. Metal framing anchors: install metal framing to comply with manufacturer's written instructions. All flush framed connections shall be made with approved galvanized steel joists or beam hangers, minimum 18 gauge. All metal including joist hangers, flashing, anchor bolts, post bases, etc. that come in contact with pressure treated lumber shall be hot dipped galvanized g186 by Simpson strong tie, stainless steel, or approved equal by architect.

5. Do not splice structural members between supports, unless otherwise

6. The general contractor is to identify any discrepancies prior to beginning any re-framing work.

7. All doors, windows and openings shall have minimum header to be as follows, u.o.n. on structural plans:

a. Up to 5'-0" wide, use (2) 2x10

b. Up to 8'-0" wide, use (3) 2x10 or (2) 2x12 c. Openings greater than 8'-0", see plans for header sizes or as specified by

8. Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance with Title 19 NYCRR Part 1265) affidavit.

# 1 12/13/2021 Resubmitted for Permitting 11/17/2021 Submitted for Permitting 11/09/2021 Submitted for Bidding NO. DATE **ISSUE/REVISION**

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#### FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Existing roof rafters

New LVL 1.75" x 7.25" fastened to existing ceiling joist w/ Fasten Master Flat Lok structural screws

Existing header (2)2x8 min.

Simpson Strong-tie 2 in x 6 in, 18 Gauge, triple zinc concealed joist hanger.

Simpson Strong-tie CS16 Galvanized coiled utility strap,

16 Gauge. Existing rafter to be removed.

Existing 2x6 ceiling joist, fastened to new LVL w/ Fasten Master Flat Lok structural screws.

New Simpson Strong-tie HTP 3x7 Tie Plate, fastened w/ Strong Drive SD connectors screws.

Existing header (2)2x8 min.

# Framing Plan and Section

SCALE:	As Noted	
	00/04/2021	
DATE:	09/24/2021	
JOB:	2109	

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