APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	183	Date:	02/03/2022
Job Location:	1 HUDSON RD WEST	Parcel ID:	2.160-74-5
Property Owner:	Sophie and Michael Roberts	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
John Malone	
Ferguson Malone Architecture	
One Bridge StreetSuite 29Irvington NY 10533	
9145643166	

Description of Work

Type of Work:	Landscaping (with increase of coverage or FAR)	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	150000.00	Property Class:	1 FAMILY RES

Description of Work

Proposed swimming pool and all associated landscape and hardscape.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 1 HUDSON RD WEST Parcel Id: 2.160-74-5

AFFIDAVIT OF APPLICANT

I **John Malone** being duly sworn, depose and says: That s/he does business as: **Ferguson Malone Architecture** with offices at: **One Bridge StreetSuite 29 Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 7th day of February of 2022

Jessica Baran

Notary Public / Commission of Deeds

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

Applicant's Signature

OWNER'S AUTHORIZATION

I **Sophie and Michael Roberts** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 917-502-9074 Owner email address michaelrobertsnyc@gmail.com

☒ Michael Roberts I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 3 day of FEBRUARY of 2022

Sandy A. Camilo

Notary Public / Commission of Deeds

Applicant's Signature

SANDY A CAMILO
Notary Public - State of New York
NO. 01CA6414685
Qualified in Bronx County
My Commission Expires Mar 1, 2025

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee $85 — 85
* Permit fee $17 per thousand dollars ($1000) of estimated cost of construction, or fraction thereof — 2,550

• Inspection Fees (as applicable)

- Insulation: $50
- Solid Fuel: $50
- Foundation and footing drain: $50
- Energy Code Compliance: $50
- Sediment and erosion control: $50
- Footing: $50
- Preparation for concrete slabs and walls: $50
- Footing: $50
- Preparation for concrete slabs and walls: $50
- Framing: $50
- Building systems, including underground and rough-in: $50
- Fire resistant construction and penetrations: $50
- Final Inspection for C.O.: $50
- State and local laws (per re-inspection): $50

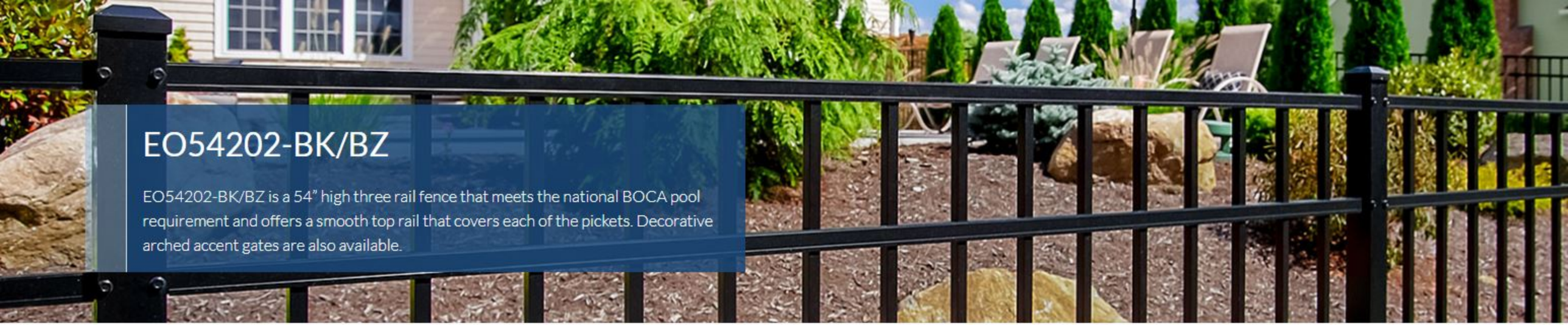
Total Inspections 250

* Certificate of Occupancy Fees: One dollar ($1.00) per thousand dollars of estimated cost. Minimum Fee $25.00
* Permit Revisions or Amendment: $50.00 (plus $17 per thousand ($1000), of the estimated cost of construction and any additional inspections fees). — 150

* Re-inspection fee for work not ready at time of inspection or not in compliance: $50 — _____
* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior toapplying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee $500.00. — _____

(To be collected at time of submission of application)Total 3,035

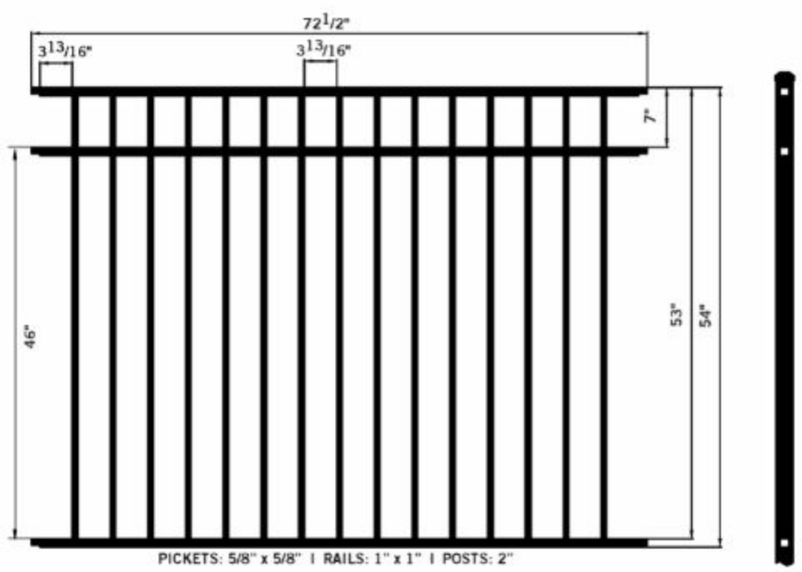
(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)



EO54202-BK/BZ

EO54202-BK/BZ is a 54" high three rail fence that meets the national BOCA pool requirement and offers a smooth top rail that covers each of the pickets. Decorative arched accent gates are also available.

EO54202 – 54″ HIGH THREE RAIL PICKET FENCE



E054202-54 #202 Section

EO54202

54" High 5/8" x 5/8" Three Rail Ornamental Aluminum Picket Fence

One of our most popular styles. 54" high three rail fence with a smooth top rail that covers each of the fifteen pickets. Pickets are flush to the bottom rail.

- Available in BLACK (EO54202-BK) and BRONZE (EO54202-BZ)
- Available for Quick-Ship delivery
- Matching, accent, and rainbow 48" and 60" gates
- Featuring "hidden screw" technology with "aluminum feature strip"
- Smooth rackability
- 6061 T6 Aluminum Alloy
- DuPont powder coating
- Pickets: Fifteen 5/8" x 5/8" Pickets
- Rails: Three 1" x 1" Rails

Roberts Swimming Pool

1 Hudson Road W
Irvington, New York

Submission to Irvington Planning Board
for Site Development Plan Approval
July 21, 2021

Resubmission to Irvington Planning Board
for Site Development Plan Approval
August 18, 2021 **REVISION** 1

Resubmission to Irvington Planning Board
for Site Development Plan Approval
September 22, 2021 **REVISION** 2

Resubmission to Irvington Planning Board
for Site Development Plan Approval
October 20, 2021 **REVISION** 3

Submission to Irvington Zoning Board of
Appeal for Approval
November 08, 2021

Resubmission to Irvington Zoning Board of
Appeal for Approval
January 10, 2022 **REVISION** 4

Submission to Irvington Architectural Review
Board for Approval
February 07, 2022 **REVISION** 5

PROJECT NO.: 20-36

FERGUSON MALONE ARCHITECTURE

Climate and Geographic Design Criteria (Effective 10/3/2016)

Location: Village of Irvington — Zip Code: 10533

Wind Design						Subject to Damage From							
Ground Snow Load	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone	Seismic Design Category (RCNY Only)	Weathering	Frost Line Depth	Termite	Climate Zone	Ice Barrier Underlayment Reqd	Flood Hazards	Air Freezing Index	Mean Annual Temp
30	*Special Wind Region	No	Yes	No	C	Severe	42"	Moderate to Heavy	4A	Yes	**Firm Community - Panel Map # 36119C0261F Effective Date, 9-28-2007	2000	51.6

*115 MPH to 120 MPH, The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind Speeds higher than the derived values takes from Section 1609 of to IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

**State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

Insulation and Fenestration Requirements by Component

Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
Table R402.1.2 Insultation and Fenestration Requirements by Component										
4A	0.32	0.55	0.4	49	20 or 13 + 5	8/13	19	10/13	10.2 FT	10/13
Table R402.1.4 Equivalent U-Factors										
4A	0.32	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

Energy Code Compliance Notes:
* No changes are proposed to the conditioned space of the house.
* Existing and proposed building construction to be Type 5 B: Wood-Framed, combustible.
* Existing and proposed occupancy is: 1 Family

Legend and Symbols

- X / A-X.XX — ELEVATION NUMBER / DRAWING NUMBER — ELEVATION
- X / A-X.XX — DETAIL NUMBER / DRAWING NUMBER — DETAIL
- XX — DOOR NUMBER
- X — WINDOW TYPE
- PXX — PLUMBING FIXTURE TAG
- EXX — EQUIPMENT TAG
- X — FINISH TAG
- X — KEY NOTE
- X — WALL TYPE
- ROOM NAME / ROOM NO. — ROOM TAG

LIST OF DRAWINGS

SHEET NO.	TITLE	REVISION	DATE
G-0.00	General Notes and List of Drawings	5	02/07/2022
G-1.00	Zoning Analysis	4	01/10/2022
G-1.01	Neighborhood Analysis	4	01/10/2022
G-1.02	Neighborhood Analysis		07/21/2021
G-1.03	Neighborhood Fence Analysis	4	01/10/2022
A-0.10	Demolition Site Plan, Tree Protection, and ECM	4	01/10/2022
A-0.10.1	Tree Protection and Erosion Control Details	1	08/18/2021
A-0.11	Architectural Site and Planting Plan	5	02/07/2022
A-0.12	Pool Details	5	02/07/2022
A-0.13	Site Details	5	02/07/2022

Construction Requirements

All work shall be in accordance with the 2020 New York State Building Code and the November 2019 addition, and all applicable local jurisdiction and fire department regulations.

Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.

All work, including plumbing and electrical work, shall be performed by licensed contractors.

All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS.

The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.

Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.

The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.

Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.

Contractor shall exercise strict control over safety and security of the site.

The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose.

Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.

The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.

All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.

Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.

Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.

Abbreviations

A	
A/C	AIR CONDITIONING
ACOUS.	ACOUSTICAL
ACOUS.T	ACOUSTICAL TILE (OR
AC.T.)	
ADD'N(L).	ADDITION(AL)
ADJ.	ADJUSTABLE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANOD.	ANODIZED
APPVD.	APPROVED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT or ARCHITECTURAL
AUTO.	AUTOMATIC
AVG.	AVERAGE
&	AND
A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE
B	
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BRKT.	BRACKET
BRZ.	BRONZE
BSMT.	BASEMENT
C	
CAB.	CABINET
C.C.	CENTER TO CENTER
CER.	CERAMIC
CLKG.	CALKING
	CENTER LINE
CLG.	CEILING
(OR CEIL.)	
CLOS.	CLOSET
CLR.	CLEAR
CLR. OPG.	CLEAR OPENING
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECT OR CONNECTION
CONST.	CONSTRUCTION
CONT.	CONTINUOUS
COR.	CORNER
CORR.	CORRIDOR
C.T.	COUNTERTOP
CTR.	CENTER
C.W.	COLD WATER
CM.	CARBON MONOXIDE
D	
D.A.	DOUBLE-ACTING DBL. DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DIV.	DIVISION
DN.	DOWN
DR.	DOOR
DWG.	DRAWING
DRW.	DRAWER
E	
(E.)	EAST
ELEC.	ELECTRIC
EL.	ELEVATION
ELEVR.	ELEVATOR
ENGR.	ENGINEER
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXH.	EXHAUST
E. EXIST.	EXISTING
EXPAN.	EXPANSION EXPOS. EXPOSED
EXT.	EXTERIOR
ELECT.	ELECTRICAL

F	
F.ALM.	FIRE ALARM
FABR.	FABRICATE
F.E.	FIRE EXTINGUISHER
F.E.C.	FIRE EXTINGUISHER CABINET
FIN. FL.	FINISH FLOOR
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH(ED)
FLR.	FLOOR
FLUOR.	FLUORESCENT
F.O.C.	FACE OF CONCRETE
F.O.F.	FACE OF FINISH
F.O.G.	FACE OF GYP.BD.
F.O.S.	FACE OF STUD
F.O.W.	FACE OF WALL
FR.	FRAME
F.S.	FULL SIZE
FT.	FOOT OR FEET
F.A.R.	FLOOR AREA RATIO
F-F	FACE TO FACE FURR. FURRING
FIXT.	FIXTURE
G	
GA.	GAUGE
GEN.	GENERAL
GL.	GLASS OR GLAZED
GYP.	GYPSUM
GWB	GYPSUM WALL BOARD
H	
HDWR.	HARDWARE
HDWD.	HARDWOOD
HGT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HVAC	HEATING, VENTILATING AND AIR CONDITIONING
H.W.	HOT WATER
I	
I.D.	INSIDE DIAMETER
INCL.	INCLUDE(D)(ING)
INFO.	INFORMATION INCAN. INCANDESCENT
INT.	INTERIOR
J	
JAN.	JANITOR
JT.	JOINT
L	
∠	ANGLE
LAM.	LAMINATE
LB. (OR #)	POUND
L.H.	LEFT HAND
LAV.	LAVATORY
M	
MAINT.	MAINTENANCE
MAX.	MAXIMUM
MECH.	MECHANICAL
M.C.	MAIL CHUTE
MTL.	METAL
MEZZ.	MEZZANINE
MGR.	MANAGER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
M.TH.	METAL THRESHOLD
MW.	MICROWAVE
N	
(N)	NORTH
N.	NEW
NEG.	NEGATIVE
N.I.C.	NOT IN CONTRACT
NO.(OR #)	NUMBER
N.T.S.	NOT TO SCALE

O	
O.A.	OVERALL
O.C.	ON CENTER
O.D.	OUTSIDE DIAMETER OFF. OFFICE
O.H.	OPPOSITE HAND OPNG. OPENING
OPP.	OPPOSITE
ORIG.	ORIGINAL
P	
PART. BD.	PARTICLE BOARD
P.LAM.	PLASTIC LAMINATE
PLAS.	PLASTER
PLYWD.	PLYWOOD
PNL.	PANEL
PR.	PAIR
PREFAB.	PREFABRICATED
PROJ.	PROJECT
PTN.	PARTITION
PTD.	PAINTED
PWG.	PAINTED WOOD & GLASS
Q	
QUAL.	QUALITY
QUAN.	QUANTITY
R	
R/A	RETURN AIR
RAD.	RADIUS
RECEP.	RECEPTACLE
REF.	REFERENCE
REFL.	REFLECTED
REINF.	REINFORCED
RESIL.	RESILIENT
REQ'D.	REQUIRED
R.H.	RIGHT HAND
RM.	ROOM
RND.	ROUND
R.O.	ROUGH OPENING
REV.	REVISION
S	
(S)	SOUTH
SCHED.	SCHEDULE
SECT.	SECTION
SIM.	SIMILAR
SQ.	SQUARE
S.F.	SQUARE FEET
STL.	STEEL
S.S.	STAINLESS STEEL
STD.	STANDARD STRUCT. STRUCTURAL
SUSP.	SUSPEND(ED) SYMM. SYMMETRICAL
SYS.	SYSTEM
SPL.	SPLASH
S.D.	SMOKE DETECTOR
STOR.	STORAGE
T	
TECH.	TECHNICAL
TEL.	TELEPHONE
TEMPD.	TEMPERED
TEMP. GL.	TEMPERED GLASS
THK.	THICK(NESS)
TYP.	TYPICAL
T.M.E.	TO MATCH EXISTING
U	
U.L.	UNDERWRITERS LABORATORY
UTIL.	UTILITY
U.O.N.	UNLESS OTHERWISE NOTED
V	
VERT.	VERTICAL
VEST.	VESTIBULE
V.I.F.	VERIFY IN FIELD
VOL.	VOLUME

W	
(W)	WEST
W/	WITH
W.C.	WATER CLOSET
WD	WOOD
WIN.	WINDOW
W.H.	WATER HEATER
W/O	WITHOUT
W.S.	WEATHERSTRIPPING
WV.	WOOD VENEER
Y	
YD.	YARD

Roberts Swimming Pool

1 Hudson Road West
Irvington, NY 10533

NO.	DATE	ISSUE/REVISION
5	02/07/2022	Submission for ARB Approval
4	01/10/2022	Resubmission for ZBA Approval
3	10/20/2021	Resubmission for IPB Approval
2	09/22/2021	Resubmission for IPB Approval
1	08/18/2021	Resubmission for IPB Approval
	07/21/2021	Submission for IPB Approval

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

General Notes & List of Drawings

SCALE: As Noted

DATE: 03/23/2021

JOB: 20-36

G-0.00

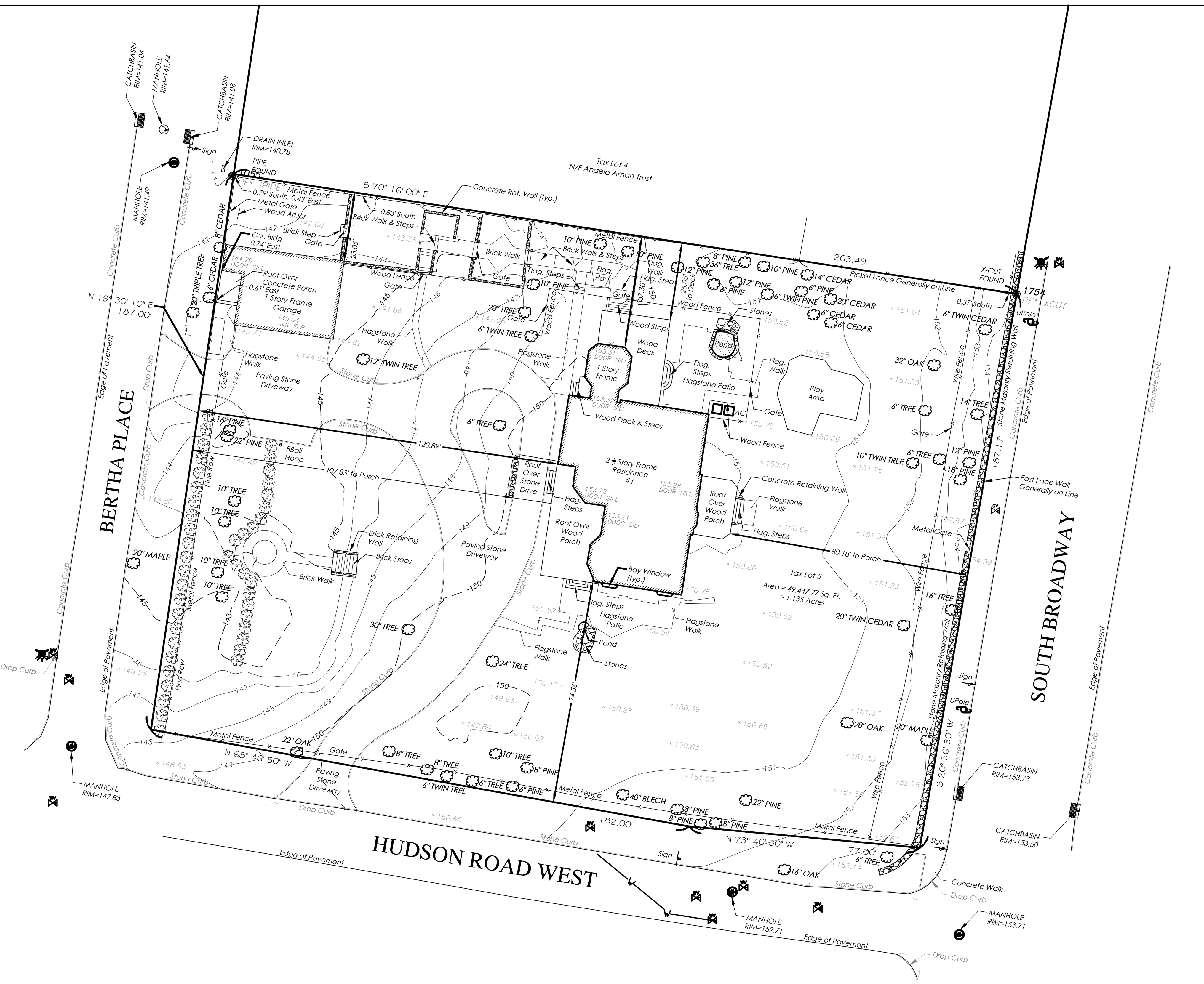
EXISTING SITE CONDITION

SCALE 1"=30'

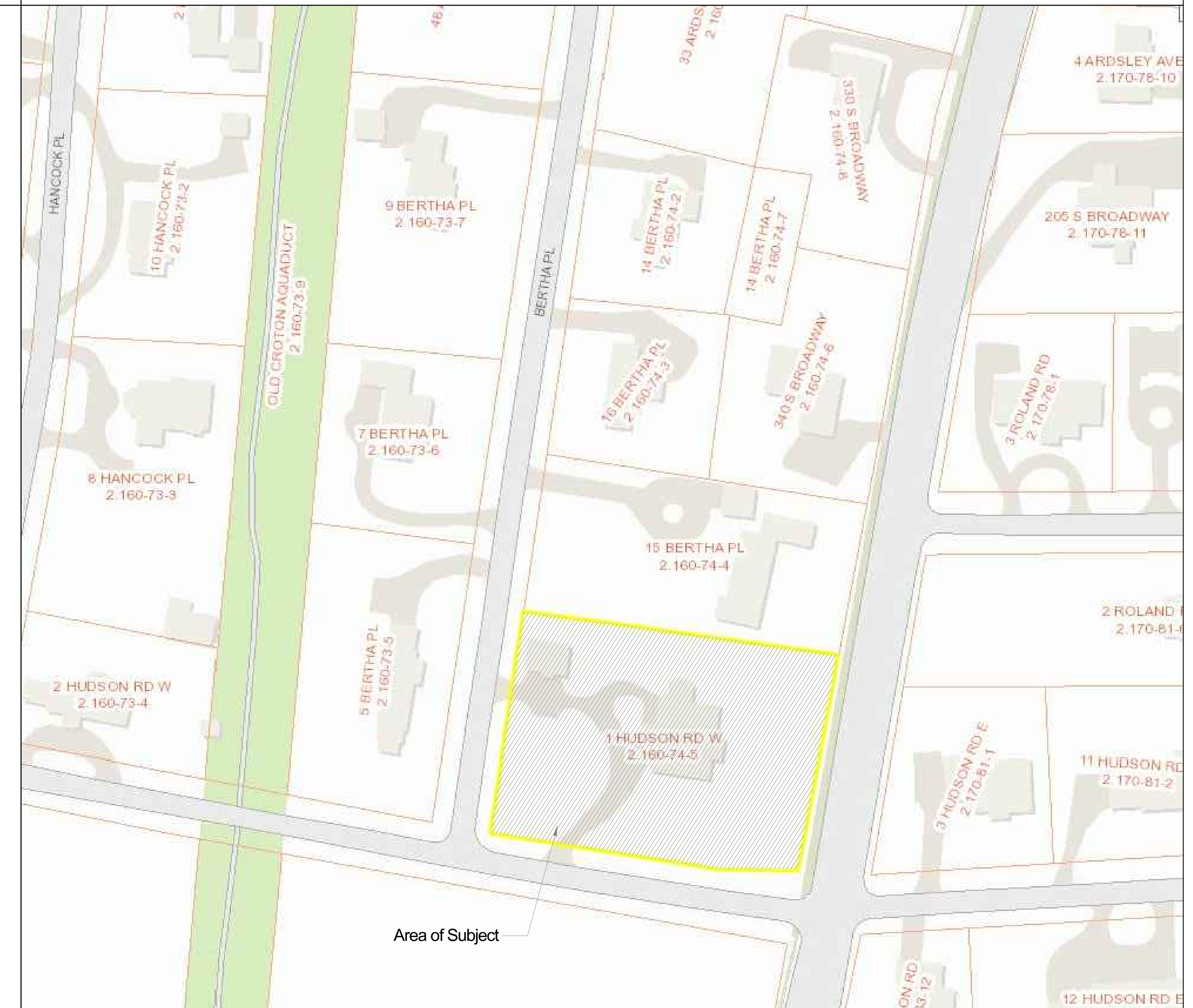
General Note

Site plan is based on a topographic survey of property' prepared by:

Thomas C. Merritts
Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
Dated: March 05, 2021



ZONING MAP



ZONING ANALYSIS

GENERAL INFORMATION

ADDRESS	ZONING DISTRICT	PARCEL ID
1 Hudson Road West, Irvington, NY	1F-40	2.160-74-5

USE REQUIREMENTS - AS PER SECTION 224-8

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Use	One-Family	One-Family	No Change	

LOT REQUIREMENTS - AS PER SECTION 224-10

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Lot Area S.F.	40,000 S.F. Min.	49,447.77 S.F.	No Change	
Lot Width FT.	150.00' Min.	263.49'	No Change	
Lot Depth FT.	150.00' Min.	187.17'	No Change	

YARD REQUIREMENTS - AS PER SECTION 224-11

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Front Yard (East) FT.	50' Min.	80.18'	50.50'	
Front Yard (South) FT.	50' Min.	74.56'	No Change	
Rear Yard (North) FT.	40' Min.	23.05'	18.10'	Variance Required
Front Yard (West) FT.	50' Min.	107.83'	No Change	

COVERAGE REQUIREMENTS - AS PER SECTION 224-13

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Building Coverage	5,178 S.F. Max.	7,003 S.F.	4 7,634 S.F.	Variance Required

BUILDING SIZE REQUIREMENTS - AS PER SECTION 224-3

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Building Height	2.5 STY/ 35 FT	2.5 STY/ 35 FT	No Change	

OFF-STREET PARKING REQUIREMENTS - AS PER SECTION 224-14

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Parking Space	2 Min.	>4Spaces	No Change	

SWIMMING POOL LOCATION - AS PER SECTION 224-59

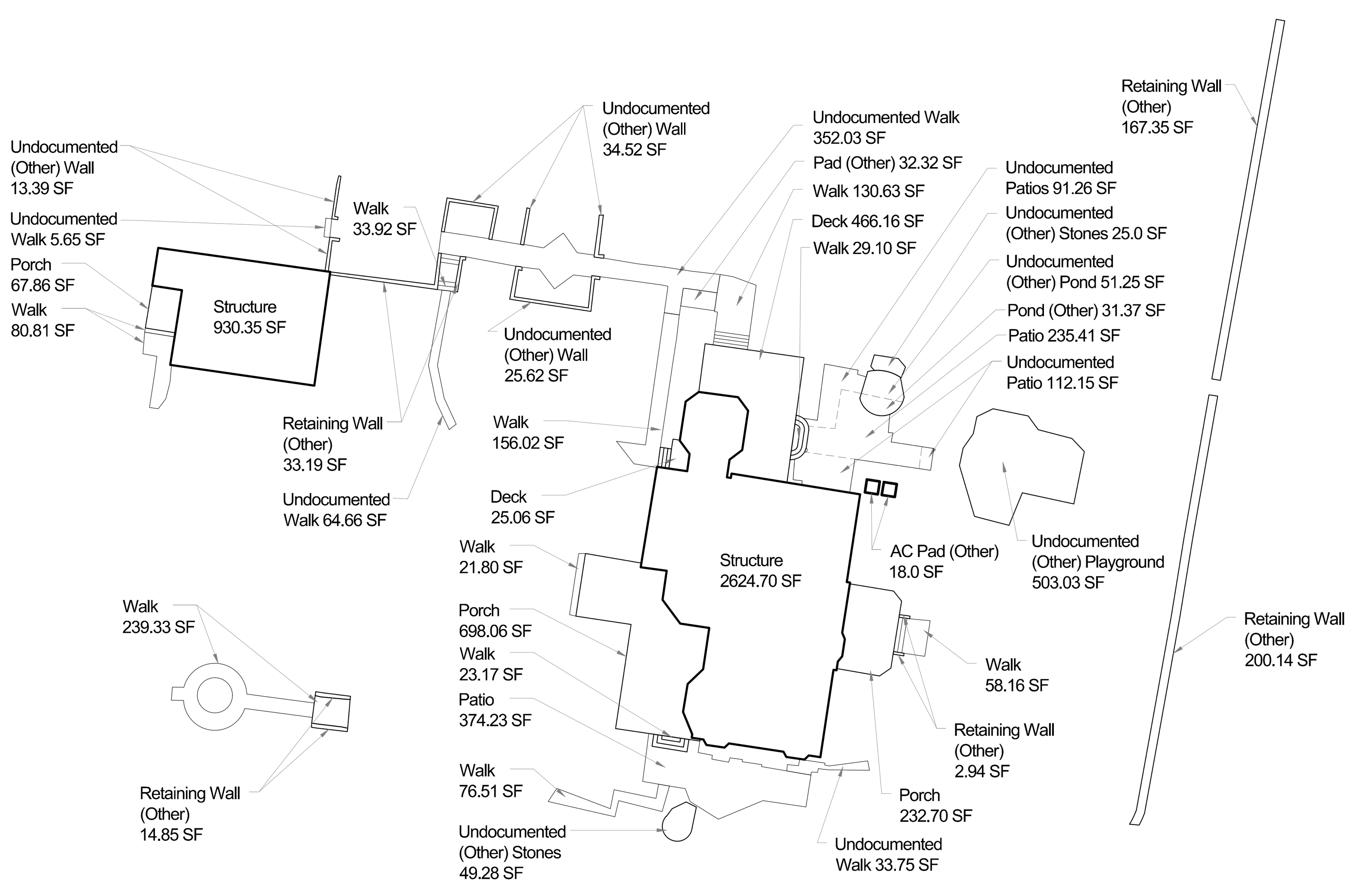
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Swimming Pool Setback	20'	NA	20.50'	
Swimming Pool Location	Rear of Rear Wall	NA	TBD	Variance Required, Mutiple Fronts

BROADWAY BUFFER- AS PER SECTION 224-51 B.

CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED	REMARK
Broadway Buffer	50'	80.18'	13.75'	Variance Required

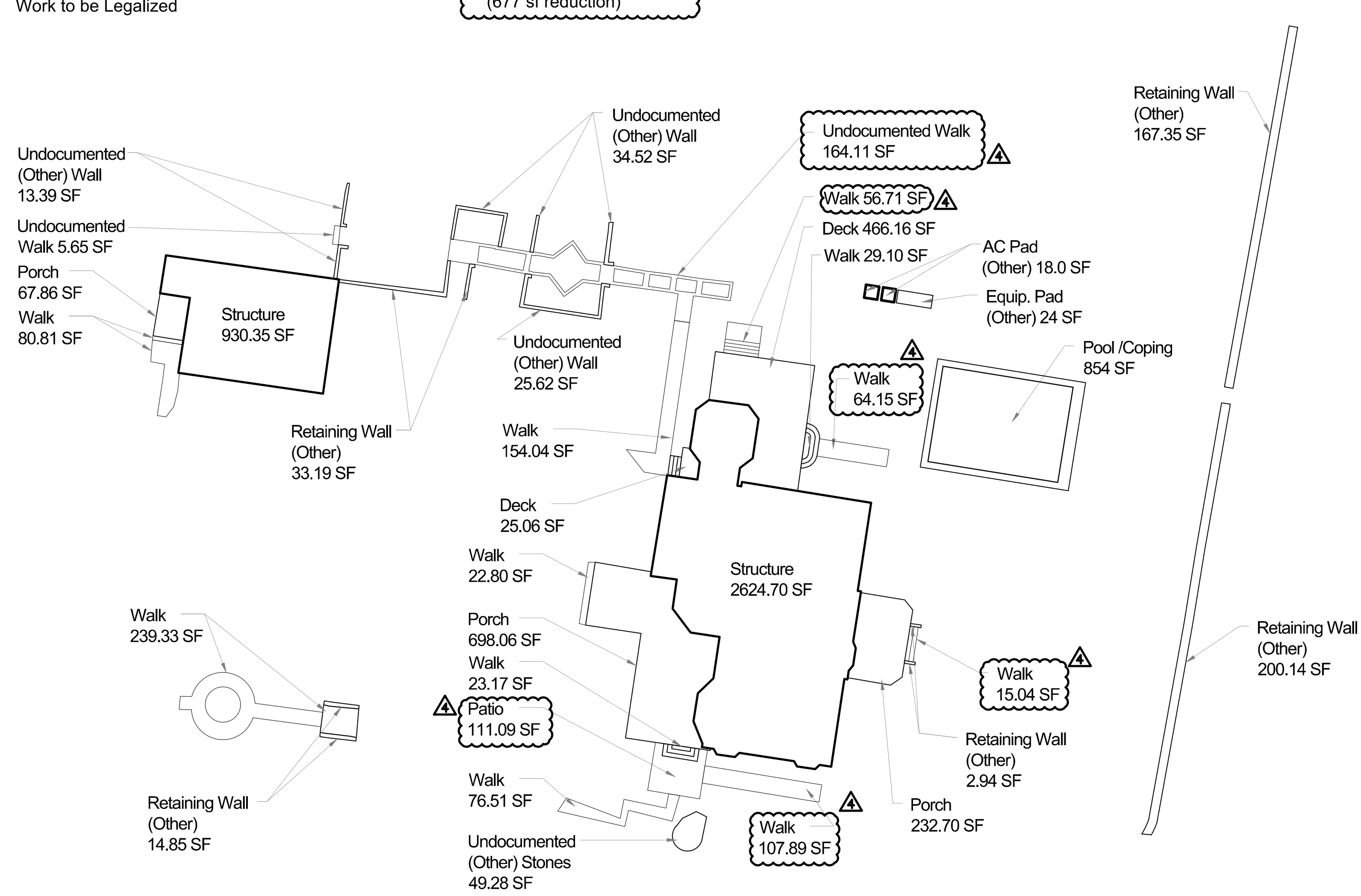
COVERAGE DIAGRAMS

Existing	Coverage Calculations
Structures	3555
Decks	491
Patios, Walks	1459
Porches	999
Floor Overhangs	0
Swimming Pool	0
Other (Retaining Walls, AC Pads, Pond)	499
Total Existing Coverage:	7,003 (135% of Allowable)
Undocumented Work	
Undocumented Patios, Walks	660
Undocumented Other (Walls, AC Pads, Playground)	702
Total Undocumented Work Coverage:	1308



Proposed	Coverage Calculations
Structures	3555
Decks	491
Patios, Walks	981
Porches	999
Floor Overhangs	0
Swimming Pool	854
Other (Retaining Walls, AC Pads)	461
Proposed Coverage:	7,341 (142% of Allowable)
Undocumented Work to Be Legalized	
Undocumented Patios, Walks	170
Undocumented Other (Walls, AC Pads)	123
Total Undocumented Work Coverage to Be Legalized:	293 (1,015 sf reduction)
Proposed Total Coverage + Undocumented Work to be Legalized	7,634 (147% of Allowable) (677 sf reduction)

4



Roberts Swimming Pool

1 Hudson Road West
Irvington, NY 10533

NO.	DATE	ISSUE/REVISION
4	01/10/2022	Resubmission for ZBA Approval
3	10/20/2021	Resubmission for IPB Approval
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REGISTERED ARCHITECT JOHN MATTHEW MALONE 031522 STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Zoning Analysis

SCALE: **As Noted**

DATE: 03/23/2021

JOB: 20-36

G-1.00

1 Tax Map

N.T.S.

ZONING ANALYSIS OF ADJACENT PROPERTIES

GENERAL INFORMATION

TAG	ZONING DISTRICT	LOT INFORMATION			COVERAGE				
		PARCEL ID	AREA	ADDRESS	ALLOWED	EXISTING	% ALLOWED	% OF LOT	REMARKS
A	1F-40	2.160-74-5	49,447.77	1 Hudson Road W.	5,178	8,366	162%	17%	
						PROPOSED	% ALLOWED	% OF LOT	
						7,634	147%	15%	4
B	1F-40	2.160-74-4	34,412	15 Bertha Place	4,129	6,518	158%	19%	
C	1F-40	2.160-74-6	24,829	340 S. Broadway	2,979	3,561	120%	14%	
D	1F-40	2.160-74-8	27,443	330 S. Broadway	3,293	3,708	113%	14%	
E	1F-40	2.160-74-9	21,780	31 Ardsley Ave. W.	2,614	3,029	116%	14%	
F	1F-40	2.160-74-1	38,768	33 Ardsley Ave. W.	4,652	5,020	108%	13%	
G	1F-40	2.160-74-2 / 2.160-74-7	23,522	14 Bertha Place	2,823	3,464	123%	15%	
H	1F-40	2.160-74-3	17,424	16 Bertha Place	2,091	3,004	144%	17%	
I	1F-40	2.170-78-9	20,909	2 Ardsley Ave. E.	2,479	4,198	169%	20%	
J	1F-40	2.170-78-10	20,038	4 Ardsley Ave. E.	2,405	3,213	134%	16%	
K	1F-40	2.170-78-11	30,056	205 S. Broadway	3,607	6,630	183%	22%	
L	1F-40	2.170-78-1	20,038	3 Roland Rd.	2,405	5,183	216%	26%	
M	1F-40	2.170-78-2	39,640	1 Roland Rd	4,757	11,848	249%	30%	
N	1F-40	2.170-81-6	43,124	2 Roland Rd	4,925	7,623	155%	18%	
O	1F-40	2.170-81-1	24,394	3 Hudson Rd E.	2,927	3,805	130%	16%	
P	1F-40	2.170-81-2	22,216	11 Hudson Rd E.	2,666	3,898	146%	18%	
Q	1F-40	2.160-73-8	32,670	48 Ardsley Ave. W.	3,920	6,519	166%	20%	
R	1F-40	2.160-73-8	34,412	9 Bertha Place	4,129	4,729	145%	14%	
S	1F-40	2.160-73-6	21,780	7 Bertha Place	2,614	4,395	168%	20%	
T	1F-40	2.160-73-5	30,492	5 Bertha Place	3,659	4,479	122%	15%	

NOTES:

1. Calculations are based on numbers collected from the town of Greenburgh, NY GIS information system and property cards. 25% of total building footprint has been added to account for walks, retaining walls, and miscellaneous hardscapes.
2. 19 properties are greater than 100% of the allowable coverage, and of that 19, 7 properties are greater than 158% allowable coverage.
3. 10 properties on Broadway (not including area of subject) are on Broadway, 6 of the properties have building within the 50' Broadway Buffer.

A 1 Hudson Road West

N.T.S.

B 15 Bertha Place

N.T.S.

C 340 South Broadway

N.T.S.

D 330 S. Broadway

N.T.S.

E 31 Ardsley Avenue West

N.T.S.

F 33 Ardsley Avenue West

N.T.S.

G 14 Bertha Place

N.T.S.

H 16 Bertha Place

N.T.S.

I 2 Ardsley Avenue East

N.T.S.

J 4 Ardsley Avenue East

N.T.S.

K 205 South Broadway

N.T.S.

L 3 Roland Road

N.T.S.

M 1 Roland Road

N.T.S.

N 2 Roland Road

N.T.S.

O 3 Hudson Road East

N.T.S.

Roberts Swimming Pool

1 Hudson Road West
Irvington, NY 10533

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REGISTERED ARCHITECT
JOHN MATTHEW MALONE
STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Neighborhood Property Analysis

SCALE: As Noted

DATE: 03/23/2021

JOB: 20-36

G-1.01

P 11 Hudson Road East

N.T.S.

Q 48 Ardsley Avenue West

N.T.S.

R 9 Bertha Place

N.T.S.

S 7 Bertha Place

N.T.S.

T 5 Bertha Place

N.T.S.

Roberts Swimming Pool

1 Hudson Road West
Irvington, NY 10533

NO.	DATE	ISSUE/REVISION
	07/21/2021	Submission for IPB Approval

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FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Neighborhood Property Analysis

SCALE: As Noted

DATE: 03/23/2021

JOB: 20-36

G-1.02

1 Tax Map
N.T.S.

A 1 Hudson Road West
N.T.S.

B 15 Bertha Place
N.T.S.

C 5 Cindy Lane
N.T.S.

D 3 Ardsley Avenue East
N.T.S.

E 2 Ardsley Avenue East
N.T.S.

F 4 Ardsley Avenue East
N.T.S.

G 205 South Broadway
N.T.S.

H 3 Roland Road
N.T.S.

I 2 Roland Road
N.T.S.

Roberts Swimming Pool

1 Hudson Road West
Irvington, NY 10533

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FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Neighborhood Fence Analysis

SCALE: As Noted

DATE: 03/23/2021

JOB: 20-36

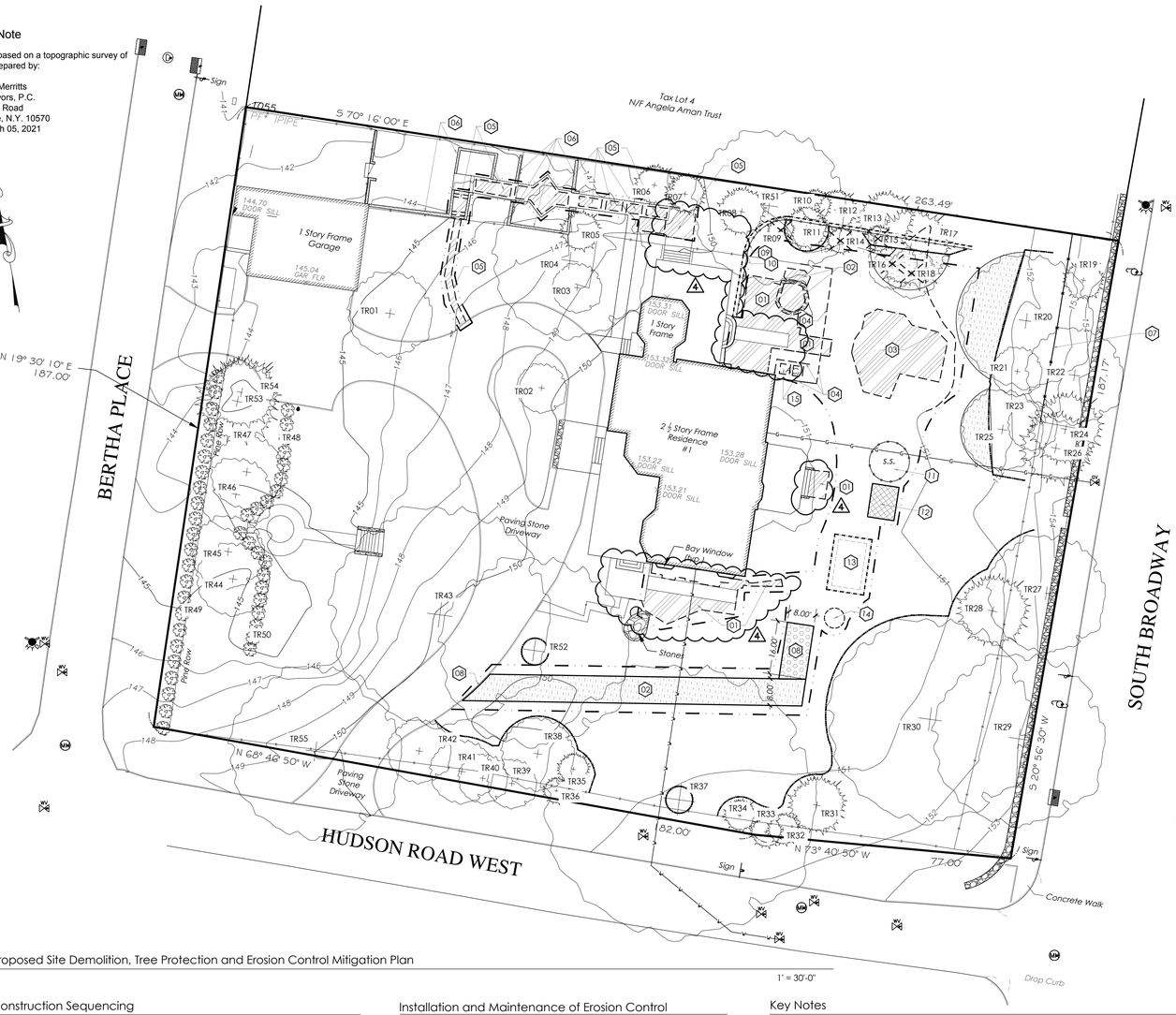
4 New Sheet

G-1.03

General Note

Site plan is based on a topographic survey of property' prepared by:

Thomas C. Merritts
Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
Dated: March 05, 2021



1 Proposed Site Demolition, Tree Protection and Erosion Control Mitigation Plan

1" = 30'-0"

Construction Sequencing

1. Place orange construction fencing around areas to be used for infiltration to avoid compaction
2. Install construction entrance to the development area
3. Establish construction staging area
4. Install tree protection and root protection as noted on plans.
5. Areas where construction equipment is brought in should be protected by reducing soil compaction with a cushion of woodchips and plywood.
6. Root zones should be fenced off where activity is not to take place.
7. Where excavation intrusion has to take place root pruning within a reasonable distance to avoid destabilizing the structural integrity of a tree can be accomplished using a stump grinding machine.
8. Install silt fence down slope of all areas to be disturbed as shown on plans
9. Strip topsoil and stockpile at the locations specified on the plans (up gradient of erosion contrl measures). Temporarily stabilize topsoil stockpiles (hydroseed during May 1st through October 31st planting season or by covering with a tarpaulin(s) November 1st through April 30th) install silt fence around toe of slip
10. Demolish any existing site features and/or structures noted as being removed on the construction documents, and dispose of off site
11. Rough grade site
12. Excavate and install stormwater units per manufacturer's recommendations and requirements. Storwater units shall be temporarily plugged until the completion of construction and the site is stabilized
13. Install all pretreatment devices, catch basins and piping
14. Excavate and construct foundations for addition
15. Construct building additions
16. Fine grade and seed all disturbed areas. Clean drain lines and exfiltration galleries. Ensure grass stand is achieved
17. Unplug stormwater sytem. Install and connect all roof drain leaders.
18. Install 4"-6" of topsoil, fine grade, seed in all disturbed areas and install landscape plantings. Spread salt hay over seeded areas
19. Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation
    * Soil erosion and sediment control maintenance must occur weekly and prior to and after every ½" or greater rainfall event.
20. Post-construction protocols where root loss has occurred would include Cambistat application and if soil compaction is present sub-surface injection of water at 75 lbs pressure is recommended.

Installation and Maintenance of Erosion Control

1. Install all erosion control measures prior to the start of construction. Call for inspection from appropriate municipal authority.
2. The village engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen situation and erosion of disturbed soils.
3. After rain causing runoff, contractor is to inspect all erosion control measure and correct any problems.
4. Remove unneeded subgrade soil from site and provide final grading.
5. Spread topsoil evenly over areas to be seeded and seed with fast growing variety of grass seed and install all landscaping
6. Once grass and planting beds are established remove all erosion control measure and call for final inspection.
7. Drainage inlets shall be cleared of debris twice a year. Stormwater chambers shall be inspected yearly. Debris and sediment shall be removed if found.

Key Notes

01 Existing patio to be reduced. Refer to Proposed Architectural Site Plan.

02 Root Compaction Protection - See detail #4 for further information.

03 Existing play area and all associated hardscape to be removed.

04 Existing wood fence - A portion of the existing wood fence is to be carefully be removed to accommodate the proposed pool code compliant fence. Refer to Proposed Architectural Site Plan.

05 Existing masonry walk to be selectively demolished. refer to Proposed Architectural Site Plan

06 Existing retaining walls are to remain.

07 Existing wire fence to be carefully and selectively removed to accommodate the proposed pool code compliant fence. Refer to Proposed Architectural Site Plan.

08 Stabilized Construction Entrance - See detail #7 on sheet A-1.10.1 for further information . Driveway to act as access to construction area.

09 Silt Fence - See detail #8 on sheet A-1.10.1 for further information.

10 Construction Fence - See detail #6 on sheet A-1.10.1 for further information.

11 Soil Stockpiling - See detail #5 on sheet A-1.10.1 for further information.

12 Material Storage - Material and equipment storage area - lawn area is to be reestablished as soon as material storage area is no longer needed. Silt fencing to stay in place until lawn has been reestablished and there is no risk of erosion.

13 Location of stormwater system - See Proposed Architectural Site plan on sheet A-0.12.

14 Concrete Washout Area - Designated area which allows concrete liquids to pool, evaporate, dry out or soak into the ground. Settled, hardened concrete should be broken up, removed and disposed as garbage or recycled properly. Locate at least 10' away from inlets, water- courses and property lines. - See detail # 9 on sheet A-1.10.1

15 Existing AC condensers to be replaced and relocated. See Proposed Architectural Site Plan on sheet A-0.12.

Demolition and Tree Protection Key

- Structure to remain.
- Hardscape to be removed
- TRXX — Protected tree to remain. Armor Type Protection - see detail 1 on sheet A-0.10.1
- TRXX — Protected tree to remain. Snow Type Protection - see detail 2 on sheet A-0.10.1
- TRxx — Existing tree to be removed
- TRxx TRxx — Tree to remain
- TRXX — Root Compaction Protection - see detail 3 on sheet A-0.10.1

Legend

Line of disturbance 7,298 S.F. (4)

General Notes

1. As-built drawings of the site improvements shall be submitted to the village engineer for review prior to obtaining certificate of occupancy.
2. Inspection ports are to be shown on the as-built drawings of the site.
3. When tree roots are encountered during excavation, they shall never be pulled with machinery. Where necessary cut roots cleanly and bridge when possible.
4. Excavation within tree drip lines shall be completed by hand.
5. Existing utilities will not be disturbed by proposed work.
6. Existing roof leaders will not be disturbed by proposed work.
7. No soil is to be brought to the site, excess soil associated with excavation for footings and stormwater system is to be removed and disposed of as approved by the regulatory authority.

Tree Schedule

Tag	Species	Caliper	Condition	Action	Remarks
TR01	Magnolia	12"	Good		Outside of work area
TR02	Weeping Crab Apple	6"	Good		Outside of work area
TR03	English Bawood	6"	Good		Outside of work area
TR04	Honeylocust	20"	Good		Outside of work area
TR05	Japanese Umbrella Pine	10"	Good		Outside of work area
TR06	White Pine	10"	Good		Outside of work area
TR07	White Pine	10"	Good		Outside of work area
TR08	White Pine	12"	Good		Outside of work area
TR09	Canadian Hemlock	6"	Good	Removed	
TR10	Canadian Hemlock	8"	Good		Outside of work area
TR11	Canadian Hemlock	12"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR12	Canadian Hemlock	10"	Good		Outside of work area
TR13	Atlantic White Cedar	14"	Good		Outside of work area
TR14	White Pine	6"	Good	Removed	
TR15	White Pine	6"	Good	Removed	
TR16	Atlantic White Cedar	6"	Good	Removed	
TR17	Atlantic White Cedar	20"	Good	Protected	See tree protection detail 2 and 3 on sheet A-1.10.1
TR18	Atlantic White Cedar	6"	Good	Removed	
TR19	Atlantic White Cedar	6"	Good		Outside of work area
TR20	Pin Oak	32"	Good	Protected	See tree protection detail 2 and 3 on sheet A-1.10.1
TR21	Black Cherry	6"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR22	Bigleaf Magnolia	14"	Good		Outside of work area
TR23	Flowering Dogwood	6"	Good		Outside of work area
TR24	White Pine	24"	Good		Outside of work area
TR25	Norway Maple	10"	Good	Protected	See tree protection detail 2 and 3 on sheet A-1.10.1
TR26	White Pine	18"	Good		Outside of work area
TR27	Norway Maple	16"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR28	Blue Atlas Cedar	20"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR29	Red Maple	20"	Poor		Outside of work area
TR30	American Sweetgum	28"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR31	Canadian Hemlock	22"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR32	Canadian Hemlock	8"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR33	Canadian Hemlock	8"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR34	Canadian Hemlock	8"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR35	Canadian Hemlock	8"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR36	Canadian Hemlock	6"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR37	European Beech	40"	Good	Protected	See tree protection detail 1 on sheet A-1.10.1
TR38	Canadian Hemlock	10"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR39	Sourwood	6"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR40	Canadian Hemlock	6"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR41	Sourwood	8"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR42	Empress Tree	8"	Good	Protected	See tree protection detail 2 on sheet A-1.10.1
TR43	Red Maple	30"	Good		Outside of work area
TR44	Canadian Hemlock	10"	Good		Outside of work area
TR45	Canadian Hemlock	10"	Good		Outside of work area
TR46	Canadian Hemlock	10"	Good		Outside of work area
TR47	Canadian Hemlock	10"	Good		Outside of work area
TR48	Row of Hemlocks		Good		Outside of work area
TR49	Row of Hemlocks		Good		Outside of work area
TR50	Row of Hemlocks		Good		Outside of work area
TR51	Tree	36"	Good		Outside of work area
TR52	Red Maple	24"	Good	Protected	See tree protection detail 1 on sheet A-1.10.1
TR53	White Pine	22"	Good		Outside of work area
TR54	Red Maple	16"	Good		Outside of work area
TR55	Eastern Poplar	22"	Good		Outside of work area

Roberts Swimming Pool

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REGISTERED ARCHITECT JOHN MATTHEW MALONE 024523 STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
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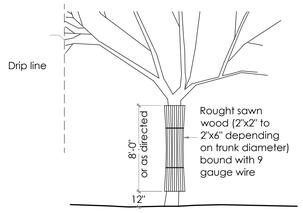
Demo Site, Tree Protection, and ECM Plan

SCALE: As Noted

DATE: 03/23/2021

JOB: 20-36

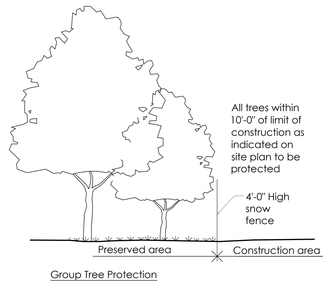
A-0.10



Individual Tree Armor Type

1 Armor Type - Tree Protection Type Detail

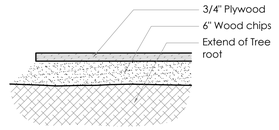
N.T.S.



Group Tree Protection

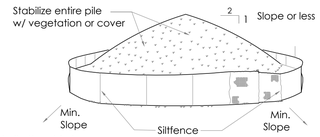
2 Snow Type - Tree Protection Detail

N.T.S.



3 Root Compaction Protection Detail

N.T.S.

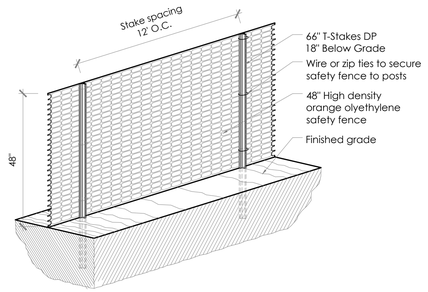


Installation Notes

1. Area chosen for stockpiling operations shall be dry and stable.
2. Soils or fill to be stockpiled on site during cutting and filling activities should be located on level portions of the site with a min. of 50-75 foot setbacks from temporary drainage swales.
3. Max. slope of stockpile shall be 1:2.
4. Upon completion of soil stockpiling, each pile shall be surrounded with either silt fencing or strawbales, then stabilized with vegetation or covered.
5. Stockpiles remaining in place for more than a week should be seeded and mulched or covered with geotextile fabric surrounded by silt fence.
6. See specifications (this manual) for installation of silt fence.

4 Soil Stockpiling

N.T.S.

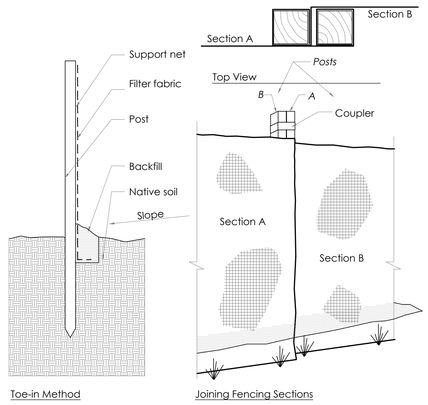


5 Construction Fence

N.T.S.

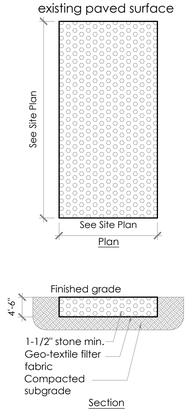
Silt Fence Installation Notes

1. In areas outside of root zones, excavate a 4" x 4" trench along the line of the fence where indicated. In root zone areas, no trench is to be used and fencing is to be left on top of the existing grade with soil or root protection material used to hold bottom of fencing material in place as to not disturb existing roots.
2. Unroll a section at a time and position the posts against the back (downstream) wall of the trench (net side away from direction of flow)
3. Drive the post into the ground until the netting is approx. 2 inches from the trench bottom.
4. Lay the toe-in flap of fabric onto the undisturbed bottom of the trench, backfill the trench and tap the soil. steeper slopes require an intercept trench.
5. Join sections as shown above.



6 Silt Fence Detail

N.T.S.

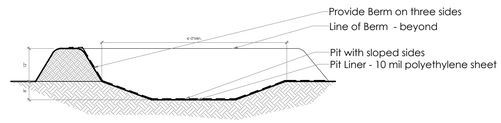


Installation Notes

1. Stone size - use 1-1/2" stone
2. Length - As indicated on site plan
3. Thickness - not less than 4-6 inches
4. Width - As indicated on site plan
5. Filter cloth - will be placed over entire area
6. Surface water - all surface water flowing or diverted toward construction entrances shall be piped across the entrance. If piping is impractical, a mountable berm with 5:1 slopes will be permitted.
7. Maintenance - The entrance shall be maintained in a condition which will prevent tracking or flowing of sediment onto public right of way. This may require periodic top dressing with additional stone as conditions demand and repair and/or cleanout of any measures used to trap sediment, all sediment spilled, dropped, washed or tracked onto public right of way must be removed thoroughly.
8. Washing - Wheels shall be cleaned to remove sediment prior to entrance onto public right of way. When Washing is required, it shall be done on an area stabilized with stone and which drains into an approved sediment trapping device.
9. Periodic inspection and needed maintenance shall occur each rainfall event

7 Stabilized Construction Entrance

N.T.S.



8 Concrete Washout Area

N.T.S.

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	07/21/2021	Submission for IPB Approval

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FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Tree Protection & Erosion Control Details

SCALE: As Noted

DATE: 03/23/2021

JOB: 20-36

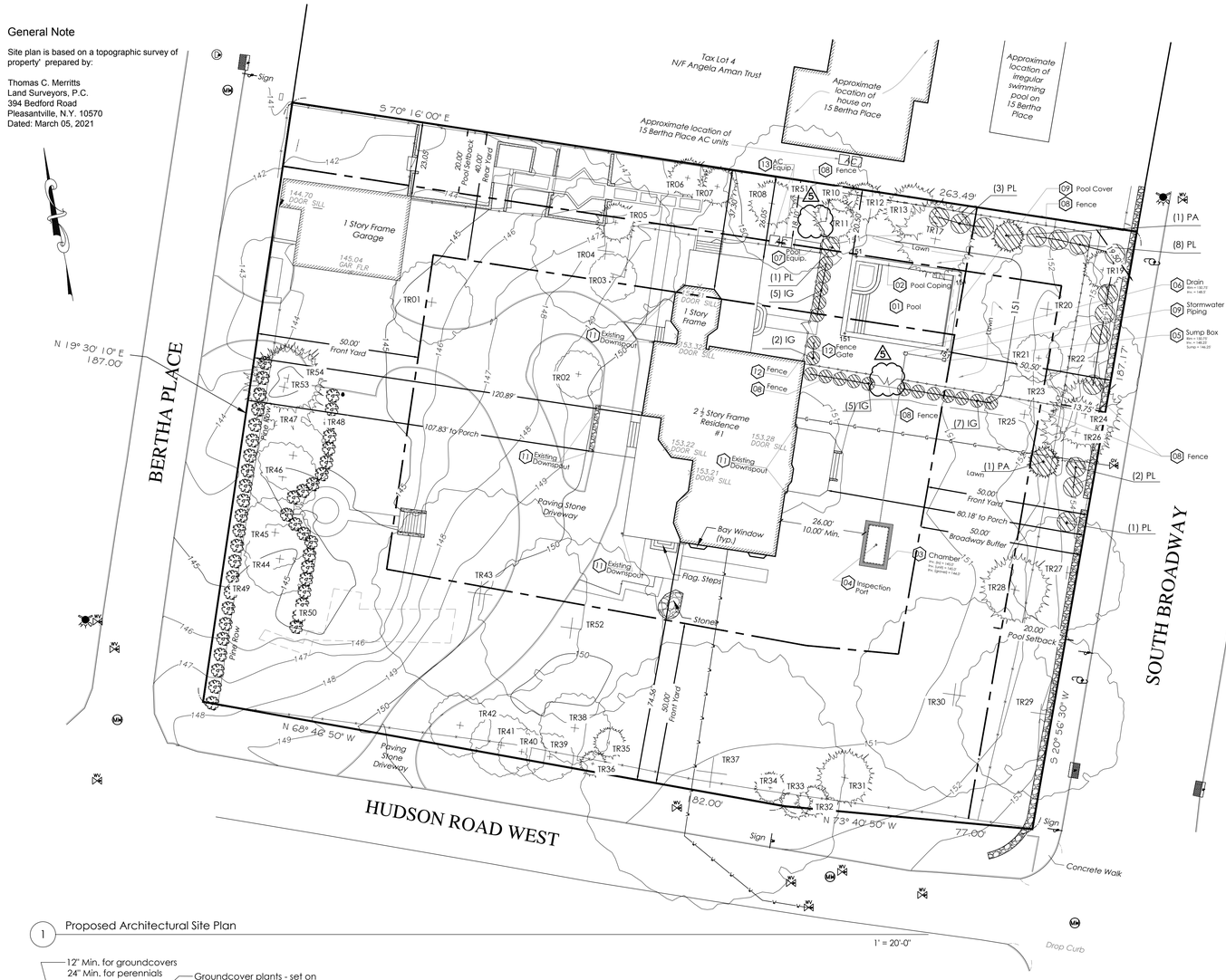
1 New Sheet

A-0.10.1

General Note

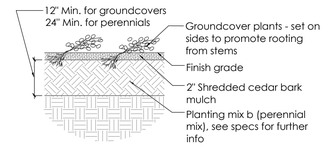
Site plan is based on a topographic survey of property' prepared by:

Thomas C. Merritts
Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
Dated: March 05, 2021



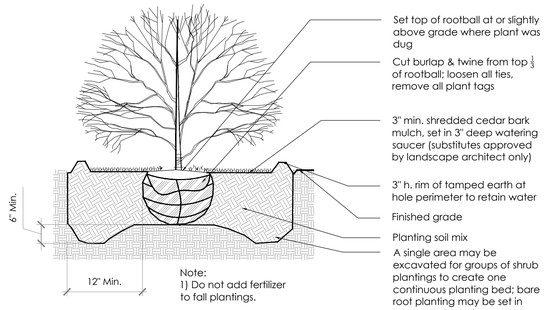
1 Proposed Architectural Site Plan

1" = 20'-0"



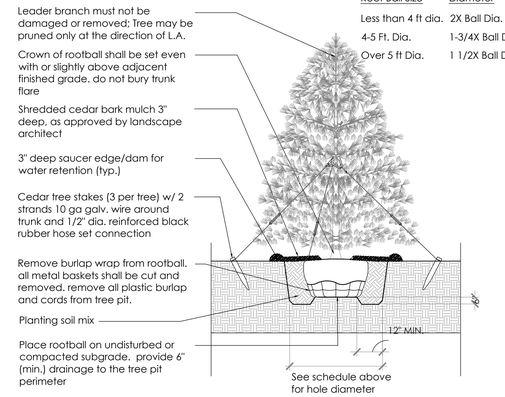
2 Ground Covering

NTS



3 Shrub Planting

NTS



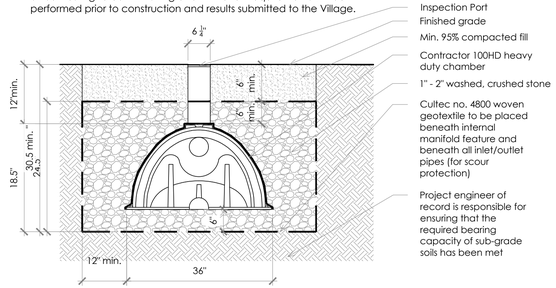
Root Ball Size	Hole Diameter	Depth Below Bottom of Root Ball
Less than 4 ft dia.	2X Ball Dia.	6 IN
4-5 Ft. Dia.	1-3/4X Ball Dia.	8 IN.
Over 5 ft Dia.	1 1/2X Ball Dia.	8 IN.

4 Evergreen Tree Planting

NTS

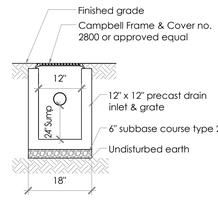
Stormwater System Capacity

1. Proposed additional impervious surface: 87 sf
2. Proposed redeveloped impervious surface: 68 sf
3. Total impervious surface to be mitigated: 155sf
4. Required Retention Capacity (as per Condition1 of the Irvington Stormwater Management Requirements and Guidelines - 100yr storm, CN-pre 59, CN-post 98): (0.4F x 155sf)/2 = 31 cf
5. Total Proposed Capacity of Proposed System: 49.9 cf - See attached calculations.
6. Soil testing to confirm sizing and infiltration requirements will be performed prior to construction and results submitted to the Village.



5 Stormwater Detail

N.T.S.



6 Sump Box Detail

N.T.S.

General Notes

1. The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils.

2. As-built drawings of the site improvements shall be submitted to the Village Engineer for review prior to obtaining certificate of occupancy.

3. Existing utilities will not be disturbed by proposed work.

4. The infiltration system must not be connected until construction is complete and the site is stabilized.

5. Infiltration system access ports shall be shown on the 'As-Built'.

6. All disturbed areas not indicated to be planted with groundcover or other plantings are to be seeded as lawn.

7. A temporary barrier shall completely surround the swimming pool during construction until a permanent barrier is provided. The temporary barrier shall be a minimum of 48 inches in height.

8. Exposed electrical wires shall not be nearer than 5 feet to the edge of the swimming pool

9. Exposed electrical wires shall not be less than 10 feet above ground level at the edge of the swimming pool.

10. There will be a cut from the excavation of approximately 375 cubic yards that will have to be removed from site. The soil is to be removed as per New York State requirements.

Post Construction Stormwater Management

Inspections shall be performed once per year, in the spring or early summer, to determine if the sediment deposition within the drain inlet sump needs to be removed. At that time, drain inlet cleaning shall be performed and shall consist of the removal of all accumulated sediment or leaves and their proper disposal as well as any necessary repairs to the drain inlet frame or gate.

Site Lighting General Notes

All outdoor lighting to be dark-sky compliant and to meet requirements of Section 224-72.C (4) of the Village Code.

All lighting shall be dark-sky compliant. All lighting fixtures shall be full cutoff and shall utilize light shields as necessary to reduce light trespass and glare. Lighting shall be designed to the minimum level required for health and safety and shall not exceed five footcandles.

Pool Notes

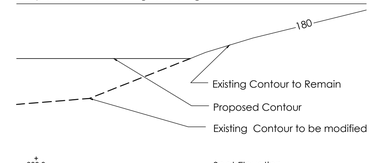
1. Pool cover must be capable of supporting a minimum dead weight of 200 pounds when fastened or locked in place over a swimming pool.
2. The pool cover must fully cover pool when not in use and during the prior of November 1 through March 31.
3. Exposed electrical wires shall not be nearer than 5 feet to the edge of the swimming pool.
4. Exposed electrical wires shall not be less than 10 feet above ground level at the edge of the swimming pool.
5. Draining to be performed by truck pump and will not be directed to stormwater system.

Plant List						
Qty.	Key	Botanical Name	Common Name	Size	Size (Mature)	Remarks
Trees						
19	IG	Ilex Glabra	Inkberry Holly	3'	5'-8'	
15	PL	Prunus laurocerasus	Schip Laurel	3'	8'	
2	PA	Picea Abies	Norway Spruce	12'	40'-60'	

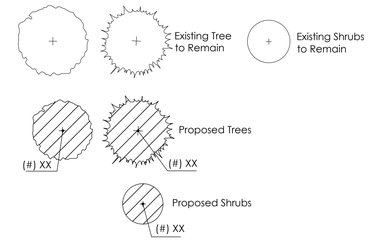
Key Notes

01 Proposed swimming pool - See enlarged pool plan and details on sheet A-0.12.
02 Proposed pool coping.
03 Proposed Stormwater chamber - See detail #5.
04 Inspection Port - See detail #5 on this sheet.
05 Sump Box - 12 x12 precast sump box with 24" sump below invert of pipe. Campbell Frame and Cover No. 2800 o.a.e.; see detail #6 on this sheet.
06 Drain - 12 x12 drain box
07 Proposed pool equipment. - See equipment pad detail on sheet A-0.13.
08 Proposed ornamental metal fence and gate to be pool code compliant See detail #1 on sheet A-0.13.
09 Stormwater Piping - 6" Ø HDPE N-12 @1% Min.
10 Not Used (5)
11 Existing Downspout - Existing downspoutsgo down to existing stormwater. No changes are being proposed to the existing stormwater system.
12 Proposed wood fence and gate to be pool code compliant See detail #4 on sheet A-0.13.
13 Proposed AC condensers relocated.

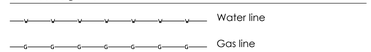
Proposed and Existing Grading



Landscape



Utilities Legend



Roberts Swimming Pool

1 Hudson Road West
Irvington, NY 10533

NO.	DATE	ISSUE/REVISION
5	02/07/2022	Submission for ARB Approval
4	01/10/2022	Resubmission for ZBA Approval
3	10/20/2021	Resubmission for IPB Approval
2	09/22/2021	Resubmission for IPB Approval
1	08/18/2021	Resubmission for IPB Approval
	07/21/2021	Submission for IPB Approval

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT JOHN MATTHEW MALONE 018822 STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
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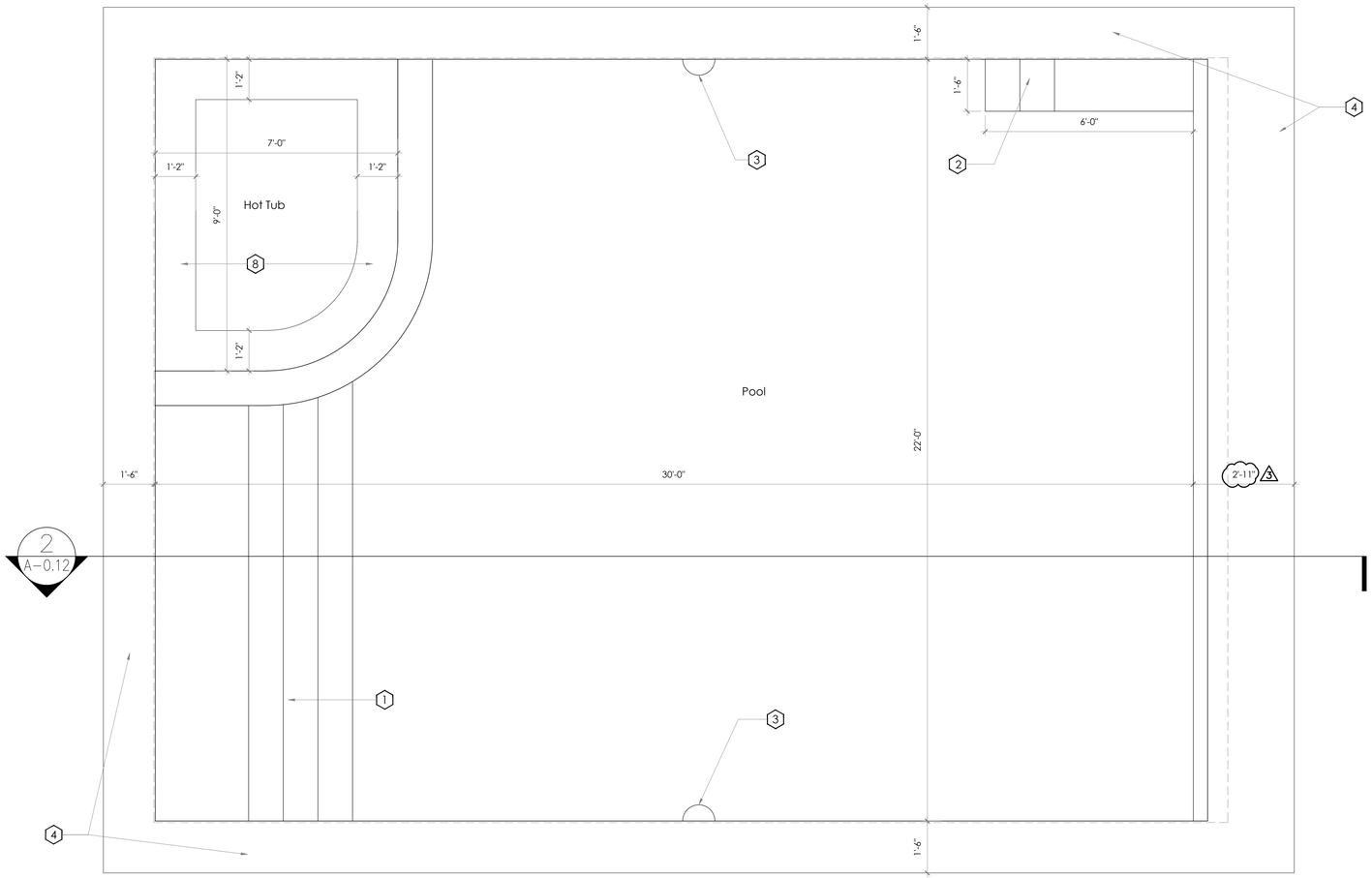
Proposed Architectural Site Plan

SCALE: As Noted

DATE: 03/23/2021

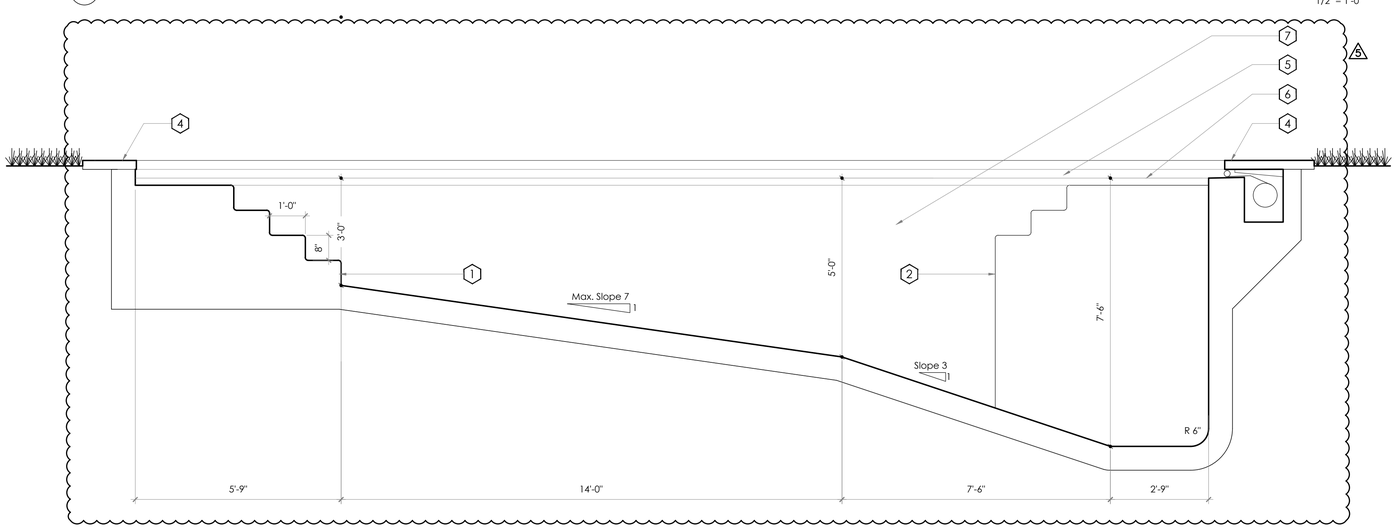
JOB: 20-36

A-0.11



1 Pool Plan

1/2" = 1'-0"



2 Pool Section

1/2" = 1'-0"

Swimming Pool General Notes

Swimming pool to meet the requirements of all state and municipal codes, including Section R326 of the 2020 Residential Code of New York State, 2021 International Swimming Pool and Spa Code and the Zoning Code of the Village of Irvington.

Swimming pool to meet the design standards for in-ground swimming pools published by the national spa and pool institute, ANSI/NSP1-5

Swimming pools barrier/screening shall meet the requirements of Section 305 of the 2015 International Swimming Pool and Spa in addition to Section 310-8 (b)2 of the Irvington Zoning Code.

Pool cover must be capable of supporting a minimum dead weight of 200 pounds when fastened or locked in place over a swimming pool.

The pool cover must fully cover pool and hot tub when not in use and during the period of November 1 through March 31.

Pool to be chlorinated. The filter is to be cartridge type. The pool heater is to be 399K BTU -R406A gas heater - by Raypak

Include winter cover and pool water fill as part of pool installation scope of work.

Swimming pool is to be drained into the proposed storm water system.

Key Notes

1. Steps
2. Swimout
3. Pool lights - two LED underwater pool lights - controls to be located within residence
4. Fixed coping stone - 2" bluestone coping - flamed finish squareedge 5 mitered corners at northside of pool - review layout and joint pattern with architect prior to installation
5. Ceramic tile - t.b.d.
6. Water line
7. Pigmented stucco finish coat - color to be french gray - review sample of stucco color with owner prior to installation.
8. Hot tub seating

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Pool Details

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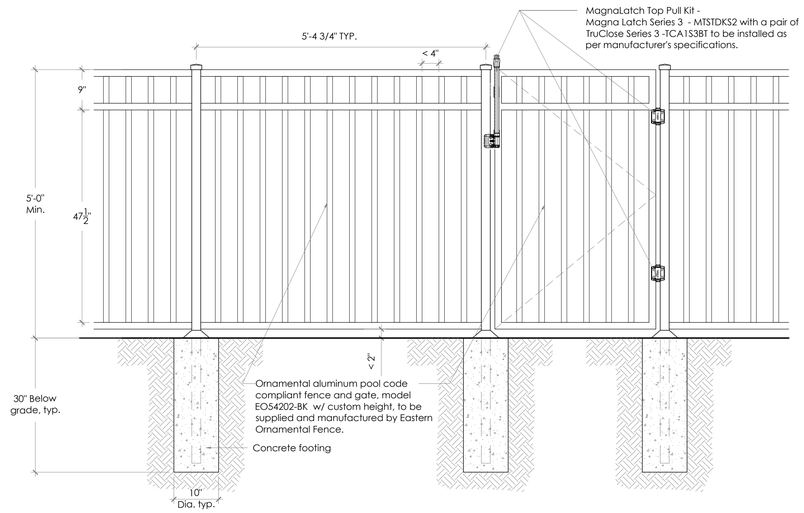
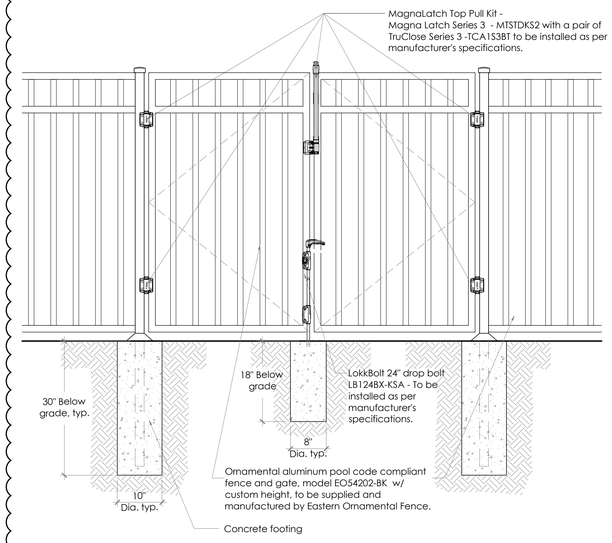
A-0.12



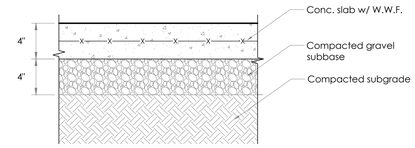
1 Ornamental Metal Fence-Single Gate (Pool Code Compliant)

3/4" = 1'-0"



2 Ornamental Metal Fence-Double Gate (Pool Code Compliant)

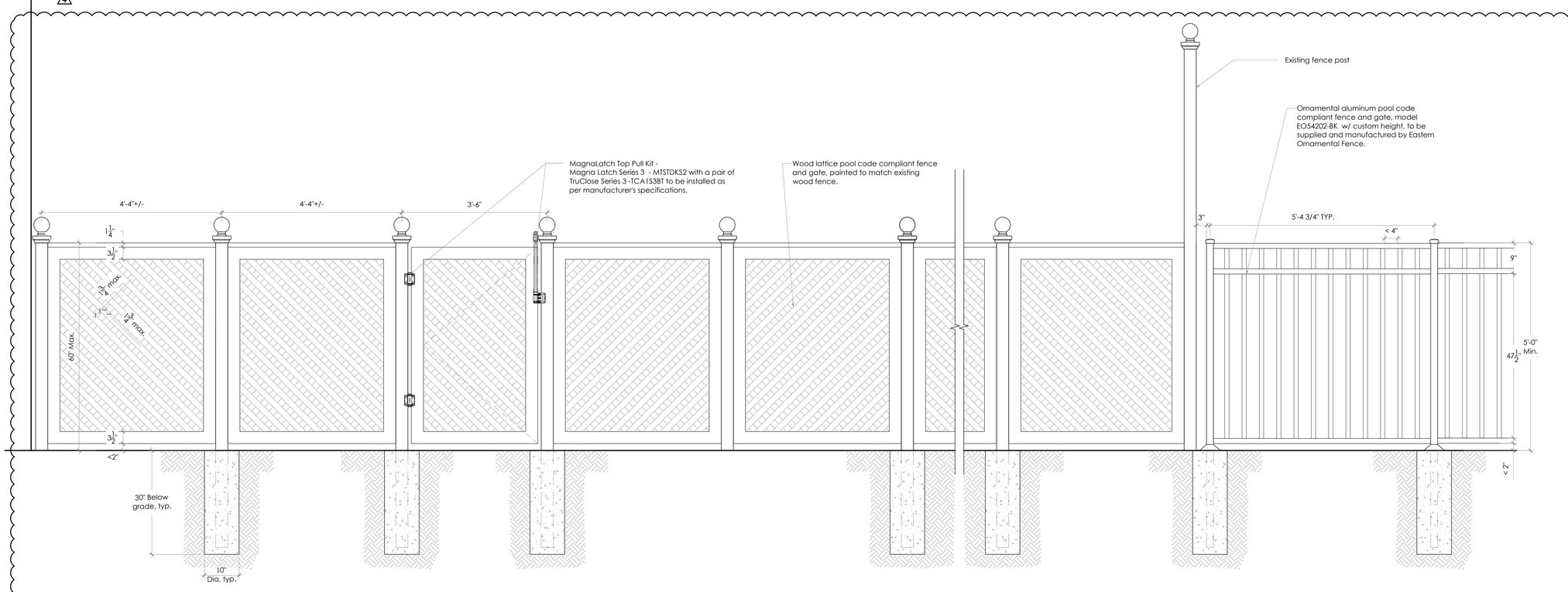
3/4" = 1'-0"



3 Equipment Pad

1 1/2" = 1'-0"

4



4 Wood / Ornamental Metal Fence-Single Gate (Pool Code Compliant)

3/4" = 1'-0"

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Site Details

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A-0.13