

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

| | | | |
|---------------------|-------------------------|-----------------|--------------|
| Application Number: | 236 | Date: | 03/02/2022 |
| Job Location: | 61 BUTTERWOOD LANE WEST | Parcel ID: | 2.130-67-21 |
| Property Owner: | Kayvan Parvin | Property Class: | 1 FAMILY RES |
| Occupancy: | One/ Two Family | Zoning: | |
| Common Name: | | | |

| Applicant | Contractor |
|-------------------------------------|------------|
| steven secon | |
| steven secon architect | |
| 145 palisade stdobbs ferry ny 10522 | |
| 914 980 5532 | |

Description of Work

| | | | |
|----------------------|---------------|----------------------|--------------|
| Type of Work: | Swimming pool | Applicant is: | Architect |
| Work Requested by: | The Owner | In association with: | |
| Cost of Work (Est.): | 50000.00 | Property Class: | 1 FAMILY RES |

Description of Work

new above ground pool & deck enlargement

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

AFFIDAVIT OF APPLICANT

I **steven secon** being duly sworn, depose and says: That s/he does business as: **steven secon architect** with offices at: **145 palisade st dobbs ferry ny 10522** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 2 day of march of 2022

Steven Secon

Steven Secon

Notary Public / Commission of Deeds

STEVEN SECON
Notary Public, State of New York
No. 01SE6216355
Qualified in Westchester County
Commission Expires January 11 2024

Applicant's Signature

OWNER'S AUTHORIZATION

I **Kayvan Parvin** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 845 863 9968 Owner email address kayvan.parvin@gmail.com

- ☐ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 2 day of march of 2022

Steven Secon

Notary Public / Commission of Deeds

STEVEN SECON
Notary Public, State of New York
No. 01SE6216355
Qualified in Westchester County
Commission Expires January 11 2024

Kayvan Parvin

Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)



61 Butterwood Lane West – Aerial View (Google Maps North Orientation)



61 Butterwood Lane West – Front



61 Butterwood Lane West – Rear (Existing Deck to be removed)



61 Butterwood Lane West – Rear (Existing Deck to be removed)



59 Butterwood Lane West – (Southwest Neighbor)



60 Butterwood Lane West – (Southeast Neighbor)



36 Hamilton Rd – (Northeast Neighbor)



57 Butterwood Lane West – (Northwest Neighbor)

Premium Lattice Panels for Commercial & Residential Applications

Beauty, Privacy & Dimension

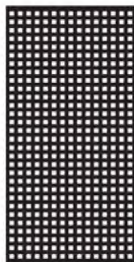
Create the perfect finished look using premium cPVC decorative lattice panels from the leader in outdoor living.

Decorative patterns add beauty, privacy and dimension to any deck, porch or outdoor room without blocking airflow.

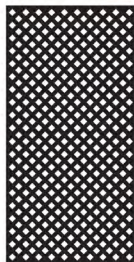
What's more, you can forget about costly maintenance. Our cellular PVC lattice doesn't absorb moisture so it won't rot, crack or warp.



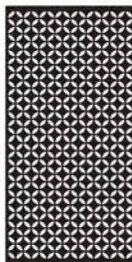
Patterns to Complement Every Style



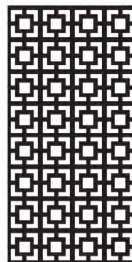
Classic



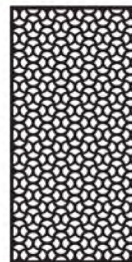
Privacy Diamond



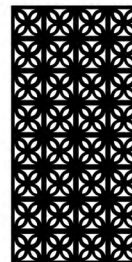
Capital



Town



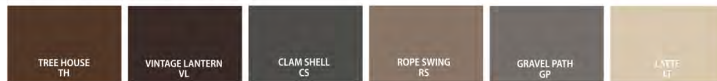
Pueblo



Breeze

ColorLast Finish

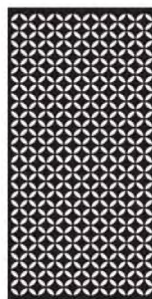
Trex Lattice comes standard with a smooth matte white or black finish that is ready to provide many years of carefree enjoyment and beauty. Trex Lattice can also be finished with our exclusive ColorLast finishing process. ColorLast allows you to coordinate your lattice with your decking and railing and includes a 20-Year Limited Warranty.



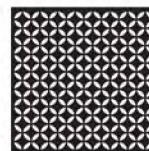
Actual product colors may vary from what is shown. Colors can be verified by requesting a sample.

Sheet Sizes

Lattice sheets are offered in two sheet sizes; 48" x 96" and 48" x 48", and four thicknesses; 1/4", 1/2", 3/4", and 1" to fit just about any application.



48" x 96"



48" x 48"

Price & Order



Shop 1/4" Panels



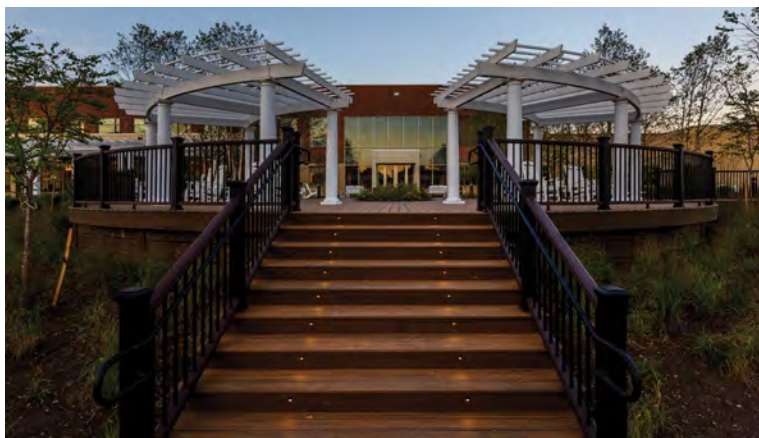
Shop 1/2" Panels



Shop 3/4" Panels

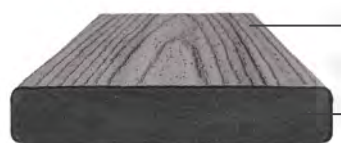


Shop 1" Panels



PREMIUM HIGH-PERFORMANCE DECKING & FASCIA

Trex Transcend® decking and Trex® Fascia are wood thermoplastic composite lumber (WTCL) boards with an integrated shell that covers the boards on the top surface and sides. The integrated shell consists of a proprietary surface formulation that produces a natural, wood-like grain pattern finish. An alternative to naturally durable hardwood lumber, Transcend Decking and Fascia are ICC-ES ESR-1111-certified to be a minimum of 95.4% recycled content of wood fiber and polyethylene by weight.



- **Shell:** impact-, scratch- and fade-resistant
- **Core:** 95% recycled materials

DECKING



1" Grooved edge

1" Square edge

2" Square edge

FASCIA



8" or 12" Widths

| FEATURES | DECKING BOARDS | | FASCIA BOARDS | |
|------------------------------|------------------------|------------------------|----------------|----------------|
| | 1" x 6" | 2" x 6" | 8" | 12" |
| Actual Dimensions - Standard | .94" x 5.5" | 1.3" x 5.5" | .56" x 7.25" | .56" x 11.375" |
| Actual Dimensions - Metric | 24 mm x 140 mm | 33 mm x 140 mm | 14 mm x 184 mm | 14 mm x 288 mm |
| Available Lengths - Standard | 12', 16', 20' | 12', 16', 20' | 12' | 12' |
| Available Lengths - Metric | 365 cm, 487 cm, 609 cm | 365 cm, 487 cm, 609 cm | 365 cm | 365 cm |
| Grooved Edge | X | | | |
| Square Edge | X | X | X | X |
| Transcend Tropicals | X | X | X | X |
| Transcend Earth Tones | X | | X | X |
| Weight per Lineal Foot | 2.4 lbs | 3.6 lbs | 2.0 lbs | 3.3 lbs |

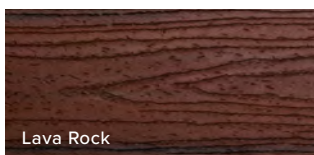
PHYSICAL & MECHANICAL PROPERTIES

| TEST | TEST METHOD | VALUE |
|-------------------------|-------------|-------------------------------|
| Flame Spread | ASTM E 84 | 70 |
| Thermal Expansion | ASTM D 1037 | 1.9×10^{-5} in/in/°F |
| Moisture Absorption | ASTM D 1037 | < 1% |
| Screw Head Pull-Through | ASTM D1761 | 161 lbf/screw* |
| Fungus Resistance | ASTM D1413 | Rating – no decay |
| Termite Resistance | AWPAE1-72 | Rating = 9.6 |

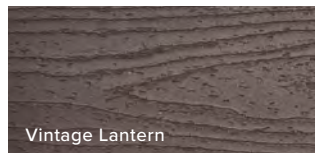
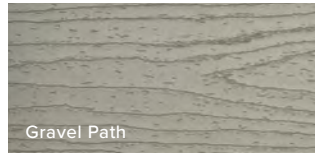
*Fastener used in testing: #8 x 2.5" HEADCOTE Stainless Steel Screw

COLORS

Tropicals (multi-tonal)



Earth Tones (monochromatic)



FASTENERS



Trex Hideaway® Hidden Fastening System

Self-gapping, glass-filled nylon fastener with 304 grade stainless steel, sharp point screw for wood framing



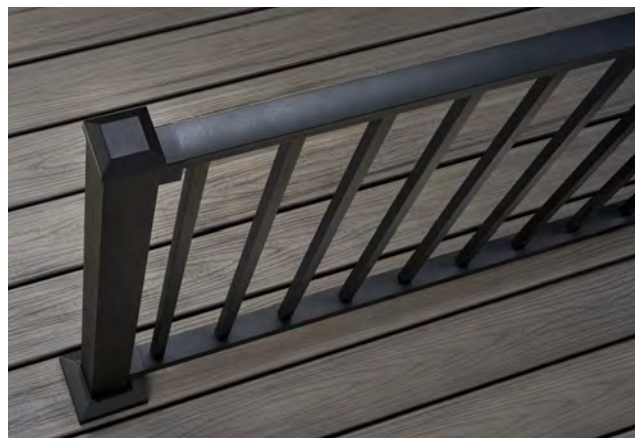
Other Approved Fasteners

Color-matched composite deck screw or matching composite plug

Color-coordinated fascia screw

Uncoated stainless steel fascia screw

For a full list of approved fasteners, download our Installation Guide at [trex.com/literature](https://www.trex.com/literature)



TREX SIGNATURE® ALUMINUM RAILING EXCEPTIONAL STRENGTH, TRADITIONAL STYLE

Trex Signature railing is comprised of premium aluminum and finished with top-tier powder coating over all exposed surfaces. Exploring a range from contemporary to industrial designs, Trex Signature railing is offered in elegant neutrals and various configurations. With long-lasting beauty and unmatched durability, allow Signature railing to frame your view.

RAILING COMPONENTS



**Aluminum post
with cap and skirt**



**Aluminum crossover post
with skirt**



**Aluminum posts with premounted
brackets, cap and skirt**



**Aluminum top and
bottom rail**



**Square aluminum
baluster**



**Round aluminum
baluster**



**Mounting and
support hardware**

| COMPONENT | ORIENTATION | HEIGHTS | WIDTHS | COLORS |
|---|-----------------------|------------------------------|-----------------------------|------------|
| Aluminum Post with Cap & Skirt | Horizontal | 37" (939 mm) 43" (109 cm) | 2.5" x 2.5" (63 mm x 63 mm) | WT, BZ, BK |
| | Stair | 53" (134 cm) | | |
| Aluminum Crossover Post with Skirt | Horizontal | 36" (914 mm) 42" (106 cm) | 2.5" x 2.5" (63 mm x 63 mm) | WT, BZ, BK |
| Aluminum Post with Premounted Brackets, Cap & Skirt | Line End Corner | 37" (939 mm) 43" (109 cm) | 2.5" x 2.5" (63 mm x 63 mm) | BK |

RAIL KITS



Aluminum Rail & Square Baluster Kit



Aluminum Rail & Round Baluster Kit

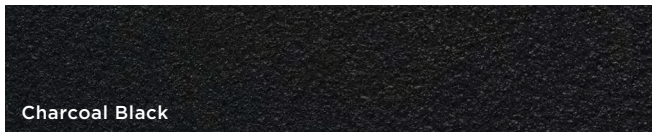
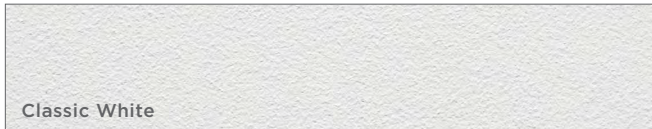


Aluminum Assembled Square Baluster Panel

| COMPONENT | ORIENTATION | HEIGHTS | LENGTHS | COLORS |
|--|-------------|------------------------------|---|------------|
| Aluminum Rail & Square Baluster Kit | Horizontal | 36" (914 mm) | 6' (182 cm) | WT, BZ, BK |
| | Stair | 42" (106 cm) | 8' (243 cm) | |
| Aluminum Rail & Round Baluster Kit | Horizontal | 36" (914 mm) | 6' (182 cm) | BK |
| | Stair | 42" (106 cm) | 8' (243 cm) | |
| Aluminum Assembled Square Baluster Panel | Horizontal | 36" (914 mm) 42" (106 cm) | 4' (122 cm) 6' (182 cm) 8' (243 cm) | BK |

COLORS

Aluminum



CODE REQUIREMENTS

Trex Signature Railing meets both IRC and IBC designated requirements in accordance with ICC-ES AC174 and ASTM D7032. Refer to Code Compliance Report CCRR-0202 for specific details.

HARDWARE

Tabless Fixed Brackets

Brackets with tabs removed to work with assembled panels, glass railing and mesh railing.

Includes 2 top rail brackets with covers, 2 bottom rail brackets with covers, 1 fastener pack and (2) 3M VHB adhesive tabs.



Fixed Brackets

Supplementary brackets for horizontal and stair cut rail sections.

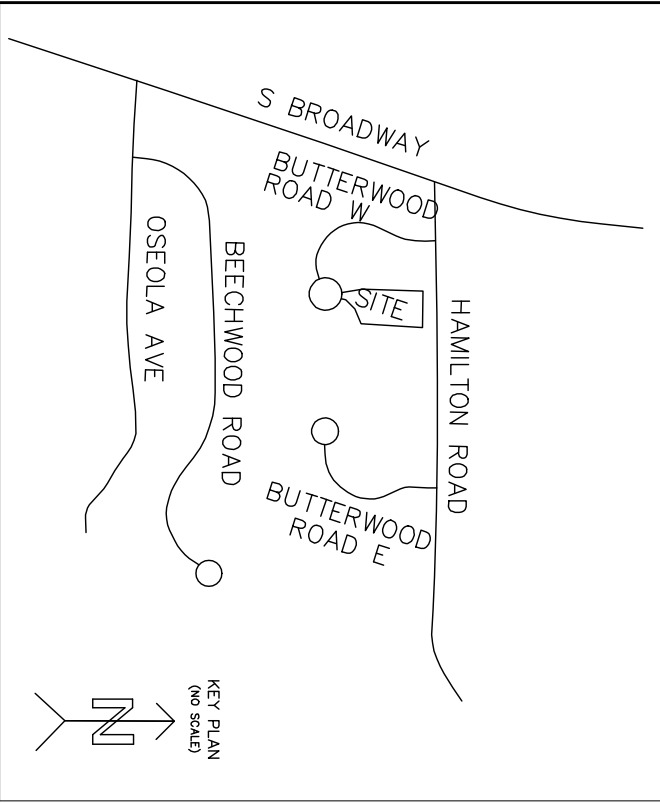
Includes 2 top rail brackets with covers, 2 bottom rail brackets with covers and 1 fastener pack.



QUESTIONS?

Connect with our pro services team at
1-800-BUY-TREX or customercare@trex.com

- NOTE:
1. ELEVATIONS SHOWN HEREON ARE IN NAVD 88 VERTICAL DATUM.
 2. THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND OR SUBSTRUCTURES IS NOT CERTIFIED FOR ACCURACY OR COMPLETENESS.
 3. SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS AND COUPLE OF MANHOLES WERE NOT FOUND.
 4. WATER, ELECTRIC AND GAS LINES SHOWN HEREON ARE TAKEN FROM FIELD MARKING AND MUST BE VERIFIED BEFORE ANY DESIGN.
 5. CONSULT THE APPROPRIATE UTILITY COMPANY PRIOR TO DESIGNING IMPROVEMENTS.
 6. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.
- CALL BEFORE YOU DIG:
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CALL 1800-272-4480.



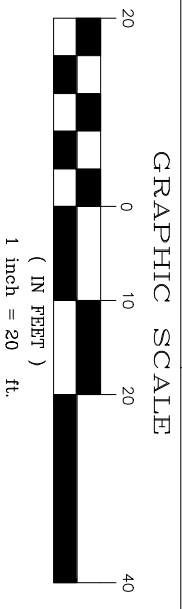
SCALE: 1"=30'
Measurements in U.S. Standard

DATE SHEET: 14, 2021.

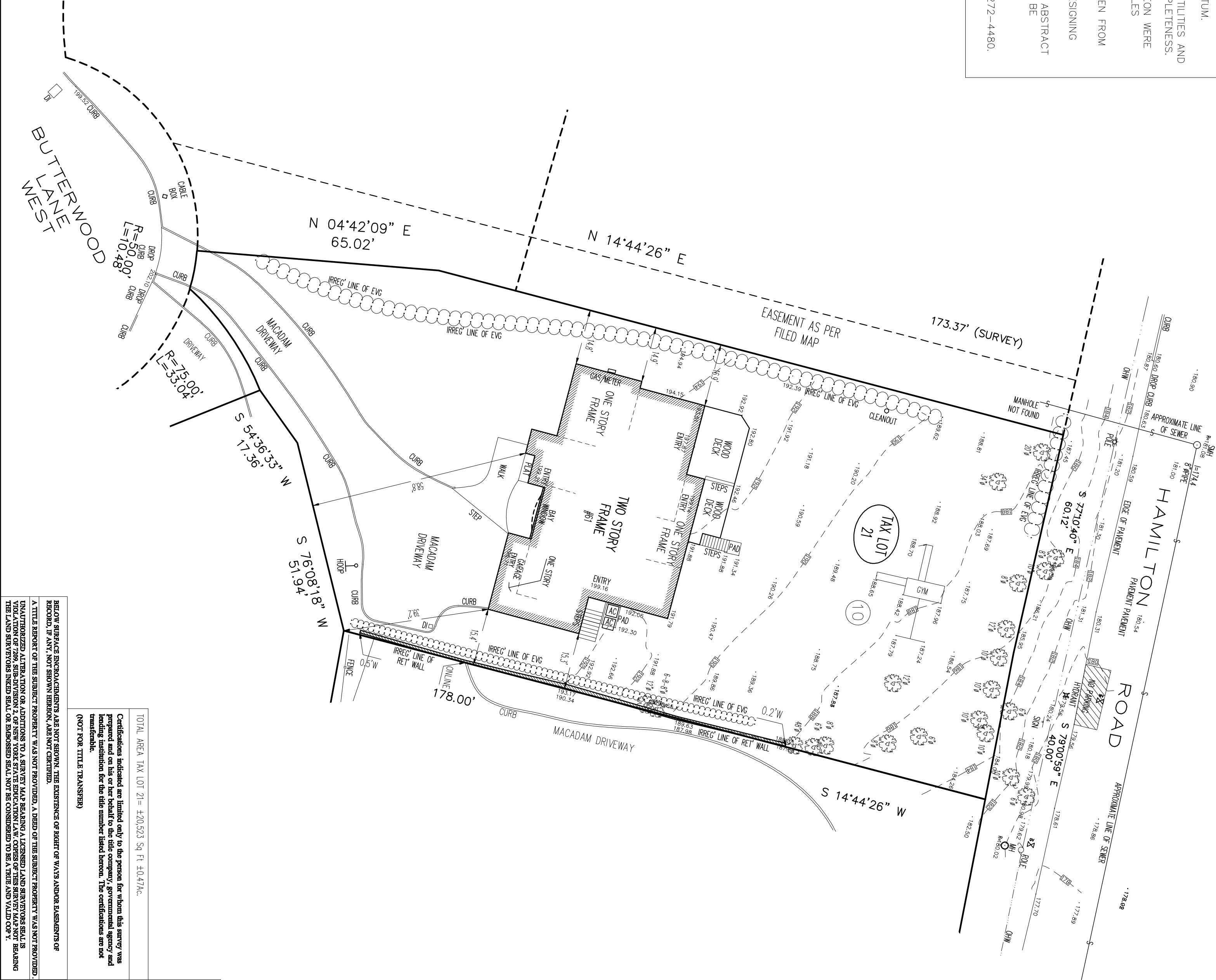
JOB NUMBER
WCRO20804-10(TOP),

LEGEND:

- DROP CURB
- ⋈ LIGHT
- ⊕ TRAFFIC SIGN
- ⊕ TREE(14" SIZE)
- ⊕ UTILITY POLE
- ⊕ HYDRANT
- ⊕ WATER VALVE
- ⊕ GAS VALVE
- ⊕ DRAINAGE INLET
- ⊕ CATCH BASIN
- ⊕ SEWER MANHOLE
- ⊕ ELECTRIC MANHOLE
- ⊕ WATER MANHOLE
- S— W-WATER MAIN
- S— SEWER LINE
- E— ELECTRIC LINE
- G— GAS LINE
- OVER HEAD WIRES
- CHAIN LINK FENCE
- TC TOP OF CURB
- BC BOTTOM OF CURB
- TW TOP OF WALL
- BW BOTTOM OF WALL
- LG LEGAL GRADE
- C— CABLE LINE



| NO. | DATE | DESC. | BY |
|-----|------|-------|----|
| | | | |
| | | | |
| | | | |



TOTAL AREA TAX LOT 21= 420,523 Sq Ft ±0.47Ac.

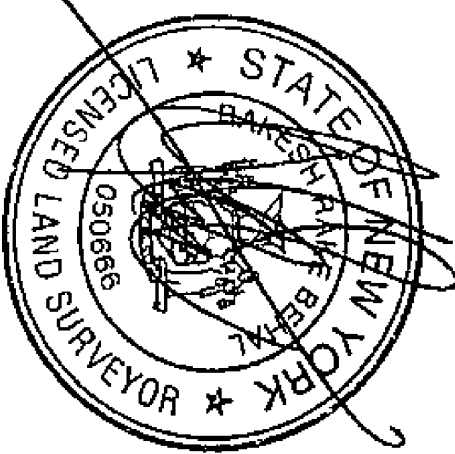
Certifications indicated are limited only to the person for whom this survey was prepared and on the basis of the information furnished to the company, governmental agency, and individual for the title number listed hereon. The certifications are not transferable.

(NOT FOR TITLE TRANSFER)

BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAY AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.

A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED. A DEED OF THE SUBJECT PROPERTY WAS NOT PROVIDED.

UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS VIOLATION OF 720, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL, NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.



This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.

Rakesh R. Behal, L.S. New York State License Number 050666.

Summit Land Surveying P.C.

21 Drake Lane

White Plains NY 10607.

Tel. 9146297758

SURVEY OF
TAX LOT 21 IN BLOCK 67, SECTION 2.130
AS SHOWN IN THE OFFICIAL TAX MAPS OF
VILLAGE OF IRVINGTON
LOCATED AT
VILLAGE OF IRVINGTON
TOWN OF GREENBURGH
WESTCHESTER COUNTY STATE OF NEW YORK

ADDRESS: 61 BUTTERWOOD LANE W - IRVINGTON.

COPYRIGHT ©2021 SUMMIT LAND SURVEYING P.C.

ABBREVIATIONS

| | | | |
|--------|-----------------------|--------|------------------------|
| A.F.F. | ABOVE FINISHED FLOOR | MTD. | MOUNTED |
| BOT. | BOTTOM | MTL. | METAL |
| CLG. | CEILING | O.C. | ON CENTER |
| C.M.U. | CONCRETE MASONRY UNIT | PTD. | PAINTED |
| FIXT. | FIXTURE | TYP. | TYPICAL |
| CONC. | CONCRETE | U.N.O. | UNLESS NOTED OTHERWISE |
| GC | GENERAL CONTRACTOR | V.C.T. | VINYL COMPOSITE TILE |
| GWB | GYP SUM WALL BOARD | V.I.F. | VERIFY IN FIELD |
| GL. | GLASS | WD. | WOOD |
| HT. | HEIGHT | | |

LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| | DETAIL REFERENCE, BOTTOM NUMBER INDICATES DRAWING SHEET |
| | SECTION OR ELEVATION REFERENCE |
| | REVISION NUMBER WITHIN TRIANGLE RELATES TO INFORMATION ALTERED WITHIN CLOUD/BUBBLE |
| | DIMENSION LINE, NUMERALS INDICATE DISTANCE TO FACE OF FINISH CONSTRUCTION. |
| | EXISTING CONSTRUCTION TO BE REMOVED OR AS OTHERWISE NOTED |
| | WINDOW SYMBOL |
| | EXISTING CONSTRUCTION TO REMAIN |
| | SWINGING DOOR WITH SIZE-TYPE IDENTIFICATION (2'06-A DENOTES 2'-0" X 6'-8" TYPE A DOOR) |
| | NEW CONSTRUCTION WALL REFERENCE, LETTER WITHIN DIAMOND CORRESPONDS TO CONSTRUCTION DETAIL OR SPECIFICATIONS |
| | ELECTRICAL DUPLEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR OR 12" ABOVE COUNTER SURFACE. WHERE REQ'D (GFI- DENOTES GROUND FAULT INTERRUPTER) |
| | ELECTRICAL QUADRUPEX RECEPTACLE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR |
| | TELEPHONE OUTLET WALL MOUNTED AT 18" ABOVE FINISHED FLOOR |
| | FLUSH FLOOR MOUNTED ELECTRICAL DUPLEX RECEPTACLE |
| | ELEC. JUNCTION BOX, (USE SMALLEST FOR SCONCES) |
| | RECESSED 6" DIAMETER LED LIGHTING FIXTURE "PROGRESS" OR EQ., WITH WHITE TRIM, 1500 MIN LUMEN LAMP, 3000 K CR, LOWERCASE LETTER DESCRIBES CIRCUIT AND SWITCH CONTROL WHERE SHOWN |
| | SCONCE FOR BATHROOMS BY "REJUVENATION" SILETZ #578, WITH SHADE 143 L, 2 LED LAMPS, WET LOCATION |
| | EXTERIOR INCANDESCENT SCONCE LIGHTING FIXTURE "PROGRESS" P5671-50 WITH W/ LED CANDELABRA LAMPS MILLSTONE (DULL SILVER FINISH) |
| | FLOOD LIGHT WITH 150 W PAR LAMPS |
| | RECESSED 6" DIAMETER WALL WASHER LED LT. FIXTURE "PROGRESS" OR EQ., 1500 MIN. LUMEN LAMP, 3000 K WHITE TRIM |
| | SURFACE INCANDESCENT LIGHTING FIXTURE "REJUVENATION" MORELAND, #CC865, SHADE #018CE BRUSHED NICKEL FINISH, LED LAMPS |
| | FLUORESCENT LIGHT FIXTURE WARM WHITE T8 LAMPS |
| | PORCELAIN SOCKET, LED LAMPS |
| | FANLIGHT, DUCT TO EXTERIOR, WET LOCATION "PANASONIC" MODEL ### |
| | SINGLE POLE LIGHT SWITCH, WALL MOUNTED AT 42" ABOVE FINISHED FLOOR (SUBSCRIPT "3" INDICATES 3-WAY SWITCH) COORDINATE LOCATION WITH TRIM. |
| | SMOKE DETECTOR, HARDWIRED & INTERCONNECTED |
| | HEAT DETECTOR HARDWIRED & INTERCONNECTED |
| | CARBON MONOXIDE DETECTOR, HARDWIRED & INTERCONNECTED |
| | FIRE EXTINGUISHER, A-B-C RATED 5 LB |
| | HOSE BIB (FROST FREE) |
| | CEILING DIFFUSER (SUPPLY), WHITE |
| | CEILING REGISTER (RETURN), WHITE |

OUTLINE SPECIFICATIONS

1. GENERAL REQUIREMENTS

GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND FIELD CONDITIONS PRIOR TO CONSTRUCTION.

GENERAL CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH SITE WORKING CONDITIONS, HOURS OF LEGAL OPERATION AND RELATED PERFORMANCE CRITERIA. GENERAL CONTRACTOR SHALL CONTACT STEVEN SECON ARCHITECT REGARDING ANY DEVIATIONS OR FIELD CONDITIONS CONFLICTING WITH THE DRAWINGS.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES, AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS, INSPECTIONS, AND CERTIFICATE(S) OF OCCUPANCY, INSURANCES, AND BONDS AS REQUIRED.

ALL MATERIALS SPECIFIED OR USED TO EXECUTE THIS PROJECT SHALL BE DELIVERED, STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

ANY DESIRED SUBSTITUTION, OR DEVIATIONS FROM CONTRACT DOCUMENTS WILL REQUIRE WRITTEN APPROVAL FROM STEVEN SECON ARCHITECT PRIOR TO INSTALLATION.

REMOVE EXISTING CONSTRUCTION AS REQUIRED TO ALLOW INSTALLATION OF NEW WORK SHOWN ON THE DRAWINGS. PATCH AREAS OF DEMOLITION FLUSH AND SMOOTH TO ADJACENT SURFACES, READY FOR APPLICATION OF FINISHES.

SHUTDOWNS AND INTERRUPTIONS TO NORMAL ACTIVITIES SHALL BE REVIEWED WITH OWNER PRIOR TO IMPLEMENTATION. THE GC SHALL CONTACT AND COORDINATE UTILITY SHUT-DOWNS, RECONNECTS AND UPGRADES WITH THE PROPER PROVIDER IN A TIMELY MANNER.

PROVIDE SHERING, STABILIZATION AND BRACING AS REQUIRED, PROVIDE PROPERTY, SITE AND PERSONAL PROTECTION AS REQUIRED, FOR THE SAFE AND ORDERLY EXECUTION OF THE WORK. PROVIDE P.E. ENGINEERING DRAWINGS AS REQUIRED BY LOCAL MUNICIPALITY.

PROVIDE WEATHER PROTECTION IN A TIMELY MANNER TO PROTECT THE SITE, PREMISES, MATERIALS, INSTALLED WORK AND PERSONNEL.

ALL MECHANICAL, ELECTRICAL, AND PLUMBING SYSTEMS AND SERVICES TO BE COMPLETE AND OPERATIONAL. INSTALLATIONS SHALL NOT CONFLICT WITH FIXTURES OR CONSTRUCTION SHOWN. MECHANICAL, ELECTRICAL AND PLUMBING WORK SHALL BE PERFORMED BY LICENSED TRADESMAN.

THE GENERAL CONDITIONS FOR THIS PROJECT ARE "THE GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION AIA DOCUMENT 1901, 1997 EDITION", AVAILABLE FROM ARCHITECT.

THE GC SHALL COORDINATE THE WORK OF ALL TRADES.

THE GC SHALL SUBMIT A WRITTEN PROGRESS SCHEDULE AS WELL AS A LISTING OF ALL MAJOR SUBCONTRACTORS WITHIN 2 WEEKS OF AWARD FOR OWNER APPROVAL.

SUBMIT MONTHLY APPLICATIONS FOR PAYMENT OR AS INDICATED IN OWNER-CONTRACTOR AGREEMENT IN AIA G702 FORMAT, PROVIDE UNIT PRICES AND ALLOWANCES AS PER OWNER-CONTRACTOR AGREEMENT.

ALL DELIVERIES, STAGING AND AVAILABLE UTILITIES SHALL BE COORDINATED WITH OWNER PRIOR TO CONSTRUCTION.

PROVIDE REMOVALS AND PROPER, LEGAL DISPOSAL OF ALL WASTE. LEAVE PROJECT IN "BROOM-CLEAN" CONDITION.

WORK IN HARMONY WITH INDEPENDENT CONTRACTORS HIRED BY THE OWNER.

PROVIDE MINIMUM WARRANTY FOR ALL NEW & AFFECTED CONSTRUCTION OF 2 YEARS FROM TIME OF SUBSTANTIAL COMPLETION. PROVIDE OWNER WITH MANUALS AND WARRANTIES.

WHERE NO SPECIFICATION IS GIVEN, THE MINIMUM STANDARD FOR INSTALLATION SHALL ACCORDING TO THE NATIONAL ASSOC. OF HOME BUILDERS "RESIDENTIAL CONSTRUCTION PERFORMANCE GUIDELINES" CURRENT EDITION.

THE GC AND EACH OF HIS SUBCONTRACTORS SHALL HAVE A MINIMUM OF 5 YEARS OF RELATED WORK EXPERIENCE ON PROJECTS OF A SIMILAR NATURE. FAILURE TO PROVIDE ADEQUATELY TRAINED TRADESMAN AND SUPERVISION WILL BE GROUNDS FOR TERMINATION.

WHERE CONFLICTS OR POSSIBLE CONTRADICTION INFORMATION ARE SHOWN, THE BASIS OF THE BID SHALL BE BASED ON THE MORE EXPENSIVE MEANS.

CONTRACTOR SHALL PROVIDE SEGREGATED ACCOUNTING RELATED TO ENERGY SAVINGS FOR OWNERS TAX CREDIT PURPOSES. THIS INCLUDES, BUT IS NOT LIMITED TO WINDOWS, EXTERIOR DOORS, INSULATION, ROOF SHEATHING, HVAC SYSTEMS, CAULKING, WEATHERSEALS, HOT WATER PRODUCTION, ENERGY SAVING LAMPS.

CONTRACTORS' INPUT AND RECOMMENDATIONS ARE WELCOMED AND ANTICIPATED. CONSTRUCTION ALTERNATIVES WILL BE CONSIDERED IF THEY HAVE MERIT AND CAN ACHIEVE A BETTER RESULT THAN INDICATED HEREIN FOR THE SAME COST AND TIME. SUCH CHANGES SHALL NOT TAKE PLACE WITHOUT THE APPROVAL OF THE ARCHITECT AND OWNER.

CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMENS COMPENSATION AND ADEQUATE LIABILITY INSURANCE FOR THE ENTIRE DURATION OF THE PROJECT PLUS 2 YEARS. OWNER SHALL BE RESPONSIBLE FOR PROPERTY INSURANCE ON VALUE OF BUILDING PLUS CONSTRUCTION INCLUDING FIRE AND VANDALISM (BUILDERS RISK INSURANCE) DURING THE COURSE OF CONSTRUCTION.

5. METALS

- THE DESIGN, FABRICATION, TRANSPORTATION, AND ERECTION OF ALL STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STEEL CONSTRUCTION MANUAL", THE AISC.
- WELDING OF STRUCTURAL STEEL SHALL BE IN CONFORMANCE WITH THE "STRUCTURAL WELDING CODE", THE AWS, D1.13. WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN.
- WELDING ELECTRODES SHALL BE E70XX FOR SMAW; AND LOW HYDROGEN FOR FIELD WELDING.
- STRUCTURAL STEEL FOR HOT ROLLED PLATES, ANGLES, CHANNELS SHALL BE ASTM A36.
- STRUCTURAL STEEL PIPE SHALL BE IN COMPLIANCE WITH ASTM A501, WHERE USED FOR COLUMNS, THE CENTER VOID SHALL BE ENTIRELY GROUT FILLED SOLID.
- STRUCTURAL TUBING SHALL BE IN CONFORMANCE WITH ASTM A500, GRADE B.
- STRUCTURAL BOLTS SHALL BE MANUFACTURED TO ASTM A307, GRADE B.
- ALL STRUCTURAL STEEL SHALL RECEIVE SURFACE PREPARATION IN ACCORDANCE WITH SSPC-SP3 FOR POWER TOOL CLEANING.
- PRIMING PAINT FOR STRUCTURAL STEEL SHALL BE "4-55 VERSARE PRIMER" AS MANUFACTURED BY THE TNECC CO.
- STEEL RAILINGS TO BE FABRICATED PER ASTM A500 & ASTM A53 FROM 1" BAR-STOCK AT BALUSTERS, 2" SQ TUBE NEWELS, 2" SHAPED HANDRAILINGS, BALL CAPS AT NEWELS PROVIDE EPOXY GROUT SLEEVE ANCHORAGE WITH 8" MIN. EMBEDMENT. RAILINGS MUST WITHSTAND 200#/LF AS GUARDRAILS, 50#/LF AS HANDRAILS.
- ALUMINUM RAILINGS MADE OF EXTRUDED BAR OR TUBE PER ASTM B221, ALLOY 6061-T5/T52. STAINLESS STEEL TUBING PER ASTM A554, SUBMIT 2" X 2" MINIMUM SAMPLE FOR APPROVAL OF EACH. FINISH CLEAR ANODIC AAMA 607.1.
- LIGHT GAUGE METAL FRAMING SHALL BE IN ACCORDANCE WITH AMERICAN IRON AND STEEL INSTITUTE PUBLICATIONS.
- PROVIDE 1/2" TH STEEL STIFFENER PLATES AT POINT LOADS. PROVIDE 1/2" TH STEEL BEARING AND BASEPLATES AT COLUMN LOCATIONS, BEAM POCKETS AT FOUNDATION WALLS.
- STEEL FOR FLUTHPOLATES SHALL BE A-50, PRE-DRILLED AND CONTINUOUS IN LENGTH

6. WOOD AND PLASTICS

- THE DESIGN, TRANSPORTATION AND ERECTION OF ALL STRUCTURAL LUMBER SHALL BE IN CONFORMANCE WITH THE "TIMBER CONSTRUCTION MANUAL", THE AITC AND "MANUAL FOR WOOD FRAME CONSTRUCTION" PER AMERICAN FOREST AND PAPER ASSOC. LATEST EDITION.
- ALL STRUCTURAL LUMBER SHALL BE MACHINE RATED FOR THE FOLLOWING PROPERTIES: F(B) = 1,350 PSI F(V) = 75 PSI E = 1,350,000 PSI F(T) = 875 PSI F(C) = 325 PSI(PERFEN) F(C) = 825 PSI(PARA)
- ALL LUMBER SHALL BE KILN DRIED TO MAXIMUM MOISTURE CONTENT OF 15%.
- SILLS, NAILERS AND LEDGERS MAY BE CONSTRUCTION GRADE.
- THE DESIGN, TRANSPORTATION, AND ERECTION OF ALL PLYWOOD SHALL BE IN ACCORDANCE WITH PROVISIONS OF THE AMERICAN PLYWOOD ASSOCIATION.
- PLYWOOD FOR FLOORS AND WALLS SHALL BE "STRUCTURAL I INT-0PFA"
- PLYWOOD FOR ROOFS SHALL BE "STRUCTURAL I EXT-0PFA"
- JOIST/RAFTER HANGERS SHALL BE #18 GAUGE GALVANIZED STEEL UNO BY TECO OR SIMPSON, USE COMPATIBLE NAILS AS RECOMMENDED BY MANUF.

6. WOOD AND PLASTICS (CONT.)

- NAILING SCHEDULES SHALL BE AS FOLLOWS; UNLESS NOTED OTHERWISE ON THE CONSTRUCTION DOCUMENTS:
PLYWOOD OVER JOISTS - 6" O/C; MIN 160 NAILS
PLYWOOD OVER WALL STUDS - 6" O/C @ INTERIOR MEMBERS; MIN 160 NAILS
NAILS 4" O/C @ PANEL EDGES; MIN 160 NAILS
- ALL STRUCTURAL LUMBER THAT IS EXPOSED TO WEATHER, IN CONTACT WITH THE FOUNDATION OR WITHIN 18" OF EARTH SHALL BE ACO-PRESSURE TREATED PRESERVATIVE. PRESURE TREATMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE AMERICAN WOOD PRESERVERS' ASSOC. FASTENERS UNSED WITH PRESURE TREATED WOOD SHALL BE STAINLESS STEEL OR GALVANIZED G-185 PROCESS.
- PLYWOOD SHEATHING SHALL BE 5/8" THICK RADIANT BARRIER CDX AT ROOFS 1/2" THICK CDX AT WALLS INDICATED, AND 3/4" THICK CDX AT FLOORS. ALL PLYWOOD SHALL BE APA RATED AND INSTALLED IN STAGGERED PATTERN. CONSTRUCTION ADHESIVE FOR ALL PLYWOOD SUBFLOORING TO BE PER APA AFG-01.
- ENGINEERED LUMBER BY TRUS-JOIST MCMLLAIN INSTALLED PER MANUFACTURERS INSTRUCTIONS.
- DO NOT CUT HOLES IN DIMENSIONAL LUMBER FRAMING EXCEEDING 1/3 OF DEPTH WITH OUT CONTACTING ARCH. FOR REINFORCEMENT INSTRUCTIONS, DO NOT CUT HOLES OR NOTCHES WITHIN 2" OF TOP OF BOTTOM OF MEMBER HOLES AND NOTCHES IN ENGINEERED FRAMING SHALL BE IN ACCORDANCE WITH MANUF. RECOMMENDATIONS.
- INSTALL PRESSURE TREATED SILL PLATES AT TOP OF FOUNDATION WALL ANCH'D WITH 1/2" DIA, 8" LONG ANCHOR BOLTS AT 6" O.C. MAX. OVER SILL SEAL. PROVIDE METAL TERMITE SHIELD AT BASE OF SILL PLATES.
- CROSS BRIDGE JOISTS AT MIDSPAN OR 8' O.C., CORNER BRACE AS REQ. PROVIDE SOLID BLOCKING IN FLOOR CONSTRUCTION BELOW POSTS.
- FIRESTOP PENETRATIONS AND FIRE BLOCK ALL WALLS AND CEILING/WALL INTERSECTIONS AND WHERE REQUIRED BY CODE.
- PROVIDE DOUBLE JOISTS AND HEADERS AT FLOOR OPENINGS AND BELOW PARALLEL PARTITIONS.
- MINIMUM BEARING SHALL BE 4" ON MASONRY AND 1 1/2" ON WD OR STL FOR DIM. LUMBER, AND AS RECOMMENDED BY ENGINEERED LUMBER MANUF.
- PRE-FAB WOOD TRUSSES SHALL COMPLY WITH THE TRUSS PLATE INSTITUTES "NATIONAL DESIGN STANDARD FOR METAL PLATE CONNECTED WOOD TRUSS CONSTRUCTION". SUBMIT SHOP DRAWINGS FOR APPROVAL.
- PROVIDE DOUBLED JOISTS BELOW INTERIOR PARTITIONS RUNNING PARALLEL WITH THE JOISTS.
- FINISH CARPENTRY TO COMPLY WITH AMERICAN WOODWORK INSTITUTES "ARCHITECTURAL WOODWORK QUALITY STANDARDS"-PREMIUM QUALITY LEVEL.
- MOLDING PROFILES AS NOTED IN FINISH SCHEDULE, USE CLEAR POPLAR OR PINE. ALLOW WOOD TO SEASON ON SITE. SCARF JOINTS.
- EXPPOSED ENDS OF POSTS, BEAMS OR RAFTERS TO BE COATED WITH WATER REPELLANT PRESERVATIVE CONTAINING 3-1000-2PROPYNYL CARBAMATE COMBINED WITH INSECTICIDE CONTAINING CHLOROPYRIFOS AS ITS ACTIVE INGREDIENT.
7. THERMAL AND MOISTURE PROTECTION
- BUILDING WRAP BY "HYDROCAP" DRAINABLE HOUSEWRAP BY BENJAMIN OBYDKE OR EQUAL, TAPE ALL SEAMS, FLASH ALL WINDOWS, DOORS AND PENETRATIONS WITH METAL PREFORMED FLASHING, SEAL, PROVIDE END DAMS WHERE REQUIRED. USE FLASHING TAPE AT OPENINGS BY "HYDROFLASH" SELF ADHERED FLASHING TAPE.
- BATT INSULATION TO BE FIBERGLASS BATTS W/ WITH VAPOR BARRIER, R-21 WALLS, R-49 CEILINGS/ROOF OR FLOORS/CEILING W/ UNHEATED SPACES BELOW. VAPOR BARRIER TO WARM SIDE. FIRE-RETARDANT WHERE REQUIRED.
- RIGID INSULATION TO BE POLYISOCYANURATE: 2" AT SLAB EDGE AND FNDN PERIMETER, 24" DOWN AND 24" IN.
- "CERTASPRAY", SPRAY POLYURETHANE FOAM INSULATION SHALL BE CLOSED CELL TYPE BY CERTAINTED IN MAXIMUM THICKNESS. INSTALLED PER MANUFACTURER DIRECTIONS.
- VAPOR BARRIER TO BE 6 MIL POLYETHYLENE. OVERLAP AND TAPE SEAMS.
- FLASH ALL ADJOINING SURFACES AND PENETRATIONS WITH METAL FLASHING AND FLASHING TAPE FOR WATERPROOF SEAL. PROVIDE SIMILAR DRIP EDGE. SECURE TO ADJACENT SURFACES WITH FASTENERS TO RESIST REQUIRED LOADS. FABRICATE, FASTEN AND SEAL PER S.M.A.C.N.A. STANDARDS, PROVIDE BUILT UP METAL-FLASHED CRICKETS AS REQUIRED.
- PROVIDE PAINTABLE SILICONE SEALANT IN COLOR TO MATCH ADJACENT WHERE REQUIRED. PROVIDE BACKER RODS WHERE NEEDED. INSTALL PER ASTM C920.
- PROVIDE THROUGH-WALL AND FLOOR FIRESTOPPING FOR PENETRATIONS THROUGH FIRE-RATED ASSEMBLIES PER ASTM E 814 BY TREMCO OR 3M FIRE PRODUCTS.
- WOOD SIDING TO BE REBUTTED AND REJOINTED RED CEDAR SIDING, 7" EXPOSURE, FULLY BACK-PRIMED, USE NO 1. BLUE LABEL ONLY. INSTALL PER CEDAR SHAKE AND SHINGLE BUREAU MANUAL.
- PREMIUM VINYL SIDING BY "ALCOA", MASTIC SERIES, CEDAR SHAKE PATTERN CD-70P. INSTALL PER ASTM D3679, .06 MIN. THICKNESS. WITH MATCHING FACTORY FINISHED POLYESTER-COATED ALUMINUM TRIM ONLY WHERE CALLED FOR IN THE DRAWINGS. PROVIDE SAMPLES IN TEXTURE SELECTED IN STANDARD COLOR RANGE FOR APPROVAL. USE MAXIMUM LENGTHS TO REDUCE THE NUMBER OF SEAMS. OVERLAP SHOULD BE ORIENTED AWAY FROM MAIN APPROACH TO PROJECT.
- WOOD TRIM TOP BE SELECT PINE OR POPLAR, FULLY BACK PRIMED. PROVIDE CAP FLASHING AT WINDOW HEADS AND SILLS, TRIM BOARDS, WATERABLES, TRANSITIONS BETWEEN SHINGLE STYLES.
- PROVIDE PRE FINISHED ALUM. GUTTERS AND LEADERS WITH SPLASH BLOCKS OR CONNECTIONS TO DRYWELLS (V.I.F.) PROVIDE ALUMINUM DRIP EDGE AT THE EDGE OF ASPHALT SHINGLE ROOF. PROVIDE SCREEN BASKETS AND SCREENED GUTTER COVERS. PROVIDE CORRUGATED HOPE BOOT AT GRADE TO JOIN SUBGRADE PIPING.
- PROVIDE RIDGE VENT, CAVITY Baffles AND EAVE VENTS. 300 MIN. VENT TO SF RATIO.
- ASPHALT LAMINATED ROOF SHINGLE BY "TIMBERLINE", 40 YEAR, 3 TAB ARCH. ASPHALT ON 30# ROOF FELT AT SLOPES 3:12 AND OVER, USE ICE & WATER SHIELD AT BOTTOM 36" FROM GUTTER AND AT VALLEYS, BELOW 3:12 USE ICE & WATER SHIELD THROUGHOUT PROVIDE SHINGLE SAMPLE FOR APPROVAL. INSTALL PER A.R.M.A. RESIDENTIAL ASPHALT ROOF MANUAL.
- PROVIDE WATER-PROOFING AT THE OUTSIDE OF THE FOUNDATION WALLS CONSISTING OF "BITUTHENE" 4000 (OR EQUAL) 60 MIL SHEET WITH 1/4" ASPHALTIC PROTECTION BOARD AND DIMPLED DRAINAGE BOARD.
- APPLY COLD-APPLIED ASPHALT EMULSION DAMPPROOFING TO THE CAVITY FACE OF MASONRY BACKUP FOR MASONRY CAVITY WALLS. USE PRIMER PLUS ONE COAT AT A RATE OF 1 GALLON/100 SF.
- FILL ALL SMALL CAVITIES IN FRAMING, AND ANNULAR PIPE PENETRATIONS WITH "GREAT STUFF" EXPANDABLE URETHANE SEALANT FOAM.
- PROVIDE FIRE PUTTY SEALANT AT HOLES FOR PIPES, CONDUITS AND SIMILAR PENETRATIONS.
- LOW SLOPE ROOFING SYSTEM TO BE BY "FIRESTONE" OR EQUAL, 60 MIL BLACK FULLY ADHERED EPDM INSTALLED PER MANUF INSTRUCTIONS WITH 20 YEAR NOL WARRANTY. PROVIDE 3/8" POLYISOCYANURATE ROOF INSULATION WITH COATED FIBERGLASS FASER SHEETS CONSISTING OF 2 LAYERS; A 1 1/8" LAYER ON THE DECK WITH A 2" TOP LAYER, 2 X 4 P.T. BLOCKING AT PERIMETER OF ROOF, EDGE TRIM .04" ALUMINUM WITH KYNAR FINISH. EDGING AT FRONT OF THE ROOF CUSTOM FABRICATED TO FIT NEATLY AND SECURELY OVER SHINGLES TO REMAIN.
- INSULATE MECHANICAL SERVICE LINES AND EQUIP. IN ACCORDANCE WITH BEST INDUSTRY AND TRADE PRACTICES.

16. ELECTRICAL

PROVIDE AND INSTALL ELECTRICAL DEVICES AND FIXTURES SHOWN. PROVIDE NEW CIRCUITS AS REQUIRED. USE LINE COVER AND SWITCHPLATES, COLOR TO MATCH WALL, STYLE TO MATCH EX.

USE GROUND FAULT INTERRUPTERS AT ALL AREAS WITHIN 6' OF WATER SOURCE.

INSTALL ARC-FAULT INTERRUPTERS WHERE REQUIRED.

ELECTRICAL RADIANT HEAT BY "SUN TOUCH" OR EQUAL, MATS TO BE PROVIDE BELOW PORCELAIN TILE ON PROGRAMMABLE THERMOSTAT,

ALL ELECTRICAL WORK TO CONFORM TO LATEST EDITION OF THE NATIONAL ELECTRICAL CODE. UNDERGROUND WIRING TO BE ADEQUATELY ENCASED AND PROTECTED, BEDDED AND LAID IN TRENCH WITH PROTECT-ALERT TAPE ABOVE.

MODIFY AND/OR SUPPLEMENT DOOR BELL SYSTEM TO SUIT NEW LAYOUT. PROVIDE AT THE MINIMUM FRONT AND REAR/SIDE BELLS. PROVIDE WALL LIGHT SWITCHES FOR LIGHTING AT ALL ROOMS AT STRIKE SIDE OF DOOR INSIDE ROOM.

PROVIDE 3-WAY WALL SWITCHES FOR LIGHTING AT ALL CORRIDORS AND STAIRS AT EACH END OF PASSAGE.

PROVIDE NEW ELEC. DUPLEX RECEPTACLES AT 12" O/C IN HABITABLE RMS. PROVIDE 6 TELEPHONE RECEPTACLES IN LOCATIONS DIRECTED BY OWNER.

PROVIDE 3 CABLE TV OUTLETS IN LOCATIONS DIRECTED BY OWNER.

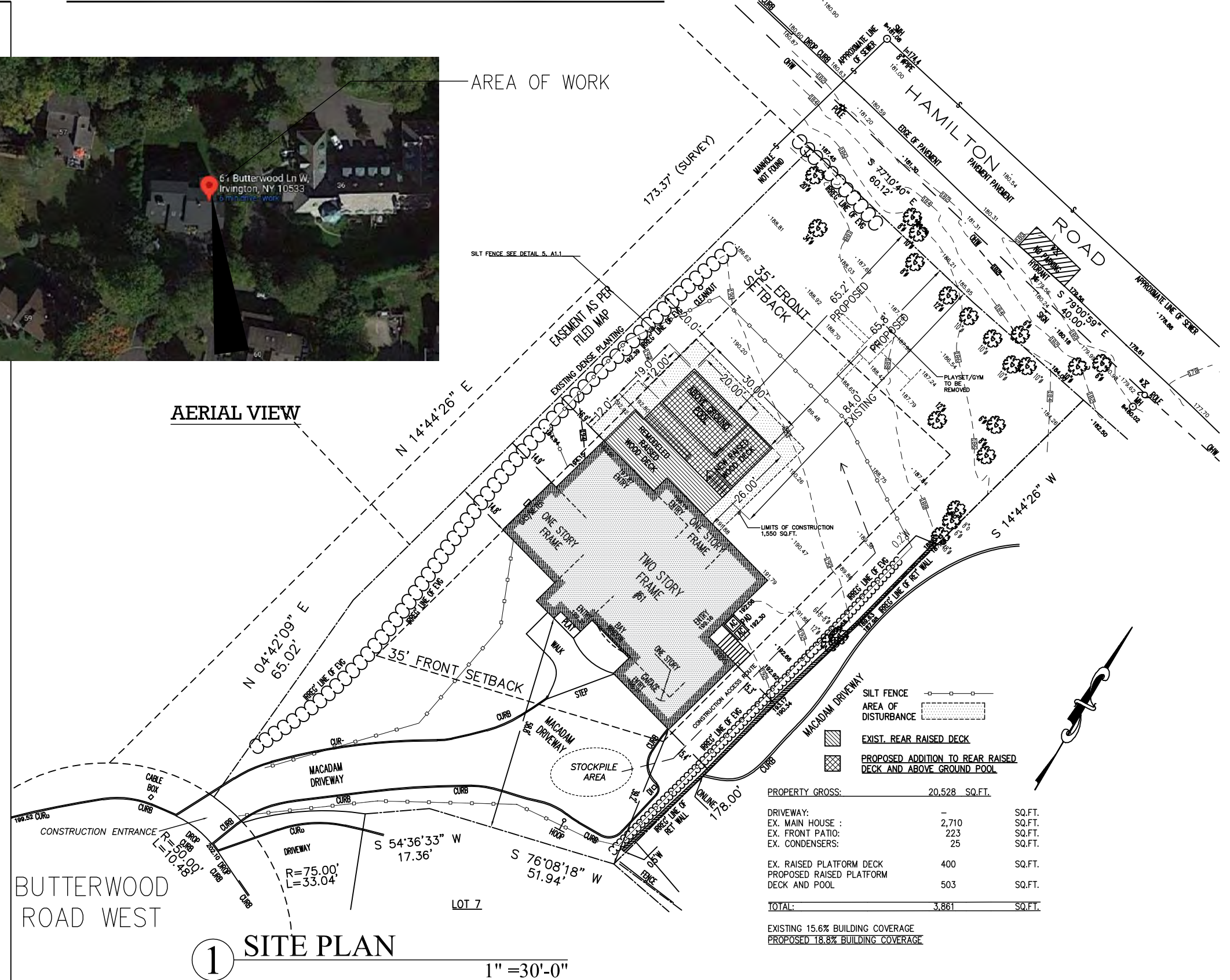
PROVIDED METAL JUNCTION AND DEVICE BOXES.

COORDINATE WITH OWNER'S SECURITY AND/OR COMPUTER VENDOR FOR THEIR INSTALLATION REQUIREMENTS AS NEEDED BEFORE DRYWALL INSTALLATION.

PROVIDE AND INSTALL NECESSARY DEVICES AND WIRING TO ASSURE THAT COMPLETED CONDITIONS COMPLY WITH:

SECTION 5313.1 - REQUIRES THAT ANY/ALL BEDROOMS/COMMON HALLWAYS SHALL BE EQUIPPED W/ HARD WIRED AND INTEGRATED SMOKE DETECTORS (W/ A BATTERY BACK-UP) W/ A CARBON MONOXIDE DETECTOR OUTSIDE ALL BEDROOM(S) IN THE CORRIDOR AND ANY/ALL BASEMENT HABITABLE SPACES AND IN ANY/ALL MECHANICAL ROOM(S)

SITE PLAN & ZONING DATA



| ZONING COMPONENT | ALLOWED | EXISTING | PROPOSED | COMMENT |
|------------------------|---------------|---------------|-----------|-------------------|
| LOT SIZE | 20,000 SQ.FT. | 20,528 SQ.FT. | NO CHANGE | N/A |
| FRONT SETBACK | 35 FEET | NO CHANGE | NO CHANGE | N/A |
| REAR SETBACKS | 35 FEET | 83.0 FEET | 65.2 FEET | N/A |
| ONE SIDE SETBACK | 15 FEET | 15.4' | NO CHANGE | N/A |
| MIN. LOT WIDTH | 100 FEET | NO CHANGE | NO CHANGE | N/A |
| MIN. LOT DEPTH | 125 FEET | NO CHANGE | NO CHANGE | N/A |
| MAX. BUILDING COVERAGE | 16% | 16.3% | 18.8% | VARIANCE REQUIRED |
| HEIGHT - MAIN BLDG | 35 FEET | NO CHANGE | NO CHANGE | N/A |

SITE PLAN BASED ON SURVEY PROVIDED BY OWNER, SECTION/BLOCK/LOT: 2.130-67-21 ZONING DISTRICT: 1F-20
PERFORMED BY : SUMMIT LAND SURVEYING P.C., ADDRESS: 61 BUTTERWOOD LN W LOT SIZE: 20,528 S.F.
DATED: 01/15/2022 IRVINGTON NY, 10533

SCOPE OF WORK:

- ADDITION TO REAR YARD RAISED PLATFORM DECK
- INSTALL ABOVE GROUND POOL

★ PLANNING BOARD APPROVAL GRANTED ON 02/02/22
★ ZONING BOARD APPROVAL GRANTED ON 02/22/22

LIST OF DRAWINGS

| | |
|-------|---|
| A-0 | OUTLINE SPECIFICATIONS, SITE PLAN, ZONING DATA, NOTES AND LEGEND |
| A-1 | EXISTING REAR YARD DECK AND EXTERIOR ELEVATIONS - PROPOSED LANDSCAPE PLAN |
| A-1.1 | PROPOSED FOUNDATION AND DECK PLANS |
| A-2.0 | PROPOSED EXTERIOR ELEVATIONS |
| A-2.1 | PROPOSED EXTERIOR ELEVATIONS AND DETAILS |
| A-2.2 | NEIGHBORING RESIDENCE - NOT ISSUED COMPARISON |

| Zone 1F-20 | | | |
|---------------------------------|--|---|-------|
| Existing Lot size : 20,000 s.f. | | Proposed lot 20,528 s.f. | |
| Lot Cover at 16% = 3,200 s.f. | | 16% of the first 20,000 square feet, plus 6% of the amount by which the area of the lot exceeds 20,000 square feet = 3,232 s.f. (allowable) | |
| Existing Building Coverage: | | 3,358 s.f. | 16.3% |
| Proposed Building Coverage: | | 3,861 s.f. | 18.8% |

I.R.C. CODE INFORMATION

| CLIMATIC & GEOGRAPHIC DESIGN CRITERIA | | | | | | | | | |
|---------------------------------------|-----------|----------------|-------------------------|-----------------------------------|----------------|---------------|---------------------|-----------------------------------|------------------|
| GROUND SNOW LOAD | WIND LOAD | WIND SPEED MPH | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM WEATHERING | TERMITE | DECAY | WINTER DESIGN TEMP. | ICE BARRIER UNDERLAYMENT REQUIRED | FROST LINE DEPTH |
| 45 | 40 | 90 | D | SEVERE | MODERATE HEAVY | SLIGHT MEDIUM | 7° | YES | 42" |



PROJECT
**PARVIN RESIDENCE
- REAR YARD DECK ADDITION
61 BUTTERWOOD LANE W
IRVINGTON, NY 10533**
SHEET: 2.130 BLOCK: 67 LOT: 21

DRAWING TITLE

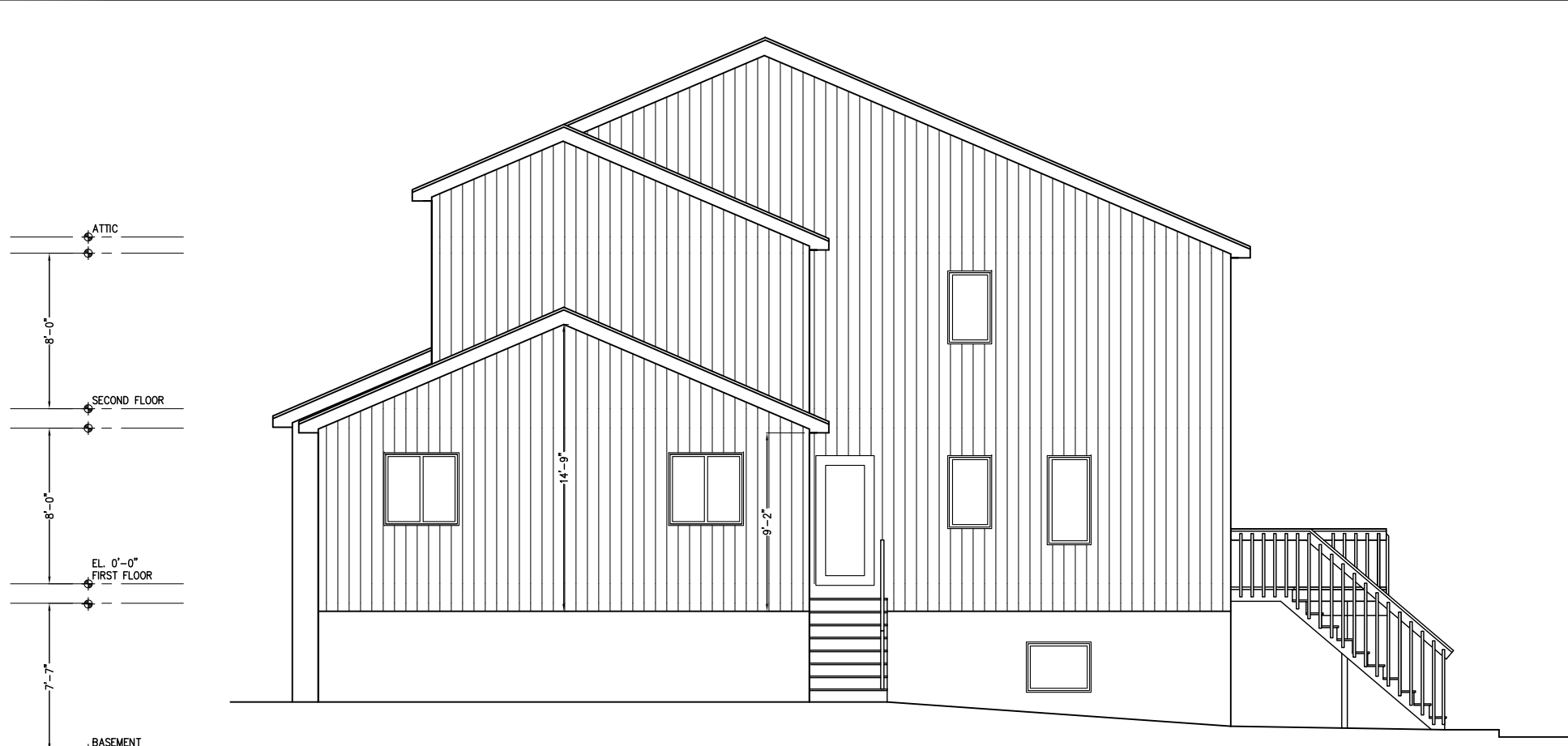
**OUTLINE SPECIFICATIONS, SITE PLAN
ZONING DATA, NOTES & LEGEND**

| DATE | SCALE | CAD FILE |
|------|-------|----------|
|------|-------|----------|

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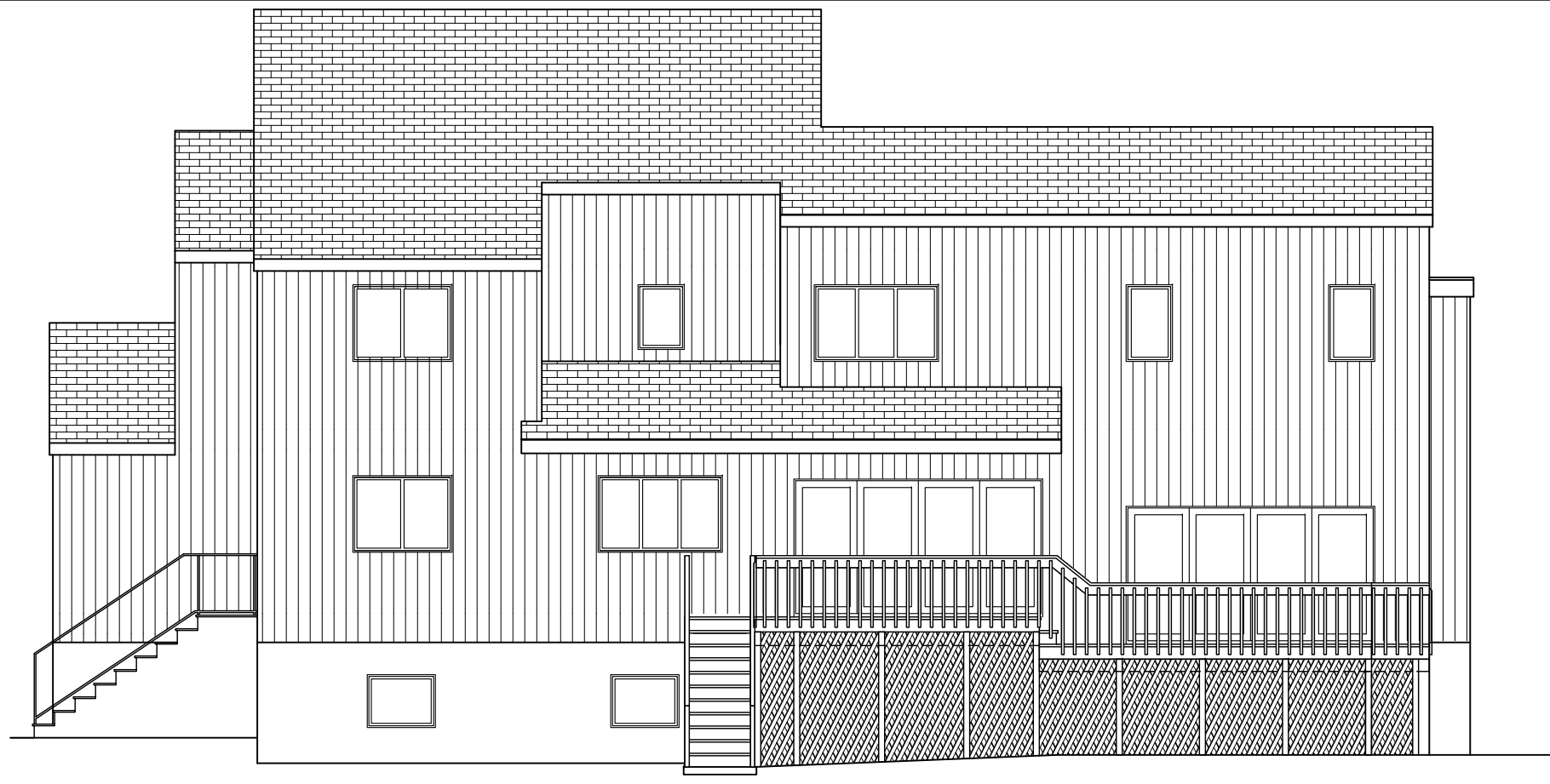
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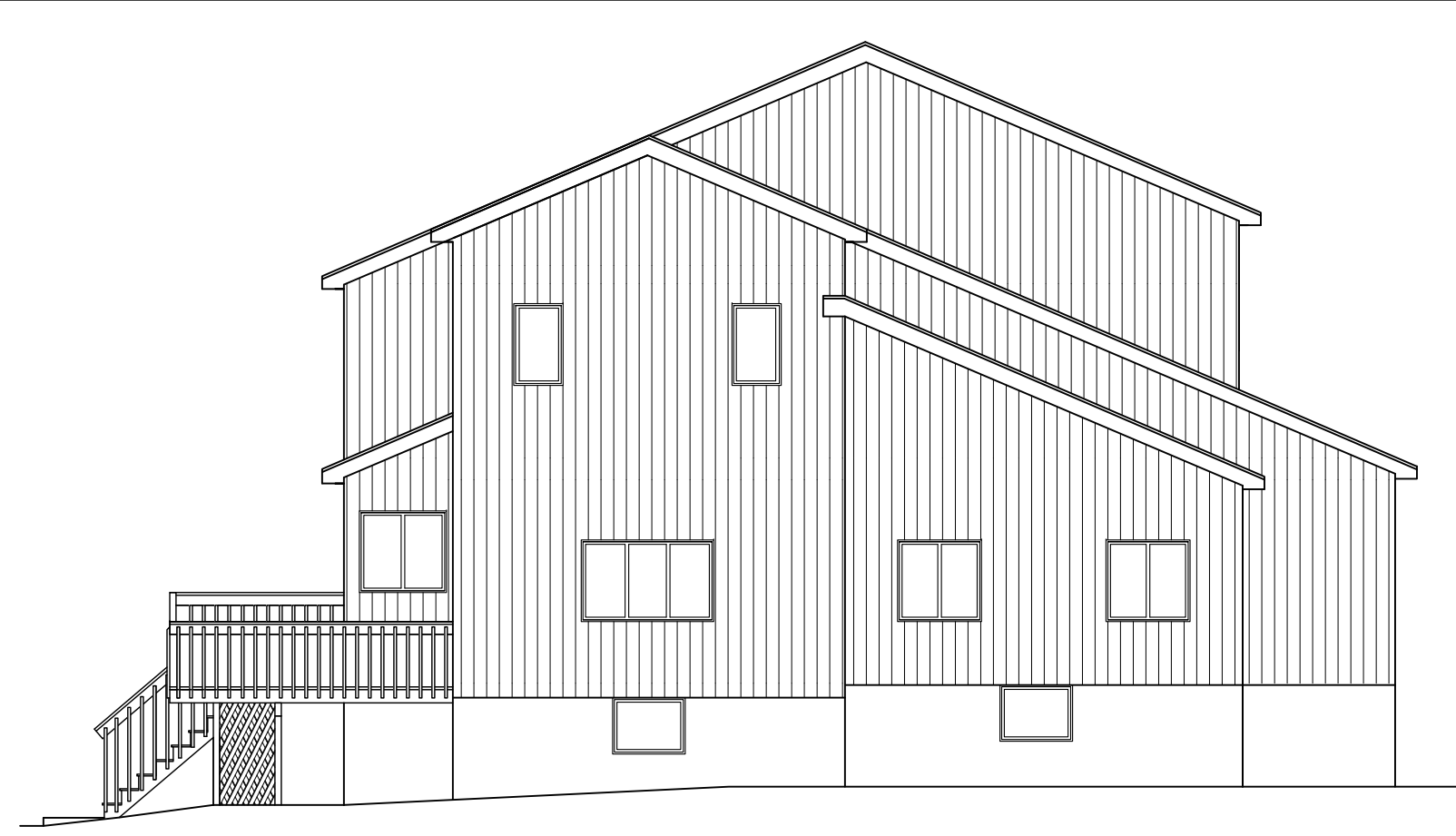
1 EXISTING SOUTH EAST EXTERIOR ELEVATION

Scale: 1/8"= 1'-0"



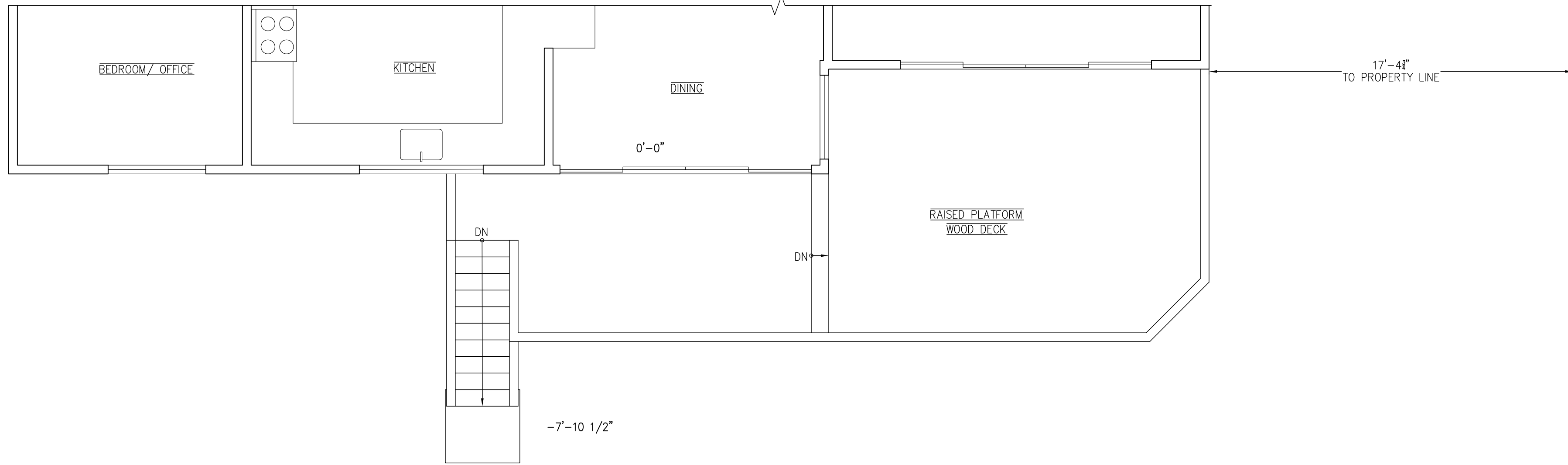
2 EXISTING NORTH EAST EXTERIOR ELEVATION

Scale: 1/8"= 1'-0"



3 EXISTING NORTH WEST EXTERIOR ELEVATION

Scale: 1/8"= 1'-0"



3a EXISTING PARTIAL FIRST FLOOR PLAN @ REAR RAISED PLATFORM DECK

Scale: 1/4"= 1'-0"



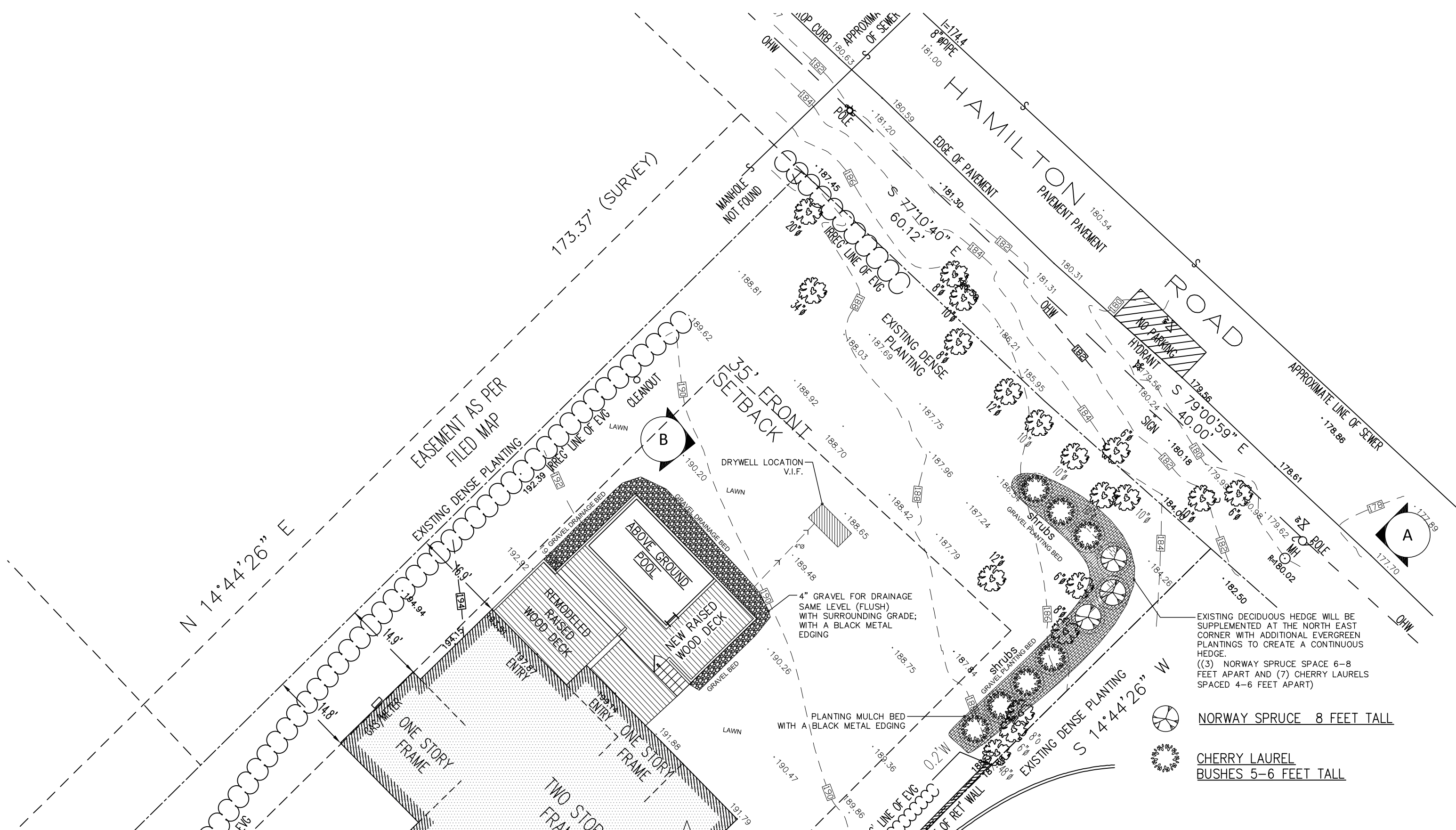
A VIEW TOWARD THE EAST PROPERTY LINE FROM HAMILTON ROAD

Scale: N.T.S.



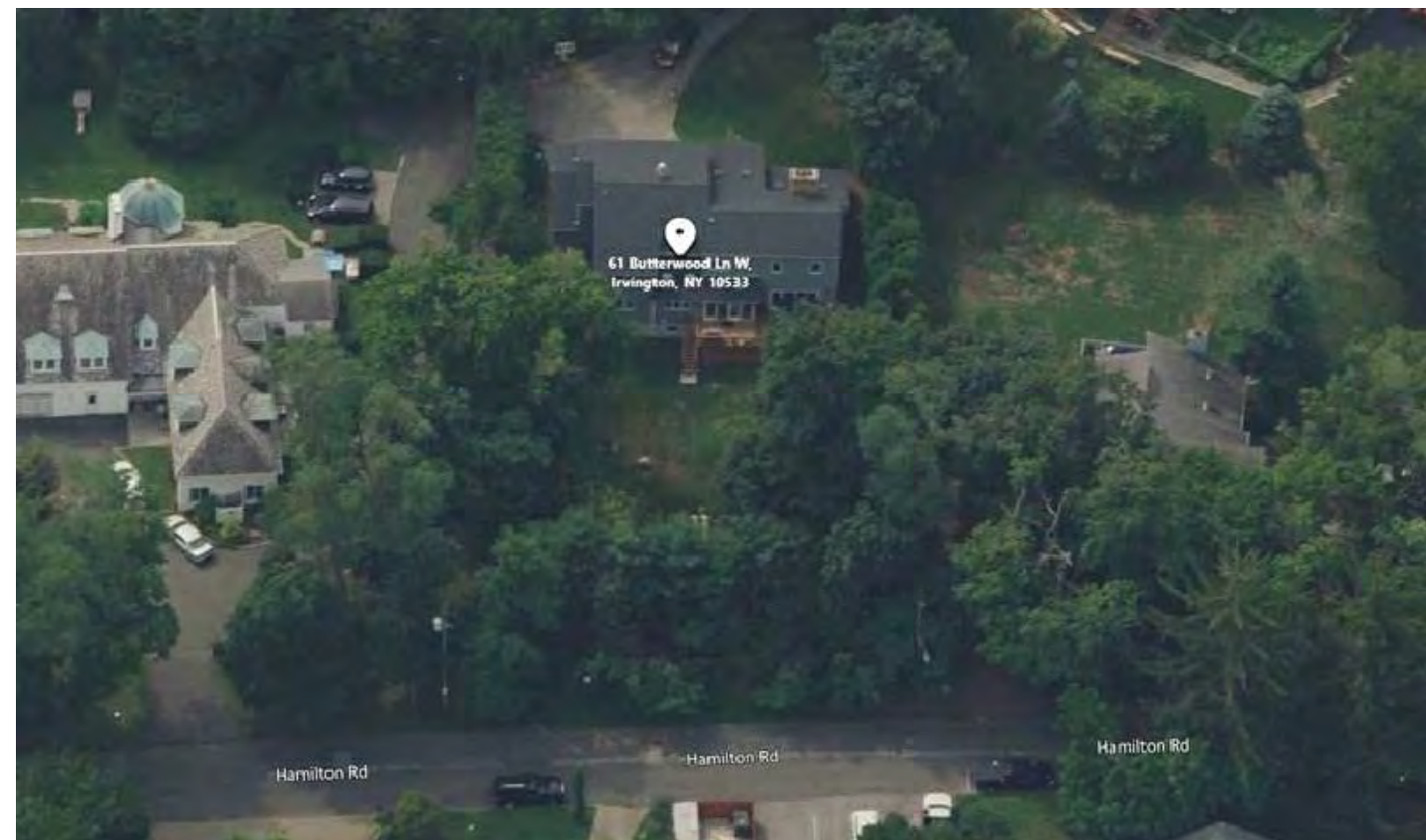
B VIEW TO HAMILTON ROAD FROM REAR YARD DECK

Scale: N.T.S.



4 LANDSCAPE PLAN AT REAR (FRONT YARD)

Scale: 1/16"= 1'-0"



| | | |
|---|----------|-----------------------------------|
| 7 | 03 02 22 | ARCHITECTURAL REVIEW BOARD |
| 6 | 02 22 22 | ZONING BOARD OF APPEALS REVISIONS |
| 5 | 02 02 22 | PLANNING BOARD REVISIONS |
| 4 | 01 10 22 | ZONING BOARD OF APPEALS |
| 3 | 12 22 21 | PLANNING BOARD REVISIONS |
| 2 | 11 17 21 | PLANNING BOARD REVISIONS |
| 1 | 10 20 21 | PLANNING BOARD REVISIONS |

| NO. | DATE | REVISION/ISSUE |
|-----|------|----------------|
|-----|------|----------------|

SEAL



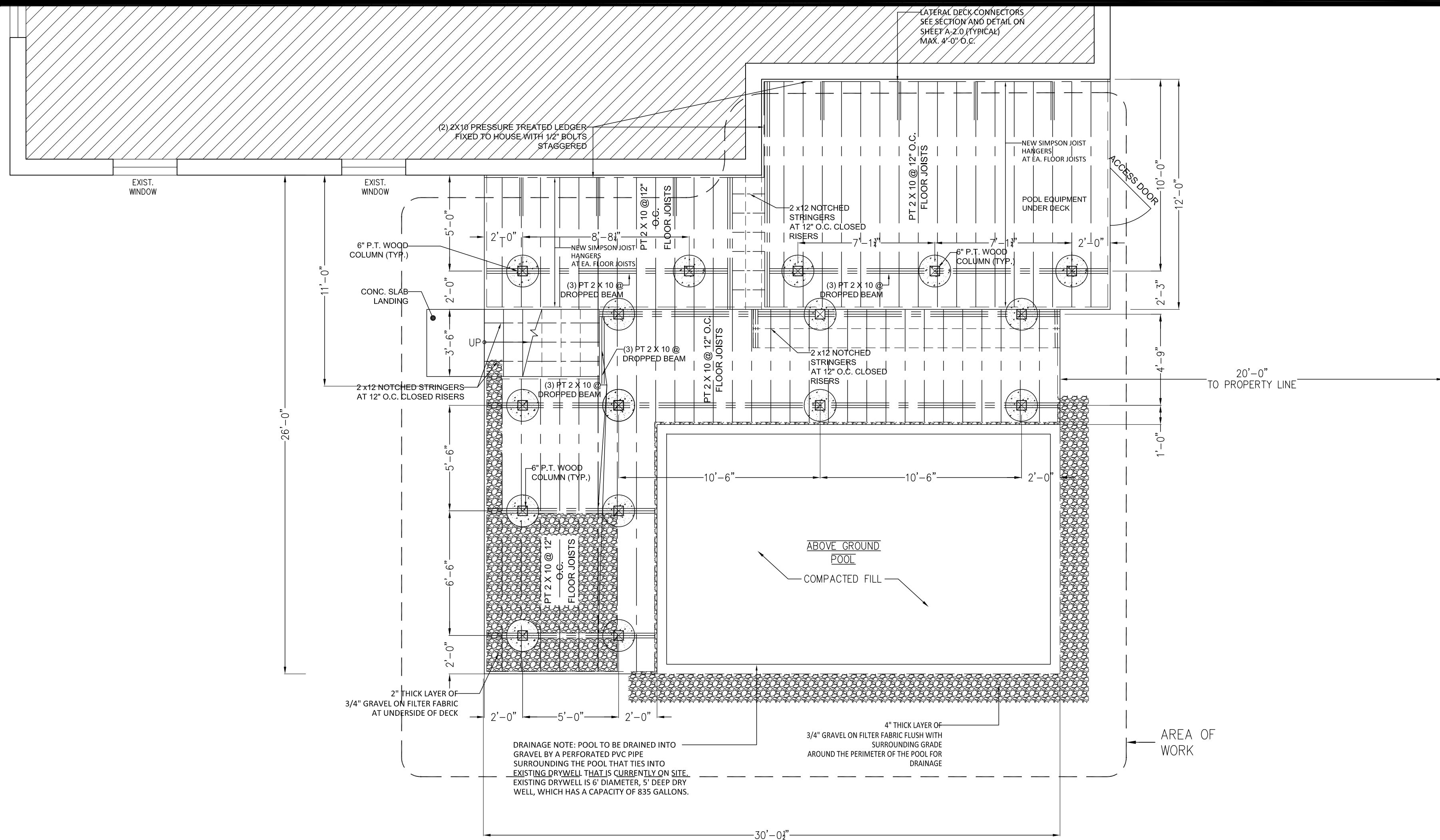
PROJECT
**PARVIN RESIDENCE
- REAR YARD DECK ADDITION**
61 BUTTERWOOD LANE W
IRVINGTON, NY 10533
SHEET: S-130 BLOCK: 67 LOT: 21

DRAWING TITLE
**EXISTING REAR YARD DECK AND EXTERIOR
ELEVATIONS - PROPOSED LANDSCAPE PLAN**

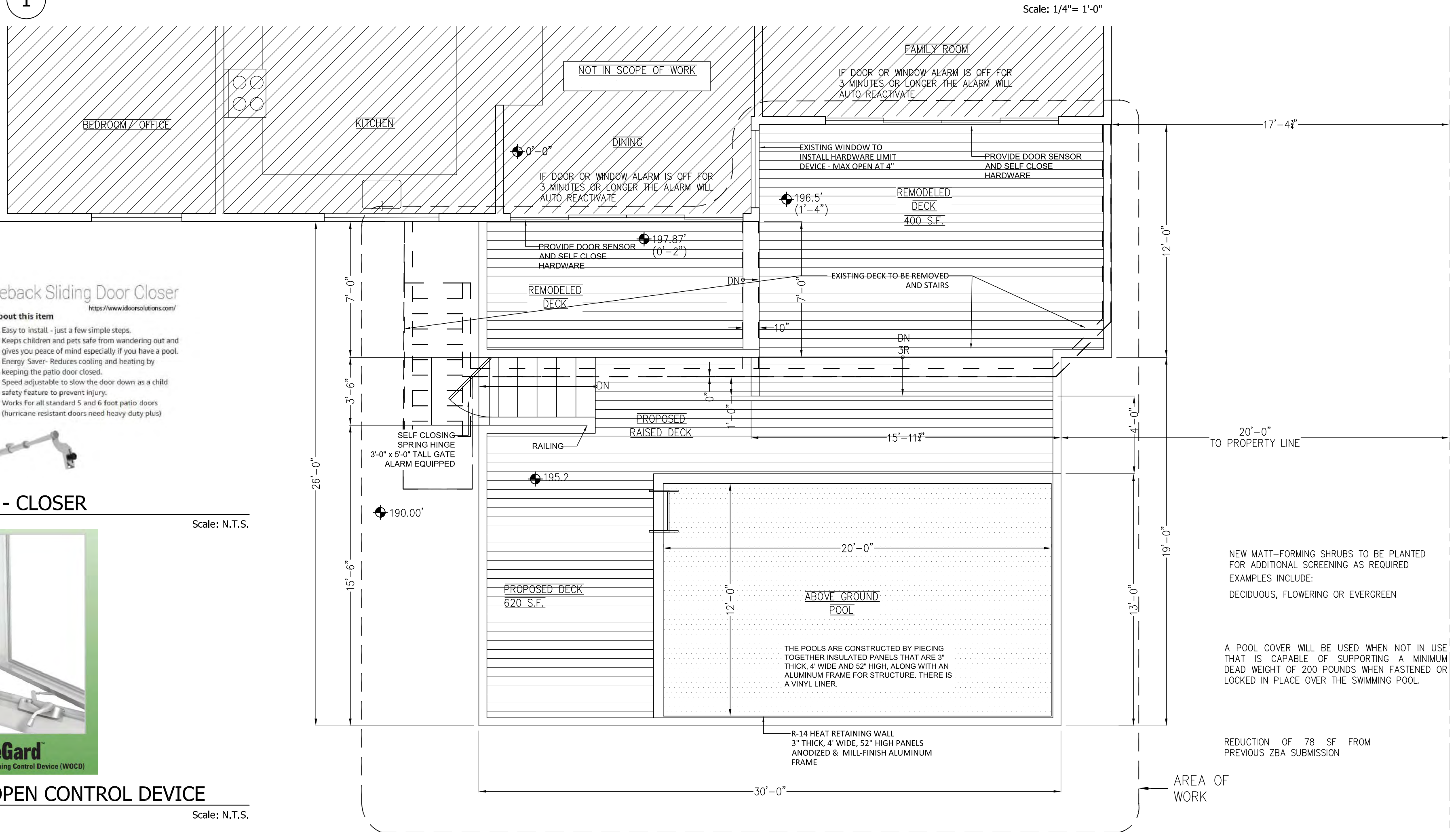
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1 PROPOSED FOUNDATION @ @ REAR RAISED PLATFORM DECK



2 PROPOSED PARTIAL FIRST FLOOR PLAN @ @ REAR RAISED PLATFORM DECK

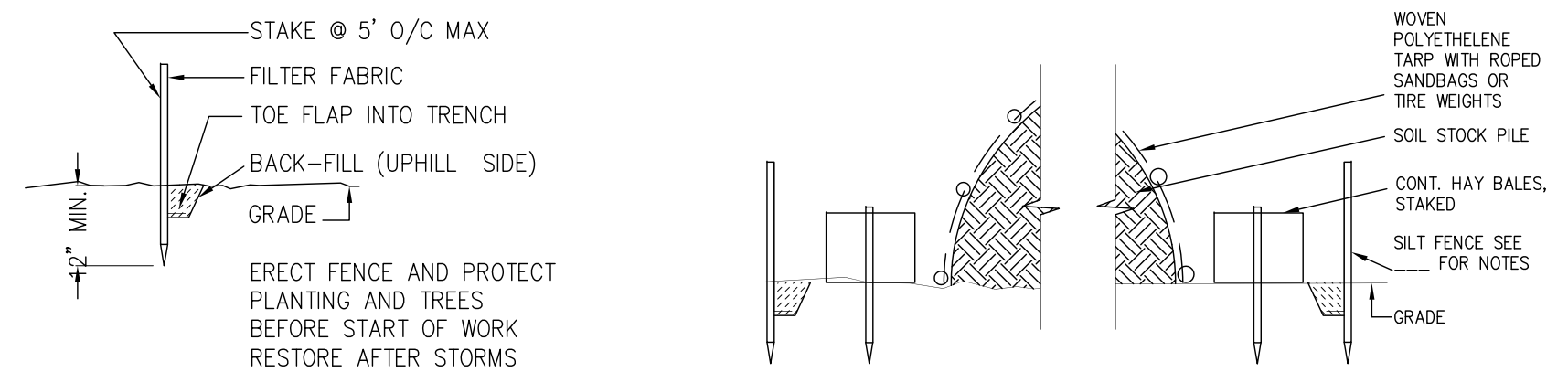
GENERAL NOTES:

THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

IMPORTED FILL MUST BE CERTIFIED AND APPROVED BY THE VILLAGE BUILDING INSPECTOR OR ENGINEER.

CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE.

NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK.



4 SILT FENCE DETAIL

1/4"=1'-0"

NO ADVERSE IMPACT WILL BE CREATED BY THE NEW IMPERVIOUS SURFACES UPON THE ADJOINING PROPERTIES AND / OR STREET DRAINAGE, AND THAT ANY PROPOSED GRADING ALONG THE EXISTING PROPERTY LINES SHALL BE CONSISTENT WITH THE EXISTING TOPOGRAPHY

THE SITE IS GENTLY SLOPING FLAT, WITH NO ROCK OUT CROPPINGS WITH WELL DRAINED SOILS AND NO PRESENT FLOODING PROBLEMS.

5 SOIL STOCKPILE DETAIL

1/4"=1'-0"

"THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS." "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY."

"CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE"

EXPOSED ELECTRICAL WIRES SHALL NOT BE LESS THAN 10 FEET ABOVE GROUND LEVEL AT THE EDGE OF THE SWIMMING POOL.

EXPOSED ELECTRICAL WIRES SHALL NOT BE NEARER THAN 5 FEET TO THE EDGE OF THE SWIMMING POOL.

NO MORE THAN 6" OF THE POOL DRAWDOWN SHALL DRAIN TO THE MUNICIPAL STORM SYSTEM AND MUST BE AT LEAST 10 DAYS AFTER THE LAST CHEMICAL TREATMENT

ALL ENTRANCES TO THE POOL THROUGH THE FENCE SHALL HAVE SELF-CLOSING AND SELF-LOCKING GATES AND THAT ALL DOORS WITH DIRECT ACCESS TO THE POOL ARE EQUIPPED WITH ALARMS AS REQUIRED BY SECTION R326.4.2 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

POOL COVER MUST BE CAPABLE OF SUPPORTING A MINIMUM DEAD WEIGHT OF 200 POUNDS WHEN FASTENED OR LOCKED IN PLACE OVER A SWIMMING POOL.

THE POOL COVER MUST FULLY COVER POOL WHEN NOT IN USE AND DURING THE PERIOD OF NOVEMBER 1 THROUGH MARCH 31.

NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK.

POOL DESIGN SHALL CONFORM TO THE REQUIREMENTS OF SECTION R326 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE.

ANY SINGLE TREES WITH A DIAMETER OF EIGHT INCHES OR MORE MEASURED THREE FEET ABOVE THE BASE OF THE TRUNK - TREE PROTECTION WILL BE PROVIDED.

"AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.

| | | |
|---|----------|-----------------------------------|
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| 6 | 02 22 22 | ZONING BOARD OF APPEALS REVISIONS |
| 5 | 02 02 22 | PLANNING BOARD REVISIONS |
| 4 | 01 10 22 | ZONING BOARD OF APPEALS |
| 3 | 12 22 21 | PLANNING BOARD REVISIONS |
| 2 | 11 17 21 | PLANNING BOARD REVISIONS |
| 1 | 10 20 21 | PLANNING BOARD REVISIONS |

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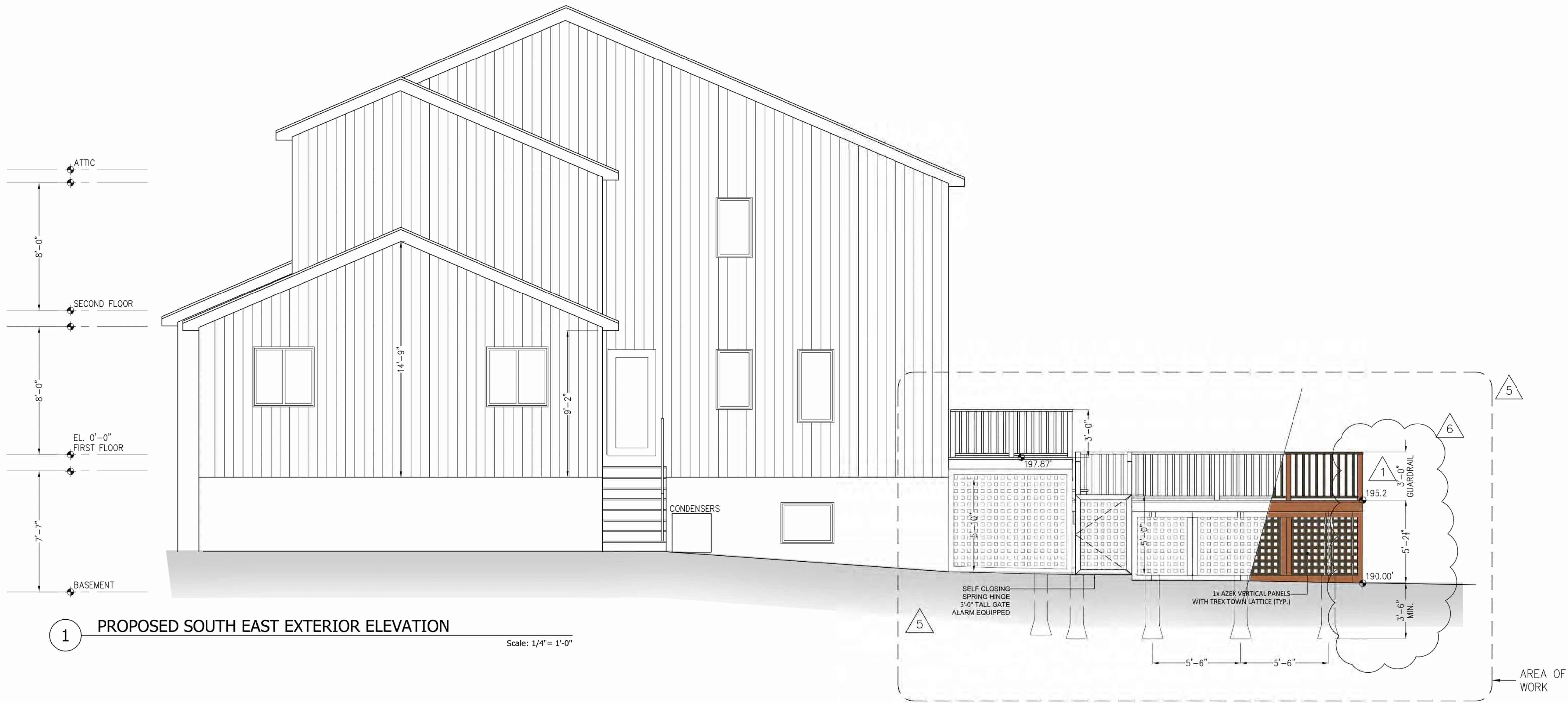
PROJECT
**PARVIN RESIDENCE
- REAR YARD DECK ADDITION
61 BUTTERWOOD LANE W
IRVINGTON, NY 10533
SHEET: 2,130 BLOCK; 67 LOT; 21**

DRAWING TITLE
**PROPOSED FOUNDATION
AND DECK PLANS**

| DATE | SCALE | CAD FILE |
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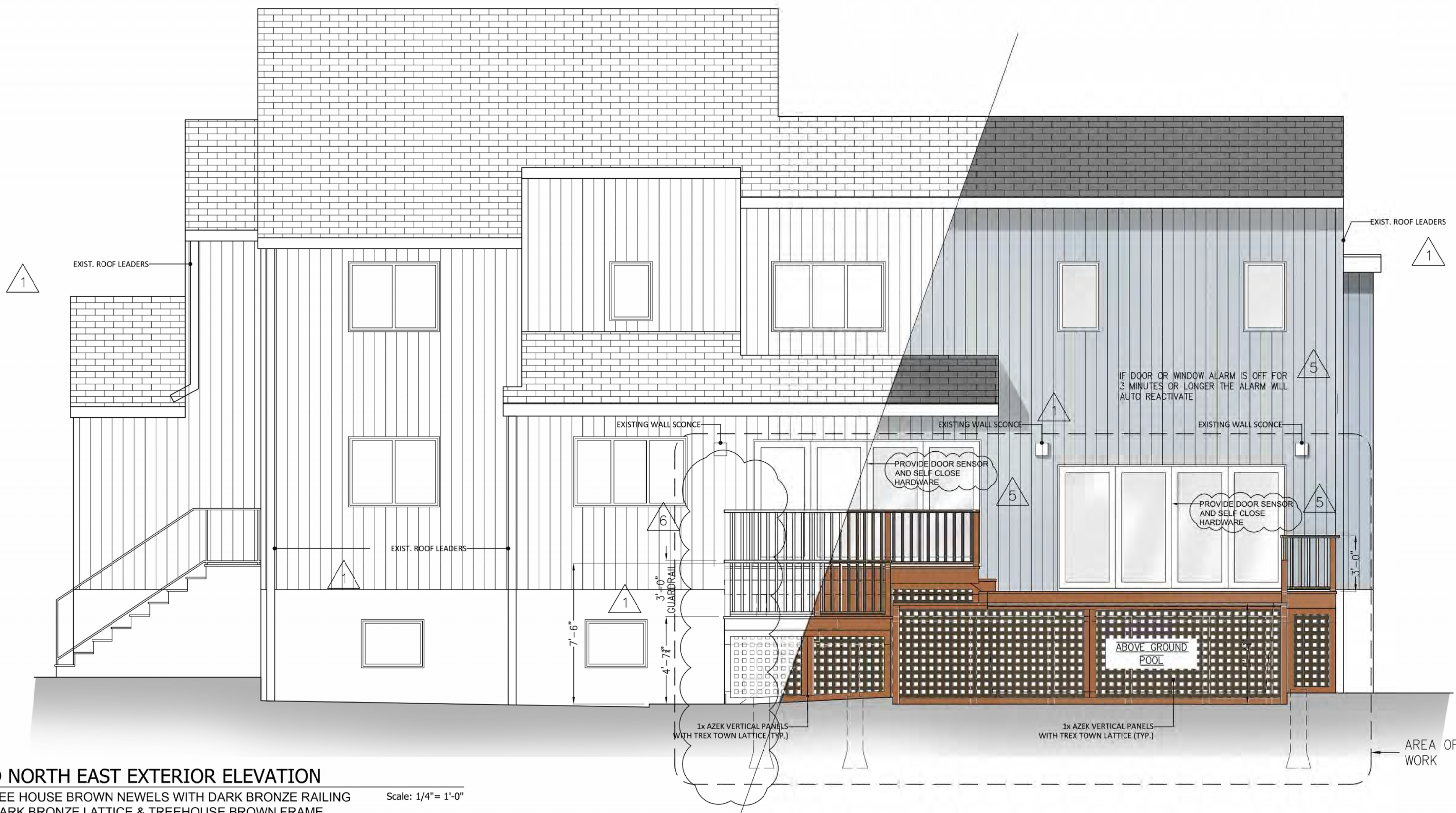
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1 PROPOSED SOUTH EAST EXTERIOR ELEVATION

Scale: 1/4" = 1'-0"



2 PROPOSED NORTH EAST EXTERIOR ELEVATION

VERSION C: TREE HOUSE BROWN NEWELS WITH DARK BRONZE RAILING & DARK BRONZE LATTICE & TREEHOUSE BROWN FRAME

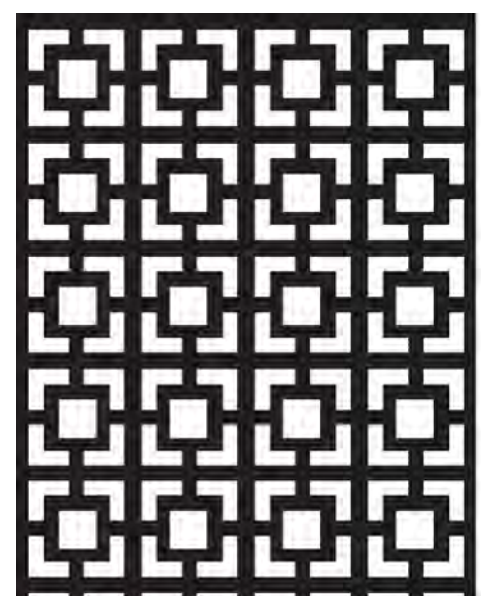
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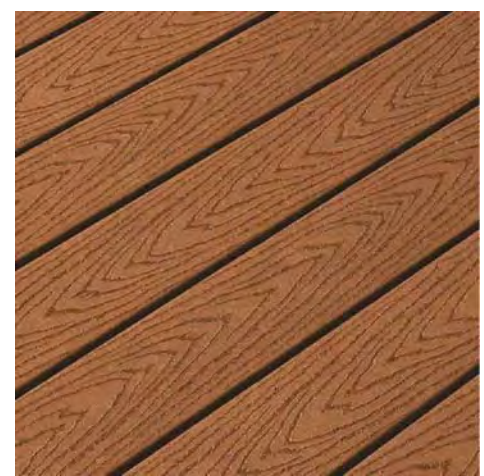
NORWAY SPRUCE



CHERRY LAUREL



TREX LATTICE (TOWN)



TREX DECKING

LATTICE COLOR: VINTAGE LANTERN

RAILING COLOR: DARK BRONZE ALUMINUM TO MATCH LATTICE



DECKING, FASCIA, & LATTICE FRAME: COLOR: TIKI TORCH (TRANSCEND SERIES)

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IRVINGTON, NY 10533
SHEET: S-130 BLOCK: 67 LOT: 21

DRAWING TITLE
PROPOSED EXT. ELEVATIONS

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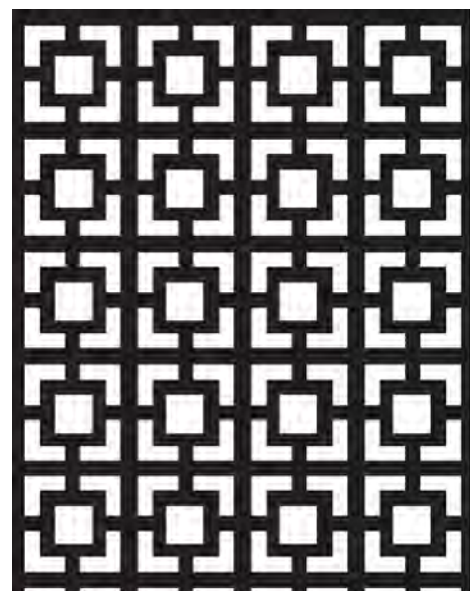
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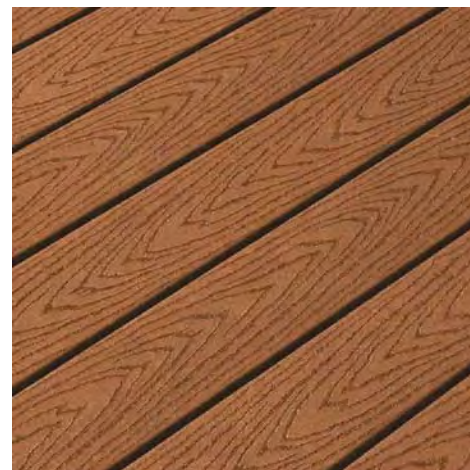
NORWAY SPRUCE



CHERRY LAUREL



TREX LATTICE (TOWN)

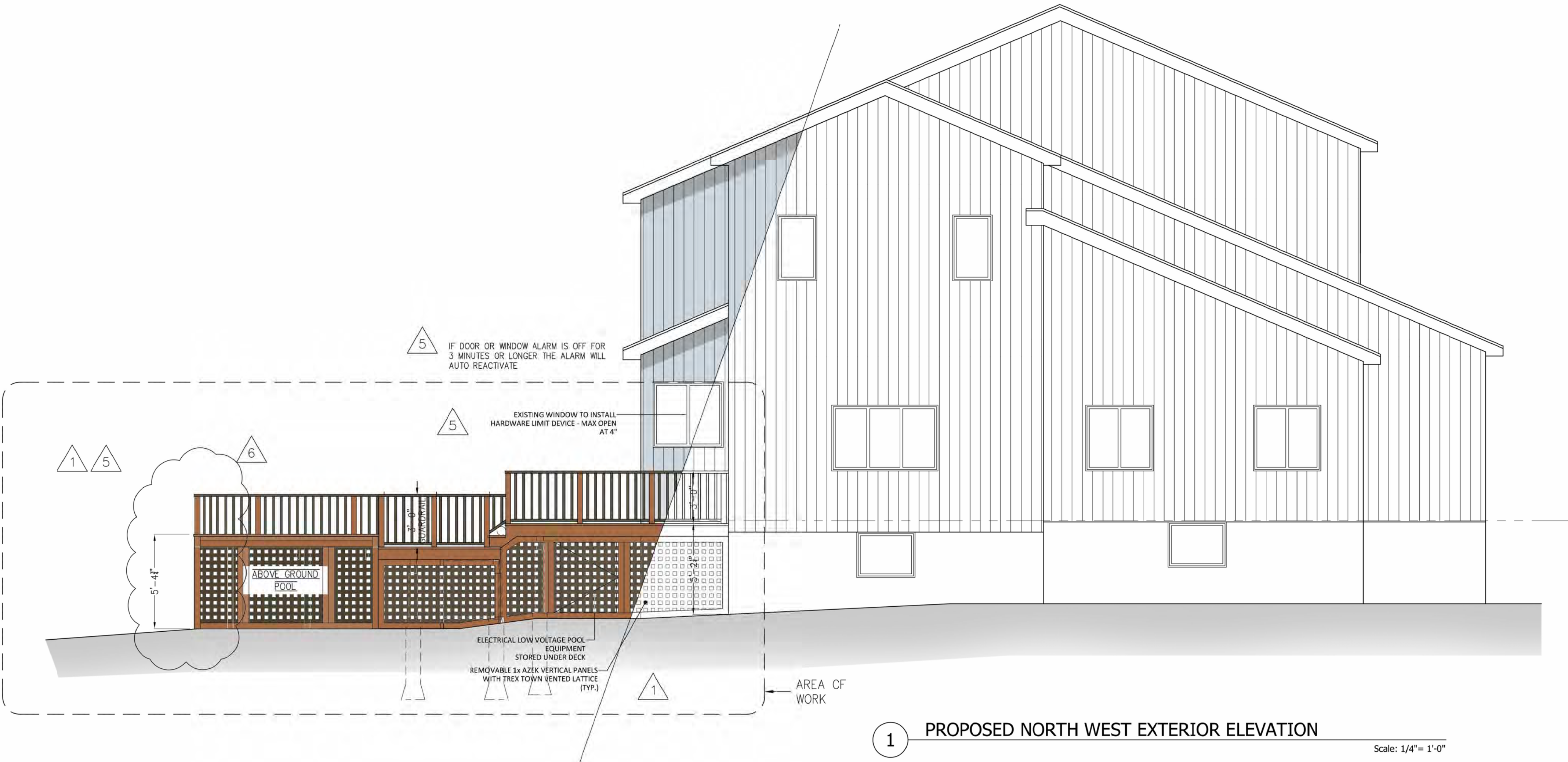


TREX DECKING

LATTICE COLOR: VINTAGE LANTERN

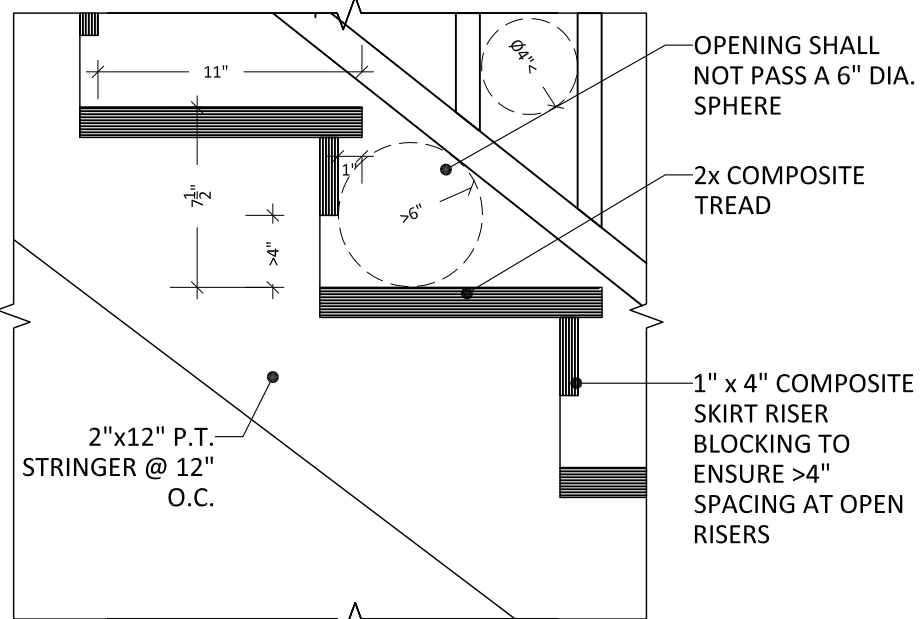
RAILING COLOR: DARK BRONZE ALUMINUM TO MATCH LATTICE

DECKING, FASCIA, & LATTICE FRAME: COLOR: TIKI TORCH (TRANSCEND SERIES)



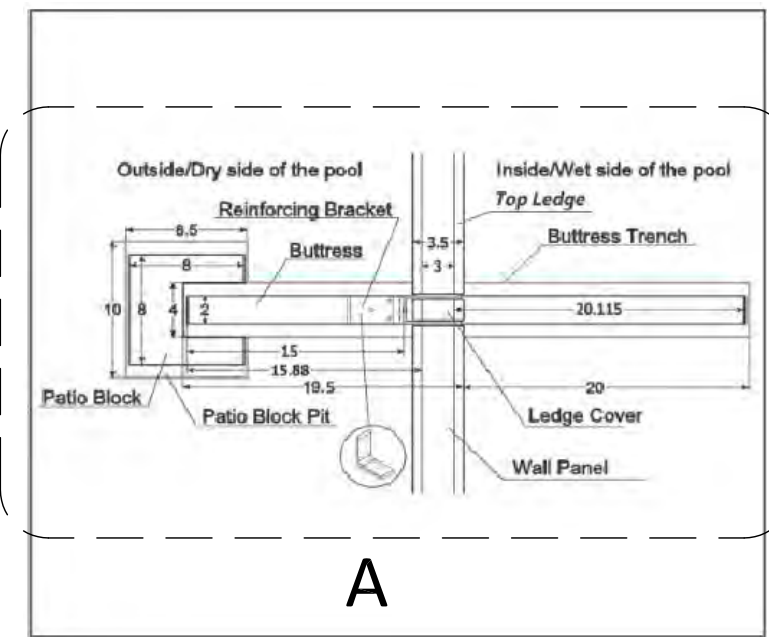
1 PROPOSED NORTH WEST EXTERIOR ELEVATION

Scale: 1/4"= 1'-0"

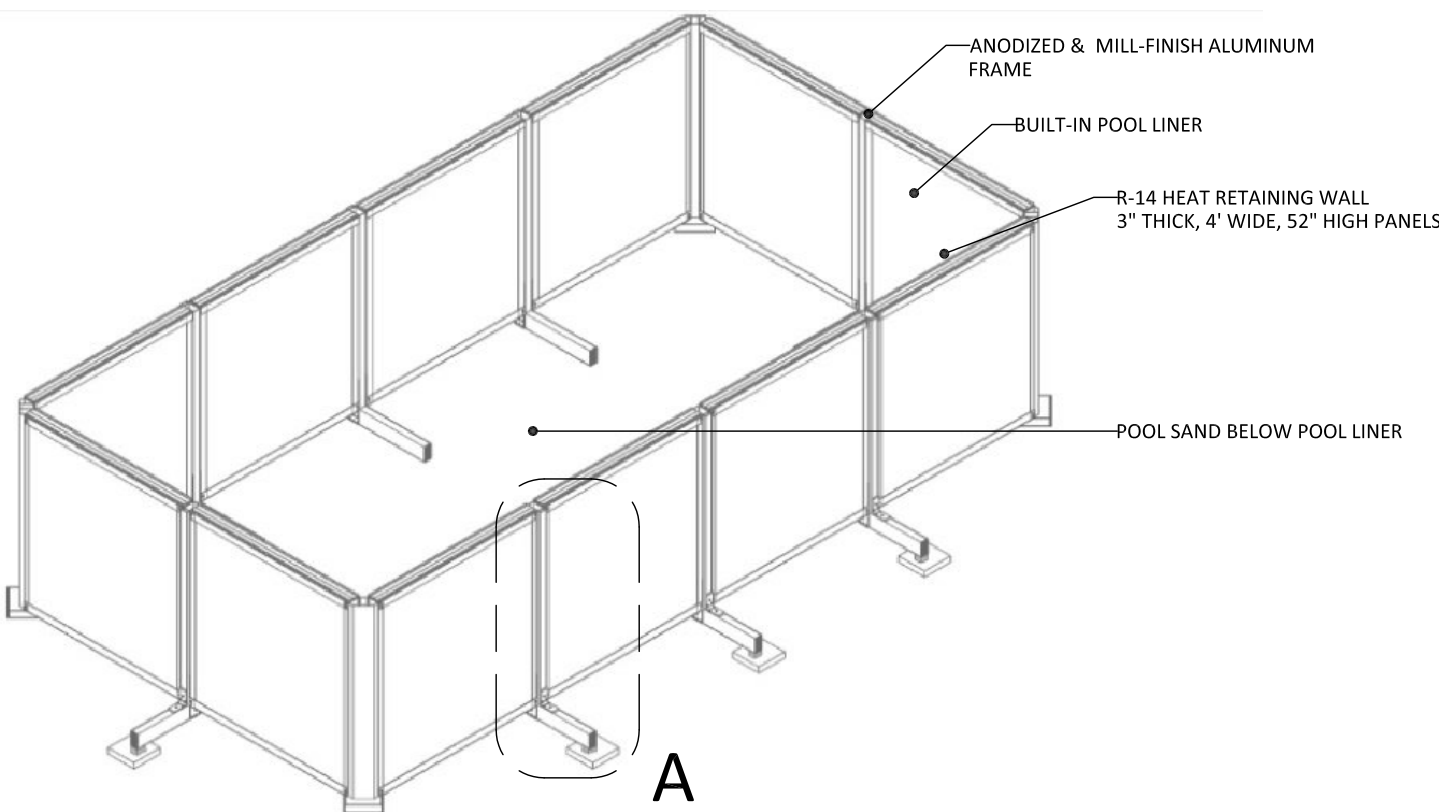


2 DETAIL @ DECK STAIR

Scale: 1 1/12"= 1'-0"

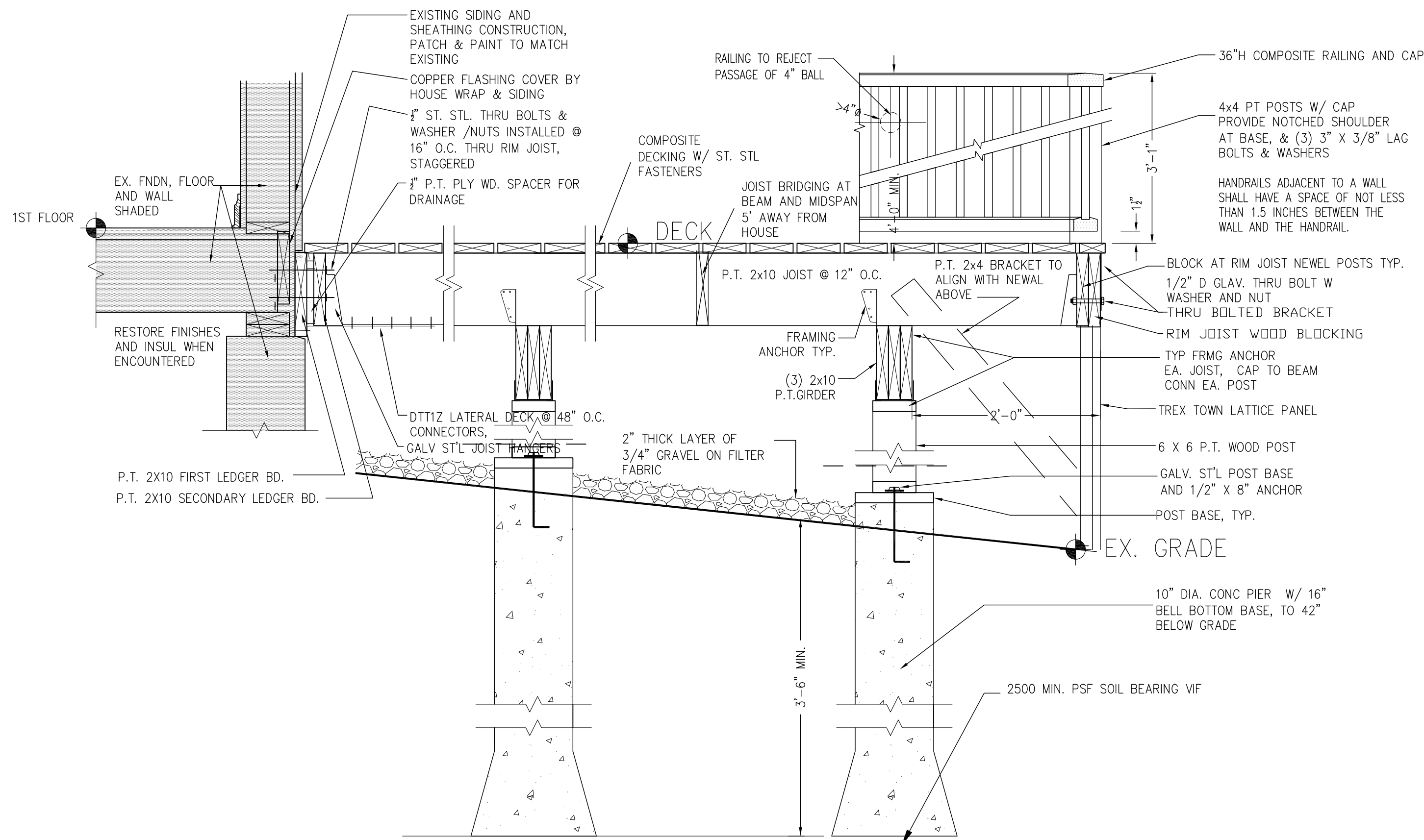


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4 POOL DETAILS AND ELEVATION

Scale: N.T.S.



3 DETAIL SECTION @ DECK

Scale: 1"= 1'-0"

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SHEET: S.130 BLOCK: 67 LOT: 21

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