

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	237	Date:	03/02/2022
Job Location:	65 HAVEMEYER RD	Parcel ID:	2.170-77-2
Property Owner:	Wade, Nishan & Lisa	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	IF-40
Common Name:			

Applicant (OWNER) NISHAN + LISA WADE 65 HAVEMEYER ROAD IRVINGTON NY. 10533	Contractor

ARCHITECT: WILLIAM P. WITT
914-276-0225

Description of Work

Type of Work:	Addition	Applicant is:	OWNER
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	450000.00	Property Class:	1 FAMILY RES

Description of Work

Build a partial second floor addition and renovate portions of the existing house.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 65 HAVEMEYER RD

Parcel Id: 2.170-77-2

AFFIDAVIT OF APPLICANT

I NISHAN WADE being duly sworn, depose and says: That s/he RESIDES at:
65 HAVEMEYER ROAD and that s/he is:


- ☒ The owner of the property described herein.
☐ The _____ of the New York Corporation _____ with offices at:
_____ duly authorized by resolution of the Board of Directors, and that
said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said
Partnership is duly authorized by the Owner to make this application.
☐ The Lessee of the premises, duly authorized by the owner to make this application.
☐ The Architect or Engineer duly authorized by the owner to make this application.
☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 4th day of March of 2022 Nishan Wade


Notary Public / Commission of Deeds

JEAN A. CONNAIRE
Notary Public, State of New York
No. 01CO6137395
Qualified in Westchester County
Commission Expires 11/21/2025


Applicant's Signature 

Lisa Wade

OWNER'S AUTHORIZATION

I Wade, Nishan & Lisa as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 703.850.6081 Owner email address nishan.wade@gmail.com

- ☒ Nishan and Lisa Wade I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 4th day of March of 2022 Nishan Wade


Notary Public / Commission of Deeds

JEAN A. CONNAIRE
Notary Public, State of New York
No. 01CO6137395
Qualified in Westchester County
Commission Expires 11/21/2025


Applicant's Signature 

Lisa Wade

LICENSED IN
NEW YORK
NEW JERSEY
CONNECTICUT



I hereby certify this survey to: NISHAN WADE & LISA WADE
EQUITY HOME CAPITAL LLC
TITLE ONE INC.

William J. Shanahan
N.Y.S. Lic. 49586

"HAVEM65"

C89-578

GENERAL SPECIFICATIONS

DIVISION I - GENERAL CONDITIONS

- 1.1 Scope of Work: Provide all labor, materials and equipment required to complete all work shown on drawings and work required for a fully completed job. All materials and workmanship shall be of the best quality. The specs below and plans included are set up as general limits and minimum standards for the scope of work so that the form and structural requirements are clearly established.
- 1.2 Code Compliance: All work and materials shall conform and comply with the current versions of the following authorities & codes:
2020 Residential Code of NYS
2020 Energy Conservation Construction Code of NYS
2020 Plumbing Code, 2020 Fire Code, 2020 Mechanical Code & 2020 Fuel Gas Code of NYS
2020 Existing Building Code of NYS
2017 National Electrical Code
Village of Irvington Municipal Code

- 1.3 Work in Cold Weather: No work with materials containing water shall be carried out during unreasonably cold weather.

Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken:

- a. Water shall be heated and kept warm.
b. Sand shall be heated and kept warm.
c. An anti-freeze such as "Euco" made by Euclid Chemical Co. "Tri-Mix" by Sonnenborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
d. Material shall be placed as soon as possible and shall not be permitted to get too cold.
e. No material containing ice or frozen parts shall be used.

Furthermore, all work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted.

- 1.4 Permits: The contractor is responsible for obtaining any and all permits including the general permit from the local building department. Construction trade shall be responsible for obtaining permits relevant to their respectable trades (i.e. UL - electrical permits and inspection; plumbing permits and inspections if applicable). final payment shall be subject to the contractor providing the owner with a Certificate of Occupancy upon completion of the job.

DIVISION II - SITEWORK: EXCAVATION AND BACKFILL

- 2.1 General: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work includes building (foundation) excavation, retaining walls, backfill and rough grading.
- 2.2 Ordinances: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workpersonlike manner.
- 2.3 At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or floor beams and joists are installed.
- 2.4 Footing Trenches: Excavate for all footings and proper subgrades. Bottom of all footings shall be level and kept free of standing water at all times. All footings shall be excavated to minimum depths shown on drawings. All footings shall be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F.
- 2.5 Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.
- 2.6 Where rock is encountered, the contractor shall notify the architect immediately. The contractor shall expose all areas cleanly for inspection. The architect and his structural consultant will advise the contractor of the measures for construction.
- 2.7 Backfill is to be comprised of clean earth, free from any wood or debris.
- 2.8 Backfill and subgrades below slabs shall be placed in 6" lifts and to be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper. All other backfill to be placed in 12" lifts and compacted at every lift.
- 2.9 Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.
- 2.10 Finish grade is to slope away from the building on all sides and to follow grading plans if provided.
- 2.11 Termite and pest control: Provide a continuous fiberglass seal in between p.t. sill plates and top of foundation walls.

DIVISION III - CONCRETE

- 3.1 General: Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.
- 3.2 Concrete: "Ready-Mix" product, proportioned to produce a min. 3,000 psi comp. strength concrete for use in found. walls, footings, grade beams and piers and interior floor slabs. Min. 3,500 psi comp. strength concrete shall be used for all horizontal surfaces exposed to the weather including: porches, steps, walks and garage floor slabs, batched at a central plant; and transported dry to the site. Water for a four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes.
- 3.3 Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with 6x6 #10 mesh reinforcing, steel trowel finish. (At the owners option, garage slabs shall be (5") thick with 6x6 #10 mesh reinforcing).
- Subgrades shall be maintained eight inches (8") below finish floor. Over entire area of subgrade, fill with minimum four inches (4") compacted bank run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.
- 3.4 Steel Reinforcing: Provide reinforcement for all footings where indicated on drawings. Consult architect if soil bearing capacity does not have a minimum bearing capacity of 2,000 P.S.F., or if footings are set on fill and rock, for steel reinforcing requirements.

DIVISION IV - MASONRY

- 4.1 General: The work required under this section consists of all masonry work related items necessary to complete the work indicated on drawings and specified herein and/or as required by job conditions.
- 4.2 Concrete Block:
- a. All concrete block at below grade conditions shall be standard 60% solid 8" high x 16" long units in widths indicated on drawings. Blocks shall extend from top of footings to 8" above finished grade, or as indicated on sections and details.
- b. Provide square finished end blocks at all ends of block walls above grade.
- c. All block shall be laid in running bond, reinforced every second course with 9GA galvanized wire "Dur-O-Wall" reinforcing.
- d. Provide a raked joint at all exposed concrete block.

DIVISION V - METALS

- 5.1 General: Steel construction shall conform to AISC Manual of Steel Construction, 9th Edition.
- 5.2 Material: All structural steel shall conform to ASTM A-36. Columns shall be 3" I.D. tube columns with sizes and locations indicated.
- 5.3 Anchor bolts: shall be A36 or A307 steel, placed in all foundation walls, set up high to attach the sillplates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates. If masonry is used, fill top of all block walls solid. The top of all foundation walls shall receive 1/2" round x 12" long anchor bolts, in concrete and 16" long in masonry, 4'-0" O.C., maximum 1'-0" from corners and a minimum of two bolts in each plate. Minimum anchor bolt embedment into concrete shall be 7" as per R403.1.6
- 5.4 All structural steel shall be shop painted with gray zinc chromatic primer 2.0 mils thick.
- 5.5 Provide shop drawings for all structural steel to architect for approval prior to ordering steel.

DIVISION VI - WOOD

- 6.1 Rough Carpentry
- Materials:
- a. Framing Lumber: All first floor sill plates shall be construction grade, "S.Y.P." pressure treated minimum Fb=1550 psi. All other framing shall be construction grade "Doug. Fir" No. 2 and better, with a minimum Fb of 1000 psi and a maximum moisture content of 19%.
- b. Cross bridging: "Doug. Fir" No. 2 and better construction grade, 5/4 x 3, 8' x 0" maximum O.C. in all floor and roof framing.
- c. Subfloor sheathing shall be one layer 3/4" T&G CD interior plywood glued and screwed to floor joists as per manufacturers specs.
- d. Roof sheathing shall be 5/8" CDX; wall sheathing shall be 5/8" CDX plywood.
- e. All sheathing shall have a panel span rating of 32/16. Panel grades shall be APA rated "Sturd-I-Floor" for subfloors.
- f. Face grain of plywood to be perpendicular to joists and studding, with staggered joints. Provide clips where necessary.
- g. Wall studs: shall be 2x6 16" O.C. for exterior walls and 2x4 16" O.C. for interior partitions, or as noted otherwise.
- h. Rafters and floor joists shall be sizes, spans and locations as indicated on framing plans.
- i. All LVL beams indicated on framing plans shall be as manufactured by "Weyerhaeuser"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.
- j. All engineered framing members indicated on framing plans shall be as manufactured by "Weyerhaeuser"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.

Workmanship and Construction:

- a. All partitions to have single shoe and double cap plates, double studding around all openings, at corners and property trussed across all openings. Corners for all rooms to be framed solid for interior finish. Wood cats shall be placed between studs in all bearing partitions and those over 8' high.
- b. Beams and girders: Three-inches (3") minimum bearing over all supports. All headers and tail beams not supported by wood ledgers shall rest on metal hangers, "Teco" or equal. Splice over supports.
- c. Provide solid post or solid studding below all beams and girders at bearing points. Provide single jack studs at all openings to support headers.
- d. Set all beams, girders, joists and rafters with natural crown up.
- e. All wood plates and sills in contact with concrete shall be pressure teated, S.Y.P.
- f. Nailing: All perimeter (exterior) walls and interior bearing walls studs, jack studs and posts, shall be toe-nailed to sole and cap plates with three 16 penny nails, one nail on one side and two on opposite. Double end nailing is permitted to set partitions and can remain on non-bearing interior walls only.

6.2 Finish Carpentry MATERIALS

- a. 1. Exterior siding shall be "Hardie panel" vertical board and batten siding. Color as selected by owner. Provide owner w/ samples prior to installation. Remove existing siding and install new as per elevations
2. Exterior non-sided areas (panels, soffits, underside of cantilevered projections) shall be 1/2" Hardie panels.
- b. Exterior trim, bases and fascias shall be 1x & 5/4x Hardie trim or Azek or as noted on drawings.
- c. Interior trim around doors, windows and base shall be as indicated on drawings and general notes or to match existing as selected by owner. (See notes & details Sheet A-301)
- d. Wood strip flooring shall be oak plank 2 1/4" & 3 1/2" x 3/4" thick oak or as indicated on plans Laid over building paper in all areas of new work except bathrooms and utility rooms. or as indicated on drawings. (verify w/ owner) Match existing oak grade & allow for proper acclimation & installation to reduce chance of gaps. Protect existing oak flooring at all areas of work w/ ram board or approved eqval.

Workmanship:

- a. Work shall be accurately and neatly done, properly plumbed, squared or leveled with tight joints.
- b. Exterior hardware and all exterior nails shall be galvanized or of non-ferrous rust-resistant metal. Countersink nails and set nails in putty where face nailing is required. All nailing shall be blind wherever possible.

6.3 Wood Decks: n/a

Materials: All lumber for deck framing shall be decay resistant, pressure treated Southern Yellow Pine or equal, with a minimum of 1550 psi stress grade. All rails shall be as indicated on drawings. All decking shall be 5/4" X 6" Trex transcend decking. All components of railing & deck to be finished in color as selected by owner.

Workmanship and Construction:

- a. All framing not resting on wood leaders shall rest on metal hangers, "Teco" or equal.
- b. Decking members shall be installed with a "Finish-Nail" thickness separation to allow drainage of water and shrinkage.
- c. Deck railings shall have a minimum height of 3'-0". Spacing between railing members shall not exceed 3.9".
- d. No framing or finished wood shall be within 8" of finished grade.

DIVISION VII - THERMAL AND MOISTURE PROTECTION

- 7.1 Dampproofing: All foundation walls below grade shall be treated "Tuff N Dri" spray-on membrane by Owens/Corning. Follow manufacturer's instructions strictly for application. Provide a 1" thick protection board between membrane and earth. Material shall not extend above finished grade, and shall extend down to bottom of footing.
- 7.2 Insulation: Shall be fiberglass batt-foil in the following thickness: Closed cell spray foam of matching R values may be substituted.
- a. Exterior walls: Fiberglass Batt (R-15) @ existing 2x4 walls & (R-21) @ new 2x6 walls. or spray foam equiv. at R-6.5 per inch closed cell
- b. Roof / Clg: (R-49) Batts or spray foam equiv. at R-6.5 per inch closed cell
- c. Floor: Fiberglass Batt 9" thick (R-30).
- d. Slab edge: rigid board, 24" long with a minimum R-10 rating.
- 7.3 Roofing: Shall be GAF Lifetime shingles as selected by owner. Roof shingles shall be set above 15# felt building paper. Also install "GAF Weatherwatch" waterproof underlayment along all eaves, valleys and crickets for a distance of 6'-0" from lowest edge up sloping portion of roof. Install in accordance with manufacturers instructions.

- 7.4 Flashing: Flash all hips, valleys, projections through roof, intersections of roof and vertical surfaces, including drip and rake edges, and any other conditions shown on the drawings or requiring flashing. Finished surfaces shall be copper to match existing finish or as otherwise indicated on drawings.

(All flashing, i.e., drip and rake edges, counter flashing, etc., shall be aluminum or copper as called out on drawings. All seams shall be soldered and shall have a minimum overlap of 6". All flashing along drip and rake edges shall be secured to roof cross framing & shall extend a minimum of 18" under the roof shingles. All exposed drip and rakes shall have a maximum of 1 1/4" exposure along the fascias.)

- 7.5 Sealants: Provide sealant around all doors, windows and other openings for a water-tight condition. Sealant shall be gun grade gum consistency. Color to be selected by architect.
- 7.6 Air Infiltration Barrier: All exterior walls shall be wrapped with "Tyvek" air infiltration barrier as manufactured by "Dupont". Follow manufacturer's instructions for installation.
- 7.7 Ridgevents shall be "Cor-Vent" corrugated plastic installed in strict accordance with manufactures directions ready to receive capshingles or equal. Vents shall run continuous across ridges to within 6' of ends.
- 7.8 All soffit vents shall be material as noted on drawings or to match existing.
- 7.9 Install 1/2 round metal gutters and leaders at front porch only. leader to extend to splash blocks and or existing grawl.

DIVISION VIII - DOORS AND WINDOWS

- 8.1 Interior Doors: The contractor may have doors pre-hung if he coordinates each door type. Doors shall be (1) panel prehung 1 3/4" thick solid composite or to match existing in sizes as indicated on plans. Mortise hardware as provided by owner. Provide 1 1/2 pair butts on each door.
- 8.2 Windows : Sizes and types as shown on the drawings. All glazing shall be low-e insulated glass, units shall be equipped with screens and hardware for locking and operation. Units shall be in sizes and models as indicated on plans. Wood / clad units shall be as manufactured by "Andersen", and shall be finished as selected by owner.
- 8.3 All doors and windows with glazing less than 18" AFF shall be tempered glass.
- 8.4 French Doors: Shall be glazed with tempered, insulated glass complete with locks Wood / clad units shall be as manufactured by "Andersen", and shall be finished as selected by owner.

DIVISION IX - FINISHES

- 9.1 Gypsum Board: Gypsum board shall be 1/2" gypsum board, tapered edge. Provide "Dur-O-Rock" behind any ceramic tile in wet areas.

Provide a three coat compound and sanding finish over all gypsum board areas in preparation for paint and/or other finish.

Provide 5/8" firecode "C" Gypsum board in areas where fire-rating as required, in thickness of one layer for one hour wall and two layers for two hour walls.

- 9.2 Ceramic Tile: Install owner supplied ceramic tile at areas indicated on plans. Tile shall be in sizes as selected by Owner, and installed over 1/2" plywood underlayment laid over 3/4" plywood subfloor. Set tile in a setting bed and grout according to manufacturer's installation instructions. A one-part mildeew-resistant silicone sealant shall be applied over tile in non-traffic areas. A multi-part pourable urethane sealant shall be used in high-traffic areas. Contractor may elect to install tile over reinforced cement mud job as an alternate.

- 9.3 Marble Thresholds: Shall be ASTM C 503 and as follows: Color to be white with a honed finish. Classification to be "Group A" as per the M.I.A. soundness classification.

- 9.4 Painting and Staining: (if included)

Materials: Unless otherwise specified, exterior stain or paint shall be manufactured by "Benjamin Moore". Stain or paint of all exterior surfaces, including trim, doors, windows, fascias, soffits, columns, railings shall be selected by the owner.

Workmanship and Construction: Contractor shall furnish and lay drop cloths in all areas where painting is done and shall protect floors and other work from damage during the process of this work. Oily rags and waste must be removed from the building at the end of each work day. Upon completion of work, the painter shall clean off all paint spots from glass, hardware and other items not to be painted, and clean the windows thoroughly.

Painting contractor is responsible for all putty work and finish sanding.

a. Interior: It is the intention of this specification to require two (2) coats of paint or stain to all unfinished surfaces inside the building, the taping of all sheetrock surfaces, and painting of the same as indicated. Interior trim around doors and windows, and base trim shall receive (2) coats of semi-gloss latex paint.

Interior Flooring and Stairs: Interior wood finish flooring shall receive (1) coat of stain under (1) coat of sealer under (2) coat of polyurethane. Interior stairs and handrail will receive (1) coat of stain (in color to match finish flooring if present, or as selected by Owner) under (2) coats of polyurethane.

DESIGN LOADS (for areas of new construction)	
GROUND SNOW LOAD	30 psf.
LOWER FLOOR LIVE / DEAD LOAD	40 / 12 psf.
UPPER FLOOR BED. LIVE / DEAD	30 / 12 psf.
UPPER FLOOR OTHER LIVE / DEAD	40 / 12 psf.
ROOF LIVE / SNOW LOAD	30 / 15 psf.

DIVISION X - SPECIALTIES

- 10.1 Mirrors: Shall be supplied by owner and installed in areas shown and in sizes as indicated by plans. Material shall be 1/4" thick polished plate with polished edges and properly glued to surface.
- 10.2 Accessories: Install owner supplied bathroom accessories. at locations verified in field.

DIVISION XI - MECHANICAL

- 11.1 Plumbing: It is the intention of this specification to require conection to the existing water supply and waste water evacuation system. The contractor shall supply and install the equipment, fixtures and fittings as selected by the owner and located on the drawings in full conformance with the applicable local and national plumbing codes. Contractors shall supply certificates of inspection and compliance to the owner upon completion. All new plumbing fixtures to be located in compliance w/ section R307 of the Residential Code of NYS.
- 11.2 Heating: (see suplimental instruction to bidders for detailed HVAC requirements. Provide heating to all new finished area's to comply with section R303.8 of the Residential Building Code of the State of New York.

HVAC NOTE:
All mechanical / HVAC work to be filed separately by mechanical sub contractor. (if required)

- 11.3 Cooling: see heating above.

DIVISION XII - ELECTRICAL

- 12.1 It is the intention of this specification to require connection to the existing electrical system as per the fire Prevention and Building Code or any agency having authority. The systems and each of its components shall conform to all applicable codes. All equipment and fixtures shall be selected by the owner. The contractor shall supply the owner with certificates of inspection and compliance upon completion. All required panels and subpanels are assumed to be included.

ENERGY STATEMENT

To the best of my knowledge, belief and professional judgement, such plans and specifications are in compliance with the current version of the 2020 Energy Conservation Construction Code of NYS

GENERAL NOTE

Not all portions of this specification may be applicable to the proposed project. Contractors to verify any and all discrepancies with Architect prior to submitting contruction proposal.

SMOKE / CARBON MONOXIDE DETECTORS

Provide & install hard wired, interconnected smoke detectors and carbon monoxide detectors to all portions of the residence as required by current version of the New York State Residential Building Code or any other applicable code.

ARC-FAULT PROTECTION:
Arc-Fault circuit-interrupter protection shall be provided as per E3902.16 of the 2020 Residential Code of NYS

DRAWING LIST

SHEET	TITLE
A-100	SPECIFICATIONS & GENERAL NOTES
A-101	SITE PLAN, NOTES & ZONING DATA
A-102	BASEMENT FLOOR PLAN
A-103	FIRST FLOOR PLAN
A-104	SECOND FLOOR PLAN
A-201	FRONT & RIGHT SIDE EXTERIOR ELEVATIONS
A-202	REAR & LEFT SIDE EXTERIOR ELEVATIONS
A-301	SECTIONS, DETAILS & WINDOW SCHEDULE
A-401	PLAN DETAILS & INTERIOR ELEVATIONS
A-402	PLAN DETAILS & INTERIOR ELEVATIONS
E-101	FIRST FLOOR ELECTRICAL PLANS
E-102	SECOND FLOOR ELECTRICAL PLANS
F-101	SECOND FLOOR FRAMING PLANS
F-102	ROOF & CEILING FRAMING PLANS
X-101	EXISTING FLOOR PLANS & ELEVATIONS

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA	
GROUND SNOW LOAD	30 psf
WIND DESIGN	
WIND SPEED	115-120 mph
TOPOGRAPHIC EFFECTS	NO
SPECIAL WIND REGION	YES
WIND-BORN DEBRIS ZONE	NO
SEISMIC DESIGN CATAGORY	C
SUBJECT TO DAMAGE	
WEATHERING	SEVERE
FROST DEPTH	42"
TERMITE	MODERATE/HEAVY
WINTER DESIGN TEMPATURE	0°- 10°
ICE BARRIER UNDERLAYMENT REQUIEMENT	YES
FLOOD HAZARDS	MAP # 36119C0261F
AIR FREEZING INDEX	2000
MEAN ANNUAL TEMPATURE	51.6 °F

THESE DOCUMENTS ARE INSUFFICIENT FOR CONSTRUCTION. THEY REQUIRE THE ARCHITECT'S SEAL AND SIGNATURE OF RECORD.

© COPYRIGHT 2025 DATED BY: William P. Witt Architects, PLLC

WILLIAM P WITT ARCHITECT

268 Route 202, Somers NY 10589
914-276-0225 Bwittarch@gmail.com

ADDITIONS & ALTERATIONS

WADE RESIDENCE

PROJECT SPECIFICATIONS

65 HAVEMEYER RD
IRVINGTON, NY 10533

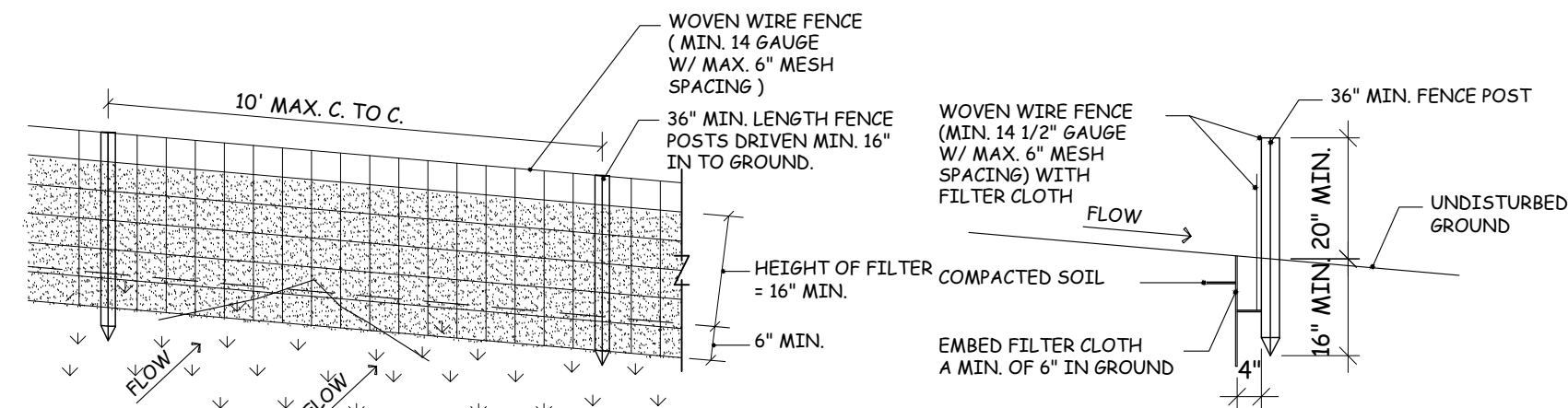
PROJECT SPECIFICATIONS

Scale AS NOTED

Date 03/02/22
Drawing By W.P.W.

Drawing No.

A-100



PERSPECTIVE VIEW

N.T.S.

CONSTRUCTION SPECIFICATIONS,

1. FILTER FABRIC TO EMBEDDED IN SOIL A MIN. OF 6 INCHES
2. INSPECTIONS SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
3. SILT FENCE TO BE REMOVED AT END OF CONSTRUCTION BUT NOT BEFORE ALL DISTURBED AREA ARE STABILIZED AND VEGETATED.
4. FOR SILT FENCE INSTALLATION ON PAVED AREAS REMOVE PORTION OF ASPHALT NECESSARY TO TOE-IN THE FABRIC AND TO INSTALL THE POSTS. THE PAVEMENT HAS TO BE RESTORED BEFORE FINAL SITE CLEANING.

SILT FENCE DETAIL

N.T.S. (IF REQUIRED)

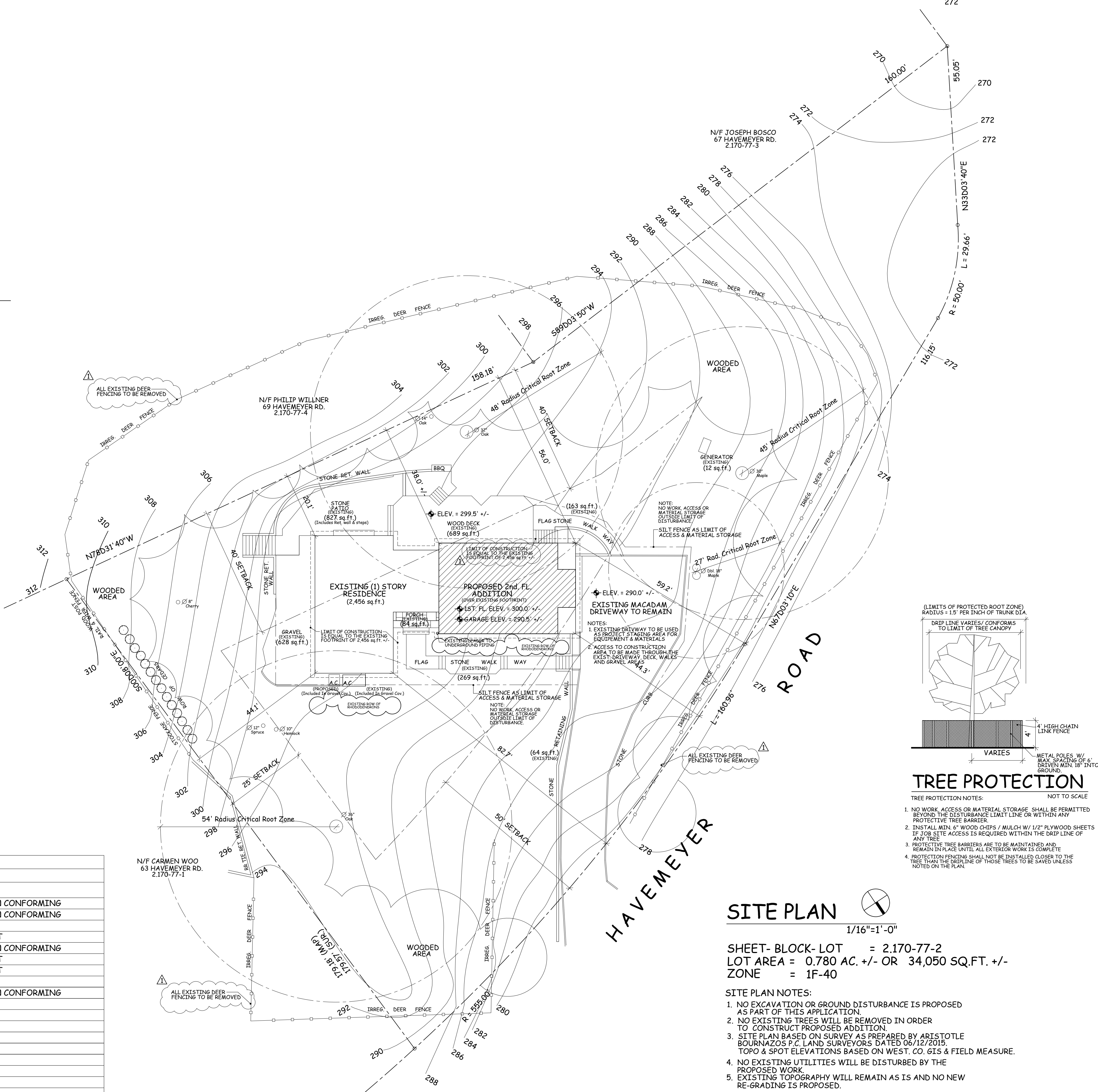
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA	
GROUND SNOW LOAD	30 psf
WIND DESIGN	
WIND SPEED	115-120 mph
TOPOGRAPHIC EFFECTS	NO
SPECIAL WIND REGION	YES
WIND-BORN DEBRIS ZONE	NO
SEISMIC DESIGN CATAGORY	C
SUBJECT TO DAMAGE	
WEATHERING	SEVERE
FROST DEPTH	42"
TERMITE	MODERATE/HEAVY
WINTER DESIGN TEMPERATURE	0°- 10°
ICE BARRIER UNDERLAYMENT REQUIEMENT	YES
FLOOD HAZARDS	MAP # 36119C0261F
AIR FREEZING INDEX	2000
MEAN ANNUAL TEMPERATURE	51.6 °F

LOT COVERAGE CALCULATIONS			
AREA	EXISTING	PROPOSED	INCREASE
LOT AREA	34,050 sq.ft.	34,050 sq.ft.	0 sq.ft.
MAIN HOUSE	2,456 sq.ft.	2,456 sq.ft.	0 sq.ft.
DRIVE WAY	* 2,065 sq.ft.	* 2,065 sq.ft.	0 sq.ft.
FRONT PORCH	84 sq.ft.	84 sq.ft.	0 sq.ft.
FRONT WALKWAY	269 sq.ft.	269 sq.ft.	0 sq.ft.
STONE RETAINING WALLS	64 sq.ft.	64 sq.ft.	0 sq.ft.
REAR DECK & STEPS	689 sq.ft.	689 sq.ft.	0 sq.ft.
REAR PATIO, STEPS & WALLS	827 sq.ft.	827 sq.ft.	0 sq.ft.
REAR WALKWAY & RET. WALL	163 sq.ft.	163 sq.ft.	0 sq.ft.
GENERATOR PAD	12 sq.ft.	12 sq.ft.	0 sq.ft.
GRAVEL AREA & A/C PADS	628 sq.ft.	628 sq.ft.	0 sq.ft.
TOTAL	5,192 sq.ft.	5,192 sq.ft.	0 sq.ft.

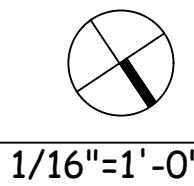
* DRIVEWAY AREA NOT INCLUDED IN TOTAL
PROPOSED SECOND FLOOR ADDITION TO BE BUILT OVER THE EXISTING FOOTPRINT

ZONING DATA SHEET				
ZONE = IF-40				
TAX MAP DESIGNATION: SHEET 2.17 BLOCK 77 LOT 2				
	PERMITTED	EXISTING	PROPOSED	COMMENTS
MINIMUM LOT SIZE	40,000 sq.ft.	34,050 sq.ft.	34,050 sq.ft.	EXISTING NON CONFORMING
FRONT YARD SETBACK	50'	44.3'	44.3'	EXISTING NON CONFORMING
SIDE YARD SETBACK-1	25'	44.1'	44.1'	CONFORMING
SIDE YARD SETBACK-2	25'	N/A	N/A	IRREGULAR LOT
REAR YARD SETBACK	40'	20.1'	20.1'	EXISTING NON CONFORMING
LOT WIDTH	150'	340' +/-	340' +/-	IRREGULAR LOT
LOT DEPTH	150'	179' +/-	179' +/-	IRREGULAR LOT
TOTAL LOT COVERAGE	11% x 34,050 sq ft	4,086 sq.ft.	5,192 sq.ft.	5,192 sq.ft. EXISTING NON CONFORMING
FLOOR AREA CALCULATIONS				
BASEMENT / CELLAR		728sq.ft.	728,ft.	
GARAGE OVER 400 SQ.FT. (442 actual size)		42 sq.ft.	42 sq.ft.	
FIRST FLOOR		2,456 sq.ft.	2,456 sq.ft.	
SECOND FLOOR		0 sq.ft.	1,078 sq.ft.	
TOTAL FLOOR AREA	(.172 x 34,050)	5,857 sq.ft.	3,226 sq.ft.	4,304 sq.ft. CONFORMING
* CRAWLSPACE, ATTIC & 400 SQ.FT. OF GARAGE EXCLUDED FOR F.A.R. CALCULATIONS				

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT									
CLIMATE ZONE	FENESTRATION U-FACTOR	SKYLIGHT "b" U-FACTOR	GLAZED FENESTRATION SHGC	CEILING R-VALUE	WOOD FRAME WALL "c" R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT WALL "c" R-VALUE	SLAB "d" R-VALUE & DEPTH
4	0.32	0.55	0.40	49	20 or 13 x 5 h	8 / 13	19	10 / 13 "c"	10, 2ft.
								10 / 13 "c"	10 / 13 "c"



SITE PLAN



1/16"=1'-0"

SHEET- BLOCK- LOT = 2.170-77-2
LOT AREA = 0.780 AC. +/- OR 34,050 SQ.FT. +/-
ZONE = 1F-40

SITE PLAN NOTES:

1. NO EXCAVATION OR GROUND DISTURBANCE IS PROPOSED AS PART OF THIS APPLICATION.
2. NO EXISTING TREES WILL BE REMOVED IN ORDER TO CONSTRUCT PROPOSED ADDITION.
3. SITE PLAN BASED ON SURVEY AS PREPARED BY ARISTOTLE BOURNAZOS P.C. LAND SURVEYORS DATED 08/12/2015 TOPO & SPOT ELEVATIONS BASED ON WEST. CO. GIS & FIELD MEASURE.
4. NO EXISTING UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK.
5. EXISTING TOPOGRAPHY WILL REMAIN AS IS AND NO NEW RE-GRADING IS PROPOSED.

VILLAGE ENGINEER NOTES:

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. AS BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. CUT / FILL MATERIAL SHALL NOT BE IMPORTED OR EXPORTED FROM THE SITE
4. NO EXISTING UTILITIES WILL BE DISTURBED BY PROPOSED WORK.
5. NO EXISTING DRAINAGE STRUCTURES OR SUBSURFACE PIPING. (1) EXISTING DOWNSPOUT WILL BE PROVIDED W/ SPLASH BLOCK. NO GUTTERS EXISTING EXCEPT AT FRONT PORCH.

CONSTRUCTION SEQUENCE:

1. Install erosion control and tree protection measures.
2. Erect structure.
3. Remove erosion control and tree protection measures.

WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589
914-276-0225

ADDITIONS & ALTERATIONS
WADE RESIDENCE

65 HAVEMEYER RD
IRVINGTON, NY 10533

**PROPOSED
SITE PLAN**

Scale **AS NOTED**



Date **09/30/21**
Drawing By **A.O.**

Drawing No.

A-101

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REVISED 12/10/21

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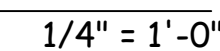
PROPOSED
BASEMENT

Professional Engineer Seal for William P. Witzel, State of New York, No. 031028. The seal is circular with the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom. In the center is the coat of arms of the State of New York, featuring a figure holding a staff with a serpent entwined around it. The name "WILLIAM P. WITZEL" is inscribed around the coat of arms, and the number "031028" is at the bottom.

Drawing No.

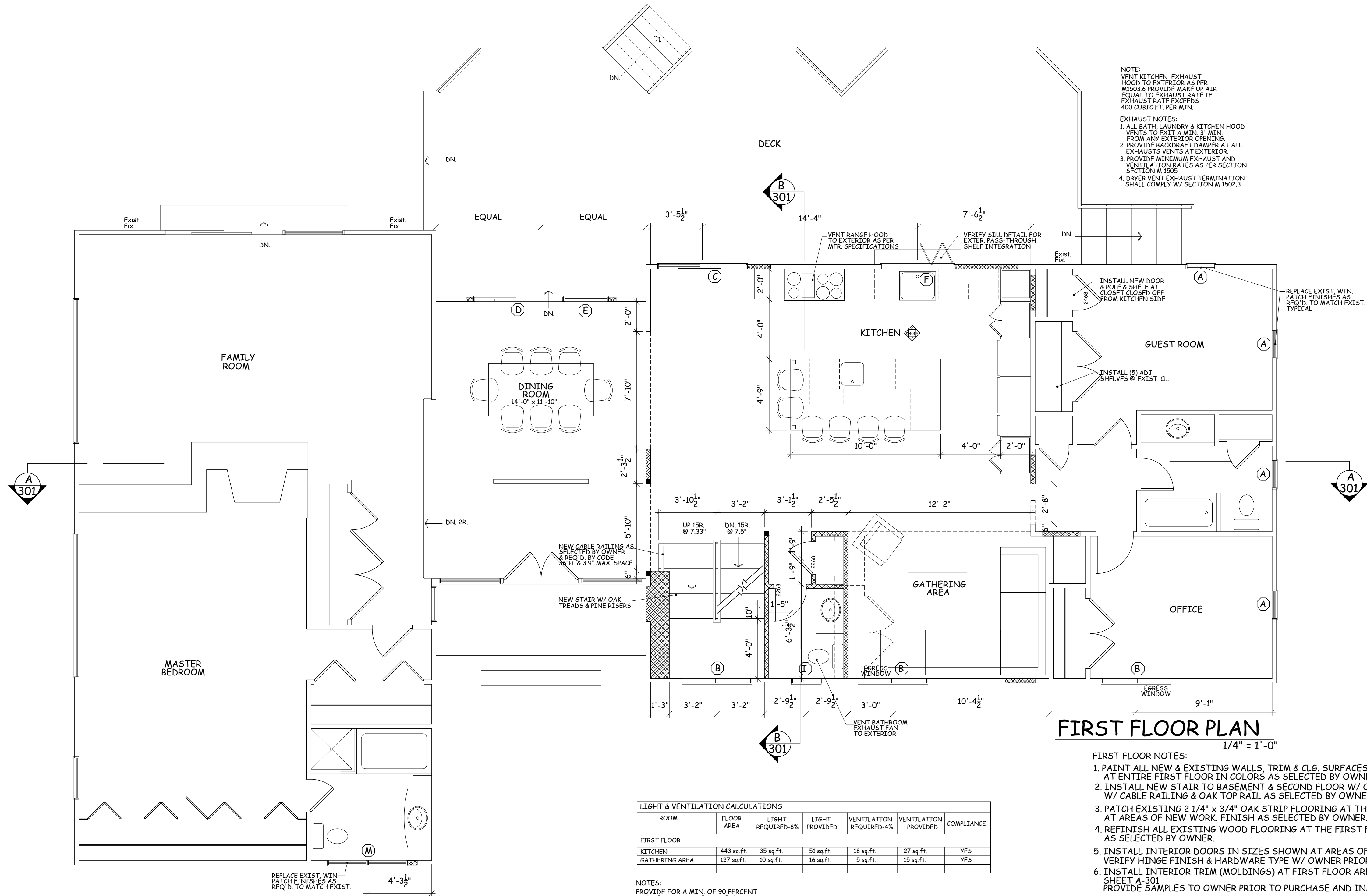
A-102

THESE DOCUMENTS ARE INSUFFICIENT FOR
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1. PAINT ALL NEW & EXISTING WALLS, TRIM & C/LG. SURFACES
AT ENTIRE BASEMENT IN COLORS AS SELECTED BY OWNER.
2. INSTALL NEW STAIR TO BASEMENT W/ OAK TREADS & POPLAR RISERS
W/ CABLE RAILING & OAK TOP RAIL AS SELECTED BY OWNER & REQUIRED BY CODE.
3. REMOVE EXISTING CARPET, NEW FLOORING BY OTHERS.
4. MODIFY THE EXISTING HVAC SYSTEM AT THE BASEMENT AS REQUIRED TO ALLOW
FOR INTERIOR MODIFICATIONS.
5. INSTALL INTERIOR DOORS IN SIZES SHOWN AT AREAS OF NEW WORK. (1) PANEL SOLID COMPOSITE
VERIFY HINGE FINISH & HARDWARE TYPE W/ OWNER PRIOR TO ORDERING.
6. INSTALL NEW INTERIOR TRIM (MOLDINGS) AT AREAS OF NEW WORK AS PER DETAILS
SHEET 301.
PROVIDE SAMPLES TO OWNER PRIOR TO PURCHASE AND INSTALLATION.
7. INSTALL OWNER SUPPLIED DOOR HARDWARE & LIGHT FIXTURES
8. INSTALL 1/2" GYP. BOARD TO ALL NEW INTERIOR WALL AND CEILING SURFACES
9. ALL NEW INTERIOR WALLS TO BE 2 x 4 UNLESS NOTED OTHERWISE.
10. INSTALL R-15 BATT INSULATION AT ALL EXISTING EXTERIOR WALLS THAT ARE EXPOSED
DURING CONSTRUCTION. INTERIOR EXTERIOR WALLS & CEILINGS TO BE FINISHED W/
1/2" GYP. BOARD UNLESS NOTED OTHERWISE.

	EXIST. CONC. FOUNDATION WALL TO REMAIN
	NEW CONC. FOUNDATION WALL
	EXIST. FRAME WALL TO REMAIN
	NEW FRAME WALL
	EXIST. FRAME WALL TO BE REMOVED



LIGHT & VENTILATION CALCULATIONS						
ROOM	FLOOR AREA	LIGHT REQUIRED-8%	LIGHT PROVIDED	VENTILATION REQUIRED-4%	VENTILATION PROVIDED	COMPLIANCE
FIRST FLOOR						
KITCHEN	443 sq. ft.	35 sq. ft.	51 sq. ft.	18 sq. ft.	27 sq. ft.	YES
GATHERING AREA	127 sq. ft.	10 sq. ft.	16 sq. ft.	5 sq. ft.	15 sq. ft.	YES

NOTES:
PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICACY LAMPS PER 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.

FIRST FLOOR PLAN

1/4" = 1'-0"

- FIRST FLOOR NOTES:
- PAINT ALL NEW & EXISTING WALLS, TRIM & CLG. SURFACES AT ENTIRE FIRST FLOOR IN COLORS AS SELECTED BY OWNER.
 - INSTALL NEW STAIR TO BASEMENT & SECOND FLOOR W/ OAK TREADS & POPLAR RISERS W/ CABLE RAILING & OAK TOP RAIL AS SELECTED BY OWNER & REQUIRED BY CODE.
 - PATCH EXISTING 2 1/4" x 3/4" OAK STRIP FLOORING AT THE FIRST FLOOR AS REQUIRED AT AREAS OF NEW WORK. FINISH AS SELECTED BY OWNER.
 - REFINISH ALL EXISTING WOOD FLOORING AT THE FIRST FLOOR IN COLOR AND FINISH AS SELECTED BY OWNER.
 - INSTALL INTERIOR DOORS IN SIZES SHOWN AT AREAS OF NEW WORK (1) PANEL SOLID COMPOSITE VERIFY HINGE FINISH & HARDWARE TYPE W/ OWNER PRIOR TO ORDERING
 - INSTALL INTERIOR TRIM (MOLDINGS) AT FIRST FLOOR AREAS OF NEW WORK AS PER DETAILS SHEET A-301 PROVIDE SAMPLES TO OWNER PRIOR TO PURCHASE AND INSTALLATION.
 - INSTALL OWNER SUPPLIED DOOR HARDWARE, LIGHT FIXTURES & BATH ACCESSORIES.
 - INSTALL 1/2" GYP. BOARD TO ALL INTERIOR WALL AND CEILING SURFACES (GREEN BOARD AND OR HARDIE BACKER IN WET AREAS & TILED WALLS)
 - ALL NEW INTERIOR WALLS TO BE 2 x 4 UNLESS NOTED OTHERWISE. ALL NEW EXTERIOR WALLS TO BE 2 x 6 W/ R-21 BATT INSULATION.
 - MODIFY THE EXISTING HVAC SYSTEM AT THE FIRST FLOOR AS REQUIRED TO ALLOW FOR INTERIOR MODIFICATIONS. PROVIDE NEW OAK FLOOR REGISTERS AT RENOVATED AREAS.
 - CUSTOM WALK IN CLOSETS BY OTHERS. PROVIDE POLE & SHELF AT CLOTHES CLOSETS & (5) ADJ. SHELVES AT LINEN CLOSETS.
 - INSTALL TILE AT KITCHEN BACKSPLASH AS PER SHEET A-401 TILE AS SELECTED & PROVIDED BY OWNER.
 - INSTALL R-15 BATT INSULATION AT ALL EXISTING EXTERIOR WALLS THAT ARE EXPOSED DURING CONSTRUCTION. ALL NEW INTERIOR WALLS & CEILINGS TO BE FINISHED W/ 1/2" GYP. BOARD UNLESS NOTED OTHERWISE.

LEGEND

- EXIST. CONC. FOUNDATION WALL TO REMAIN
- NEW CONC. FOUNDATION WALL
- EXIST. FRAME WALL TO REMAIN
- NEW FRAME WALL
- EXIST. FRAME WALL TO BE REMOVED


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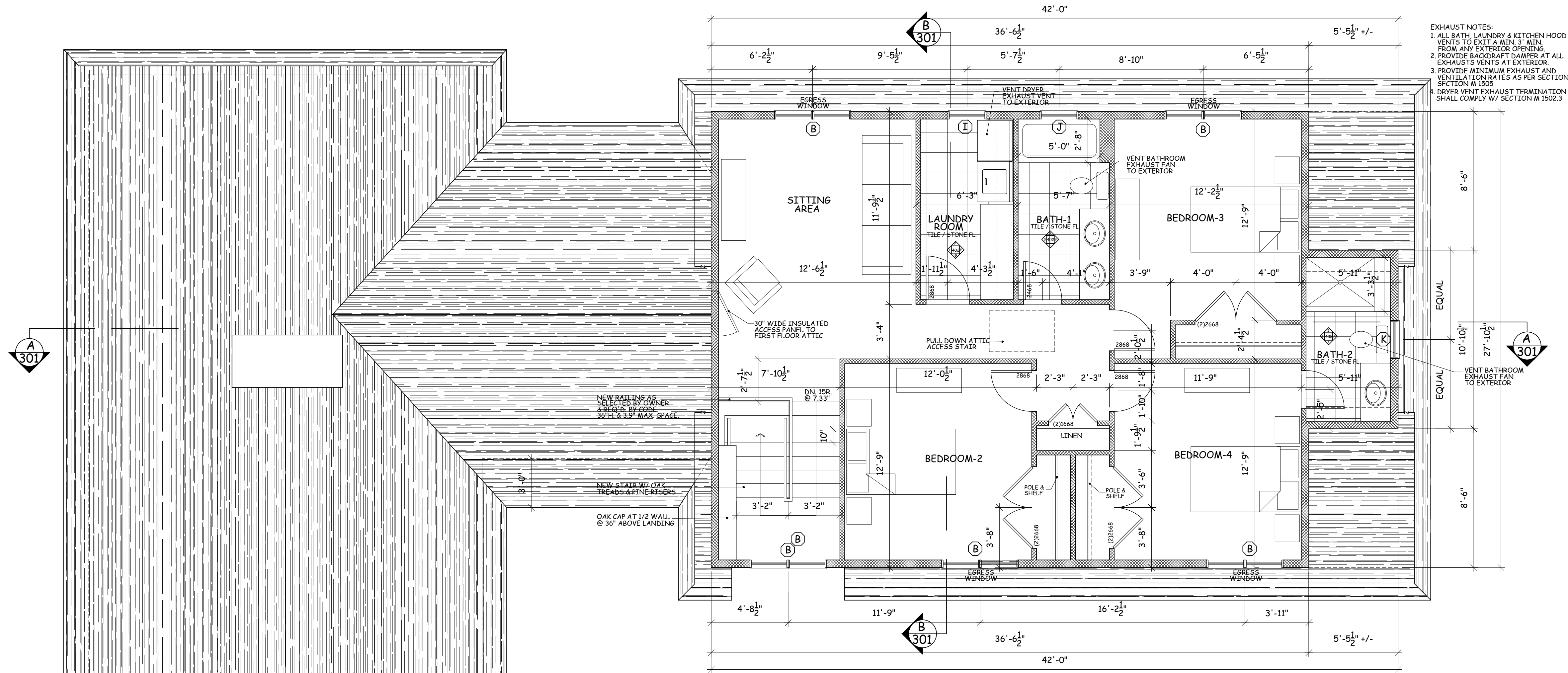
Project Title
**ADDITIONS & ALTERATIONS
WADE RESIDENCE**
65 HAVEMEYER RD.
IRVINGTON, NY 10533

**PROPOSED
FIRST FLOOR**

Scale **1/4" = 1'-0"**


Date **03/02/22**
Drawing By **A.O.**

Drawing No.
A-103



EXHAUST NOTES:
1. ALL BATH LAUNDRY & KITCHEN HOOD VENTS TO EXIT A MIN. 3' MIN. FROM ANY EXTERIOR OPENING.
2. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUSTS VENTS AT EXTERIOR.
3. PROVIDE MINIMUM EXHAUST AND VENTILATION RATES AS PER SECTION M 1505
4. DRYER VENT EXHAUST TERMINATION SHALL COMPLY W/ SECTION M 1502.3

SECOND FLOOR PLAN
1,078 SQ.FT. ADDITION 1/4" = 1'-0"

LIGHT & VENTILATION CALCULATIONS						
ROOM	FLOOR AREA	LIGHT REQUIRED-8%	LIGHT PROVIDED	VENTILATION REQUIRED-4%	VENTILATION PROVIDED	COMPLIANCE
SECOND FLOOR						
SITTING AREA	196 sq.ft.	16 sq.ft.	16 sq.ft.	8 sq.ft.	15 sq.ft.	YES
BEDROOM - 2	137 sq.ft.	11 sq.ft.	16 sq.ft.	5 sq.ft.	15 sq.ft.	YES
BEDROOM - 3	137 sq.ft.	11 sq.ft.	16 sq.ft.	5 sq.ft.	15 sq.ft.	YES
BEDROOM - 4	149 sq.ft.	12 sq.ft.	16 sq.ft.	6 sq.ft.	15 sq.ft.	YES

NOTES:
PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICACY LAMPS PER R404 OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.

- SECOND FLOOR NOTES:
1. PAINT ALL NEW WALLS, TRIM & CLG. SURFACES AT ENTIRE SECOND FLOOR IN COLORS AS SELECTED BY OWNER.
 2. INSTALL NEW STAIR W/ OAK TREADS & POPLAR RISERS W/ CABLE RAILING & OAK TOP RAIL AS SELECTED BY OWNER & REQUIRED BY CODE.
 3. INSTALL 3 1/4" x 3/4" OAK STRIP FLOORING TO ALL UNTILED PORTIONS OF THE NEW SECOND FLOOR. FINISH AS SELECTED BY OWNER.
 4. INSTALL FLOOR AND WALL TILE AT BATHROOMS & LAUNDRY ROOM AS PER SHEET A-402. TILE AS SELECTED & PROVIDED BY OWNER.
 5. INSTALL NEW INTERIOR DOORS AT SECOND FLOOR (1) PANEL SOLID COMPOSITE VERIFY HINGE FINISH & HARDWARE TYPE W/ OWNER PRIOR TO ORDERING
 6. INSTALL NEW INTERIOR TRIM (MOLDINGS) AT NEW SECOND FLOOR AS PER DETAILS SHEET A-301
 7. PROVIDE SAMPLES TO OWNER PRIOR TO PURCHASE AND INSTALLATION.
 8. INSTALL 1/2" GYP. BOARD TO ALL INTERIOR WALL AND CEILING SURFACES (GREEN BOARD AND OR HARDIE BACKER IN WET AREAS & TILED WALLS)
 9. ALL NEW INTERIOR WALLS TO BE 2 x 4 UNLESS NOTED OTHERWISE.
ALL NEW EXTERIOR WALLS TO BE 2 x 6 W/ R-21 BATT INSULATION.
 10. INSTALL A NEW HVAC SYSTEM FOR THE NEW SECOND FLOOR & LOCATE UNIT IN ATTIC ABOVE THE HALL WAY OR GATHERING AREA.
 11. CUSTOM WALK IN CLOSETS BY OTHERS. PROVIDE POLE & SHELF AT CLOTHES CLOSETS & (5) ADJ. SHELVES AT LINEN CLOSETS.
 12. INSTALL R-15 BATT INSULATION AT ALL EXISTING EXTERIOR WALLS THAT ARE EXPOSED DURING CONSTRUCTION. ALL NEW INTERIOR WALLS & CEILINGS TO BE FINISHED W/ 1/2" GYP. BOARD UNLESS NOTED OTHERWISE.

LEGEND

- EXIST. CONC. FOUNDATION WALL TO REMAIN
- NEW CONC. FOUNDATION WALL
- EXIST. FRAME WALL TO REMAIN
- NEW FRAME WALL
- EXIST. FRAME WALL TO BE REMOVED

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Project Title

ADDITIONS & ALTERATIONS

WADE RESIDENCE

65 HAVEMEYER RD.
IRVINGTON, NY 10533

PROPOSED
SECOND FLOOR

Scale 1/4" = 1'-0"



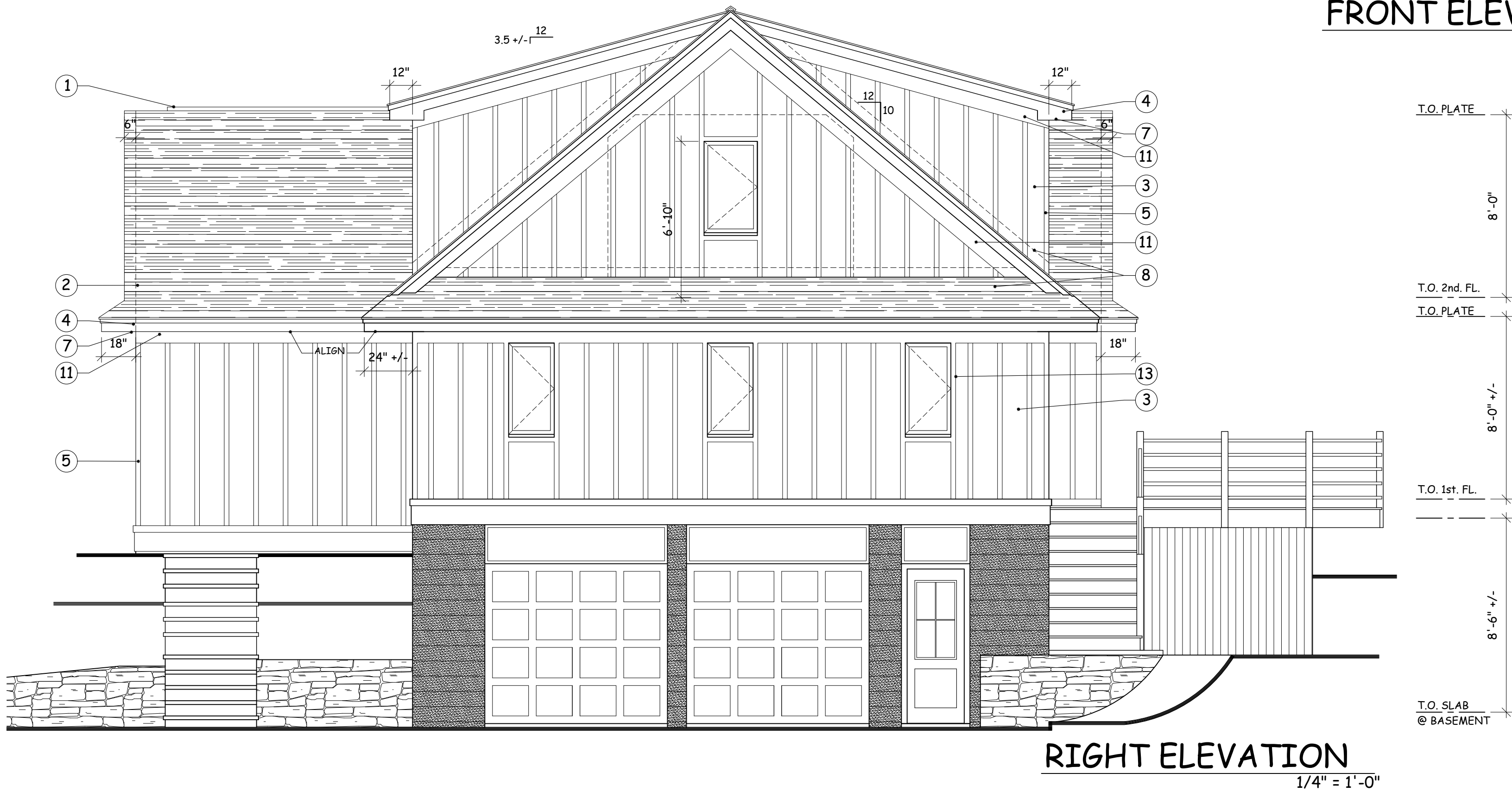
Date 03/02/22
Drawing By A.O.

Drawing No.

A-104

WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589
914-276-0225



EXTERIOR NOTES:

- ALL EXISTING EXTERIOR FINISH MATERIALS TO BE REMOVED AND REPLACED. PREP FOR NEW SIDING, ROOFING, WINDOWS, DOORS & EXTERIOR TRIM BOARDS AS PER ELEVATIONS.
- ALL "HARDIE PANEL" BOARD AND BATTEN SIDING TO BE SUPPLIED IN COLOR AS SELECTED BY OWNER.
- ALL EXTERIOR TRIM BOARDS TO BE HARDIE TRIM IN COLOR & TEXTURE AS SELECTED BY OWNER.
- PROVIDE OWNER W/ SAMPLES OF ROOF SHINGLE, AND SIDING COLOR, PRIOR TO PURCHASE & INSTALLATION.
- SEE SEPARATE DRAWINGS FOR DETAILS, MATERIALS, AND NOTES.

PROPOSED EXTERIOR MATERIALS & COLOR SCHEME			
ITEM	NAME	TYPE	COLOR
SIDING-1	HARDIE PANEL	VERTICAL BOARD & BATTEN	WHITE
WINDOWS	ANDERSEN	WOOD CLAD CASEMENT	DARK BRONZE
TRIM	HARDIE TRIM	1 x () & 5/4 x () AS PER ELEV.	WHITE
DOORS	FRONT DOOR	EXISTING	GREY
ROOFING	GAF.	ASPHALT ROOF SHINGLES	CHARCOAL BLEND
GARAGE DR.	EXISTING	WOOD / PAINTED	WHITE

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WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589
914-276-0225

Project Title

ADDITIONS & ALTERATIONS
WADE RESIDENCE
65 HAVEMEYER RD.
IRVINGTON, NY 10533

PROPOSED
ELEVATIONS

Scale 1/4" = 1'-0"



Date 03/02/22
Drawing By W.P.W.

Drawing No.

A-201

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LEGEND :

- CONTINUOUS ROOF RIDGE VENT.
- GAF "LIFETIME" ARCH. ROOF SHINGLES OVER 15 LB. BUILD FELT W/ ICE & WATER SHIELD 6" UP FROM ALL EAVES & AT ALL HIPS AND VALLEYS.
- "HARDIE PANEL CEDAR MILL" VERTICAL SIDING W/ 1 x 3 HARDIE TRIM BOARD BATTENS TO PROVIDE 11" +/- REVEAL IN COLOR AS INDICATED OR AS SELECTED BY OWNER INSTALL AS PER MFR. SPECIFICATIONS.
- 1 x 8 HARDIE TRIM FASCIA AND RAKES W/ 1 x 3 TRIM BAND AT RAKES.
- 2 1/2" "HARDIE TRIM" CORNER BOARDS
- NOT USED
- 1/2" BEADED AZEK OR HARDIE TRIM SOFFITS.
- METAL FLASHING AS REQUIRED
- 1 x 8 HARDIE TRIM FRIEZE BOARD TRIM @ GABLE ENDS.
- 5/4" x 10" HARDIE TRIM BASE BOARD TRIM. W/ DRIP EDGE FLASHING
- 1 x () HARDIE TRIM UNDER SOFFIT TRIM BOARDS AT ALL EAVES & RETURNS FROM TOP OF WINDOW TO SOFFITS
- COPPER STEP FLASHING AT CHIMNEY.
- HARDIE TRIM WINDOW AND DOOR TRIM AS PER ELEVATIONS AND DETAIL SHEET A-301
- HARDIE PANELS W/ HARDIE TRIM AS SHOWN.

8'-0"
T.O. PLATE
8'-0" +/-
T.O. 2nd FL.
T.O. PLATE
8'-0" +/-
T.O. 1st FL.
8'-6" +/-
T.O. SLAB
@ BASEMENT



EXTERIOR NOTES:

1. ALL EXISTING EXTERIOR FINISH MATERIALS TO BE REMOVED AND REPLACED. PREP FOR NEW SIDING, ROOFING, WINDOWS, DOORS & EXTERIOR TRIM BOARDS AS PER ELEVATIONS.
2. ALL "HARDIE PANEL" BOARD AND BATTEN SIDING TO BE SUPPLIED IN COLOR AS SELECTED BY OWNER.
3. ALL EXTERIOR TRIM BOARDS TO BE HARDIE TRIM IN COLOR & TEXTURE AS SELECTED BY OWNER.
4. PROVIDE OWNER W/ SAMPLES OF ROOF SHINGLE, AND SIDING COLOR, PRIOR TO PURCHASE & INSTALLATION.
5. SEE SEPARATE DRAWINGS FOR DETAILS, MATERIALS, AND NOTES.

PROPOSED EXTERIOR MATERIALS & COLOR SCHEME			
ITEM	NAME	TYPE	COLOR
SIDING-1	HARDIE PANEL	VERTICAL BOARD & BATTEN	WHITE
WINDOWS	ANDERSEN	WOOD CLAD CASEMENT	DARK BRONZE
TRIM	HARDIE TRIM	1 x () & 5/4 x () AS PER ELEV.	WHITE
DOORS	FRONT DOOR	EXISTING	GREY
ROOFING	GAF.	ASPHALT ROOF SHINGLES	CHARCOAL BLEND
GARAGE DR.	EXISTING	WOOD / PAINTED	WHITE

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WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589
914-276-0225

Project Title

ADDITIONS & ALTERATIONS

WADE RESIDENCE

65 HAVEMEYER RD.
IRVINGTON, NY 10533

**PROPOSED
ELEVATIONS**

Scale **1/4" = 1'-0"**



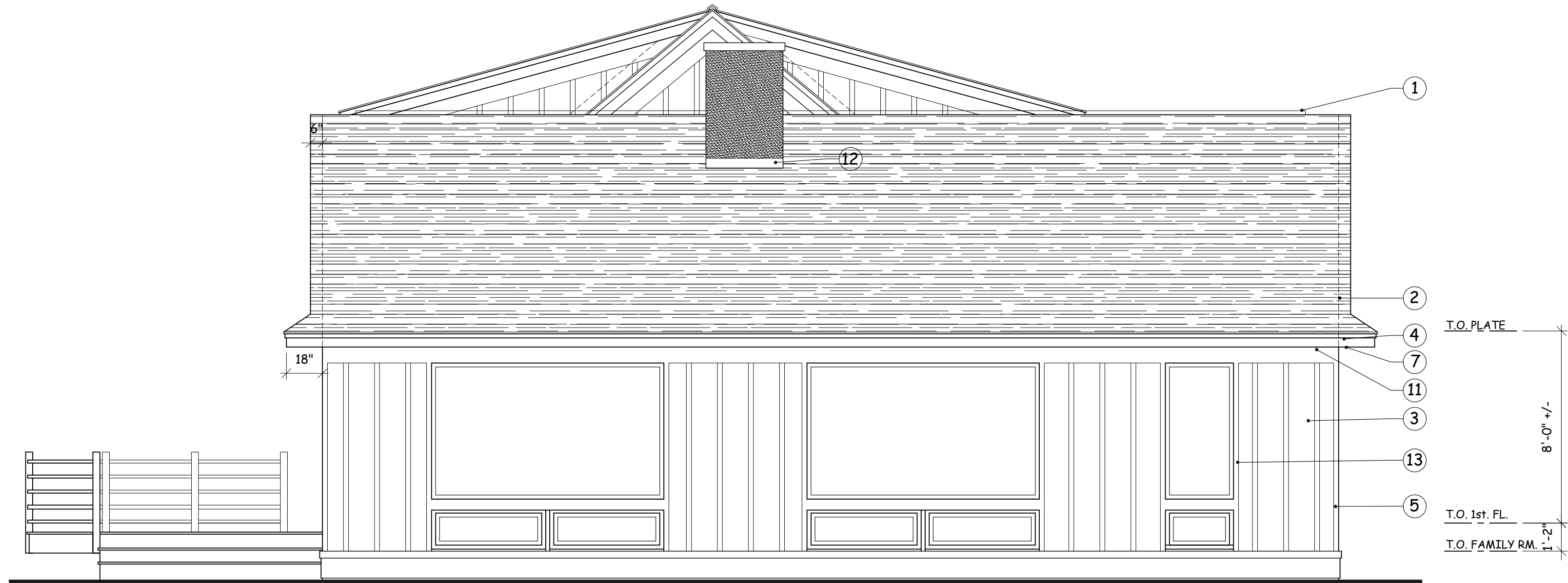
Date **3/02/22**
Drawing By **W.P.W.**

Drawing No.

A-202

LEFT ELEVATION

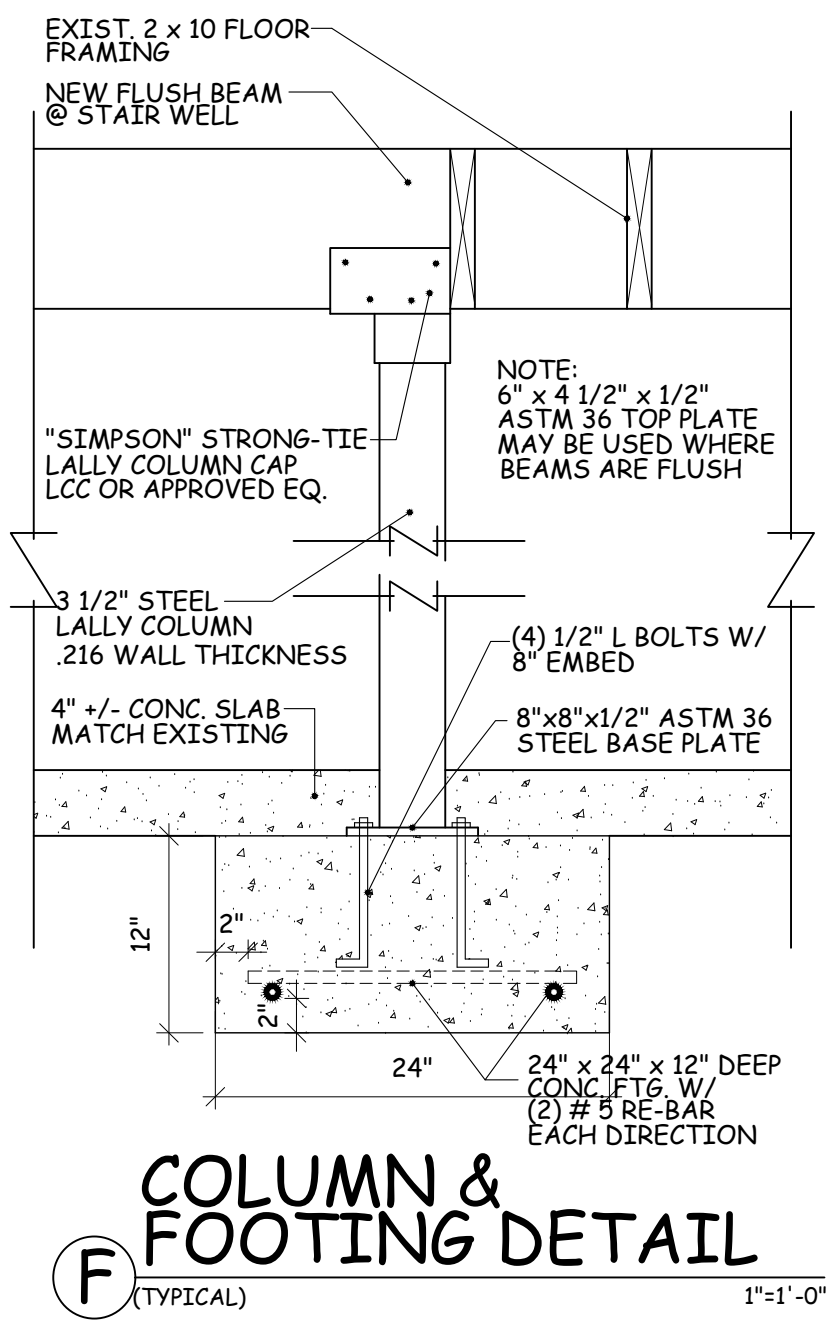
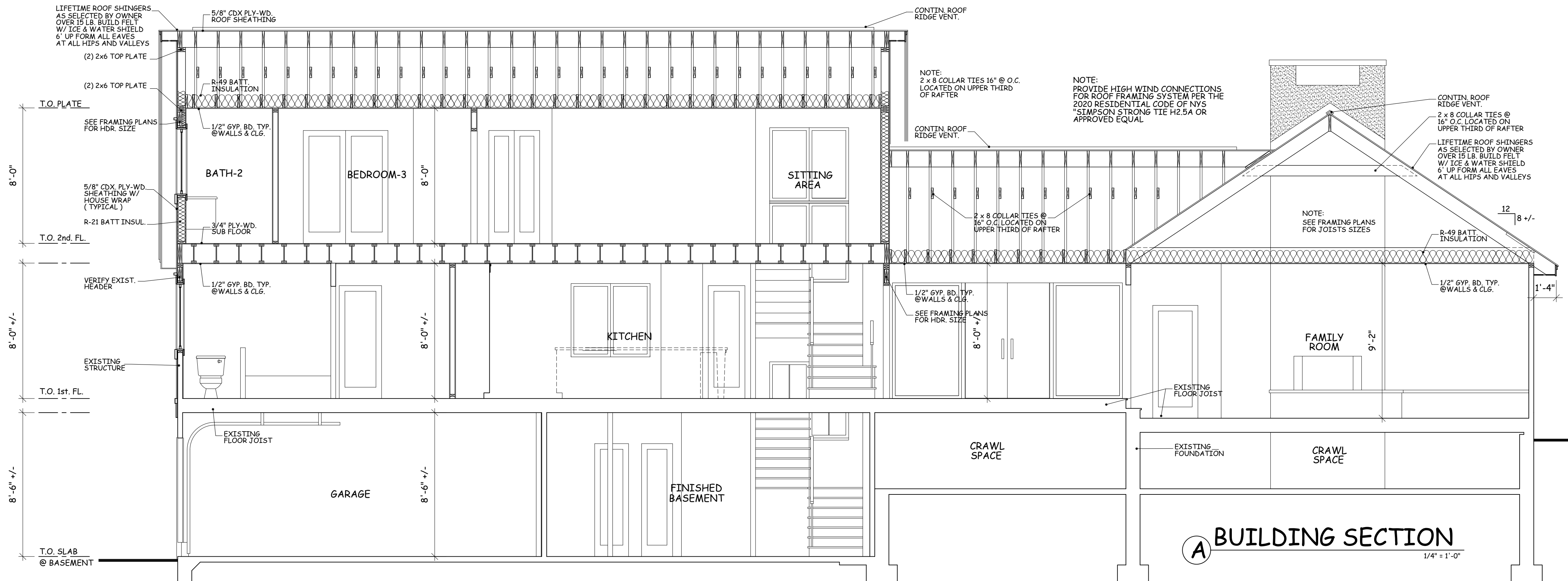
1/4" = 1'-0"



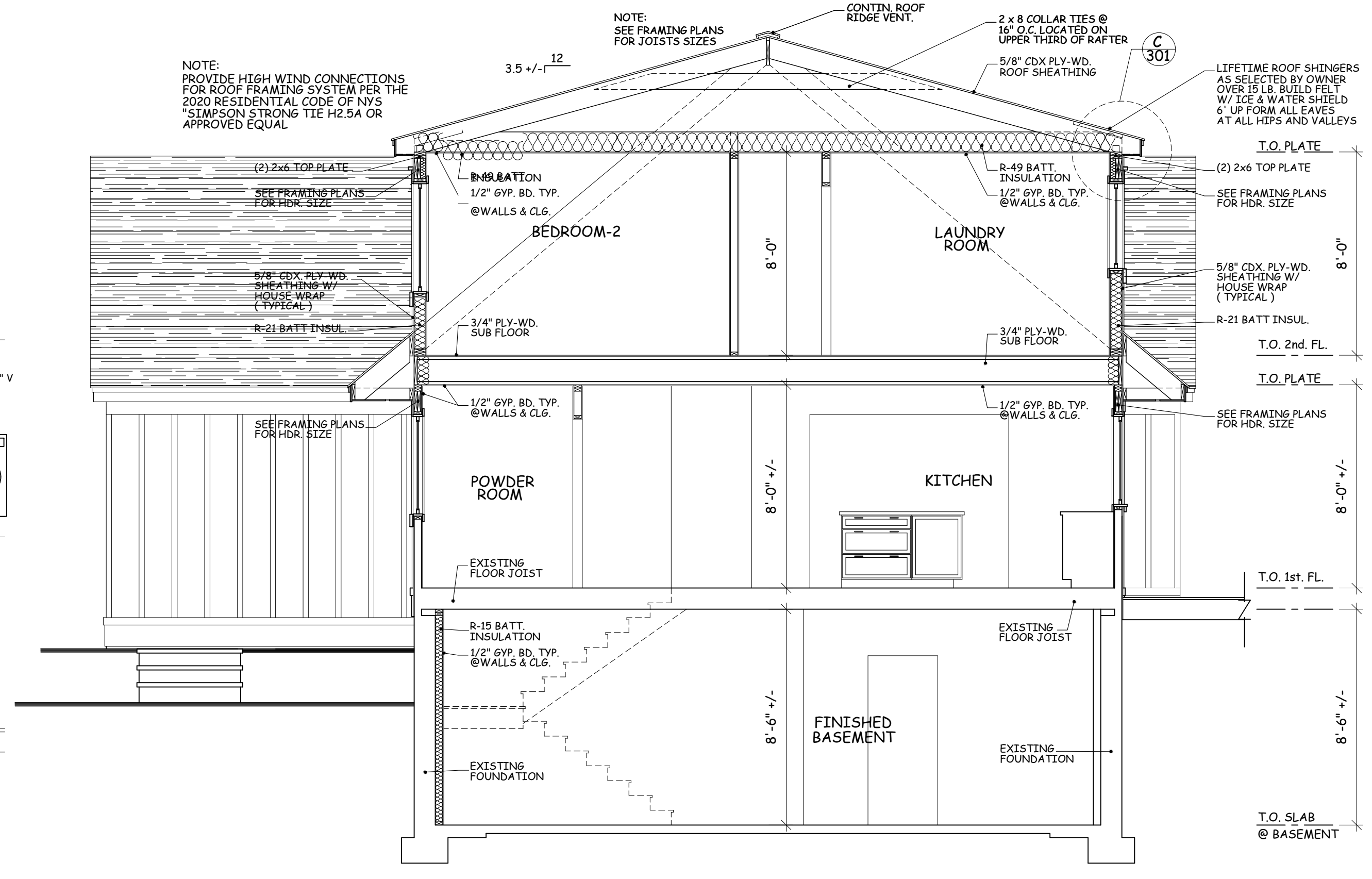
LEGEND :

1. CONTINUOUS ROOF RIDGE VENT.
2. GAF "LIFETIME" ARCH. ROOF SHINGLES OVER 15 LB. BUILD FELT W/ ICE & WATER SHIELD 6' UP FROM ALL EAVES & AT ALL HIP AND VALLEYS.
3. "HARDIE PANEL CEDAR MILL" VERTICAL SIDING W/ 1 x 3 HARDIE TRIM BOARD BATTENS TO PROVIDE 11" +/- REVEAL IN COLOR AS INDICATED OR AS SELECTED BY OWNER INSTALL AS PER MFR. SPECIFICATIONS.
4. 1 x 8 HARDIE TRIM FASCIA AND RAKES W/ 1 x 3 TRIM BAND AT RAKES.
5. 2 1/2" "HARDIE TRIM" CORNER BOARDS
6. NOT USED
7. 1/2" BEADED AZEK OR HARDIE TRIM SOFFITS.
8. METAL FLASHING AS REQUIRED
9. 1 x 8 HARDIE TRIM FRIEZE BOARD TRIM @ GABLE ENDS.
10. 5/4" x 10" HARDIE TRIM BASE BOARD TRIM. W/ DRIP EDGE FLASHING.
11. 1 x () HARDIE TRIM UNDER SOFFIT TRIM BOARDS AT ALL EAVES & RETURNS FROM TOP OF WINDOW TO SOFFITS
12. COPPER STEP FLASHING AT CHIMNEY.
13. HARDIE TRIM WINDOW AND DOOR TRIM AS PER ELEVATIONS AND DETAIL SHEET A-301
14. HARDIE PANELS W/ HARDIE TRIM AS SHOWN.

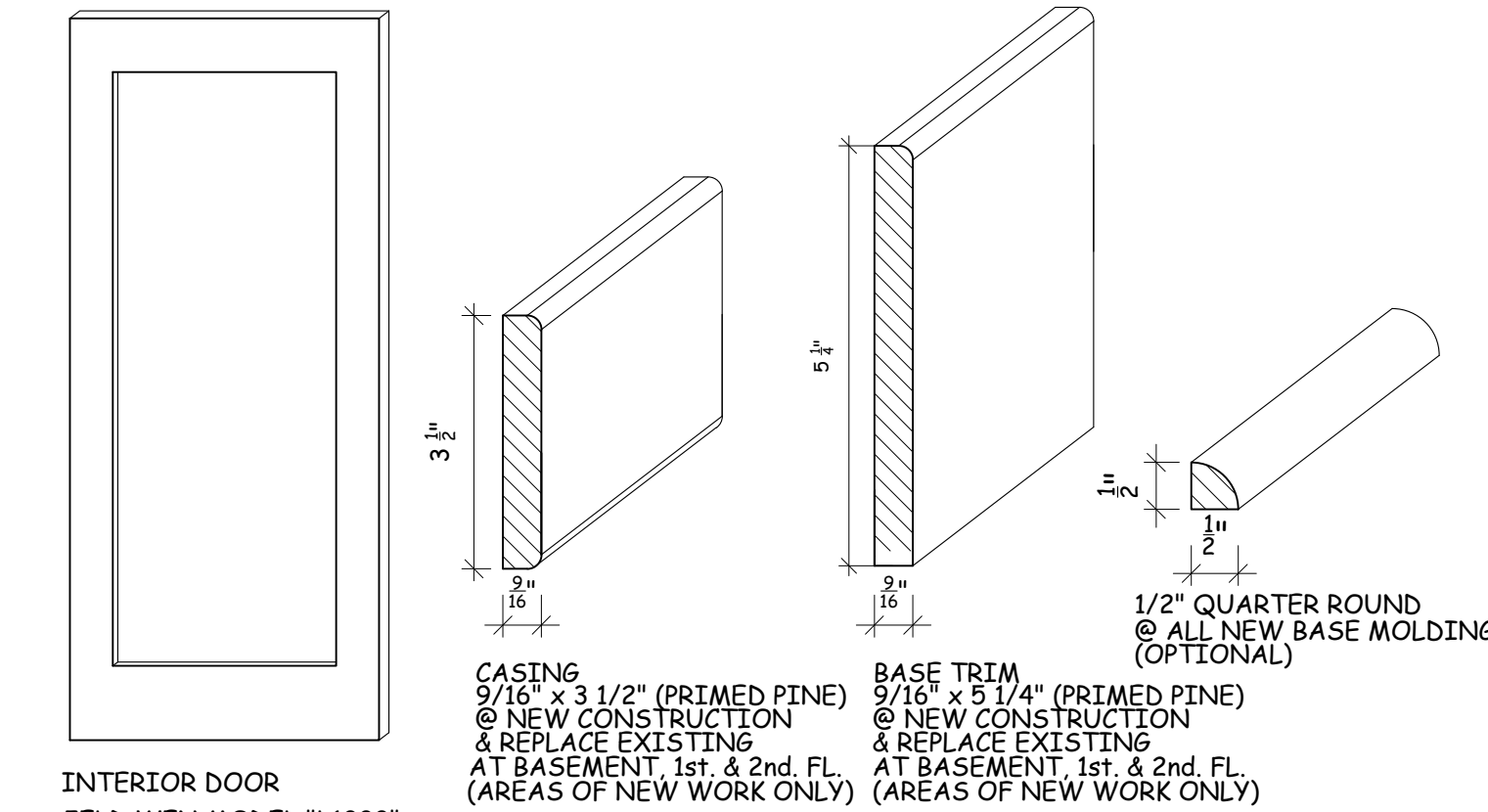
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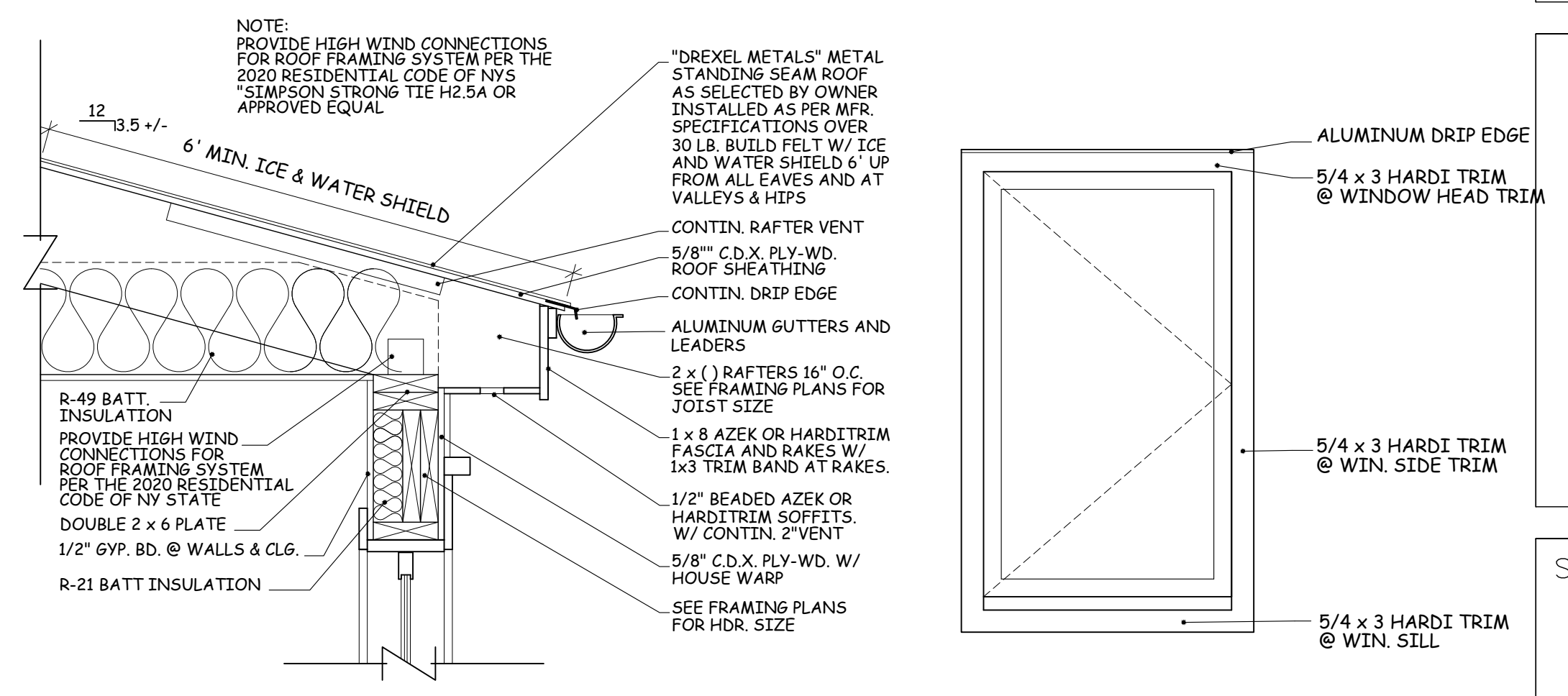
A BUILDING SECTION
1/4" = 1'-0"



B BUILDING SECTION
1/4" = 1'-0"



TRIM DETAILS
NOT TO SCALE



C EAVE DETAIL
(TYPICAL) 1/2" = 1'-0"

D TRIM DETAIL
(TYPICAL @ EXTERIOR) 1/2" = 1'-0"

PLUMBING RISER DIAGRAM
TYPICAL NOT TO SCALE

WINDOW AND EXTERIOR DOOR SCHEDULE										
WIN.	QNTY.	MFR.	TYPE	MODEL	U FACTOR	SHGC	ROUGH OPENING	LOCATION	REMARKS	
A	4	ANDERSEN	CASE	C14	.25	.28	2'-0 5/8" x 4'-0 1/2"	SEE PLANS	VERIFY EXIST. ROUGH OPENING PRIOR TO ORDERING	
B	9		CASE	CW245	.25	.28	4'-9" x 4'-5 3/8"		MEET EGRESS REQUIREMENTS	
C	1		PATIO DOOR	NL6D60611L	.27	.22	6'-0" x 6'-11"			
D	1		COMBO W/ E	NL6D60611L	.27	.22	6'-0" x 6'-11"		UNITS D & E TO BE COMBINED	
E	1		COMBO W/ D	NL6D33611S	.27	.22	3'-2 3/4" x 6'-11"		W/ VERTICAL JOINING	
F	1		FOLDING - PASS THROUGH		verify w/ mfr.	verify w/ mfr.	5'-0" x 3'-6" UNIT SIZE		CUSTOM, VERIFY OPTIONS W/ OWNER	
G		NOT USE								
H		NOT USE								
I	2	ANDERSEN	CASE	CW135	.25	.28	2'-4 7/8" x 3'-5 3/8"			
J	1		AWNG.	A251	.25	.28	2'-4 7/8" x 2'-0 5/8"			
K	1		CASE	CW14	.25	.28	2'-4 7/8" x 4'-0 1/2"			
L	2		FIX.	C12	.25	.28	2'-0 5/8" x 2'-0 5/8"	SEE ELEVATIONS		
M	1		CASE	CX25	.25	.28	5'-3 1/4" x 5'-0 3/8"	SEE PLANS		

WINDOW & EXTERIOR DOOR NOTES:

- ALL NEW WINDOWS & EXTERIOR FRENCH DOORS TO BE AS MFR'D BY "ANDERSEN" (WOOD UNITS) 400 SERIES W/ LOW E & HEATLOCK GLASS SUPPLY AND INSTALL SCREENS (WHITE) ON ALL NEW OPERABLE UNITS. 7/8" SIM. DIVIDED LITES AS PER ELEVATIONS.
- ANY NEW WINDOW OR DOOR EXTENDING LESS THAN 18" ABOVE FINISHED FLOOR MUST BE TEMPERED.
- ALL NEW WINDOWS TO BE SUPPLIED W/ HARDWARE AS REQUIRED. VERIFY TYPE & FINISH W/ OWNER PRIOR TO ORDERING.
- ALL NEW EXTERIOR FRENCH DOORS TO BE SUPPLIED W/ OIL RUBBED BRONZE HARDWARE OR AS SELECTED BY OWNER.
- SOME UNITS ON WINDOW SCHEDULE MAY NOT APPEAR ON FLOOR PLANS. SEE ELEVATIONS FOR LOCATIONS.
- ALL EXTERIOR GLASS DOORS SHALL BE TEMPERED GLASS VERIFY WEATHER ADDITIONAL UNITS SHOULD BE TEMPERED.
- SEE ELEVATIONS FOR SWING ACTION OF ALL OPERABLE UNITS.
- VERIFY ALL WINDOW AND EXTERIOR DOOR OPTIONS W/ OWNER PRIOR TO ORDERING. (COLOR, GRILLS, SCREENS, AND HARDWARE TYPE & COLOR)

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WILLIAM P WITT ARCHITECTS
268 Route 202, Somers NY 10589
914-276-0225

ADDITIONS & ALTERATIONS
WADE RESIDENCE
65 HAVEMEYER RD.
IRVINGTON, NY 10533

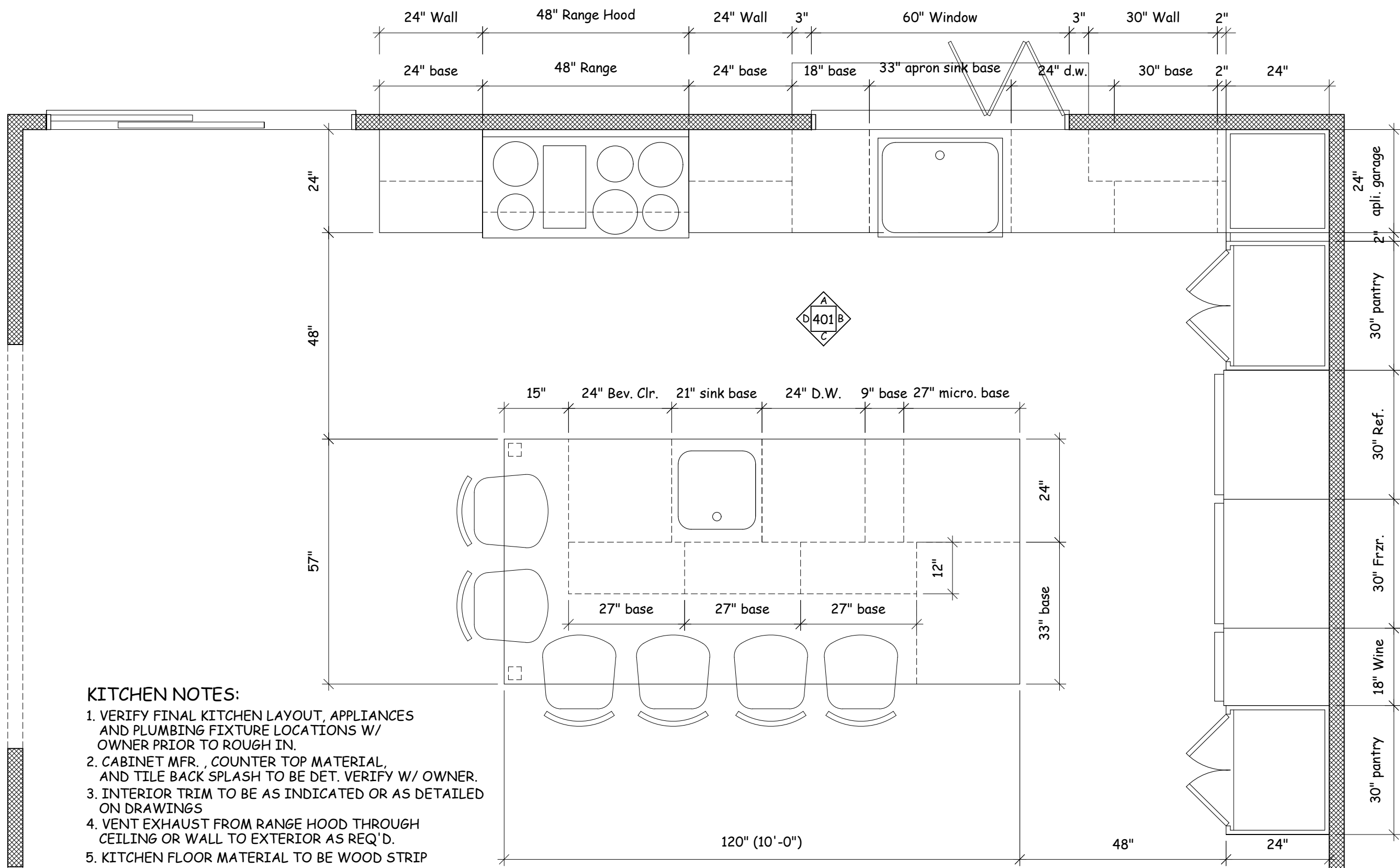
Project Title

SECTIONS, DETAILS & SCHEDULE

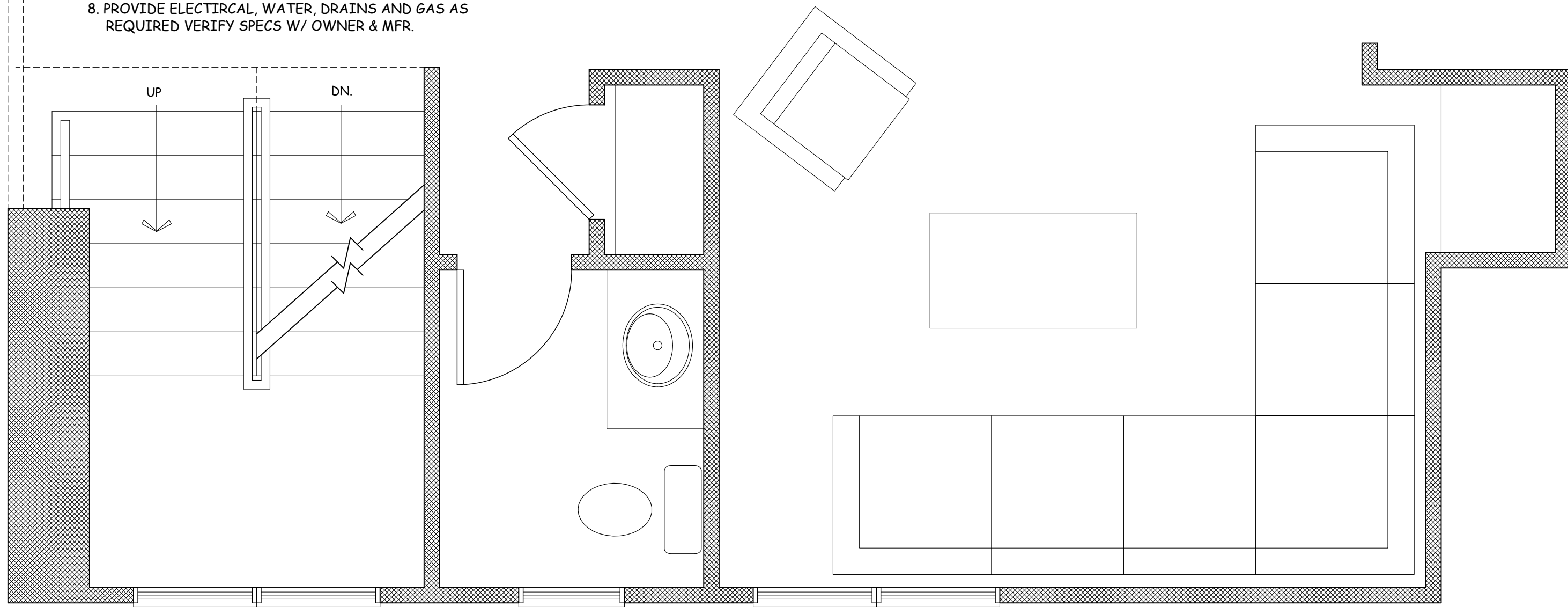
Scale **AS NOTED**

Date **03/02/22**
Drawing By **A.O.**

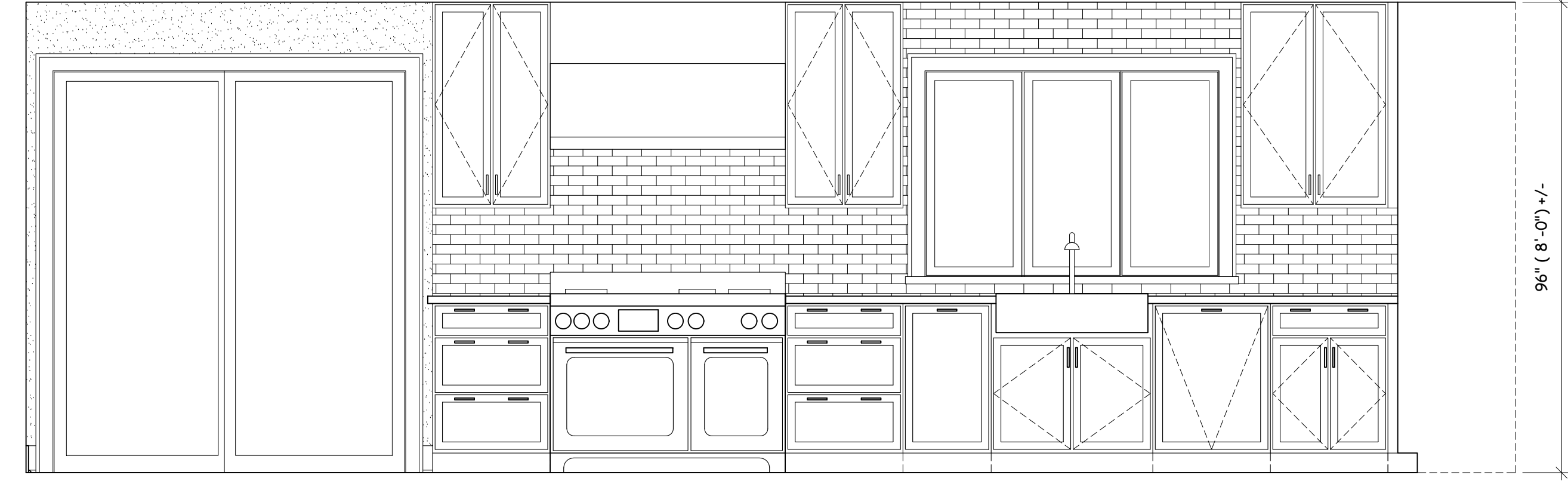
Drawing No.
A-301



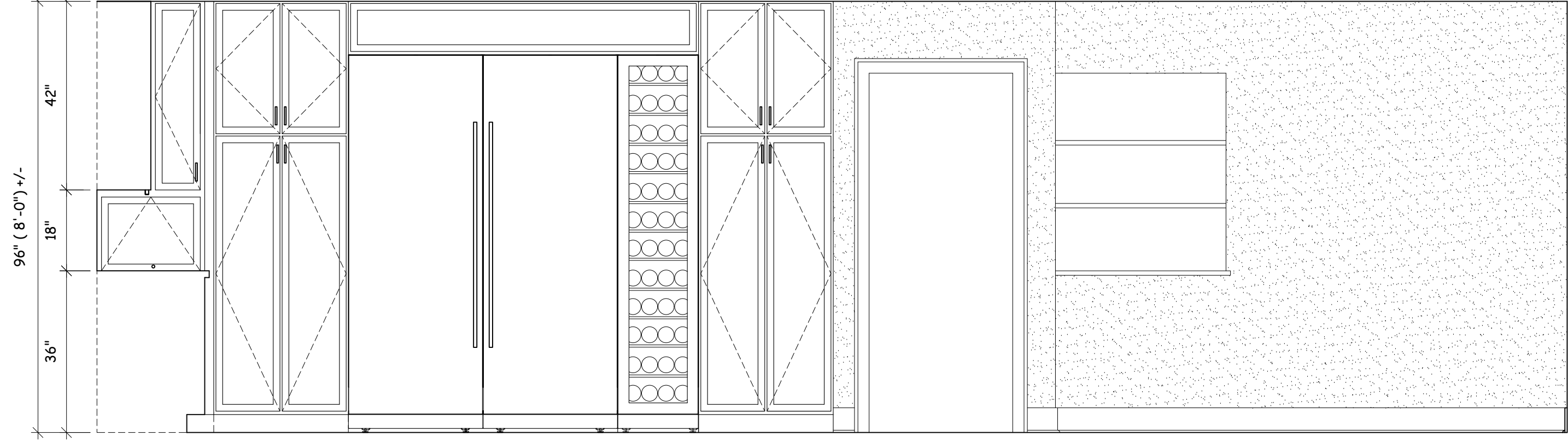
- KITCHEN NOTES:**
1. VERIFY FINAL KITCHEN LAYOUT, APPLIANCES AND PLUMBING FIXTURE LOCATIONS W/ OWNER PRIOR TO ROUGH IN.
 2. CABINET MFR. , COUNTER TOP MATERIAL, AND TILE BACK SPLASH TO BE DET. VERIFY W/ OWNER.
 3. INTERIOR TRIM TO BE AS INDICATED OR AS DETAILED ON DRAWINGS
 4. VENT EXHAUST FROM RANGE HOOD THROUGH CEILING OR WALL TO EXTERIOR AS REQ'D.
 5. KITCHEN FLOOR MATERIAL TO BE WOOD STRIP FLOORING AS SELECTED BY OWNER
 6. ALL BASE AND WALL CABINETS WITH EXPOSED SIDES TO BE SUPPLIED WITH FINISHED END PANELS (DOORS)
 7. KITCHEN CABINETS MANUFACTURER TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH CONTRACTOR PRIOR TO PLACING CABINET ORDER.
 8. PROVIDE ELECTRICAL, WATER, DRAINS AND GAS AS REQUIRED VERIFY SPECS W/ OWNER & MFR.



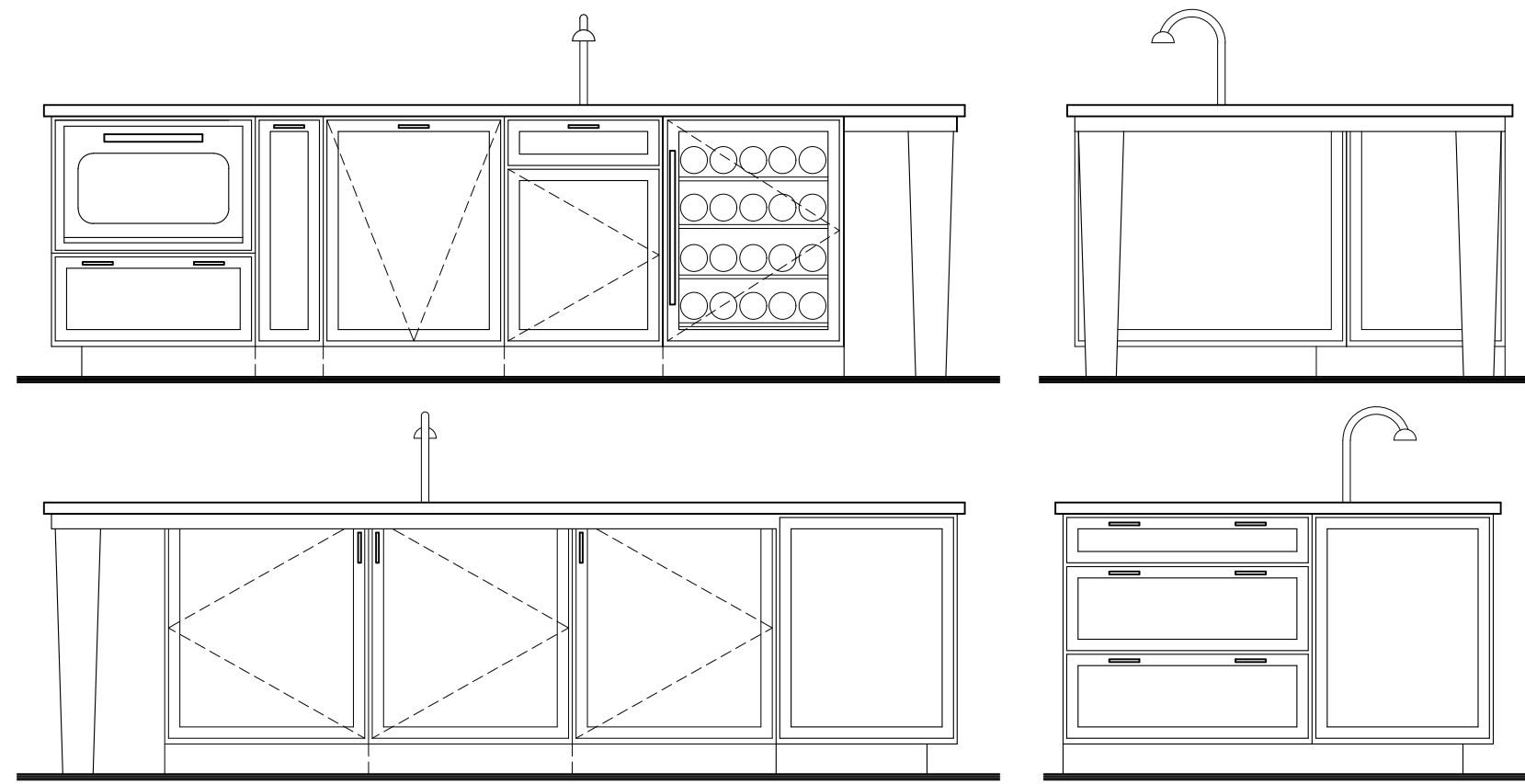
KITCHEN CABINET LAYOUT
SCALE 1/2"=1'-0"



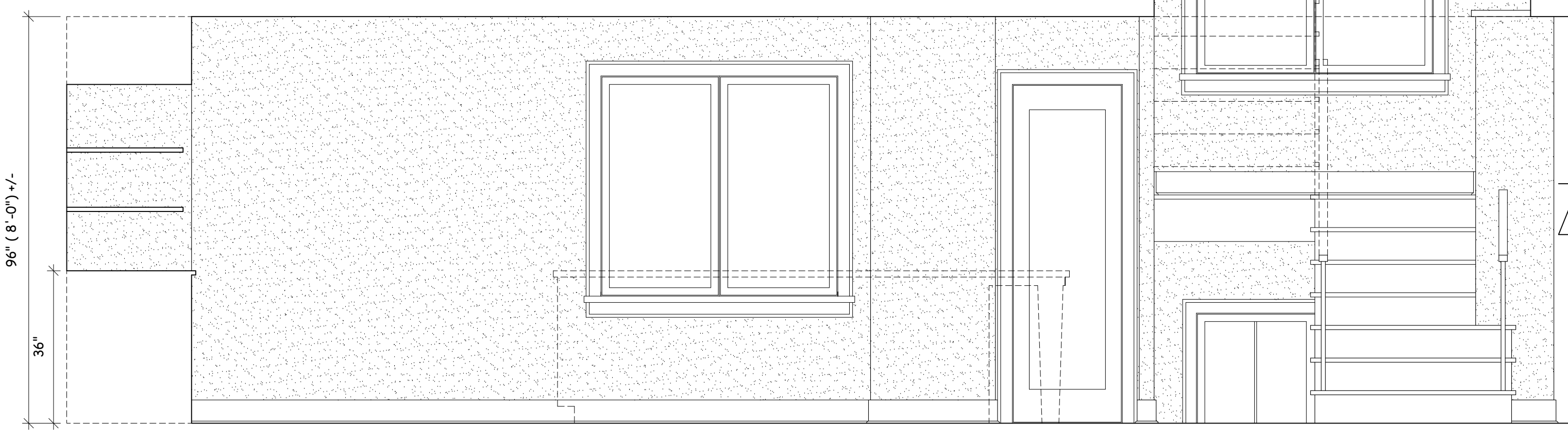
ELEVATION "A"
© KITCHEN



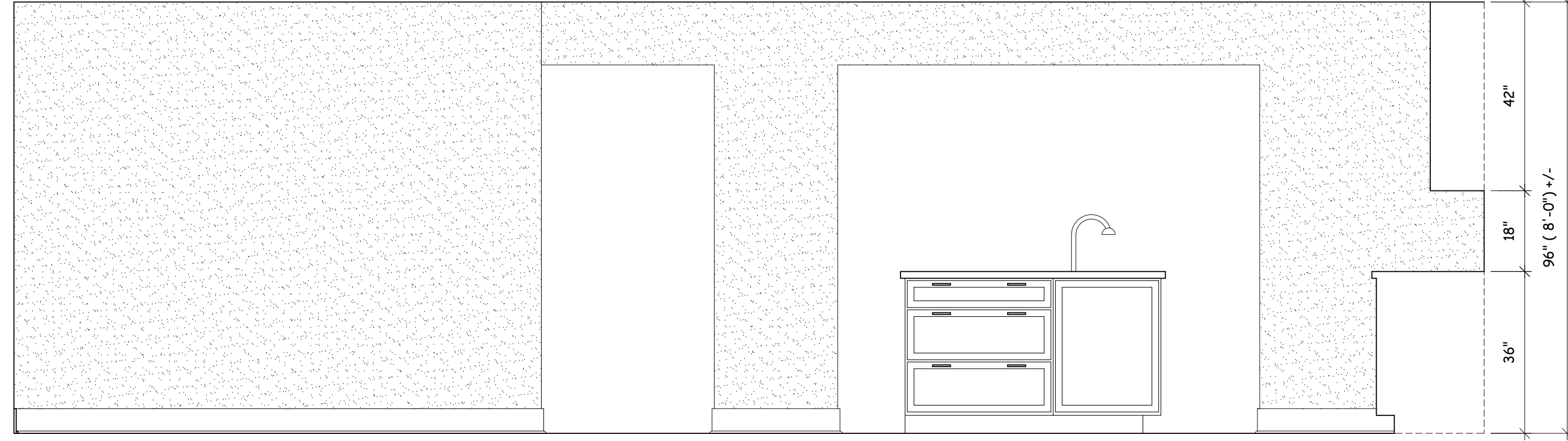
ELEVATION "B"
© KITCHEN



KITCHEN ISLAND
© KITCHEN



ELEVATION "C"
© KITCHEN



ELEVATION "D"
© KITCHEN

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WILLIAM P WITT ARCHITECTS
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914-276-0225

Project Title
ADDITIONS & ALTERATIONS
WADE RESIDENCE
65 HAVEMEYER RD.
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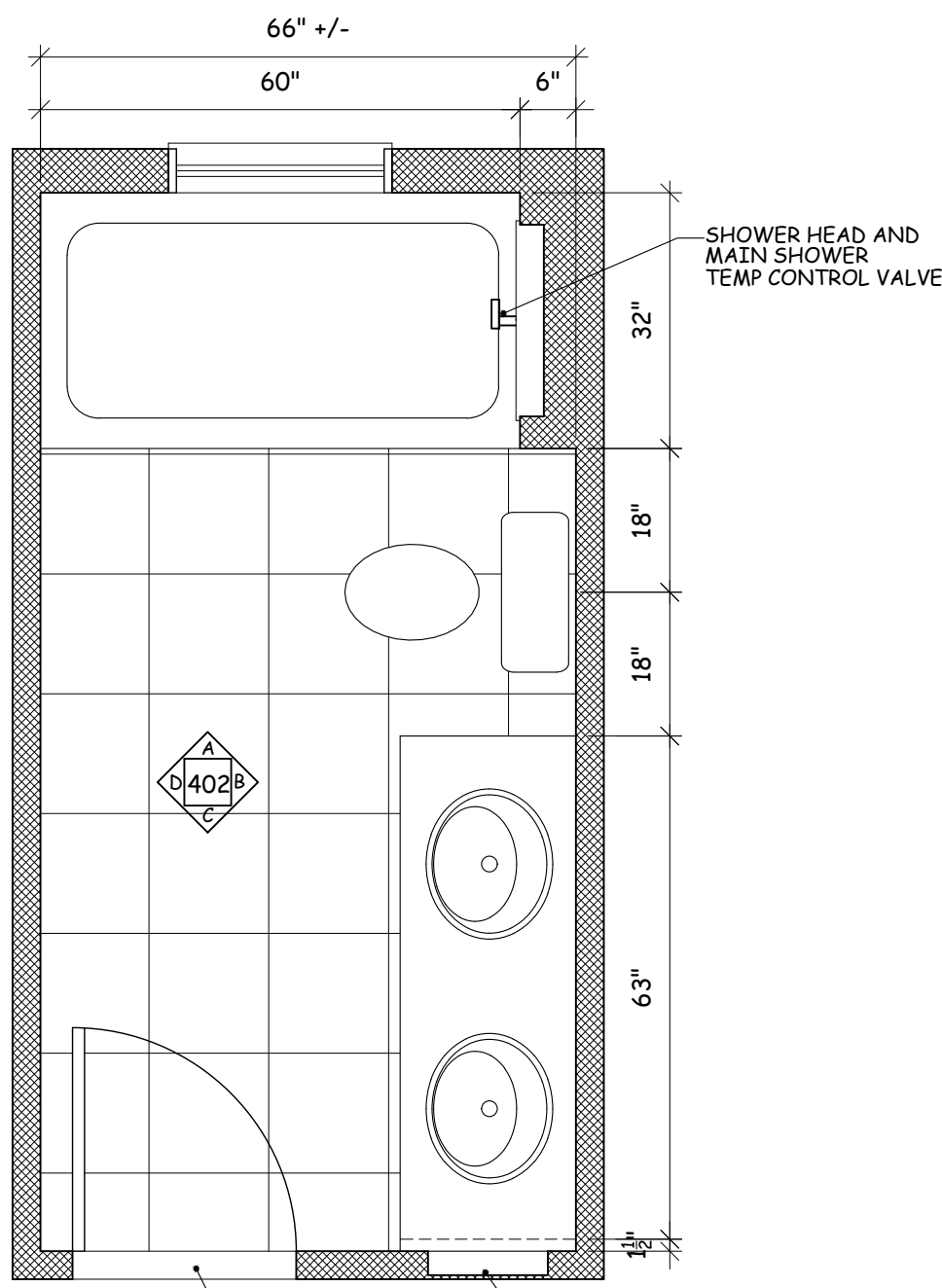
INTERIOR
ELEVATIONS

Scale 1/2" = 1'-0"

Date 03/02/22
Drawing By A.O.

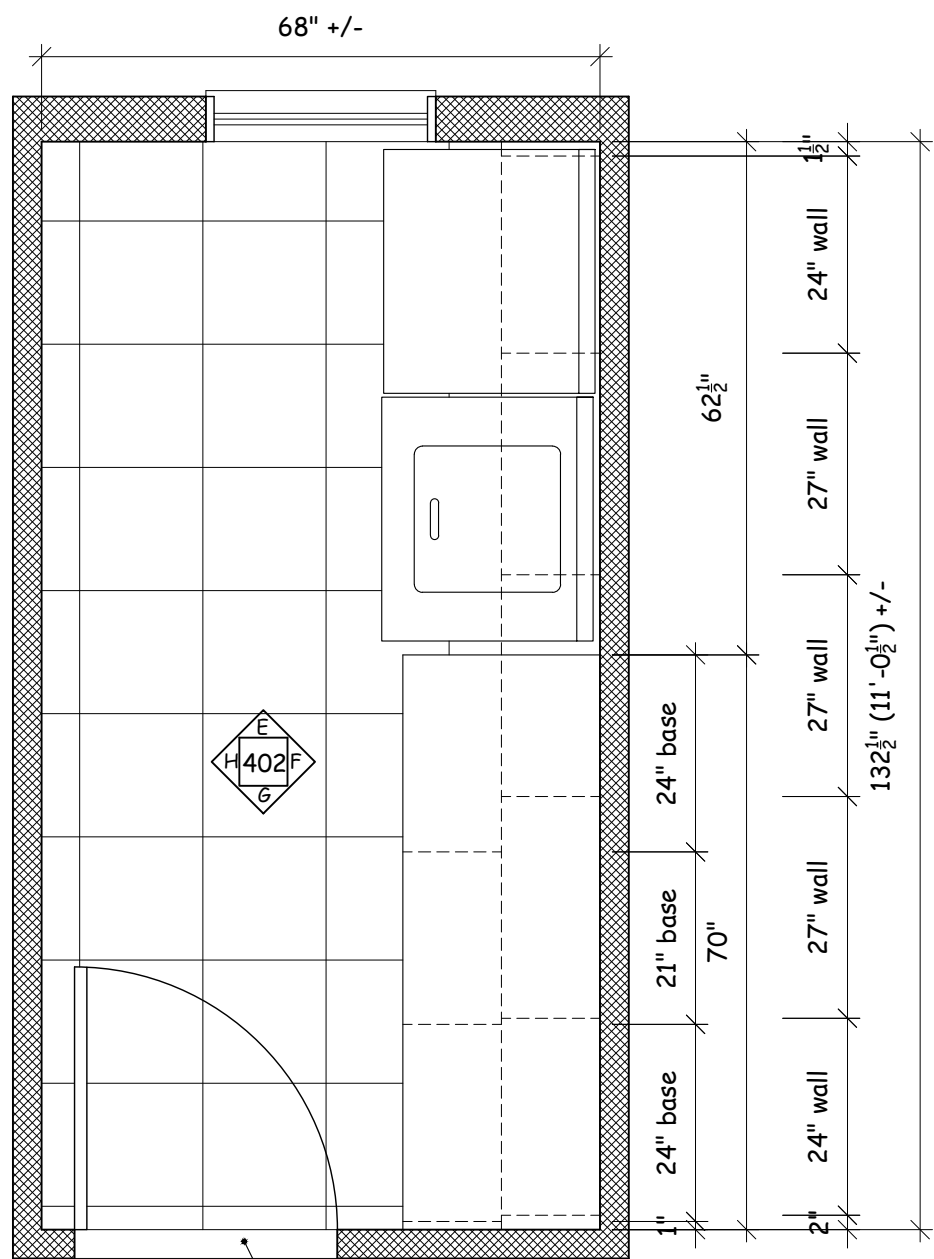
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A-401

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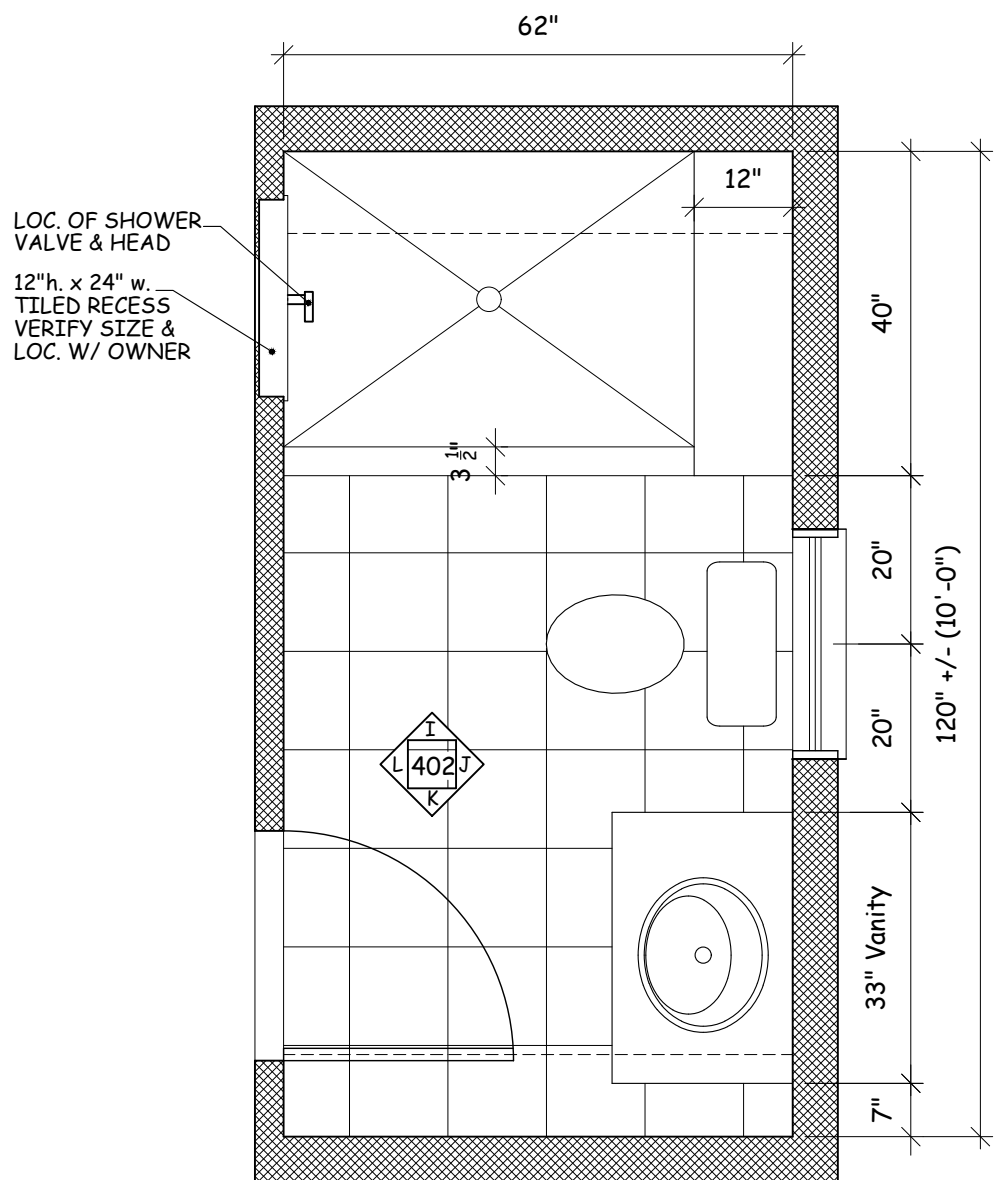
BATHROOM-1

SCALE 1/2"=1'-0"



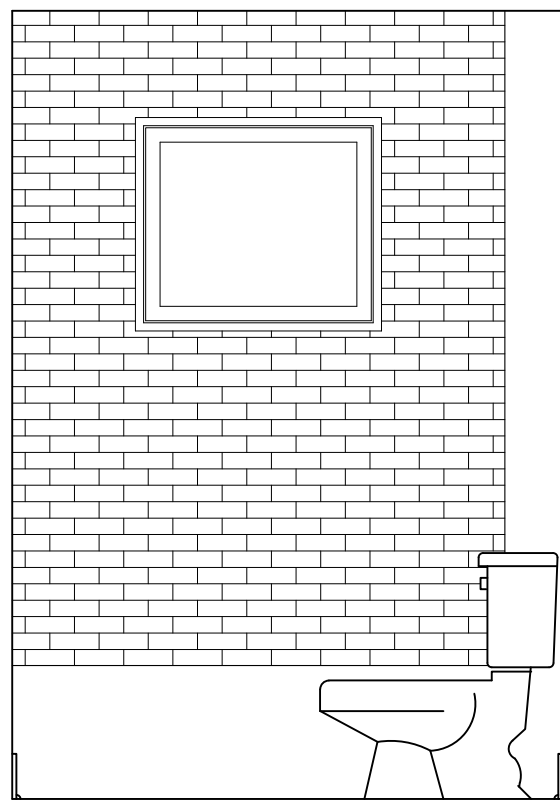
LAUNDRY ROOM

SCALE 1/2"=1'-0"



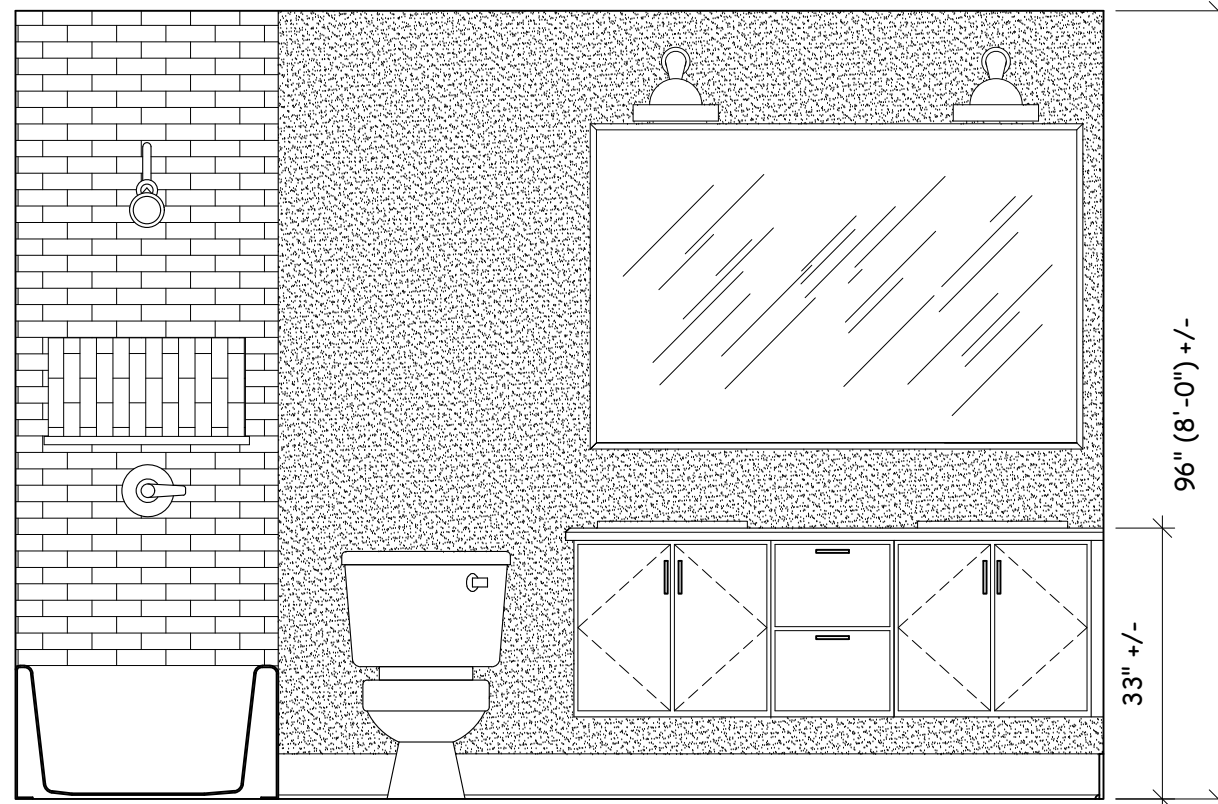
BATHROOM-2

SCALE 1/2"=1'-0"



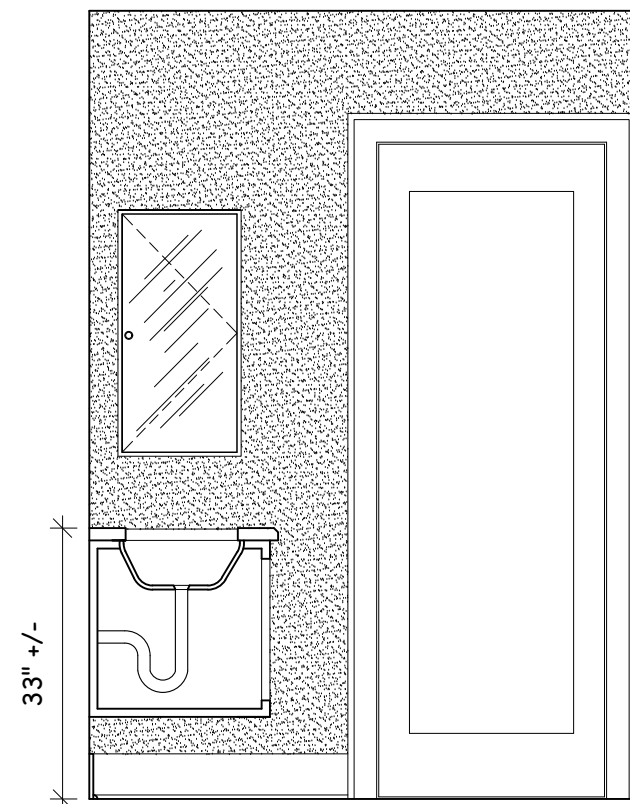
ELEVATION "A"

© BATHROOM-1



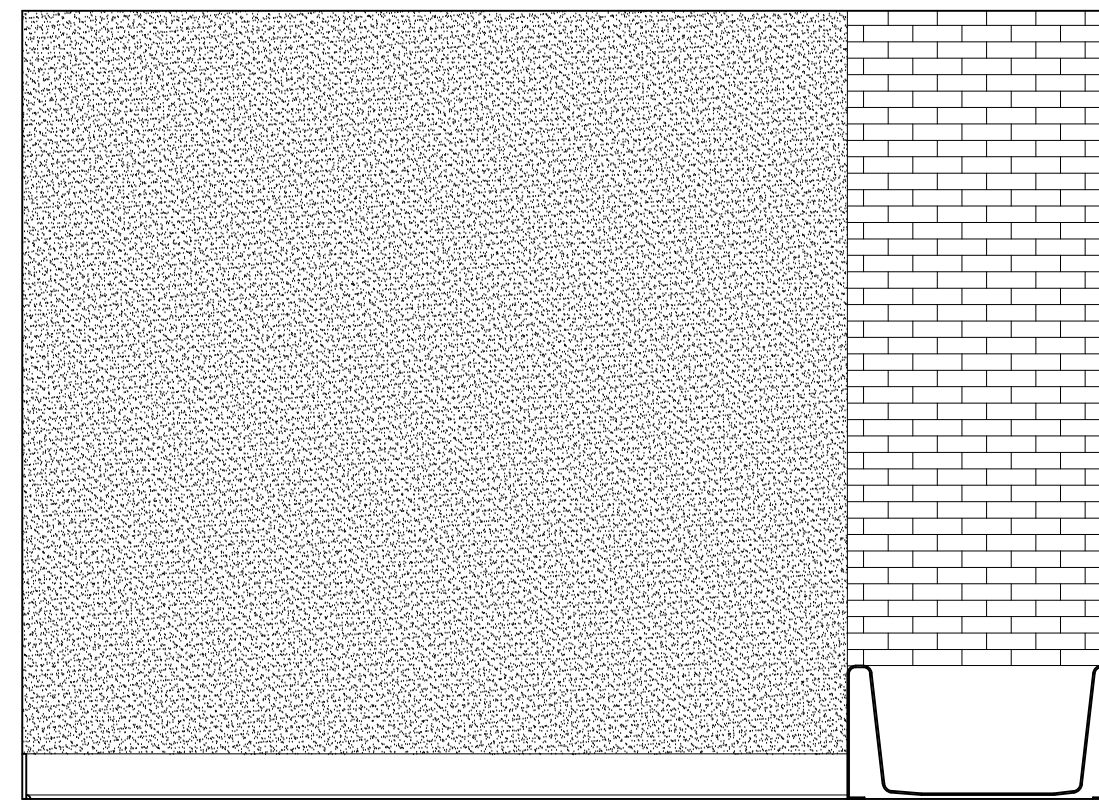
ELEVATION "B"

© BATHROOM-1



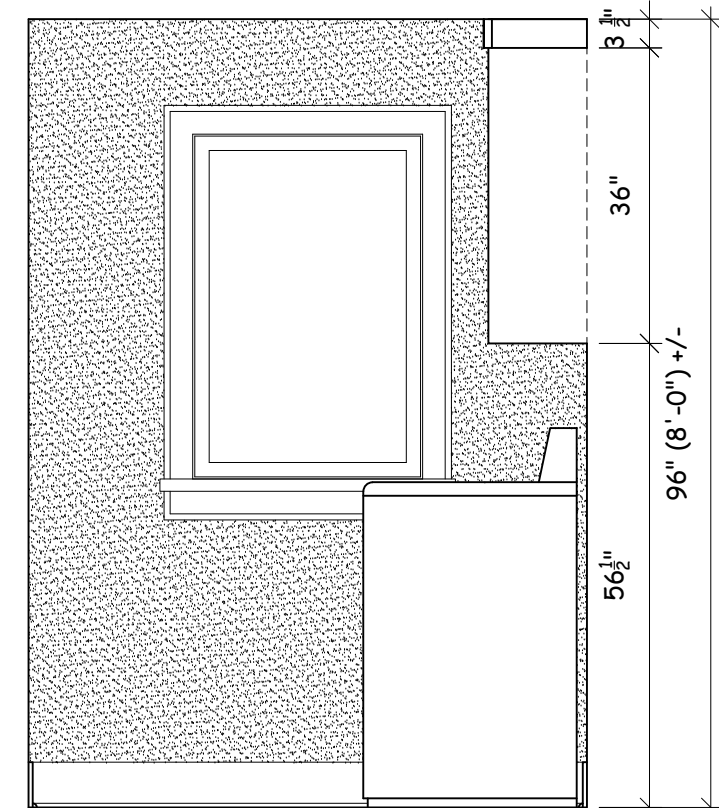
ELEVATION "C"

© BATHROOM-1



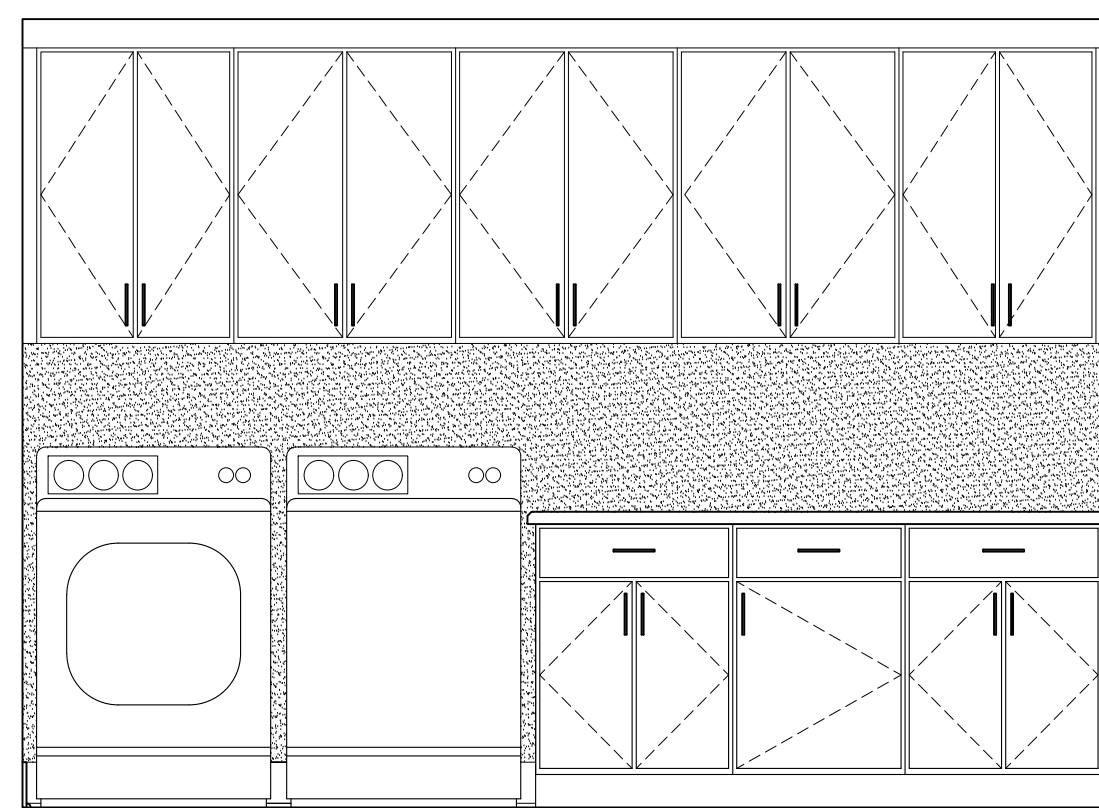
ELEVATION "D"

© BATHROOM-1



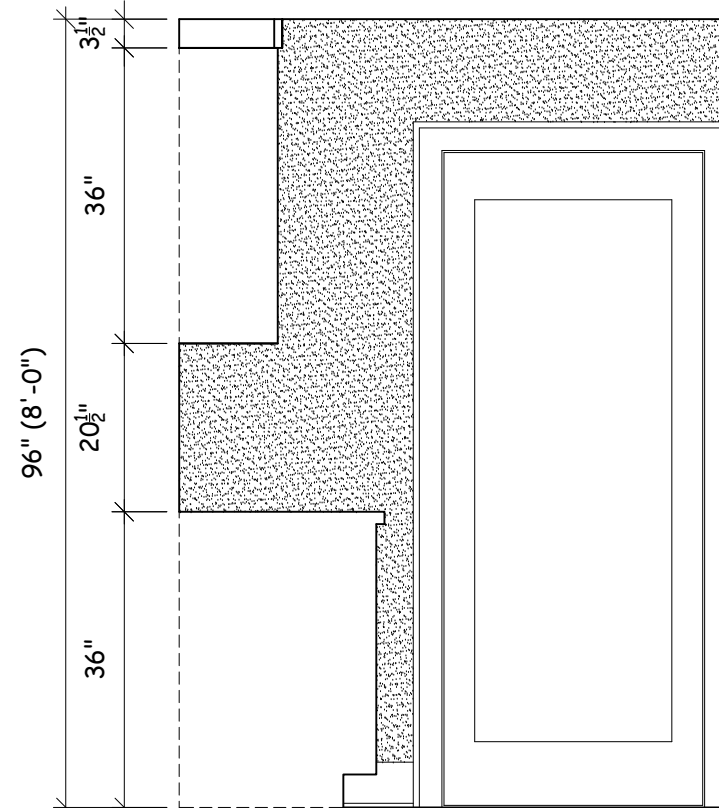
ELEVATION "E"

© LAUNDRY ROOM



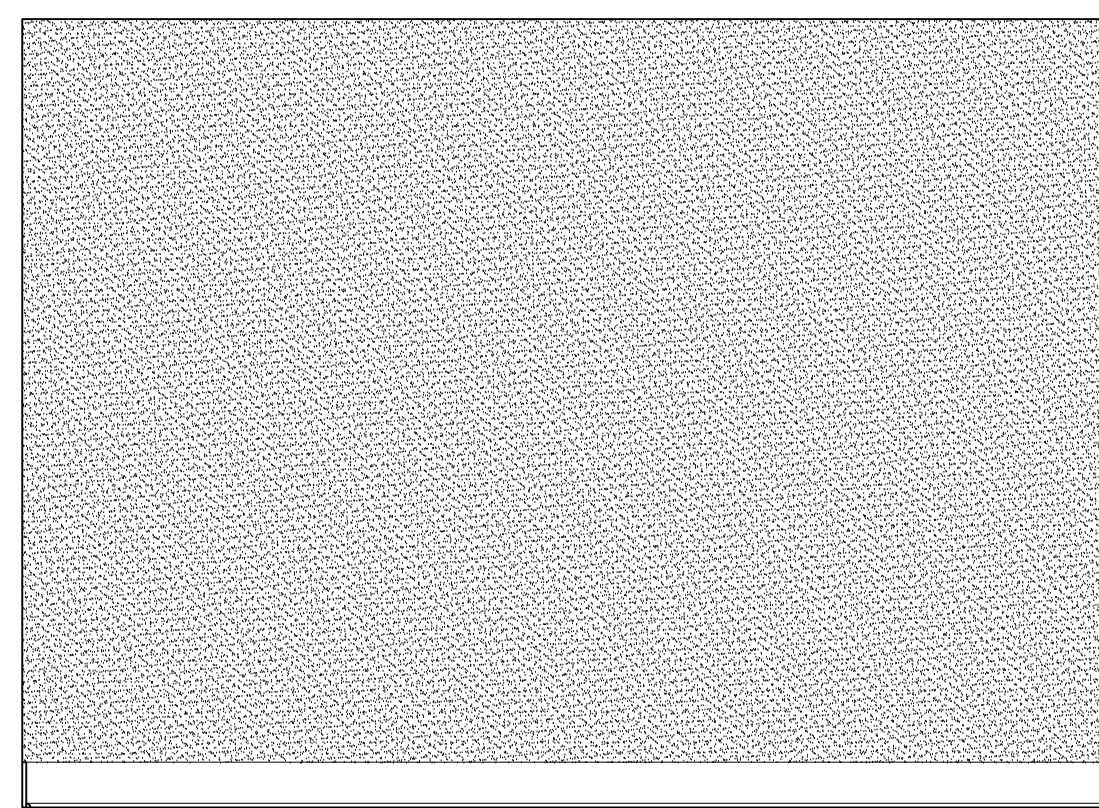
ELEVATION "F"

© LAUNDRY ROOM



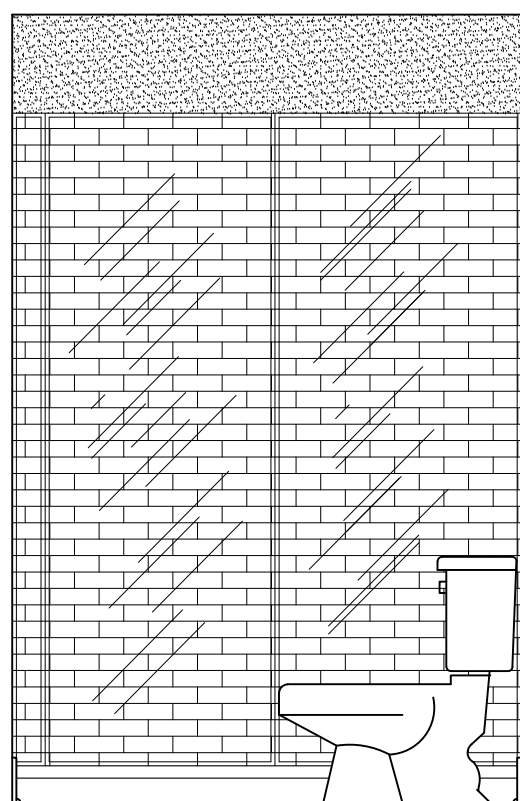
ELEVATION "G"

© LAUNDRY ROOM



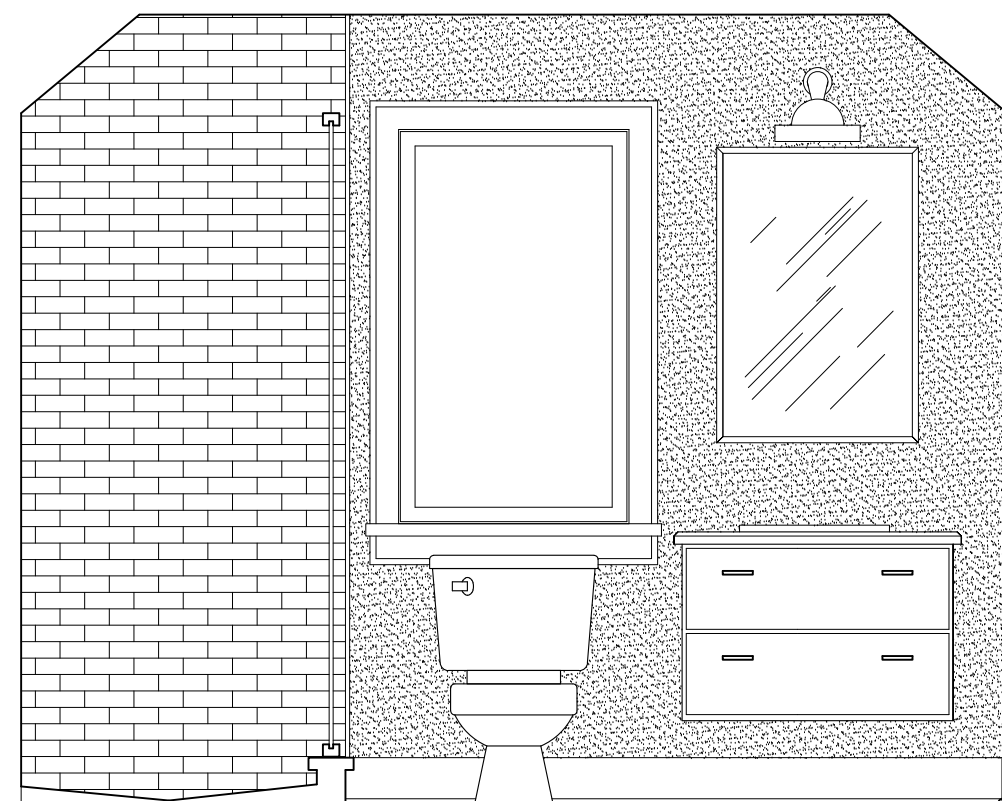
ELEVATION "H"

© LAUNDRY ROOM



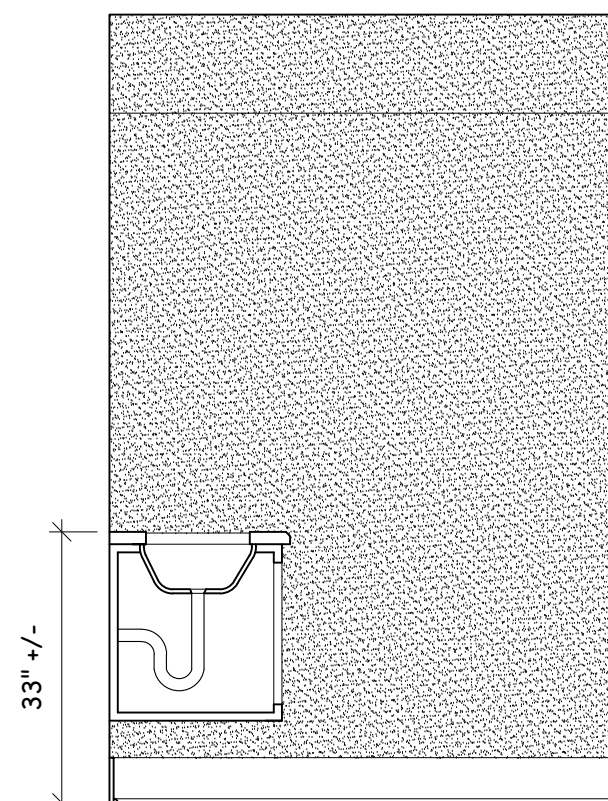
ELEVATION "I"

© BATHROOM-2



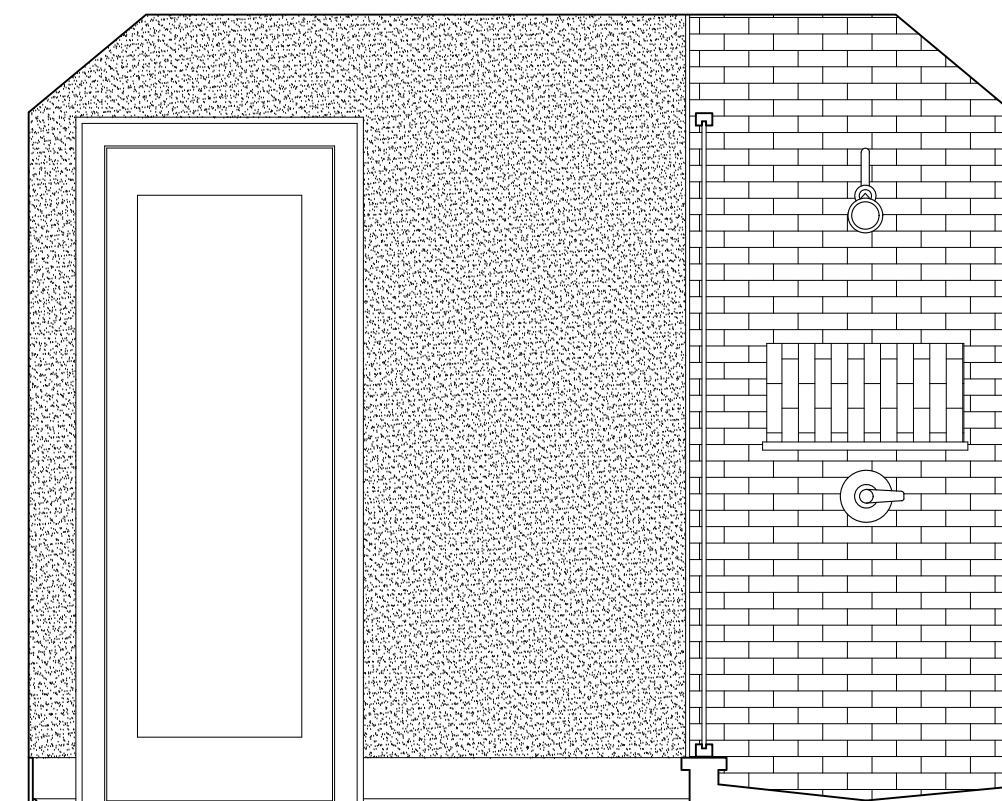
ELEVATION "J"

© BATHROOM-2



ELEVATION "K"

© BATHROOM-2



ELEVATION "L"

© BATHROOM-2

BATHROOM NOTES:

1. ALL PLUMBING FIXTURES TO BE AS SELECTED BY OWNER
2. ALL FLOOR AND WALL TILE OR STONE TO BE AS SELECTED BY OWNER
3. INSTALL OWNER SUPPLIED BATH ACCESSORIES VERIFY FINAL LOCATION
4. VERIFY FINAL LOCATION AND SIZE OF PLUMBING FIXTURES AND VANITIES PRIOR TO ROUGH IN.
5. ALL BATHROOM VANITY TOPS TO BE MARBLE OR GRANITE AS SELECTED BY OWNER
6. PLUMBER AND ELECTRICIAN TO COORDINATE FINAL FIXTURE LAYOUT & SIZES.
7. VERIFY LOCATION OF ALL TUB & SHOWER VALVES W/ OWNER PRIOR TO ROUGH IN.
8. PROVIDE ADDITIONAL BLOCKING IN WALLS FOR SHOWER ENCLOSURES & BATH ACCESSORIES.
9. VENT BATHROOM EXHAUST FANS TO EXTERIOR AS PER MANUFACTURERS SPECIFICATIONS.
10. DIMENSIONS ARE FROM FRAMING AND DO NOT ACCOUNT FOR WALL FINISHES OR FRAMING IMPERFECTIONS.

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Project Title

ADDITIONS & ALTERATIONS

WADE RESIDENCE

65 HAVEMEYER RD.
IRVINGTON, NY 10533

INTERIOR
ELEVATIONS

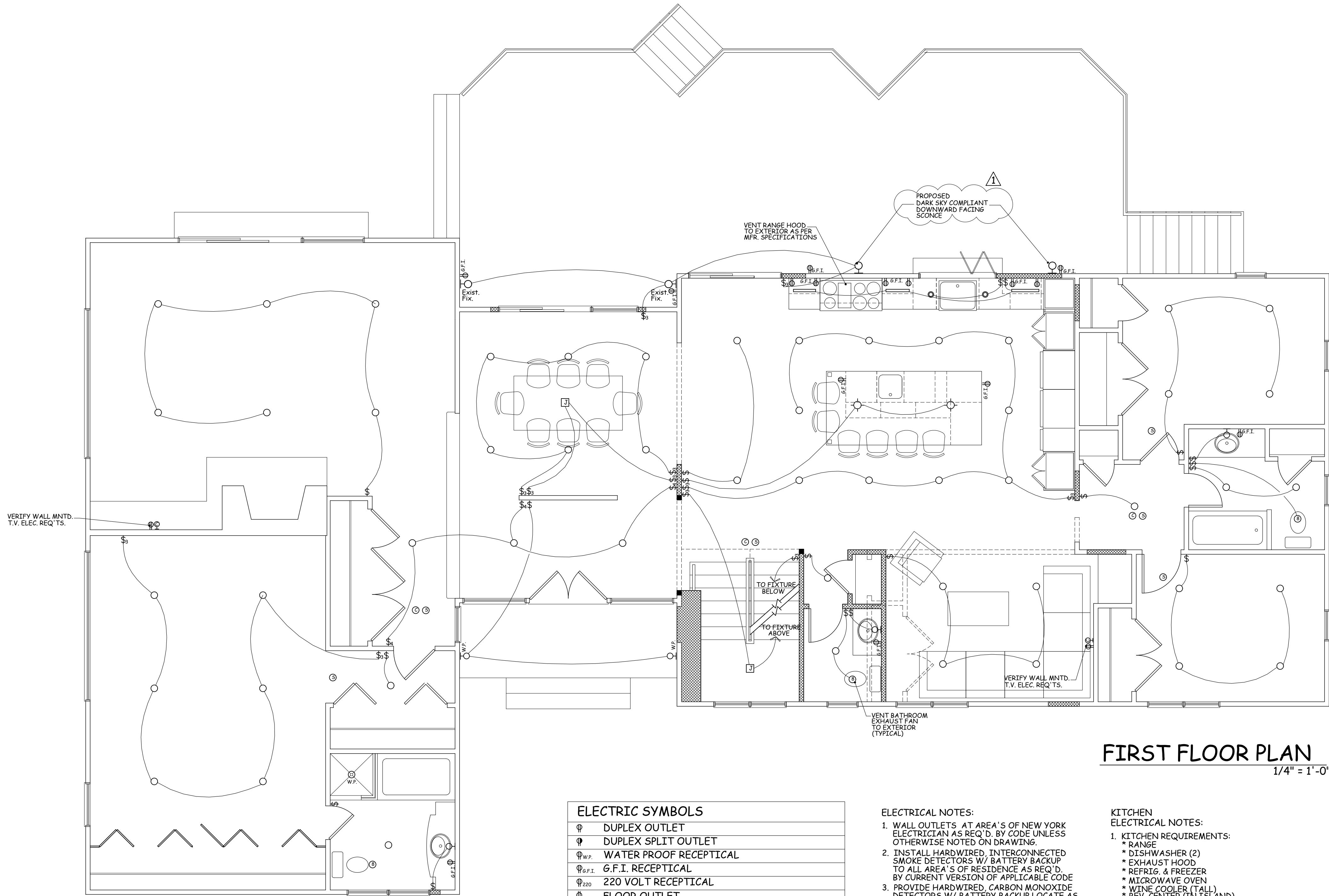
Scale 1/2" = 1'-0"



Date 03/02/22
Drawing By A.O.

Drawing No.

A-402



EXHAUST NOTES:
1. ALL BATH, LAUNDRY & KITCHEN HOOD
VENTS TO EXIT A MIN. 3' MIN.
FROM ANY EXTERIOR OPENING.
2. PROVIDE BACKDRAFT DAMPER AT ALL
EXHAUSTS VENTS AT EXTERIOR.

FIRST FLOOR PLAN
1/4" = 1'-0"

ELECTRIC SYMBOLS

⦿	DUPLEX OUTLET
⦿	DUPLEX SPLIT OUTLET
⦿ _{W.P.}	WATER PROOF RECEPTICAL
⦿ _{G.F.I.}	G.F.I. RECEPTICAL
⦿ ₂₂₀	220 VOLT RECEPTICAL
⦿	FLOOR OUTLET
⦿ _{CL6}	CEILING OUTLET
⦿	CABLE TV. OUTLET (R66 QUAD) HOME RUN
▽	TELEPHONE OUTLET (CAT 5E) HOME RUN
⦿	SURFACE MOUNTED LIGHT FIXTURE
○	5" RECESSED LIGHT W/ LED BULB & TRIM
⦿	3" RECESSED LIGHT W/ LED BULB & TRIM
⦿	CARBON MONOXIDE DET. (INSTALL AS REQ'D.)
⦿	SMOKE ALARM (INTERCONNECTED)
⦿	EXHAUST FAN
⦿	EXHAUST FAN / LIGHT COMBO
\$	SINGLE POLE SWITCH
\$	THREE POLE SWITCH
\$	DIMMER SWITCH
⦿	CEILING FAN JUNCTION BOX
⦿	EXTER. SPOT LIGHT W/ MOT. DET.
—	UNDERCOUNTER LIGHTING
○	WALL MOUNTED LIGHT FIXTURE
⦿	HEAT DETECTOR (INSTALL AS REQ'D. BY CODE)

ELECTRICAL NOTES:

- WALL OUTLETS AT AREA'S OF NEW YORK ELECTRICIAN AS REQ'D. BY CODE UNLESS OTHERWISE NOTED ON DRAWING.
- INSTALL HARDWIRED, INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP TO ALL AREA'S OF RESIDENCE AS REQ'D. BY CURRENT VERSION OF APPLICABLE CODE
- PROVIDE HARDWIRED CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATE AS REQUIRED BY CURRENT CODE.
- VERIFY APPLIANCE & NEW MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENTS W/ OWNER PRIOR TO ROUGH IN
- PROVIDE OWNER W/ \$2,000 ALLOWANCE FOR THE SELECTION & INSTALLATION OF DIMMER SWITCHES. VERIFY LOCATIONS.
- PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMPS PER THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
- ALL BATH, LAUNDRY & KITCHEN EXHAUST VENTS TO EXIT A MIN. OF 3' FROM ANY EXTERIOR OPENING. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS.
- ALL RECESSED LIGHTS IN CONTACT W/ ROOF OR FLOOR INSULATION TO BE BOTH IC & UL RATED.

KITCHEN ELECTRICAL NOTES:

- KITCHEN REQUIREMENTS:
 - RANGE
 - DISHWASHER (2)
 - EXHAUST HOOD
 - REFRIG. & FREEZER
 - MICROWAVE OVEN
 - WINE COOLER (TALL)
 - BEV. CENTER (ON ISLAND)
 - UNDER CAB. LIGHTS
 - G.F.C.I. WALL OUTLETS
- VERIFY CENTER OF KITCHEN ISLAND PRIOR TO ROUGHING IN CL6 FIXTURES.
- SEE FINAL KITCHEN PLAN BY OTHERS AND VERIFY APPLIANCE REQUIREMENTS PRIOR TO ROUGH.
- VERIFY KITCHEN COUNTER ELECTRICAL OUTLET LOCATIONS W/ KITCHEN SUPPLIER

LEGEND

—	EXIST. CONC. FOUNDATION WALL TO REMAIN
—	NEW CONC. FOUNDATION WALL
—	EXIST. FRAME WALL TO REMAIN
—	NEW FRAME WALL
—	EXIST. FRAME WALL TO BE REMOVED

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Project Title

ADDITIONS & ALTERATIONS

WADE RESIDENCE

65 HAVEMEYER RD.
IRVINGTON, NY 10533

Scale

1/4" = 1'-0"



Date

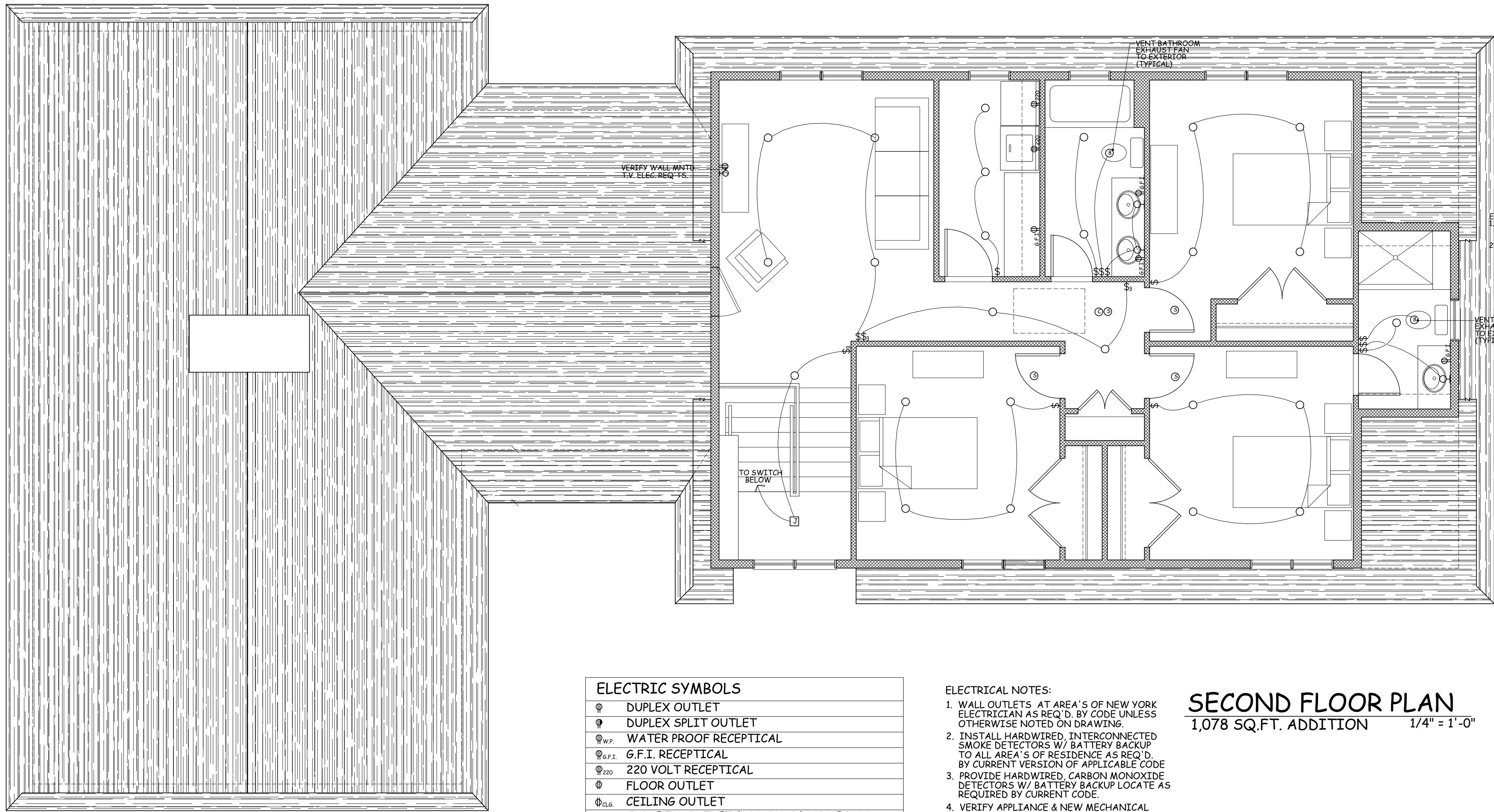
03/02/22

Drawing By

A.O.

Drawing No.

E- 101



ELECTRIC SYMBOLS	
	DUPLEX OUTLET
	DUPLEX SPLIT OUTLET
	WATER PROOF RECEPTICAL
	G.F.I. RECEPTICAL
	220 VOLT RECEPTICAL
	FLOOR OUTLET
	CEILING OUTLET
	CABLE TV. OUTLET (RG6 QUAD) HOME RUN
	TELEPHONE OUTLET (CAT 5E) HOME RUN
	SURFACE MOUNTED LIGHT FIXTURE
	5" RECESSED LIGHT W/ LED BULB & TRIM
	3" RECESSED LIGHT W/ LED BULB & TRIM
	CARBON MONOXIDE DET. (INSTALL AS REQ'D.)
	SMOKE ALARM (INTERCONNECTED)
	EXHAUST FAN
	EXHAUST FAN / LIGHT COMBO
	SINGLE POLE SWITCH
	THREE POLE SWITCH
	DIMMER SWITCH
	CEILING FAN JUNCTION BOX
	EXTER. SPOT LIGHT W/ MOT. DET.
	UNDERCOUNTER LIGHTING
	WALL MOUNTED LIGHT FIXTURE
	HEAT DETECTOR (INSTALL AS REQ'D. BY CODE)

- ELECTRICAL NOTES:
1. WALL OUTLETS AT AREA'S OF NEW YORK ELECTRICIAN AS REQ'D. BY CODE UNLESS OTHERWISE NOTED ON DRAWING.
 2. INSTALL HARDWIRED, INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP TO ALL AREA'S OF RESIDENCE AS REQ'D. BY CURRENT VERSION OF APPLICABLE CODE
 3. PROVIDE HARDWIRED, CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATE AS REQUIRED BY CURRENT CODE.
 4. VERIFY APPLIANCE & NEW MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENTS W/ OWNER PRIOR TO ROUGH IN
 5. PROVIDE OWNER W/ \$2,000 ALLOWANCE FOR THE SELECTION & INSTALLATION OF DIMMER SWITCHES. VERIFY LOCATIONS.
 6. PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMPS PER THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
 7. ALL BATH, LAUNDRY & KITCHEN EXHAUST VENTS TO EXIT A MIN. OF 3' FROM ANY EXTERIOR OPENING. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS.
 8. ALL RECESSED LIGHTS IN CONTACT W/ ROOF OR FLOOR INSULATION TO BE BOTH IC & UL RATED.

SECOND FLOOR PLAN
1,078 SQ.FT. ADDITION 1/4" = 1'-0"

LEGEND	
	EXIST. CONC. FOUNDATION WALL TO REMAIN
	NEW CONC. FOUNDATION WALL
	EXIST. FRAME WALL TO REMAIN
	NEW FRAME WALL
	EXIST. FRAME WALL TO BE REMOVED

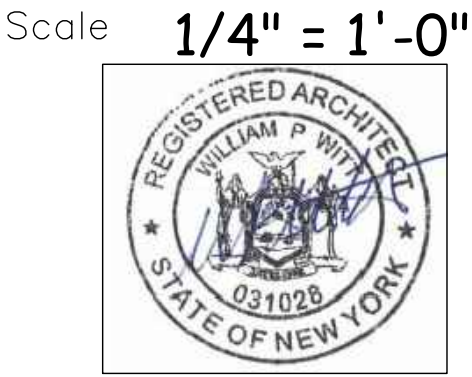
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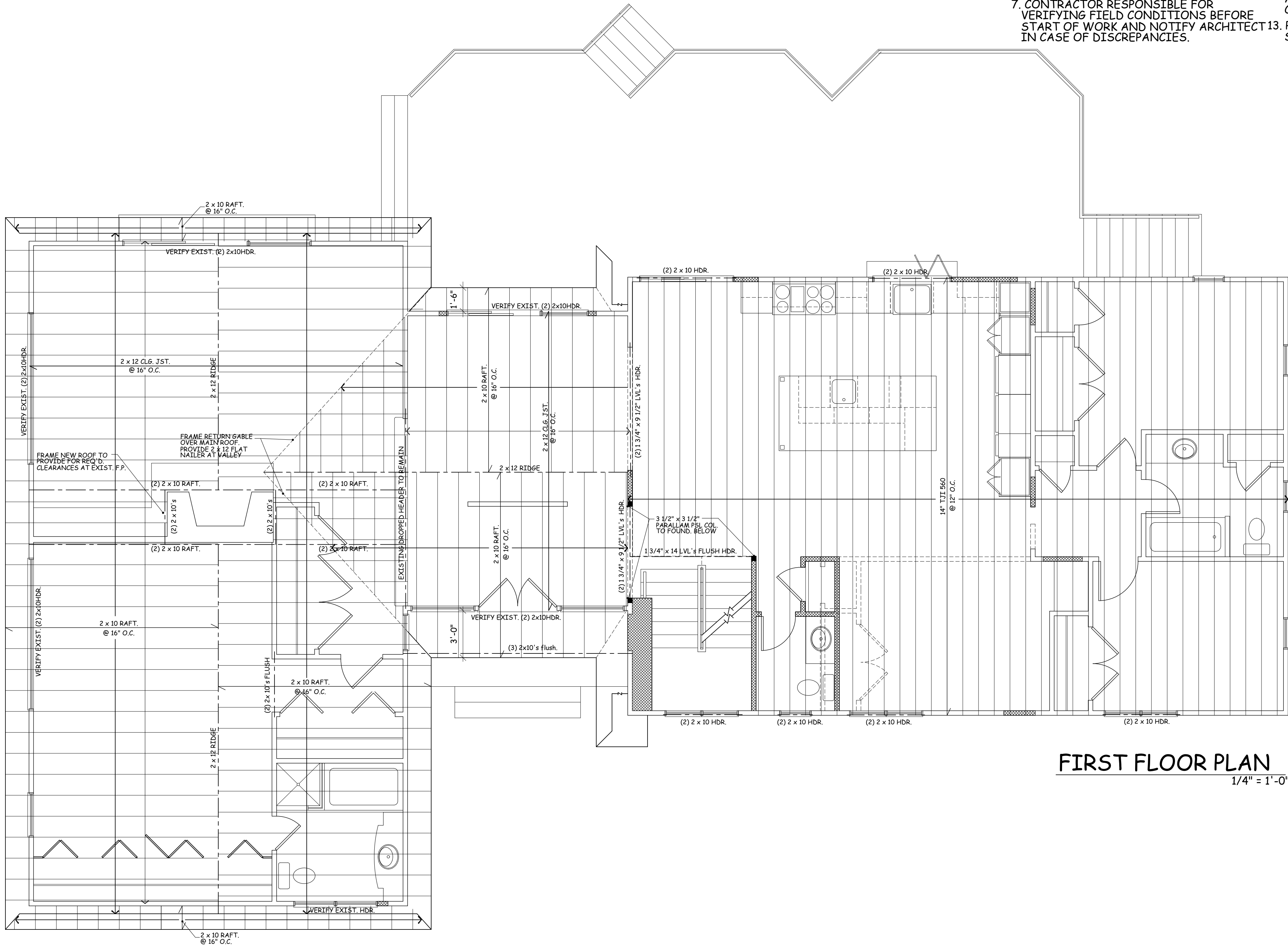
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IRVINGTON, NY 10533

SECOND FLOOR
ELECTRICAL
PLAN



Date 03/02/22
Drawing By A.O.

Drawing No.
E- 102



FIRST FLOOR PLAN
1/4" = 1'-0"

- FRAMING NOTES:
1. ALL FRAMING SHOWN TO PLATE LINE BELOW
 2. ALL HEADERS TO BE (2) 2 x 10 's UNLESS NOTED OTHERWISE
 3. VERIFY FASCIA AND RAKE OVERHANGS. (SEE A-200)
 4. PROVIDE SOLID STUDDING @ ALL BEAMS, HEADERS, AND POINT LOADS TO FOUND.
 5. ALL ENGINEERED WOOD FRAMING PRODUCTS TO BE AS MFR'D. BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL AS PER Mfr. 's SPECS.
 6. SEE BUILDING SECTIONS AND DETAILS (A-300 SERIES DRAWINGS) FOR SUPPLEMENTAL FRAMING REQ.
 7. CONTRACTOR RESPONSIBLE FOR VERIFYING FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY ARCHITECT IN CASE OF DISCREPANCIES.
 8. PROVIDE 2 x 8 COLLAR TIES 32" O.C. AT ALL ROOFS. SET AT UPPER THIRD OF ATTIC SPACE. (TYP.)
 9. PROVIDE AND INSTALL REQUIRED PLACARDS INDICATING LOCATION AND USE OF ALL ENGINEERED FRAMING COMPONENTS.
 10. PROVIDE 2 x () FLAT NAILER AT ALL VALLEYS OVER ROOFS. FLAT NAILER WIDTH SHALL MATCH THE JACK RAFTER LEVEL CUT MIN.
 11. LVL's SHALL BE AS MFR'D. BY "WEYERHAEUSER" 2.0E MICROLLAM OR APPROVED EQUAL. 1 3/4" WIDE IN DEPTH AS INDICATED ON PLANS.
G= 125,000psi, E= 2.0 x 10⁶ psi, Fc=750 psi, Ft= 1,555psi
Fb=2,600 psi at 12" depth for other than 12" depth multiply Fb by (12/d)^{1.36}
 12. PROVIDE ROOF UPLIFT & TIE DOWN CONNECTIONS AS PER SECTION 802.11 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE
 13. PROVIDE WEB STIFFENERS AT INTERMEDIATE SUPPORTS SUPPORT AS REQUIRED BY TJI MANUFACTURER.

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WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589
914-276-0225

Project Title

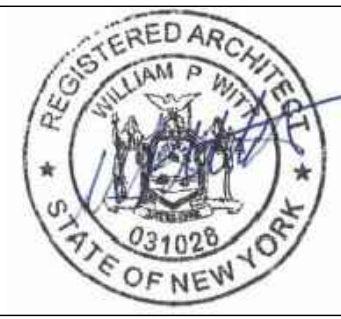
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IRVINGTON, NY 10533

SECOND FLOOR
FRAMING PLAN

Scale 1/4" = 1'-0"



Date 03/02/22
Drawing By A.O.

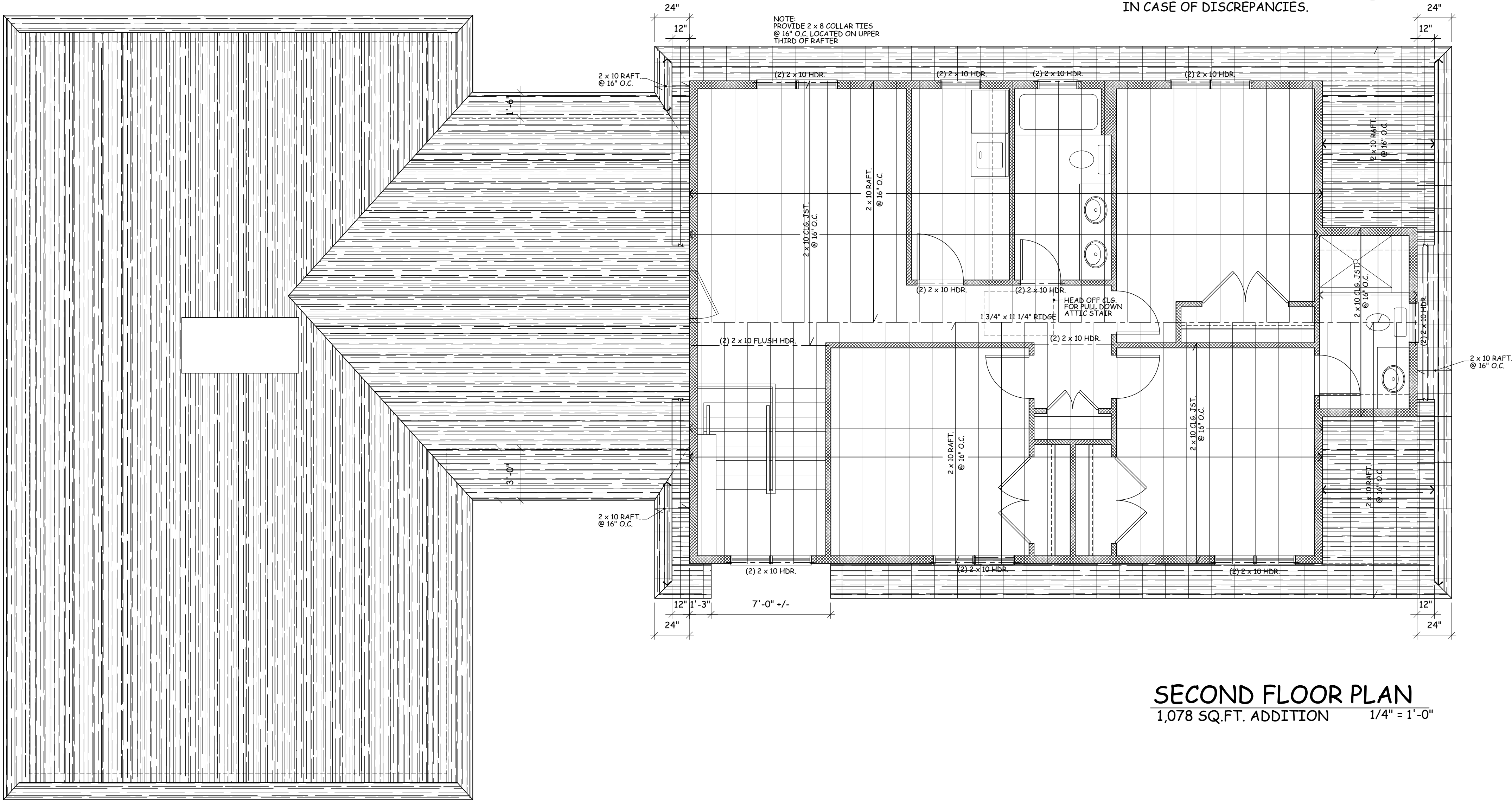
Drawing No.

F-101

LEGEND

- EXIST. CONC. FOUNDATION WALL TO REMAIN
- NEW CONC. FOUNDATION WALL
- EXIST. FRAME WALL TO REMAIN
- NEW FRAME WALL
- EXIST. FRAME WALL TO BE REMOVED

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SECOND FLOOR PLAN
1,078 SQ.FT. ADDITION 1/4" = 1'-0"

LEGEND

- | | |
|--|--|
| | EXIST. CONC. FOUNDATION WALL TO REMAIN |
| | NEW CONC. FOUNDATION WALL |
| | EXIST. FRAME WALL TO REMAIN |
| | NEW FRAME WALL |
| | EXIST. FRAME WALL TO BE REMOVED |

FRAMING NOTES:

1. ALL FRAMING SHOWN TO PLATE LINE BELOW
2. ALL HEADERS TO BE (2) 2 x 10 'S UNLESS NOTED OTHERWISE
3. VERIFY FASCIA AND RAKE OVERHANGS. (SEE A-200)
4. PROVIDE SOLID STUDDING @ ALL BEAMS, HEADERS, AND POINT LOADS TO FOUND.
5. ALL ENGINEERED WOOD FRAMING PRODUCTS TO BE AS MFR'D. BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL AS PER Mfr.'s SPECS.
6. SEE BUILDING SECTIONS AND DETAILS (A-300 SERIES DRAWINGS) FOR SUPPLEMENTAL FRAMING REQ.
7. CONTRACTOR RESPONSIBLE FOR VERIFYING FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY ARCHITECT IN CASE OF DISCREPANCIES.
8. PROVIDE 2 x 8 COLLAR TIES 32" O.C. AT ALL ROOFS. SET AT UPPER THIRD OF ATTIC SPACE. (TYP.)
9. PROVIDE AND INSTALL REQUIRED PLACARDS INDICATING LOCATION AND USE OF ALL ENGINEERED FRAMING COMPONENTS.
10. PROVIDE 2 x () FLAT NAILER AT ALL VALLEYS OVER ROOFS. FLAT NAILER WIDTH SHALL MATCH THE JACK RAFTER LEVEL CUT MIN.
11. LVL'S SHALL BE AS MFR'D. BY "WEYERHAEUSER" 2.0E MICROLLAM OR APPROVED EQUAL. 1 3/4" WIDE IN DEPTH AS INDICATED ON PLANS.
G= 125,000psi, E= 2.0 x 10⁶ psi, Fc=750 psi, Ft= 1,555psi
Fb=2,600 psi at 12" depth for other than 12" depth multiply Fb by (12/d)³.
12. PROVIDE ROOF UPLIFT & TIE DOWN CONNECTIONS AS PER SECTION 802.11 OF THE 2020 RESIDENTIAL CODE OF NEW YORK STATE

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ADDITIONS & ALTERATIONS

WADE RESIDENCE

65 HAVEMEYER RD.
IRVINGTON, NY 10533

WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589

914-276-0225

ROOF
FRAMING PLAN

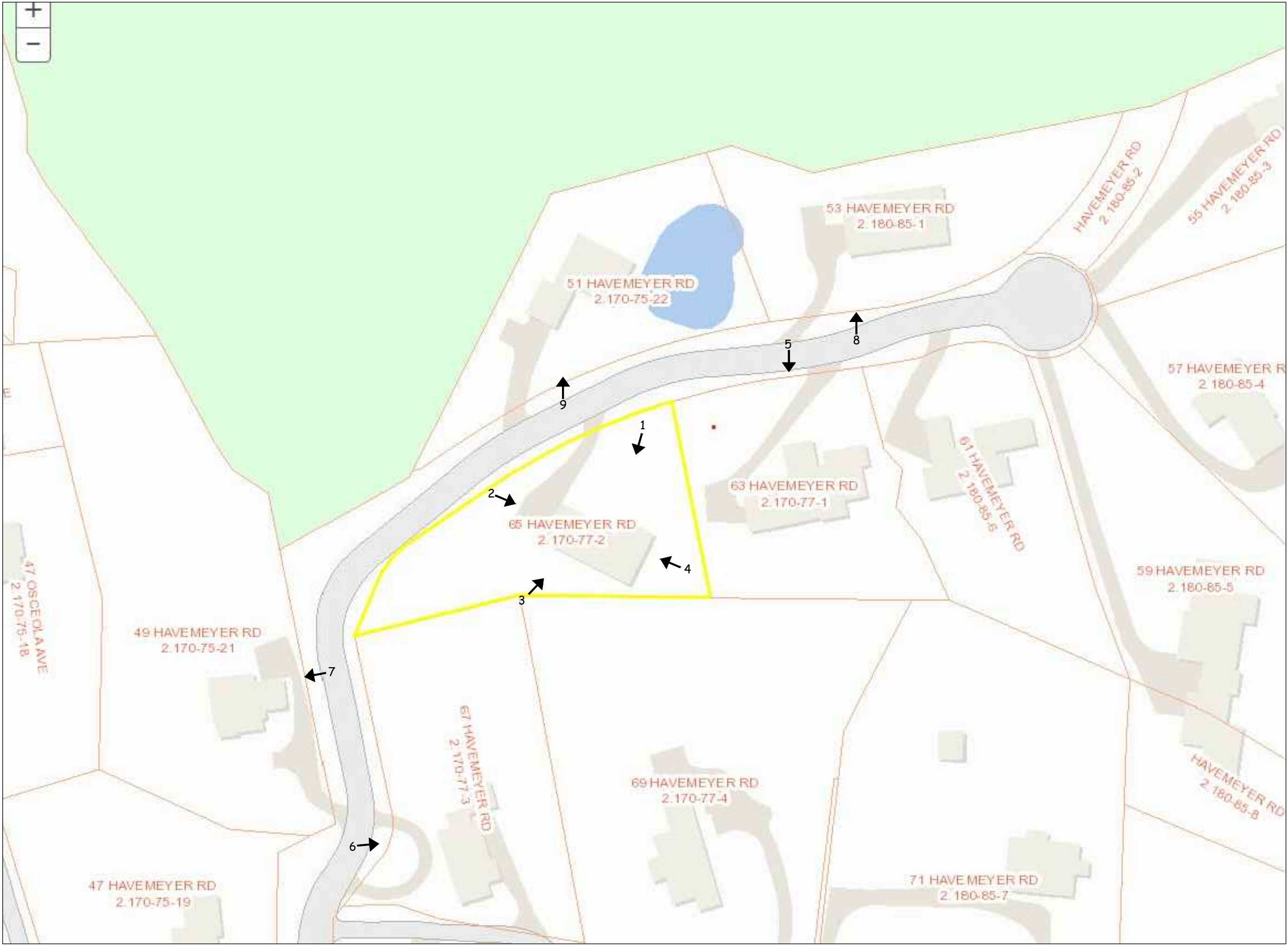
Scale 1/4" = 1'-0"



Date 03/02/22
Drawing By A.O.

Drawing No.

F-102



TAX / LOCATION MAP
NOT TO SCALE



65 HAVEMEYER ROAD FRONT



65 HAVEMEYER ROAD RIGHT SIDE



65 HAVEMEYER ROAD REAR



65 HAVEMEYER ROAD LEFT SIDE



63 HAVEMEYER ROAD



67 HAVEMEYER ROAD



49 HAVEMEYER ROAD



53 HAVEMEYER ROAD



51 HAVEMEYER ROAD

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WILLIAM P WITT ARCHITECTS, PLLC

WILLIAM P WITT ARCHITECTS

268 Route 202, Somers NY 10589
914-276-0225

Project Title

ADDITIONS & ALTERATIONS

WADE RESIDENCE

65 HAVEMEYER RD.
IRVINGTON, NY 10533

PHOTOS
AND AREA
MAP

Scale AS NOTED



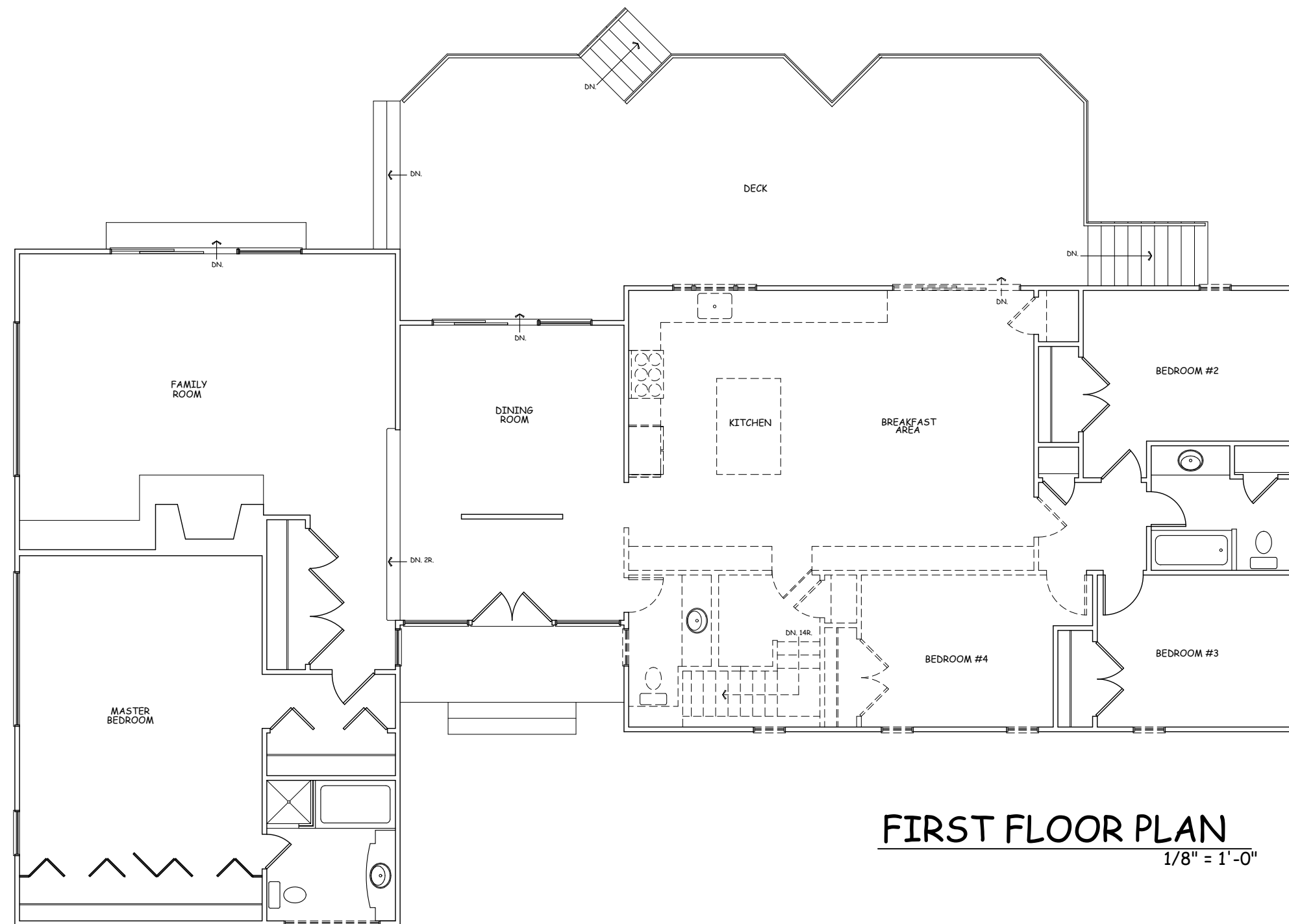
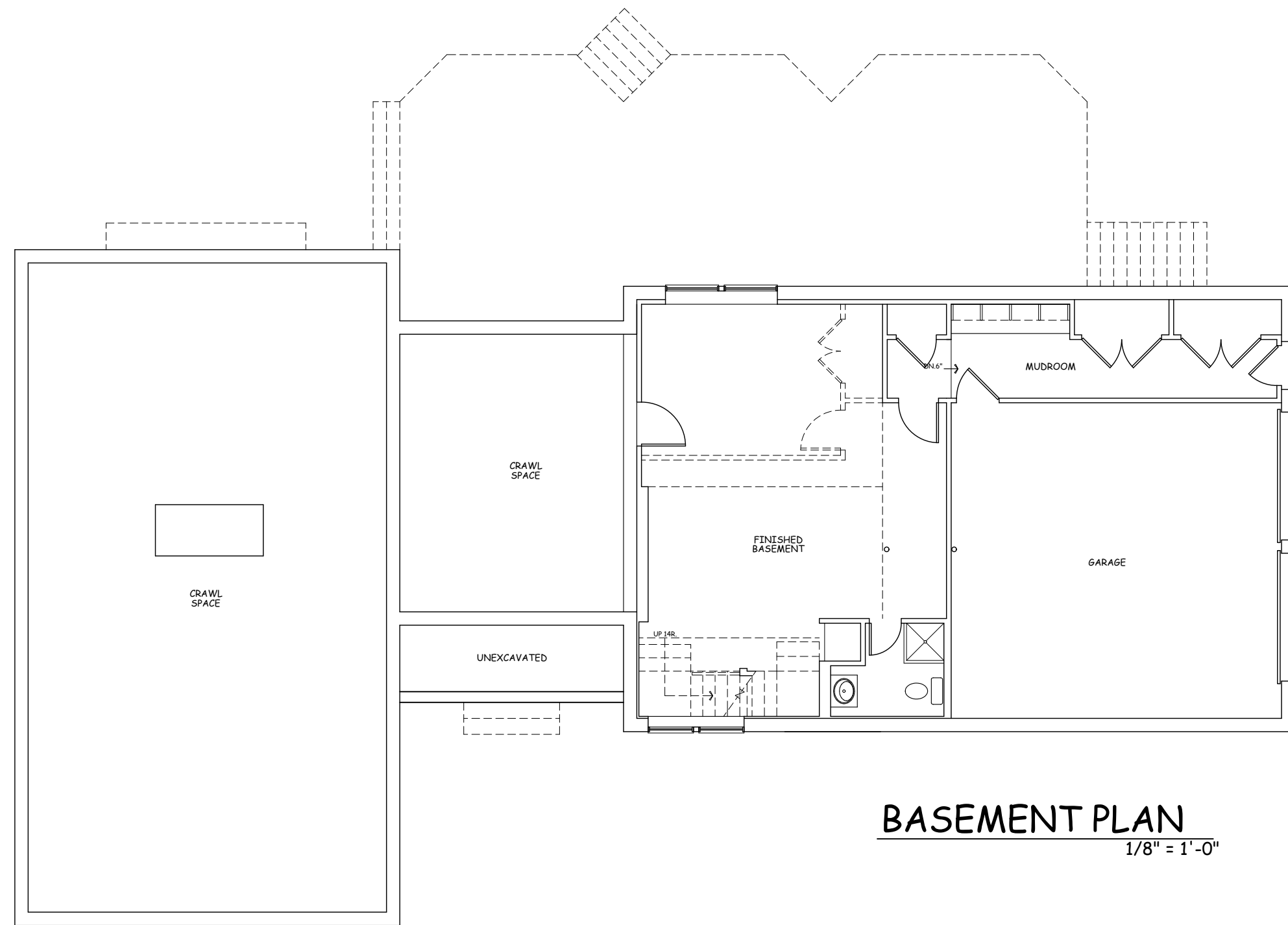
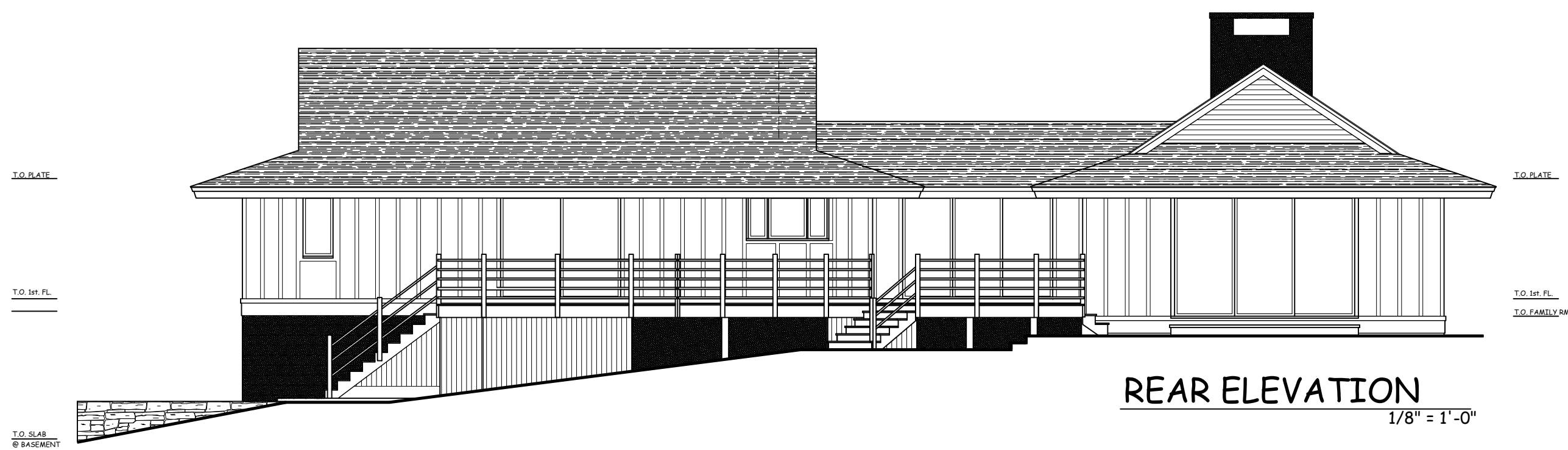
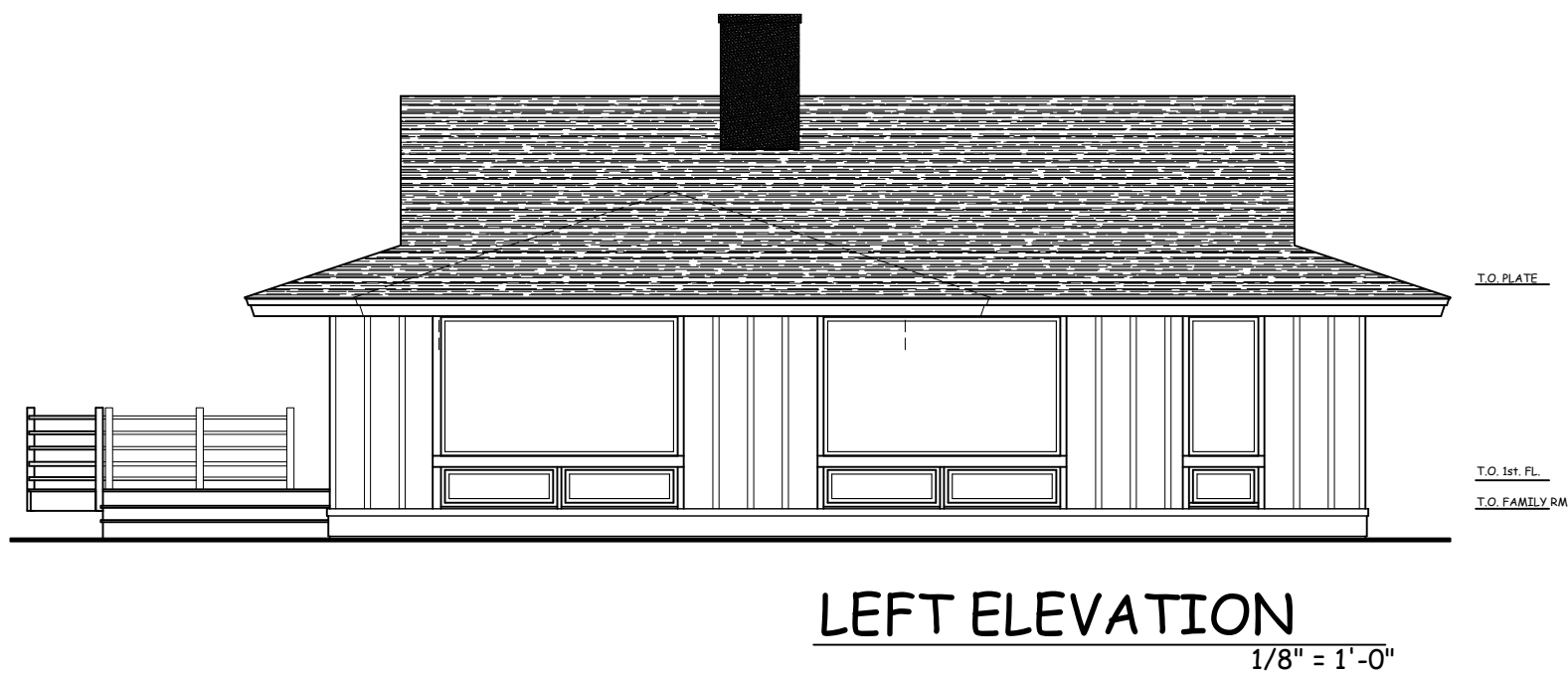
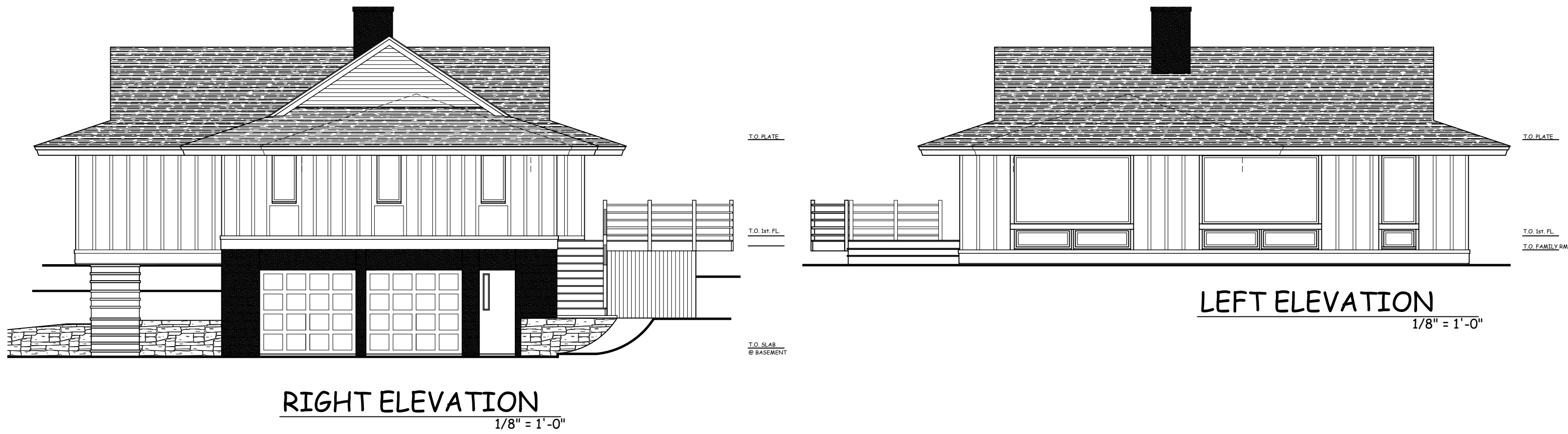
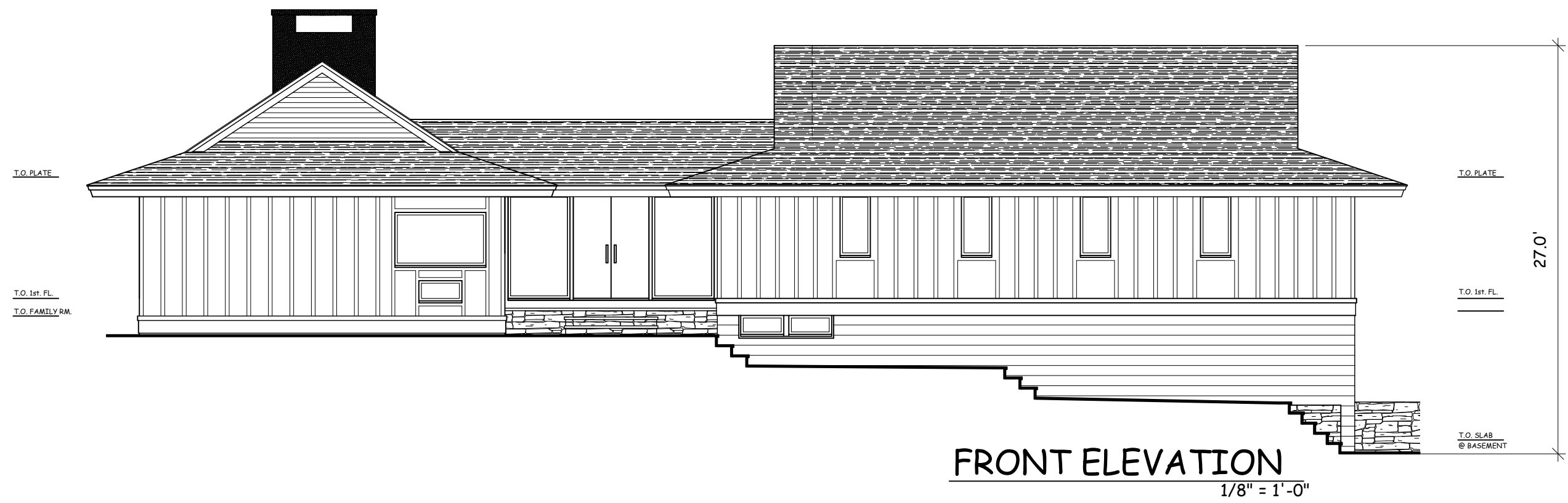
Date 09/30/21
Drawing By A.O.

Drawing No.

P.B.-1

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CONSTRUCTION WITHOUT THE SEAL AND SIGNATURE OF
THE ARCHITECT OF RECORD.

- DEMO NOTES:
1. REMOVE EXISTING ROOF STRUCTURE (WHOLE HOUSE) AND PREP FOR NEW. SEE FRAMING PLANS.
 2. REMOVE EXISTING EXTERIOR SIDING AND TRIM. PREP FOR NEW AS PER ELEVATIONS AND SPECIFICATIONS



- LEGEND
- EXIST. CONC. FOUNDATION WALL TO REMAIN
 - EXIST. CONC. FOUNDATION WALL TO BE REMOVED
 - EXIST. FRAME WALL TO REMAIN
 - EXIST. FRAME WALL TO BE REMOVED

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Project Title
**ADDITIONS & ALTERATIONS
WADE RESIDENCE**
65 HAVERMEYER RD
IRVINGTON, NY 10533

**EXISTING
FLOOR PLANS
& ELEVATIONS**

Scale **1/8" = 1'-0"**

Date **03/02/22**
Drawing By **A.O.**

Drawing No.
X-101