

4 March 2022

Ed Marron
Building Inspector
Village of Irvington
85 Main St.
Irvington, NY 10533

RE: Permit application No. 238
84 Fargo Ln., Irvington, NY

Mr. Marron:

Attached please find 3 sets of drawings, filing fee check, and a thumb drive with a PDF scanned set of the drawings for the above listed property. This project has exterior work, so will need to go in front of the Architectural Review Board. We would like to be put on the agenda for the March 28th Meeting.

The proposed exterior work involves a lower level addition windows, and an expansion of the entry level deck.

Best,

A handwritten signature in black ink, appearing to read 'DMC', with a long horizontal stroke extending to the right.

Douglas McClure

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	238	Date:	03/02/2022
Job Location:	84 FARGO LN	Parcel ID:	2.20-3-2
Property Owner:	Matthew McCarthy	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Douglas McClure	Greg Beyl
McC Architecture pllc	Tri State Custom Construction LLC
25 North Dutcher St.Irvington NY 10533	22 Fremont Rd. Sleepy Hollow NY 10591
917-887-0975	9144195701

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	150000.00	Property Class:	1 FAMILY RES

Description of Work

Lower level addition and expansion of existing deck.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 84 FARGO LN

Parcel Id: 2.20-3-2

AFFIDAVIT OF APPLICANT

I **Douglas McClure** being duly sworn, depose and says: That s/he does business as: **McC | Architecture pllc** with offices at: **25 North Dutcher St. Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I **Matthew McCarthy** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- ☐ _____ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
2550

• Inspection Fees (as applicable)

• Insulation: \$50

• Solid Fuel: \$50

• Foundation and footing drain: \$50

• Energy Code Compliance: \$50

• Sediment and erosion control: \$50

• Footing: \$50

• Footing: \$50

• Preparation for concrete slabs and walls: \$50

• Framing: \$50

• Building systems, including underground and rough-in: \$50

• Fire resistant construction and penetrations: \$50

• Final Inspection for C.O.: \$50

• Preparation for concrete slabs and walls: \$50

• State and local laws (per re-inspection): \$50

Total Inspections 200

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

150

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) **Total** 2985

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

NOTES:

PROJECT INFORMATION:



MC CARTHY RESIDENCE

84 FARGO LN • IRVINGTON, NY

REV. #/DATE

1	PLANNING BOARD	1/23/21
2	PLANNING BOARD COMMENTS	1/19/22
3	ZONING BOARD SUBMISSION	2/7/22
Δ	FILING/ARB SUBMISSION	3/4/22

TO THE BEST OF MY KNOWLEDGE BELIEF & PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS SPECIFIED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PROTECTION & BUILDING CODE & THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

DRAWING TITLE:

DRAWING LIST:

ARCHITECTURAL		STRUCTURAL	
COV	COVER SHEET	S101	FOUNDATION & FIRST FLOOR FRAMING PLANS
SP1	CONTEXT, ZONING, AND BLDG. DEPARTMENT NOTES	S102	SECOND FLOOR & PERGOLA/ROOF FRAMING PLANS
SP1A	EXISTING & PROPOSED SITE PLANS	S103	STRUCTURAL NOTES, SECTIONS & DETAILS
SP2	COVERAGE AND F.A.R. CALCS	S104	SECTIONS & DETAILS
A1.0	BASEMENT PLANS	S105	SECTIONS & DETAILS
A1.1	ENTRY FLOOR PLANS	S106	SECTIONS & DETAILS
A2.0	ELEVATION & SECTION		
E1.0	POWER & LIGHTING PLANS		

DRAWING INFO.



COV

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

FROM TABLE 402.1(2) AND R402.1.4 FROM ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE PUBLISHED JANUARY 2015 AND 2016 SUPPLEMENT - BASED ON 5,750 HEATING DEGREE DAYS IN CLIMATE ZONE 4A (NOT MARINE)		
SUB-SYSTEM	MAXIMUM U-FACTOR	MINIMUM R-VALUE
FENESTRATION	Ug = .35	R - 4
SKYLITE	Ug = .55	
GLAZED FENESTRATION	Ug = .40	
CEILING	Ug = .026	R - 49
FRAME WALL	Ug = .060	20 OR 13+5
MASS WALL	Ug = .098	8/13
FLOOR	Uf = .047	R - 19
BASEMENT WALL	Uf = .059	R - 10/13
SLAB PERIMETER and DEPTH		R10 FOR 2'
CRAWL SPACE WALL	Uf = .065	R - 10/13

A. R-VALUES ARE MINIMUMS U-FACTORS AND SHGC ARE MAXIMUMS WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.

B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30 .

C. 15/ 19" MEANS R-IS CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-21" CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. 15/19 SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME '10/13' MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL

D. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN CLIMATE ZONES 1 THROUGH 3 FOR HEATED SLABS

E. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE

F. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301 AND TABLE R301

G. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-21 MINIMUM

H. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE S CONTINUOUS INSULATION, SO '13+5" MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.

I. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL

ENERGY NOTES:

- I, DOUGLAS MCCULLURE, CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH
 - 2016 International Energy Conservation Code
 - 2013 ASHRAE 90.1
 - Most recent revision to the Supplement to the New York State Energy Conservation Construction Code
- ALL INSULATION SHALL BE AT MINIMUM PAPER FACED FIBERGLASS BATTS, WITH THE PAPER FACING THE WARM SIDE OF THE ASSEMBLY.
- THE G.C. SHALL PROVIDE A PERMANENT CERTIFICATE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED PER SYSTEM THROUGH OUT THE RESIDENCE PER SECTION 401.3 OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- IFOR BLOWN IN INSULATION, THE SETTLED R-VALUE SHALL BE USED.
- INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE PER ASSEMBLY.
- R-21 BATT INSULATION SHALL BE INSTALLED IN ALL 2X6 EXTERIOR WALLS.

R402.2.1 CEILINGS WITH ATTIC SPACES.
WHERE SECTION R402.1.2 WOULD REQUIRE R-38 INSULATION IN THE CEILING, INSTALLING R-30 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT TOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. SIMILARLY, WHERE SECTION R402.1.2 WOULD REQUIRE R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT TOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL U-FACTOR ALTERNATIVE IN SECTION R402.1.5

R402.2.2 CEILINGS WITHOUT ATTIC SPACES.
WHERE SECTION R402.1.2 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION TOR SUCH ROOT/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.2 SHALL BE LIMITED TO 500 SQUARE FEET (46 METER SQ) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1_4 AND THE TOTAL UA ALTERNATIVE IN SECTION

R402.2.3 EAVE BAFFLE.
FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A BATTLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BATTLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BATTLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.

BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 IRC (2ND PRINTING)
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA (CLIMATE ZONE 4A)

GROUND SNOW LOAD TEMP.REGQD	WIND SPD	SEISMIC DSGN CATEGORY INDEX	SUBJECT DAMAGE FROM			WINTER DESIGN	ICE BARRIER UNDERLYMNT	FLOOD HAZARDS	AIR FREEZING	MEAN ANNUAL
			WTHRING TEMP.	FRST LINE DPTH	TERMITE	DECAY				
30 LBS./S.F.	115-120 MPH	C	SEVERE	42" DEEP	MODERATE TO HEAVY	SUGHT TO MODERATE	7D	YES	FIRM COMMUNITY-PANEL MAP# 36119C0261F EFFECTIVE DATE: 9/28/2007	51.6

ZONING ANALYSIS			
IRVINGTON, WESTCHESTER NY ACC 2555400			
ZONE	1F-40	BLOCK	233
SHEET	7A	LOT	14
ITEM	ALLOWABLE	EXISTING	PROPOSED
LOT DATA			
LOT SIZE	40000	12389	NO CHANGE
WIDTH	150	128	NO CHANGE
DEPTH	150	140	NO CHANGE
SETBACKS			
FRONT YARD	50'	27.4	NO CHANGE
SIDE YARD	25'	7.1	NO CHANGE
SIDE YARD	25'	17.7	NO CHANGE
REAR	40'	24.2	NO CHANGE
MAX. HEIGHT-STORIES			
MAX. HEIGHT- FEET	2.5	2.5	NO CHANGE
MAX. HEIGHT- FEET			
	30	21.4	NO CHANGE
COVERAGE			
MAX. BUILDING COVERAGE (12%)1ST 40,000+4% OF ADDITIONAL FT²	1487	2275	2341
FLOOR AREA RATIO (.43 x LOT AREA)			
	3283	1851	NO CHANGE
FIRST		935	NO CHANGE
SECOND		935	NO CHANGE
ATTIC			
GARAGE			
TOTAL		1870	NO CHANGE

GENERAL NOTES:

- ALL WORK SHALL COMPLY WITH THE N.Y. STATE BUILDING CODE (MOST CURRENT INTERNATIONAL RESIDENTIAL CODE [IRC],), THE VILLAGE OF IRVINGTON ZONING CODE AND ALL OTHER AGENCIES HAVING JURISDICTION.
- THE G.C. IS TO SECURE A BUILDING PERMIT FROM THE VILLAGE OF IRVINGTON BUILDING DEPARTMENT.
- G.C. SHALL GIVE THE OWNER A WRITTEN GUARANTEE COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP FOR A PERIOD OF (1) ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER (CONFIRMED IN WRITINGS), AND HE SHALL, UPON NOTICE, PROMPTLY MAKE GOOD AT HIS OWN EXPENSE ALL DEFECTS IN MATERIAL AND WORKMANSHIP DURING THIS PERIOD AT NO COST TO THE OWNER.
- THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FINISHED DIMENSIONS.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE.
- THE G.C. SHALL PROVIDE, ERECT & MAINTAIN TEMP. DUST BARRIERS/PARTITIONS & OTHER ITEMS REQ'D. FOR PROPER PROTECTION OF AREAS ADJACENT TO THE WORK & PROVIDE SAFE ACCESS TO THE PORTIONS THAT ARE NOT AFFECTED BY THE WORK.
- ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION RECOMMENDED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC., OSHA, OR BY STATE AND LOCAL LAWS AND REGULATIONS, SHALL BE CONSIDERED TO FORM A PART OF THE CONTRACT WORK.
- CONTRACTOR SHALL KEEP A FULL SET OF COMPLETE UP-TO-DATE PLANS AVAILABLE AT THE JOB.
- INSURANCE REQUIREMENTS:
 - THE CONTRACTOR SHALL PURCHASE & MAINTAIN INSURANCE OF A FORM & WITH COMPANIES SATISFACTORY TO THE OWNER, & THE VILLAGE OF IRVINGTON.
 - DEMOLITION - CUTTING - PROTECTION:
 - PROBE TO LOCATE UTILITIES OR STRUCTURE PRIOR TO REMOVING MATERIALS. DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE AND UTILITIES; PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION, WORKMEN, OCCUPANTS AND FINISHES.

- DO SUCH REQ'D WORK WITH CARE INCLUDING SHORING, BRACING, DUST PROTECTION, ETC. BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION & NEW WORK AS REQ'D.
- DO NOT REMOVE ANY STRUCTURAL FRAMING WITHOUT APPROVAL BY ARCHITECT OR ENGINEER OF RECORD. EXISTING STUD FRAMING TO REMAIN UNLESS OTHERWISE INDICATED.
- DO NOT LOAD OR PERMIT ANY PART OF ANY STRUCTURE TO BE LOADED TO SUCH AN EXTENT AS TO ENDANGER ITS SAFETY.
- PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REGULATIONS.
- NO STRUCTURAL PARTS OF THE EXISTING BUILDING SHALL BE DAMAGED OR REMOVED.

XII. ELECTRICAL NOTES:

A. ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRIC CODE, NFPA 70, THE VILLAGE OF IRVINGTON BUILDING DEPARTMENT, & ANY OTHER AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS FROM ALL AGENCIES HAVING JURISDICTION.

B. FURNISH & INSTALL ALL LIGHTING FIXTURES & OTHER ELECTRICAL FIXTURES AS INDICATED ON PLANS.

C. SMOKE DETECTOR NOTES:

- THE INSTALLATION OF WIRING & EQUIPMENT SHALL BE IN ACCORDANCE WITH NFPA 72.
- SMOKE DETECTORS SHALL BE INSTALLED ACCORDING TO NYS RESIDENTIAL CODE 314 LOCATIONS IN EA SLEEPING ROOM OUTSIDE EA SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS ON EA ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS. IN DWELLINGS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS A SMOKE ALARM ON THE UPPER LEVEL SHALL SUFFICE PROVIDED THE LOWER LEVEL IS LESS THAN A FULL STORY BELOW. SMOKE ALARMS SHALL BE INSTALLED NO LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB.
- HARDWIRED AND INTERCONNECTED, CAN BE BATTERY OPERATED IN ADDITIONS, ALTERATIONS OR REPAIRS IF NOT REMOVING INTERIOR FINISHES UNLESS ACCESS FROM ATTIC, CRAWL SPACE OR BASEMENT
- EACH SMOKE DETECTOR SHALL HAVE AN INTEGRAL TEST MEANS TO PERMIT THE OCCUPANT TO CHECK THAT IT IS OPERATIONAL. A CONTINUOUS POWER DISPLAY INDICATOR LIGHT IS RECOMMENDED, & ALL DETECTORS ARE TO BE HARDWIRED & INTERCONNECTED.
- SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING & WITHIN FIFTEEN FEET OF ALL ROOMS USED FOR SLEEPING PURPOSES. IN ALL DWELLING UNITS W/MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, THE DWELLING UNIT SHALL BE PROVIDED WITH SMOKE DETECTORS AT ALL LEVELS.
- IF CLG. MOUNTED, CLOSEST EDGE OF THE DETECTOR SHALL BE A MIN. OF 4" FROM WALL
- IF WALL MOUNTED THE CLOSEST EDGE OF THE DETECTOR SHALL BE FOUR INCHES & A MAXIMUM OF TWELVE INCHES FROM THE CEILING.
- SMOKE DETECTOR UNIT(S) SHALL BE APPROVED BY BSA, ACCEPTED PURSUANT TO RULES & REGULATION PROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING AGENCY SUCH AS UNDERWRITERS LABORATORY OR APPROVED EQUAL.
- UNITS TO BE EITHER, IONIZATION CHAMBER OR PHOTO ELECTRIC AND TO COMPLY WITH RS 17-11.

CARBON MONOXIDE DETECTOR NOTES:

- CARBON MONOXIDE DETECTORS TO BE INSTALLED THROUGHOUT THE DWELLING IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE.

STRUCTURAL NOTES:

THE INTEGRITY OF EXISTING FRAMING AND FOUNDATION MEMBERS ARE NOT KNOWN PRIOR TO DEMOLITION. AN ENGINEER MUST CERTIFY THAT LOADS ARE AS ANTICIPATED AS WELL AS CONNECTIONS TO SUPPORTING MEMBERS AT DEMOLITION.



Lot Information				Coverage*				FAR			
Key	Address	Parcel #	Area	Allowable	Existing	% Allowed	% of Lot	Allowable	Existing	% Allowed	% of Lot
1	84 FARGO LN.	2.20-3-4	12,389	1,487	2,341	157.46%	18.90%	3,283	1,851	56.38%	14.9%
	PROPOSED:		12,389	1,487	2,341	157.46%	18.90%	3,283	1,851	56.38%	14.9%
2	86 FARGO LN.	2.20-3-1	62,291	5,692	6,067	106.59%	9.74%	7,786	6,423	82.49%	10.3%
3	88 FARGO LN.	2.20-3-3	43,560	4,942	3,092	62.56%	7.10%	6,730	3,387	50.33%	7.8%
4	92 FARGO LN.	2.20-3-4	68,389	5,936	7,395	124.59%	10.81%	8,549	4,903	57.35%	7.2%
5	90 FARGO LN.	2.20-3-5 & 6	49,477	5,179	5,174	99.90%	10.46%	7,149	6,433	89.98%	13.0%
6	96 FARGO LN.	2.20-4-22	34,848	4,182	5,187	124.04%	14.88%	5,924	4,785	80.77%	13.7%
7	94 FARGO LN.	2020-4-23	43,124	4,925	4,794	97.34%	11.12%	6,663	5,179	77.73%	12.0%
8	98 FARGO LN.	2.20-4-21	54,450	5,378	4,946	91.97%	9.08%	7,215	6,362	88.18%	11.7%
9	41 FARGO LN.	2.20-4-24	43,124	4,925	11,680	237.16%	27.08%	6,663	4,333	65.03%	10.0%
10	39 FARGO LN.	2.20-4-25	47,045	5,082	3,652	71.86%	7.76%	6,892	1,657	24.04%	3.5%
11	33 FARGO LN.	2.100-53-1	47,045	5,082	5,858	115.27%	12.45%	6,980	5,544	79.43%	11.8%
12	6 FARGO LN.	2.50-17-4	49,223	5,169	6,517	126.08%	13.24%	6,730	4,720	70.13%	9.6%
13	4 FARGO LN.	2.50-17-5	43,560	4,942	5,012	101.41%	11.51%	11,543	2,929	25.37%	6.7%

MCC | Architecture pllc
25 n. dutcher st., irvington, ny 10533 | mcc-architecture.com
t: 917.887.0975 | e: dmccclure@mcc-architecture.com

NOTES:

PROJECT INFORMATION:

MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

- 1 PLANNING BOARD 11/3/21
- 2 PLANNING BOARD COMMENTS 11/8/22
- 3 ZONING BOARD SUBMISSION 2/7/22
- 4 FILING/ARB SUBMISSION 3/4/22

TO THE BEST OF MY KNOWLEDGE BELIEF & PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE & THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT

DRAWING TITLE:

CONTEXT
ZONING CALCS
ENERGY CODE NOTES



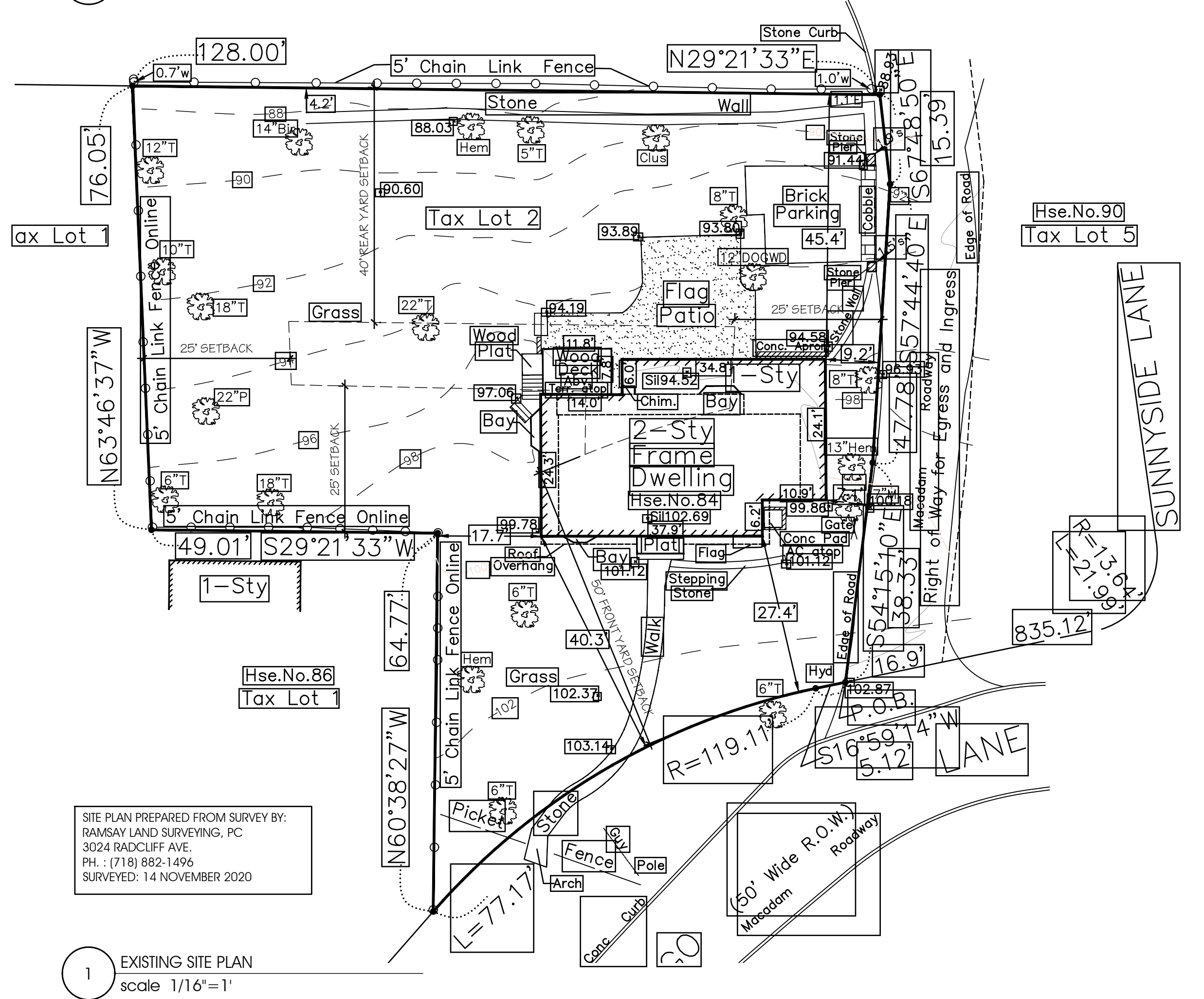
SP1
NOTED

84 FARGO LN
IRVINGTON NY

4. PLANNING BOARD 16/17/104

2019年12月31日

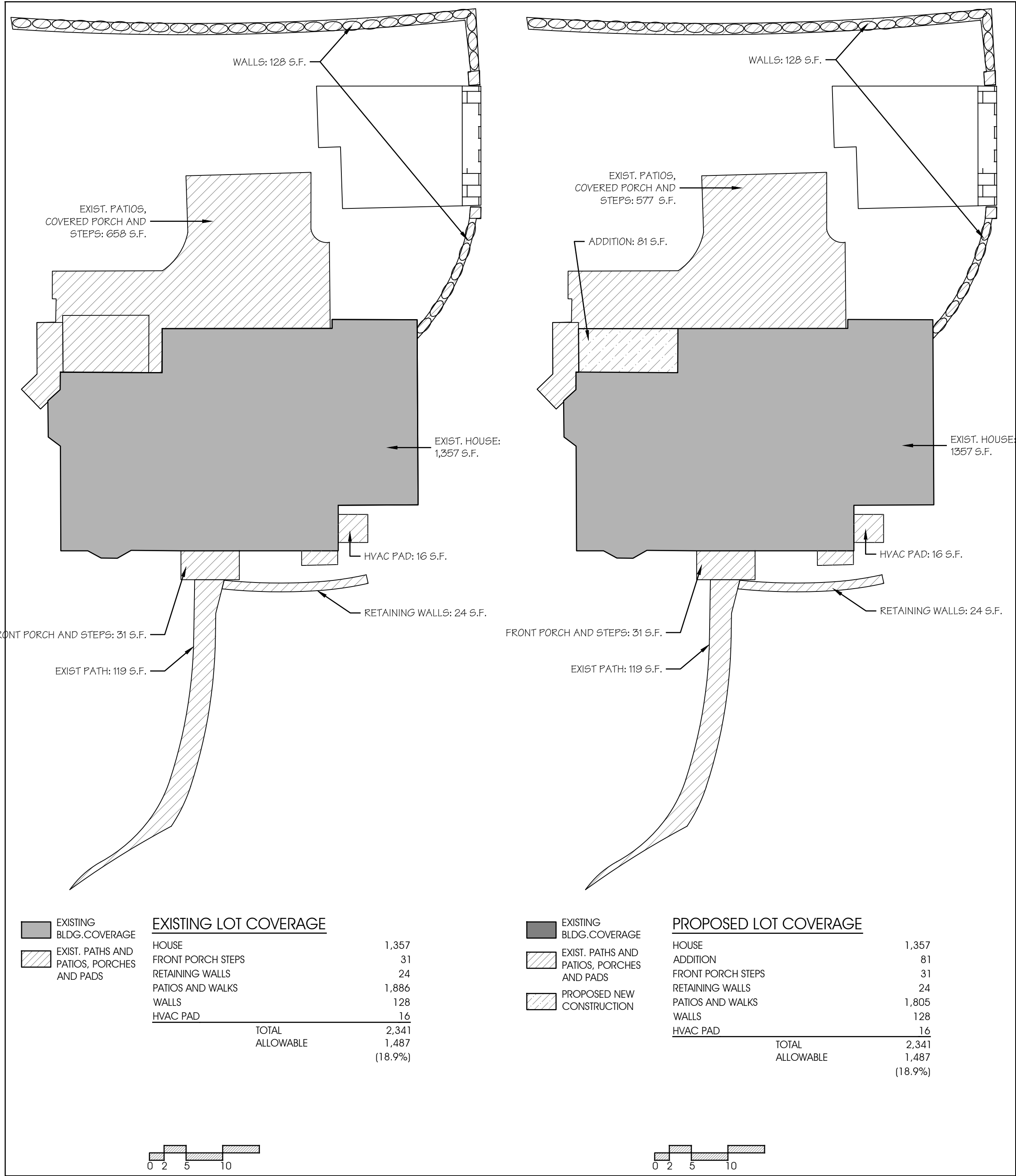
CONCLUSIONS



SILT FENCE CONSTRUCTION NOTES:

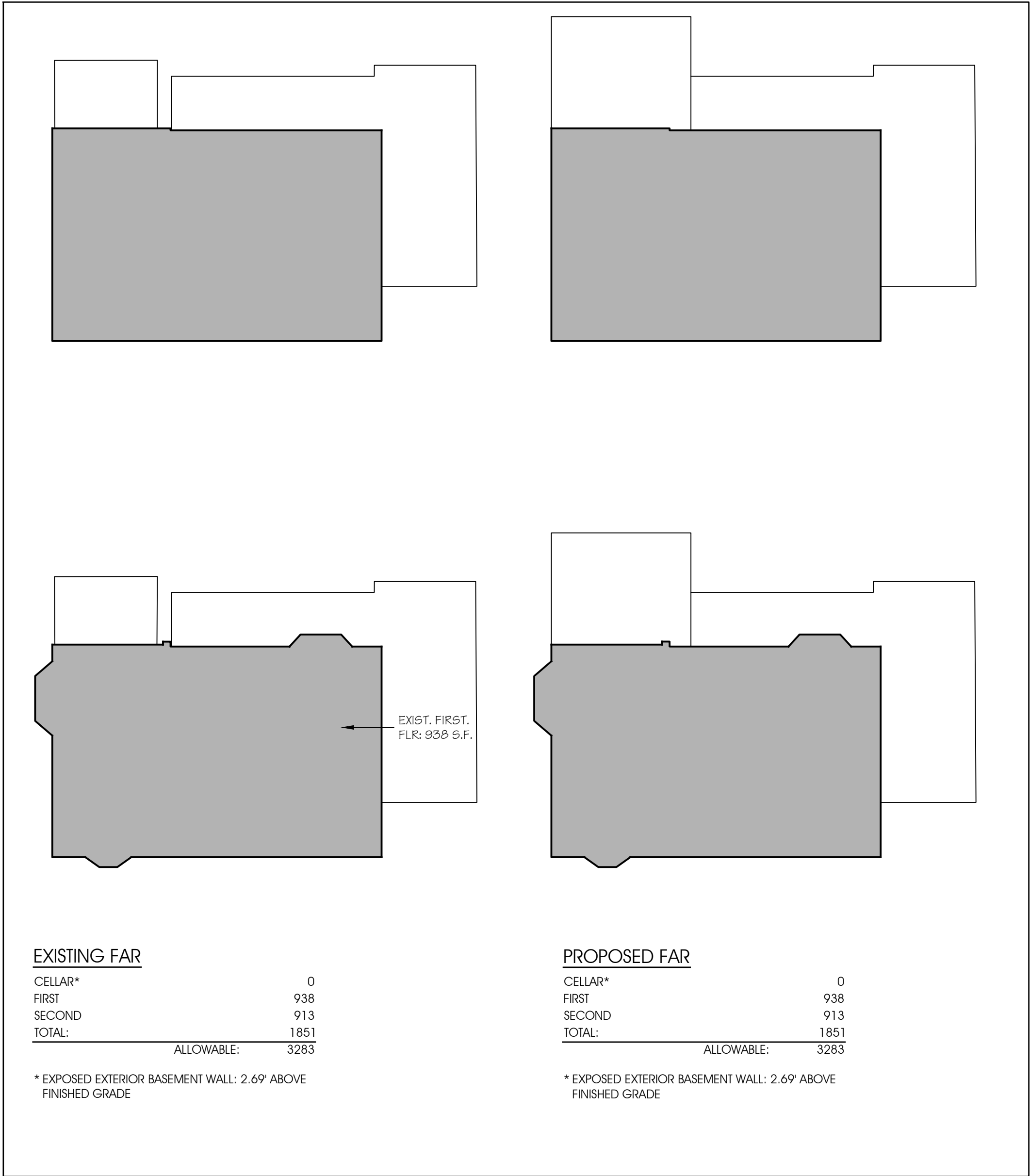


TRIANGULAR BOARD FENCE CORRECT TRUNK ARMORING



224-137 B Basements, cellars and basement garages. Where the exposed exterior wall or walls of basement, cellar or basement garage(s) facing the front yard(s) is less than three feet (measured from the lower of existing grade prior to construction or grade after construction to the bottom of the floor above the basement) the proportionate share of the basement, cellar or basement garage(s) shall be excluded from the calculation of FAR. All the remaining portions of the floor area of basements, cellars or basement garages, where the height (as defined above) of the exterior exposed wall or walls facing the front yard is three feet or more, shall be included in the FAR.

(1) Note: The proportionate share is defined as the relationship between that portion of the basement, cellar, or basement garage(s) with an exposed exterior wall of less than three feet to the entire length to such exterior wall.



NOTES:

PROJECT INFORMATION:

MCCARTHY RESIDENCE

84 FARGO LN
IRVINGTON NY

REV. #/DATE

1	PLANNING BOARD	11/3/21
2	PLANNING BOARD COMMENTS	1/18/22
3	ZONING BOARD SUBMISSION	2/7/22
4	FILING/ARB SUBMISSION	3/4/22

TO THE BEST OF MY KNOWLEDGE, BELIEF & PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE & THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

DRAWING TITLE:

COVERAGE
AND F.A.R.

DRAWING INFO



17 September 2018

1617
1617-KRIM-PLANS.dwg

NOTES:

PROJECT INFORMATION:

MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

1	PLANNING BOARD	11/3/21
2	PLANNING BOARD COMMENTS	1/18/22
3	ZONING BOARD SUBMISSION	2/7/22
△	FILING/ARB SUBMISSION	3/4/22

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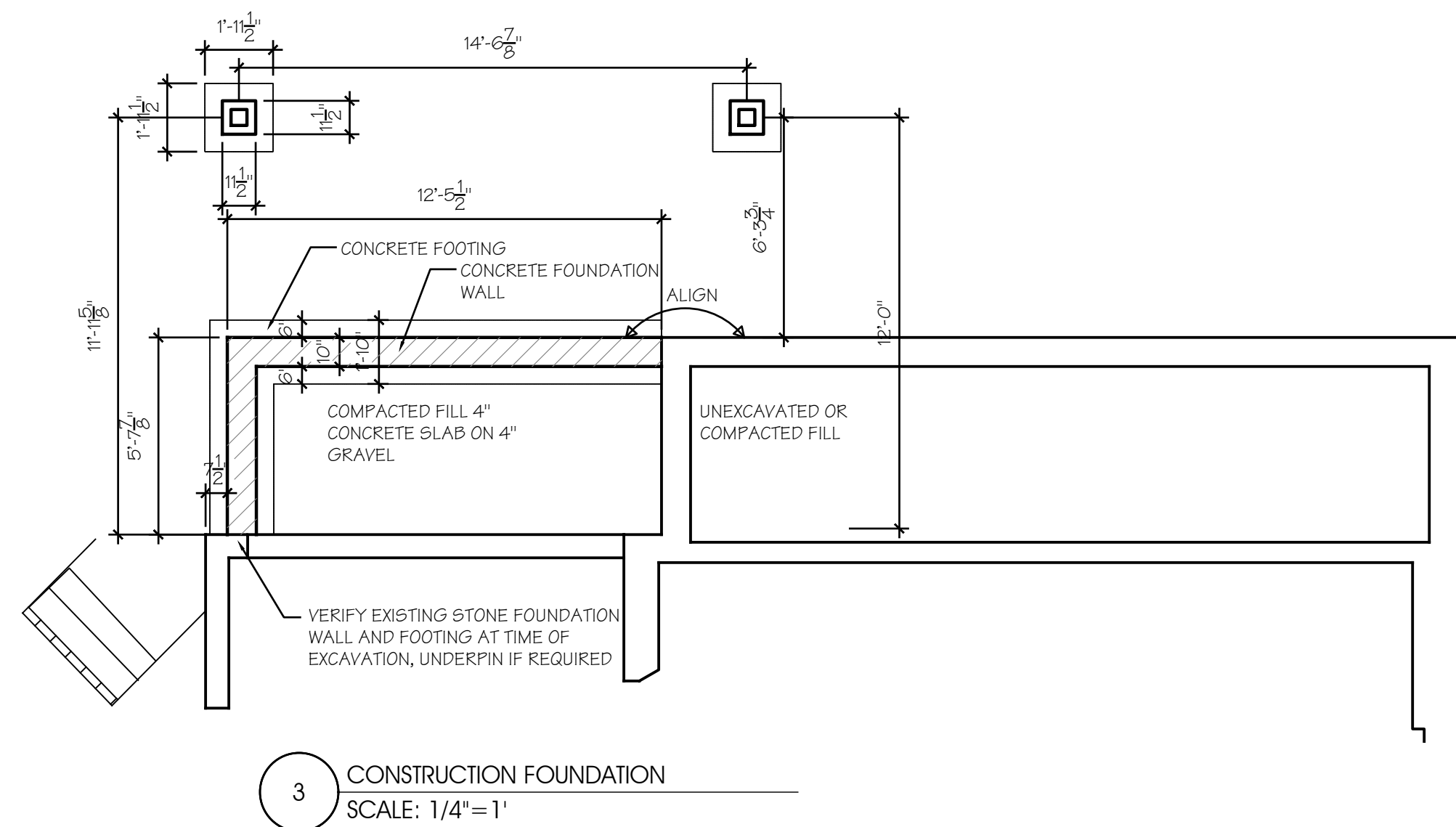
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BASEMENT PLANS

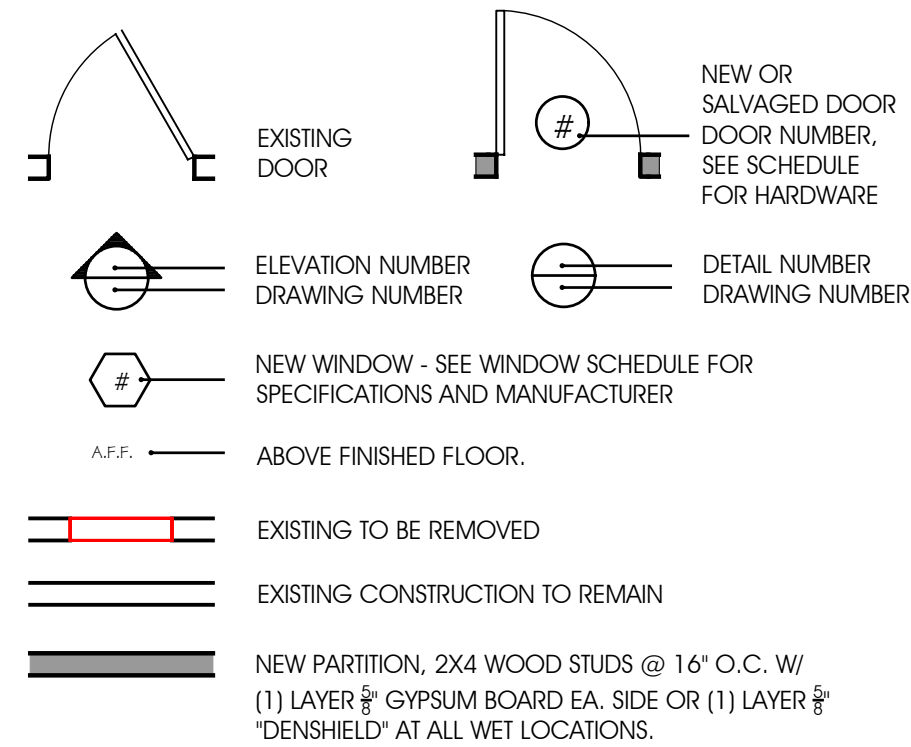
DRAWING INFO.



1912
1912-PLOT.dwg



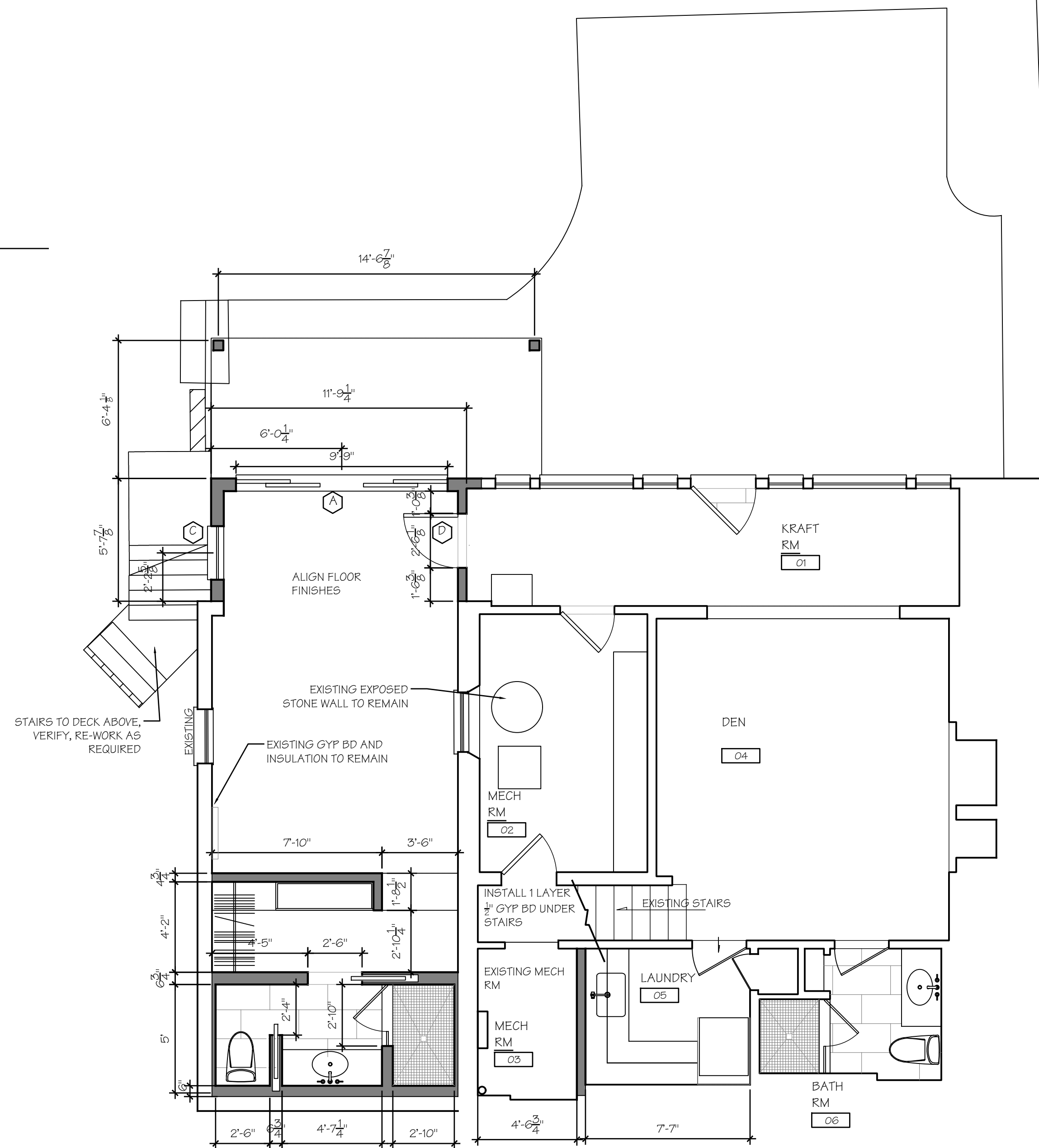
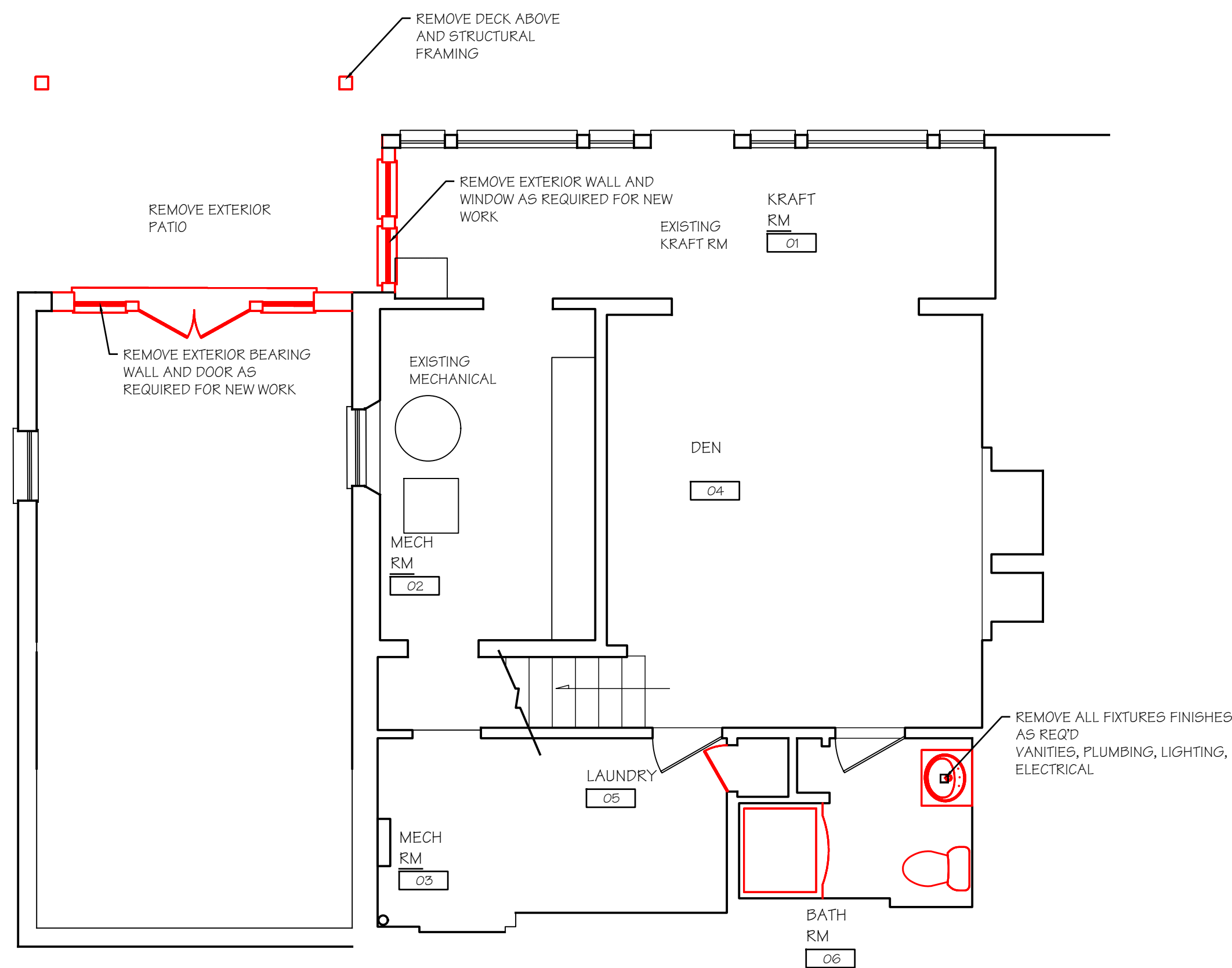
CONSTRUCTION LEGEND



HEADER SCHEDULE	
OPENING	HEADER
UP TO 4'-0"	(2) 2" X 8" WOOD
4'-0" TO 6'-0"	(2) 2" X 10" WOOD
6'-0" TO 10'-0"	(2) 2" X 12" WOOD

NOTE: SEE 'S' PLAN FOR ADDITIONAL FRAMING
1. INSTALL TWO STUDS AT ENDS OF EA. HEADER

- # WINDOW - SEE WINDOW SCHEDULE FOR SPECIFICATIONS AND MANUFACTURER
- 1 PARTITION, 2X4 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS.
- 2 PARTITION, 2X6 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS.
- 3 PARTITION, 2X4 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS. LOW WALL HEIGHT @ 7'-1 3/8". TO BE COORDINATED WITH ARCHITECT.

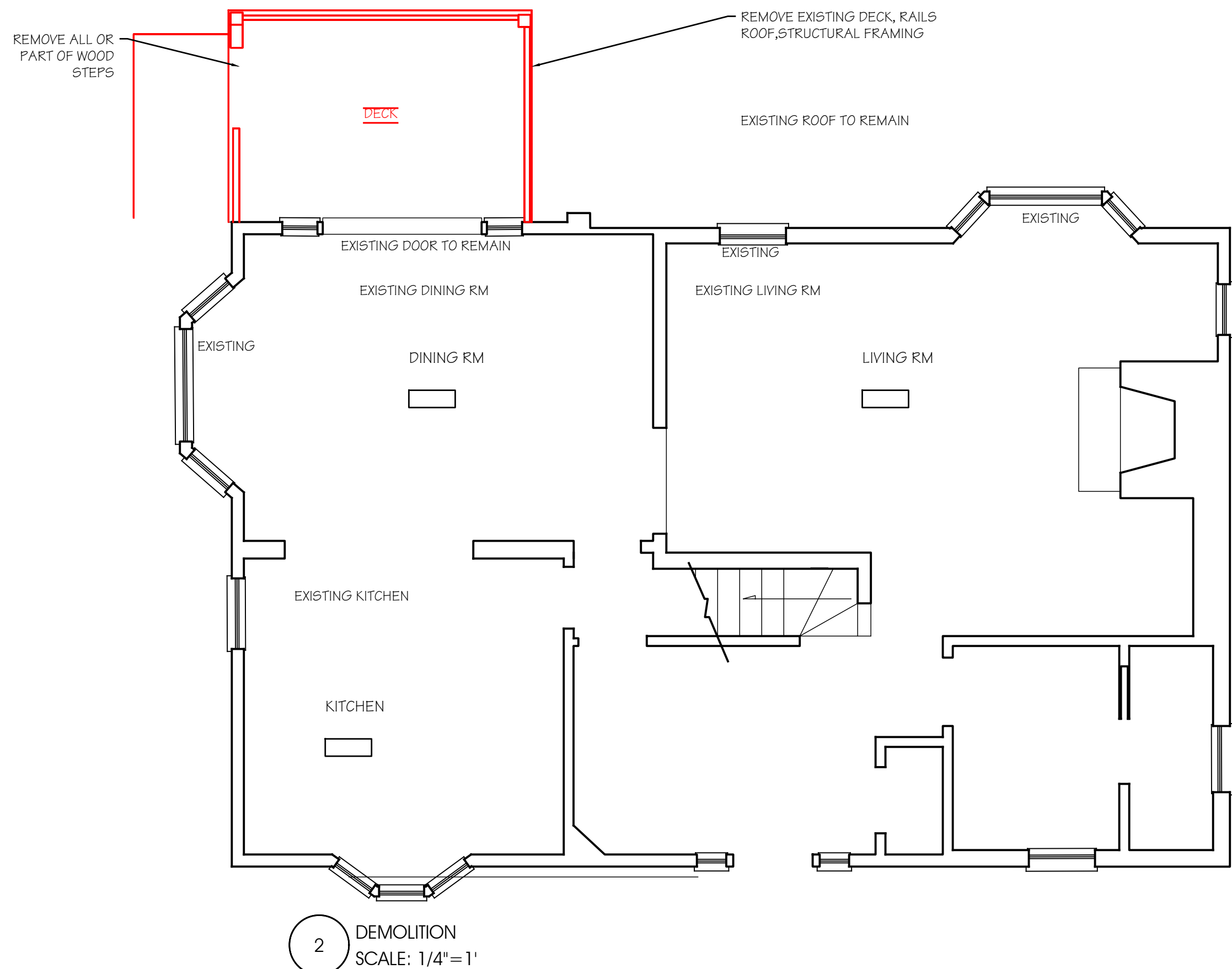
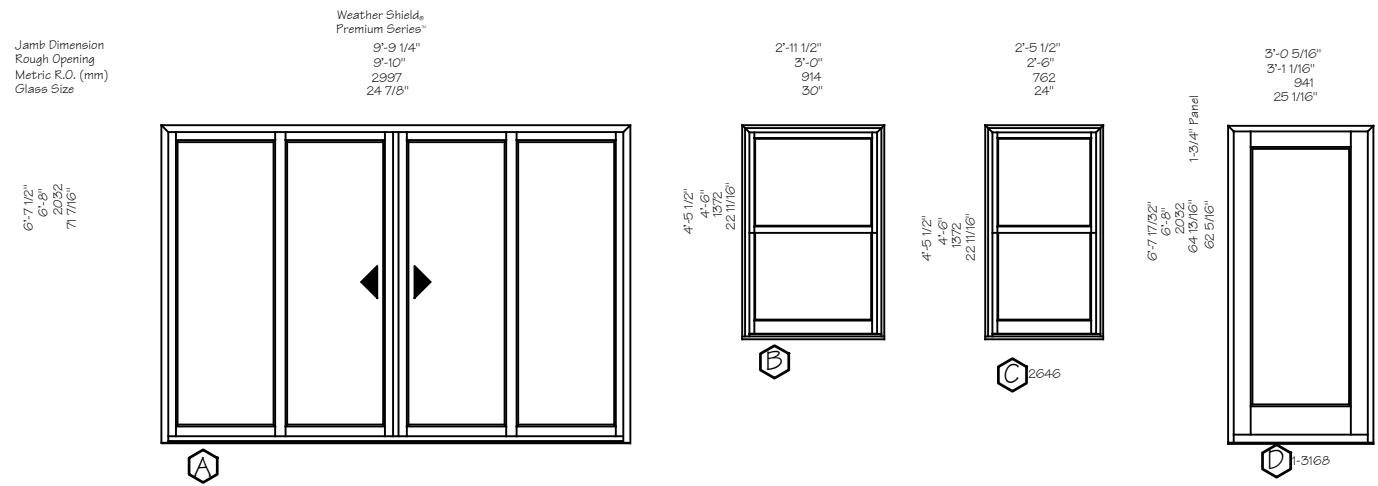


WINDOW SCHEDULE:						
UNIT	QTY	LOCATION	MODEL	ROUGH OPENING (HxW)	DESCRIPTION	COMMENTS
1	1	BASEMENT	GLIDING 9106B	6'-8"x9'-10"		TEMPERED
2	2	SECOND FL	DOUBLE HUNG 3046	3'-0"x4'-6"	DOUBLE HUNG	LO E, INSULATED GLASS
1	1	BASEMENT	DOUBLE HUNG 2646	2'-6"x4'-6"	DOUBLE HUNG	LO E, INSULATED GLASS
2	2	SECOND FL/ BASEMENT	HINGED DOOR 1-316B	3'-1"x6'-8"	DOOR	TEMPERED

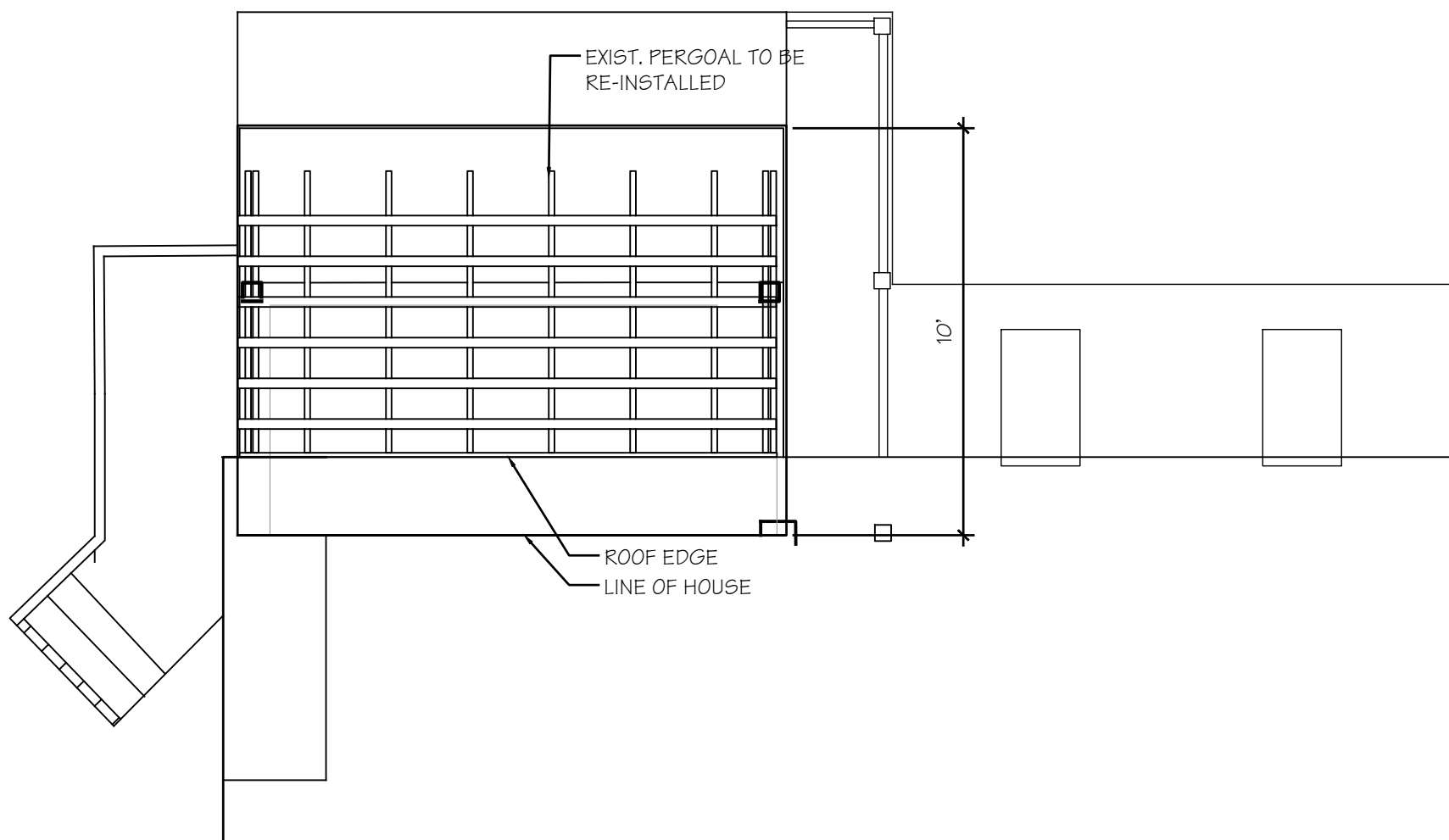
WEATHERSHIELD ALL WOOD SERIES SPECIFICATIONS
HAVE U FACTOR LESS THAN .30 SHGC LESS THAN .42 AIR LEAKAGE LESS THAN .3 CFM/FT SQ

- 6-1/16 JAMBS (VERIFY FOR EXIST CONST WALL)
- NATURAL PINE INTERIOR TO BE PRIMED.
- EXTERIOR PRIMED WHITE
- LOW-E ARGON INSULATED GLASS (TEMPERED WHERE APPLICABLE/ INDICATED)
- SCREENS ON ALL OPERABLE WINDOWS / SCREENS ON SLIDER DOORS ONLY
- EXTERIOR CASINGS: HARDIE TRIM OR AZEK, TO MATCH EXISTING
- DIVIDED LITES PER ELEVATION
- INTERIOR HARDWARE TO MATCH EXIST (VIF)
- EGRESS WINDOWS: MINIMUM OPENING 5.7 S.F.

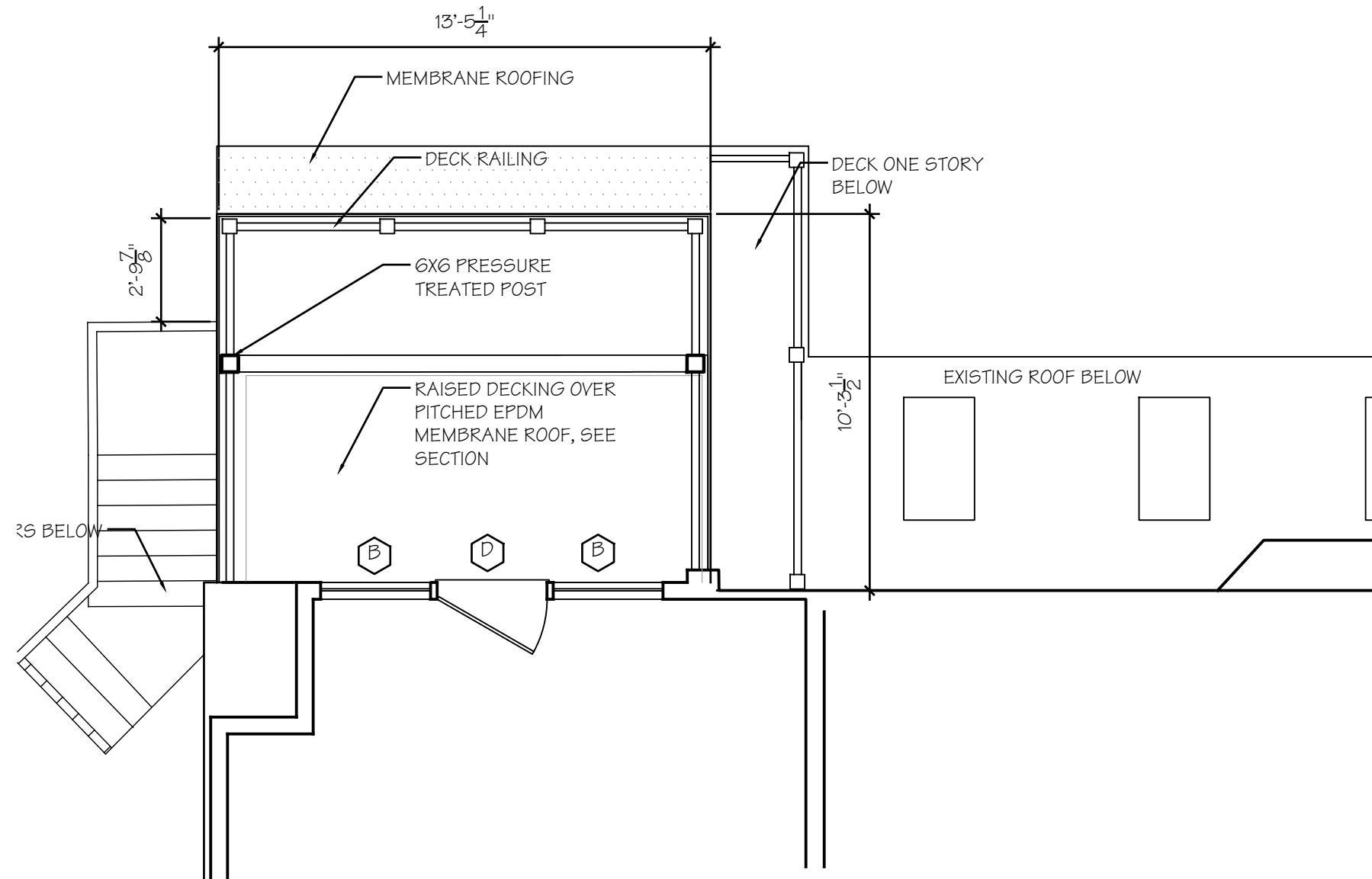
NOTE:
ALL SAFETY GLASS MUST BE LASER OR ACID ETCHED



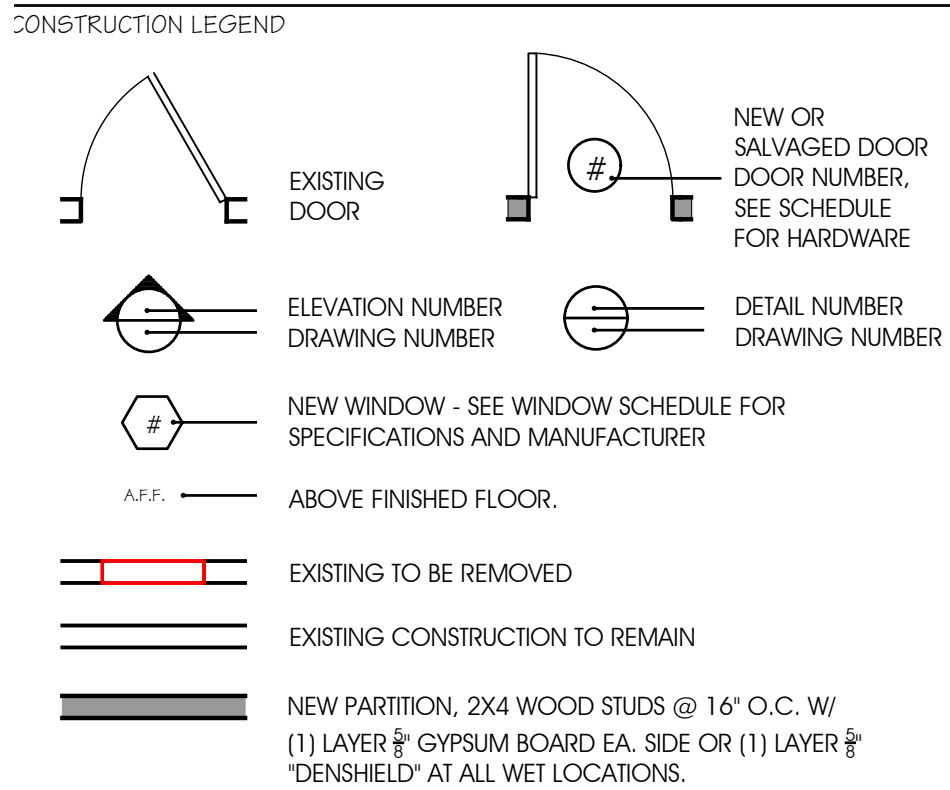
2 DEMOLITION
SCALE: 1/4"=1'



3 SECOND FL PERGOLA
SCALE: 1/4"=1'



3 SECOND FL DECK
SCALE: 1/4"=1'

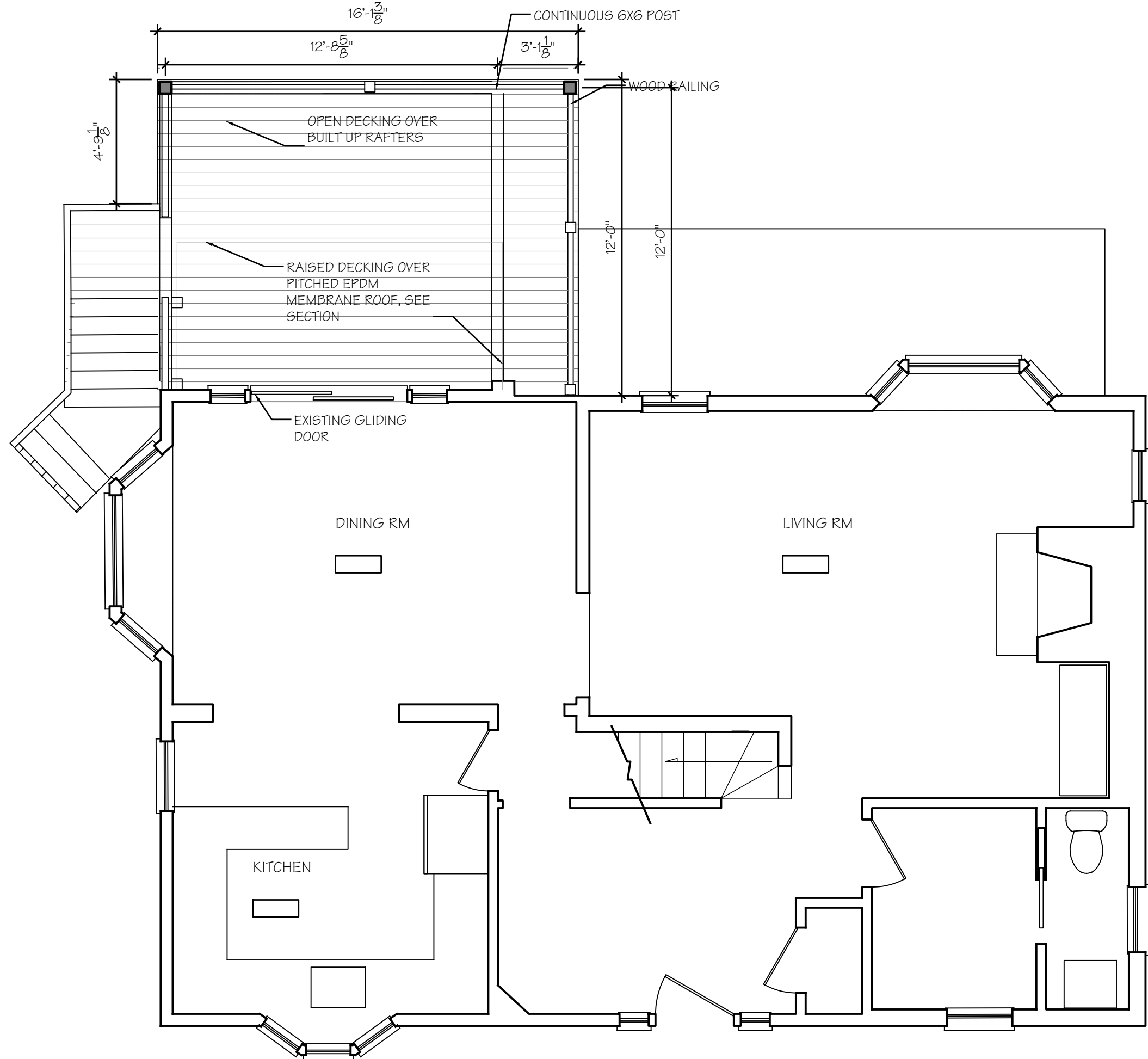


HEADER SCHEDULE	
OPENING	HEADER
UP TO 4'-0"	(2) 2" X 8" WOOD
4'-0" TO 6'-0"	(2) 2" X 10" WOOD
6'-0" TO 10'-0"	(2) 2" X 12" WOOD

NOTE: SEE 'S' PLAN FOR ADDITIONAL FRAMING

NOTE: 1. INSTALL TWO STUDS AT ENDS OF EA. HEADER

- WINDOW - SEE WINDOW SCHEDULE FOR SPECIFICATIONS AND MANUFACTURER
- PARTITION, 2X4 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS.
- PARTITION, 2X6 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS.
- PARTITION, 2X4 WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" GYPSUM BOARD BOTH SIDES OR (1) LAYER 5/8" "DENSIELD" AT ALL WET LOCATIONS. LOW WALL HEIGHT @ 7'-1 3/4". TO BE COORDINATED WITH ARCHITECT.



1 CONSTRUCTION
SCALE: 1/4"=1'

NOTES:

PROJECT INFORMATION:

MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

1	PLANNING BOARD	11/23/21
2	PLANNING BOARD COMMENTS	1/18/22
3	ZONING BOARD SUBMISSION	2/7/22
4	FILING/ARB SUBMISSION	3/4/22

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DRAWING TITLE:

ENTRY FLOOR
PLANS

DRAWING INFO.

A1.1
NOTED



NOTES:

PROJECT INFORMATION:

MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

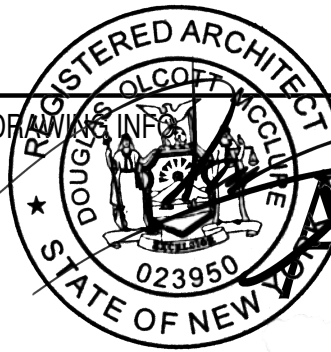
REV. #/DATE

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DRAWING TITLE:

ELEVATION



A2.0

NOTED



NOTES:

PROJECT INFORMATION:

MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

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⚠	FILING/ARB SUBMISSION	3/4/22

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DRAWING TITLE:

POWER &
LIGHTING PLANS

DRAWING INFO.



E1.0
NOTED

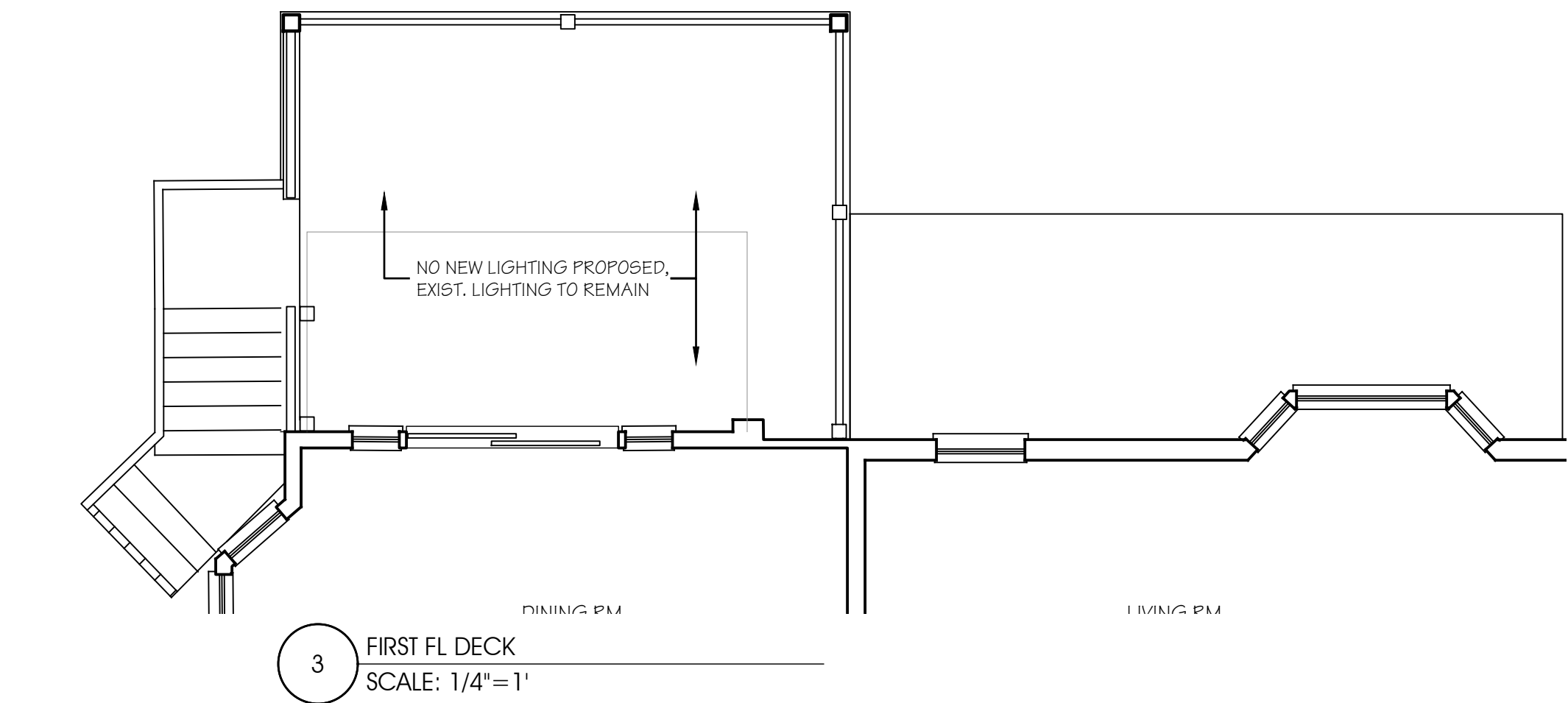
1912
1912-PLOT.dwg

POWER LEGEND	
NOTE: ONLY NEW OUTLETS AND OTHER ELECTRICAL DEVICES ARE SHOWN. EXISTING OUTLETS TO BE RECIRCUITED, REPLACED, OR ABANDONED AS DIRECTED BY OWNER AND AS PER EXIST. NEW YORK STATE ELECTRICAL CODE	
	DUPLEX ELECTRIC OUTLET MOUNTED @ 15" A.F.F. UNLESS OTHERWISE NOTED.
	G.F.I. OUTLET
	DUPLEX ELECTRIC OUTLET WITH INTEGRATED USB MOUNTED @ 15" A.F.F. UNLESS OTHERWISE NOTED.
	WATERPROOF OUTLET
	QUAD OUTLET
	TELEPHONE/DATA OUTLET MOUNTED HORIZONTALLY - PROVIDE 2 CAT 5E CABLES AT EACH LOCATION
	TELEVISION OR VIDEO CABLE OUTLET
	APPLIANCE HOOK UP - VERIFY CONNECTION W/MANUFACTURER'S CUT

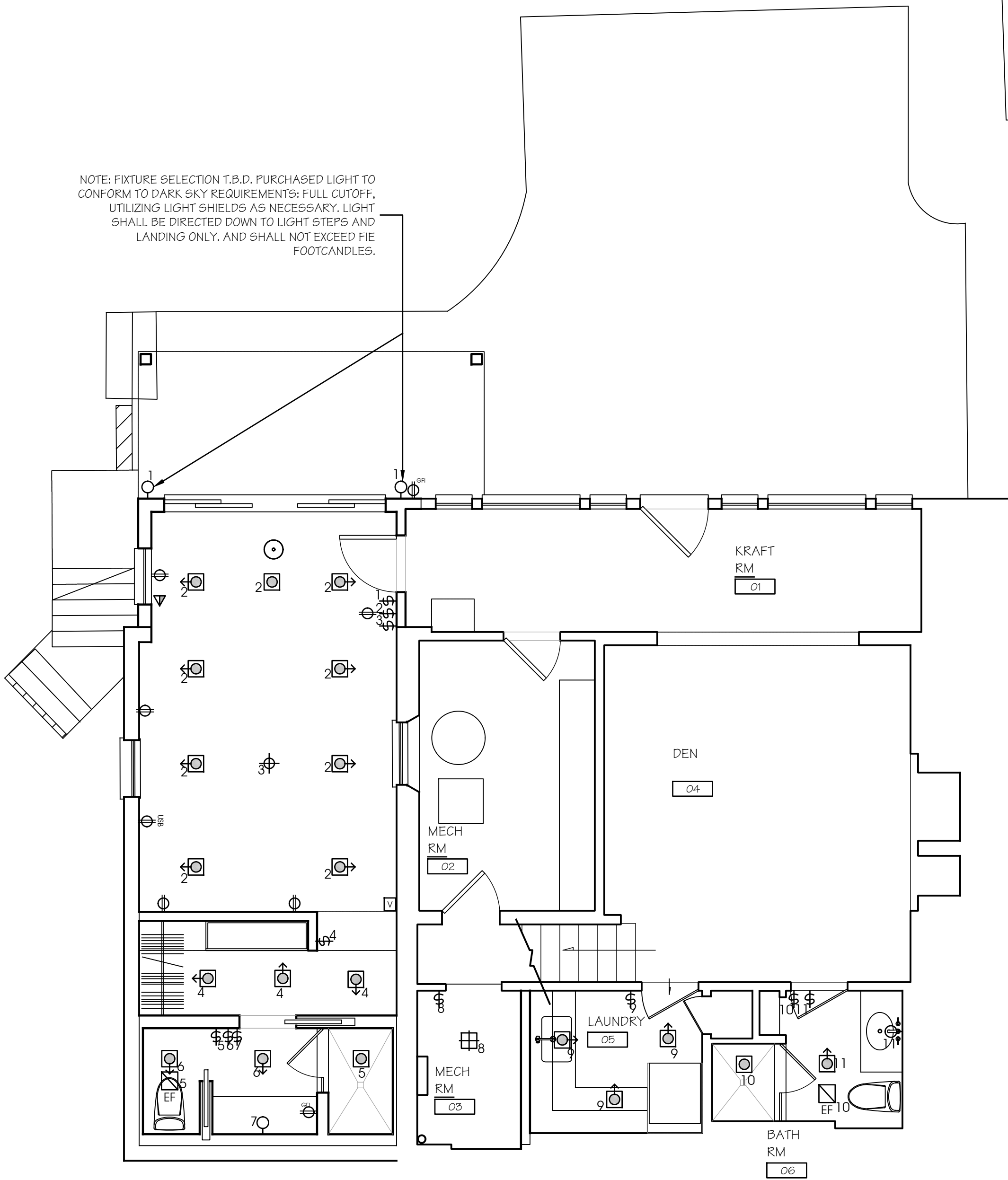
LEGEND:	
	DIMMER SWITCH
	FIXTURE SYMBOL
	DIMMER SWITCH SINGLE LOCATION LUTRON "LYNEO" COLOR TO FOLLOW
	3 OR 4 WAY DIMMER SWITCH LUTRON "LYNEO" COLOR TO FOLLOW
	RECESSED ADJUSTABLE DOWN LIGHT MANUF: EUROFASE MODEL: HG-4PR/19167-06 SIZE: 4" SQUARE GIMBAL TRIM FINISH: SATIN NICKEL LAMP: 50 WATT PAR20 DIMMABLE LED, 3000K MAX
	RECESSED LENSED INCANDESCENT DOWNLIGHT - SHOWER LOCATIONS MANUF: LIGHTCLIER MODEL: 209Q22003R - LYTECASTER RECESSED DOWNLIGHTING SIZE: 4 1/2" DIA. x 5 1/2" DEEP LAMP: 50 W. PAR 20 DIMMABLE LED, 3000K MAX
	SURFACE MOUNTED DECORATIVE WALL SCONCE INCANDESCENT FIXTURE - SUPPLIED BY OWNER - 100 WATTS SET MOUNTING HEIGHT IN FIELD WITH ARCHITECT.
	SURFACE MOUNTED DECORATIVE CEILING INCANDESCENT FIXTURE ON JUNCTION BOX - SUPPLIED BY OWNER - 100 WATTS
	SURFACE MOUNTED PORCELAIN SOCKET BASE
	STANDARD JUNCTION BOX
	COMBINATION SMOKE/CO DETECTOR MANUF: KIDDE MODEL: #KN-COPE-1
	EXHAUST FAN - SWITCH CONTROLLED - PANASONIC MODEL NO. FV-08V Q2(90CFM)

NOTE:
MINIMUM 50% OF ALL FIXTURE LAMPS TO BE HIGH EFFICIENCY, AS PER NY STATE ENERGY CONSERVATION CODE.

NOTE:
COMBINATION SMOKE & CO DETECTORS SHALL BE INSTALLED THROUGHOUT THE DWELLING UNIT IN ACCORDANCE WITH NY STATE CODE, INCLUDING, BUT NOT LIMITED TO: OUTSIDE OF EACH SEPARATE AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, & IN BASEMENT & RECREATION AREAS.



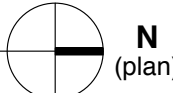
NOTE: FIXTURE SELECTION T.B.D. PURCHASED LIGHT TO CONFORM TO DARK SKY REQUIREMENTS: FULL CUTOFF, UTILIZING LIGHT SHIELDS AS NECESSARY, LIGHT SHALL BE DIRECTED DOWN TO LIGHT STEPS AND LANDING ONLY, AND SHALL NOT EXCEED FIVE FOOTCANDLES.



1 BASEMENT
SCALE: 1/4" = 1'

First Floor Framing Plan

Scale: 1/4" = 1'-0"



NOTES:

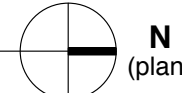
1. Coordinate all dimensions with Architectural Drawings, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Refer to S103 for Structural Notes and Specifications.
3. Indicates post below. Typical wood post shall be (3) - 2x4/2x6 U.N.O.
 Indicates post above.
 Indicates post above & below.
4. Denotes 1st Floor wall above. Refer to Architectural Drawings for layout.
 Denotes Foundation walls below. Refer to Architectural Drawings for layout.
5. All wood framing permanently exposed to weather shall be pressure treated (P.T.)
6. Provide double joists under all parallel partitions (non-bearing) above.
7. Typical joist framing shall be 9 1/2" TJ230 @ 16" o.c. U.N.O.

NOTES:

8. Provide full depth LSL blocking for all joists @ 8'-0" o.c. max. - see Detail 210/S105.
9. Provide web stiffeners on all TJI joists @ support locations.
10. Use joist hangers by Simpson or approved equal @ all flush framed connections.
11. Denotes anchor/strap/connection by Simpson or approved equal. Refer to anchor/strap schedule for more information.
12. Provide a minimum clearance of 2" between wood framing and all chimney/fireplaces.
13. Denotes interior bearing wall below with 2x6 studs @ 16" o.c.
14. Refer to sheet S103 for Anchor/ Strap and Nailing Schedule.
15. Typical slab on grade where required to be 4" concrete (on 6" clean sand with W4.0 x 4.0 WWF placed 1" below top of slab.

Foundation Plan

Scale: 1/4" = 1'-0"



NOTES:

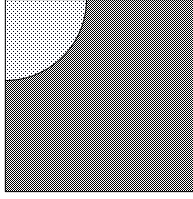
1. Coordinate all dimensions and elevations with Architectural Drawings and field conditions, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Refer to S2.0 for Structural Notes and Specifications.
3. Foundations have been designed to an allowable soil bearing pressure of 4000 psf. Should sections of loose bearing subgrade be determined, subgrade shall be removed to a suitable bearing depth as directed by the Architect and Engineer.
4. All footings shall be placed on level, virgin rock, soil, or fill as accepted by the Engineer.
5. All foundation wall dowels shall be tied in place prior to placing concrete. Dowels shall not be "wet set".
6. Denotes Architectural plan above, refer to Architectural Drawings for layout.
7. Typical new concrete slab on grade where required to be 4" concrete (on 6" crushed stone subbase) with 6x6 W4.0x4.0 WWF 1" below top of slab.
8. Denotes location of 10"Ø x 4'-0" tall concrete Sonotube footing. Refer to detail 101/S2.0 for additional information.

Anchor / Strap Schedule		
Plan Desig.	Simpson Connector	Connection Description
①	HUCQ210- 2-SDS (galvanized)	Concealed double joist hanger
②	ML26 (galvanized)	Ledger to post

McC | Architecture pllc

25 n. dutcher st., irvington, ny 10533 | mcc-architecture.com
t: 917.887.0973 | e: dmcclure@mcc-architecture.com

NOTES:



Blue Sky Design, Inc.
Consulting Engineers
121 West 27th Street, Suite 904
New York, NY 10001
Tel: 646-230-9900
Fax: 646-230-7400

PROJECT INFORMATION:

Project Title
MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

BLDG. DEPT. COMMENTS
6/10/20

TO THE BEST OF MY KNOWLEDGE, BELIEF & PROFESSIONAL JUDGEMENT
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DRAWING TITLE:

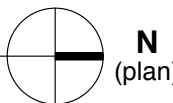
FOUNDATION &
FIRST FLOOR
FRAMING PLANS



\$101
AS NOTED

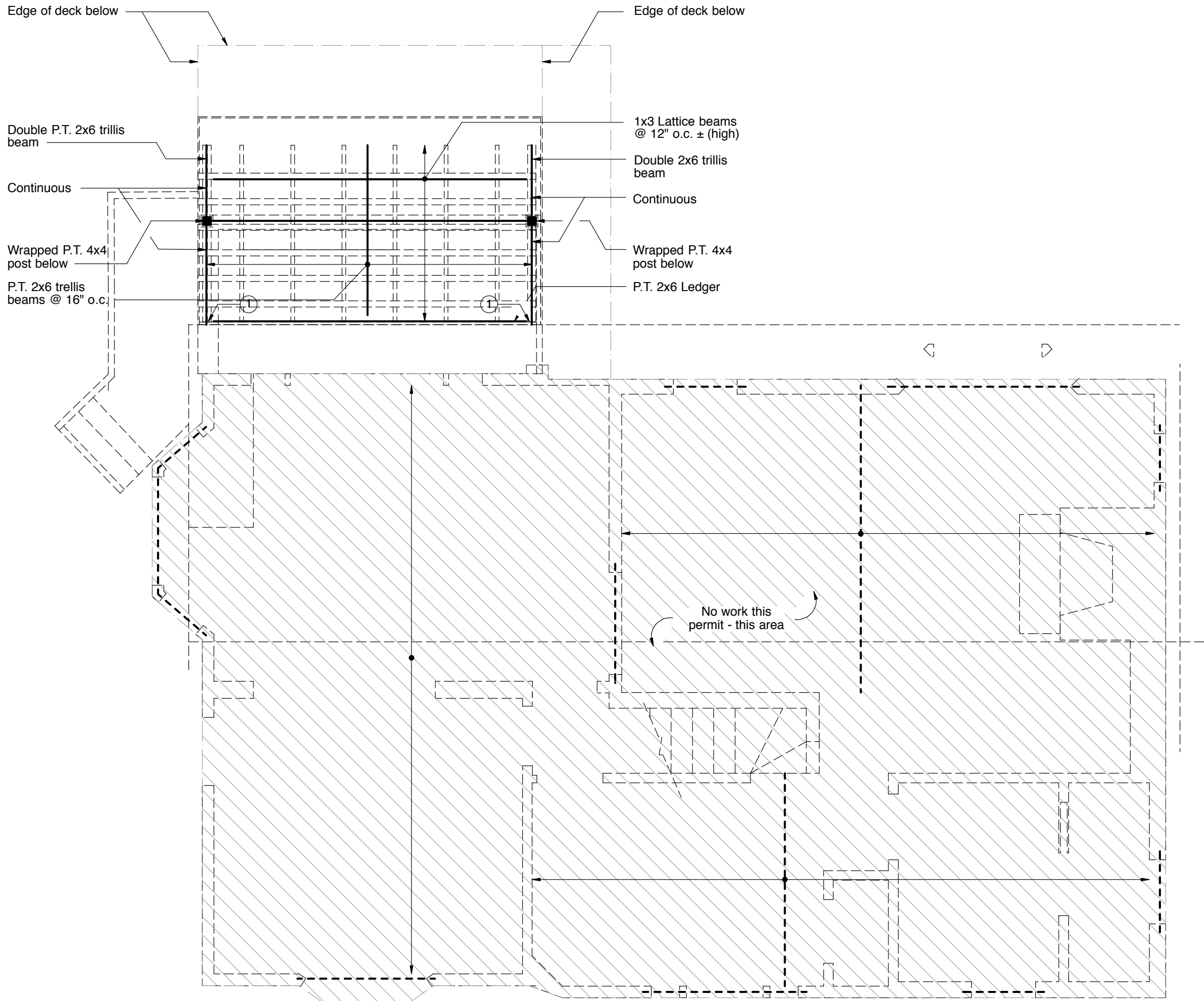
Pergola/Roof Framing Plan

Scale: 1/4" = 1'-0"



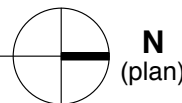
NOTES:

1. Coordinate all dimensions with Architectural Drawings, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Refer to S103 for Structural Notes and Specifications.
3. Frame all chimney openings, skylights, and other roof openings with 3 1/2" wide APB of typical framing depth in that area, U.N.O.
4. Refer to Architectural Drawings for roof & ceiling elevations.
5. Refer to sheet S103 for Anchor/ Strap and Nailing Schedule.



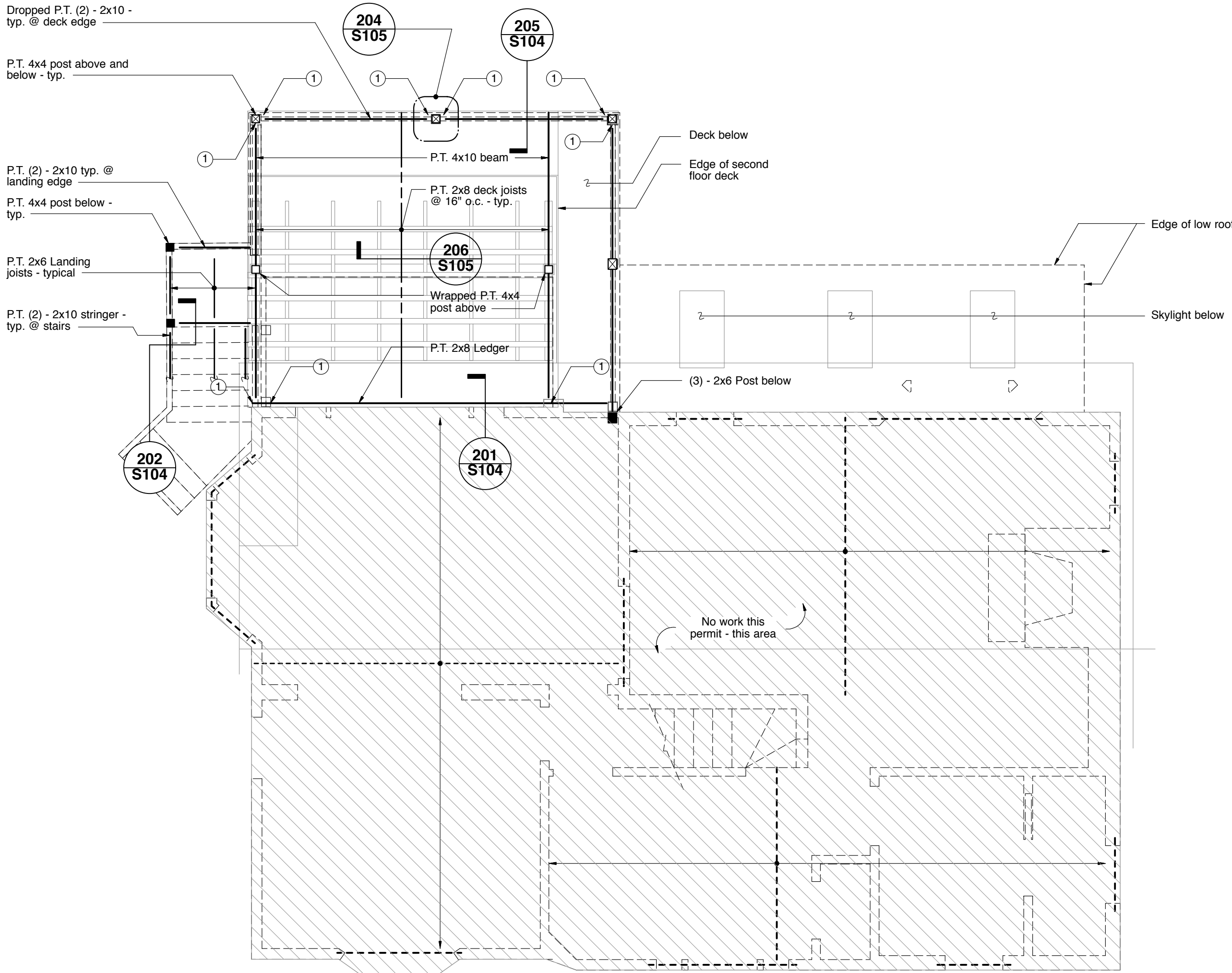
Second Floor Framing Plan

Scale: 1/4" = 1'-0"



NOTES:

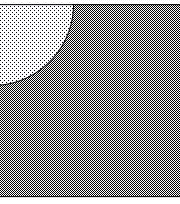
1. Coordinate all dimensions with Architectural Drawings, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Refer to S103 for Structural Notes and Specifications.
3. ■ Indicates post below. Typical wood post shall be (3) - 2x4/2x6 U.N.O.
□ Indicates post above.
▣ Indicates post above & below.
4. ——— Denotes 2nd Floor wall above. Refer to Architectural Drawings for layout.
- - - - - Denotes 1st Floor wall below. Refer to Architectural Drawings for layout.
5. All wood framing permanently exposed to weather shall be pressure treated (P.T.)
6. Provide double joists under all parallel partitions (non-bearing) above.
7. Typical joist framing shall be 9 1/2" TJ/230 @ 16" o.c. U.N.O.
8. Provide full depth LSL blocking for all joists @ 8'-0" o.c. max. - see Detail 210/S105.
9. Provide web stiffeners on all TJI joists @ support locations.
10. Use joist hangers by Simpson or approved equal @ all flush framed connections.
11. ## Denotes anchor/strap/connection by Simpson or approved equal. Refer to anchor/strap schedule for more information.
12. Provide a minimum clearance of 2" between wood framing and all chimney/fireplaces.
13. ■■■■■ Denotes shear wall below - provide 2x6 studs @ 16" o.c. with 3/4" Exposure 1 Grade plywood sheathing on exterior face with 8d nails @ 4" o.c. (edge, P.E.N.), 12" o.c. (field). Provide 4x posts @ each end with Simpson MST60 @ each end post. All edges are to be nailed to 2x members min. provide plywood edge nailing (P.E.N.) to all posts, double top plates, bottom sole plates, mudsills, edge/nm joists, and all locations noted in drawings.
14. Refer to sheet S103 for Anchor/ Strap and Nailing Schedule.



MCC | Architecture pllc

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t: 917.887.0973 | e: dmccure@mcc-architecture.com

NOTES:



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121 West 27th Street, Suite 904
New York, NY 10001
Tel: 646-230-9900
Fax: 646-230-7400

PROJECT INFORMATION:

Project Title
MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

▲ BLDG. DEPT. COMMENTS
6/10/20

TO THE BEST OF MY KNOWLEDGE BELIEF & PROFESSIONAL JUDGEMENT
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BUILDING CODE & THE NEW YORK STATE ENERGY CONSERVATION
CODES/SECTION CODES CURRENTLY IN EFFECT.

DRAWING TITLE:

**SECOND FLOOR &
PERGOLA/ROOF
FRAMING PLANS**

DRAWING INFO.



21064
21064 - McCarthy Residence.vwx

Structural Notes:

General:

1. All work shall comply with The Building Code of New York State, latest edition, and all other applicable Local Codes and Regulations of Agencies having jurisdiction.

2. Work these drawings with the Specifications, the Architectural, Mechanical, Electrical, Plumbing, Site Drawings, and all other related documents. Contractor shall coordinate all dimensions with Architectural drawings and shall verify all data on existing conditions prior to commencement of work.

3. Specific notes and details shall take precedence over General Notes and typical details. The Contractor shall refer to the Specifications for information not covered by these General Notes & Specifications.

4. The Contractor shall provide temporary erection bracing and/or shoring for all structural work as required for structural stability during all phases of construction.

5. Contractor shall make special provisions and provide protection as required for cold or hot weather concrete and masonry work, in conformance with the appropriate technical associations.

Loads:

1. Floor load, snow load, and wind load have been analyzed in accordance with the Building Code of New York State and ASCE-7 where appropriate.

Foundations:

1. All footings shall bear on minimum 4000 pounds per square foot virgin sand or approved compacted fill. Contractor to verify soil bearing capacity prior to construction of footings. No footings are to be cast on uncontrolled fill, soil, organic material, frozen ground, mud, soft clays or other objectionable or unapproved materials.

2. Sub-base for slabs on grade to be 6" of crushed rock. Sand shall be placed on virgin grade or approved compacted fill.

3. Base of footings exposed to weather or in unheated space shall be placed a minimum of 4'-0" below grade.

4. Contractor shall take all necessary de-watering precautions to properly cast new footings in areas with high water table.

5. Reinforcing dowels between footing and foundation wall shall be tied in place prior to placing concrete (dowels shall not be "wet set").

Cast in Place Concrete:

1. All work shall comply with the requirements of the ACI Building Code, ACI 318, latest edition, and The Building Code of New York State.

2. All concrete for cast in place work shall be stone concrete with a minimum 28 day compressive strength of 4,000 psi.

3. No admixtures shall be allowed without prior review and acceptance by the Architect or Engineer.

4. All requirements for batching, mixing, finishing, curing etc. shall be as per ACI 301.

5. All reinforcing steel shall conform to ASTM A615 Grade 60, except that reinforcing steel welded directly to structural steel shall be ASTM A706.

6. All welded wire fabric shall conform to ASTM A-185.

7. All reinforcement shall be securely tied in place and adequately supported. All bars marked "continuous" (cont.) shall be lapped 40 bar diameters unless otherwise noted.

Wood Framing:

1. All lumber work and materials shall conform to the latest edition of the following Specifications and The Building Code of New York State.

a. American Institute of Timber Construction (AITC).

b. National Forest Products Assoc. "Design Specifications for Stress Grade Lumber".

c. U.S. Dept. of Commerce Standard CS 253.

d. American Plywood Association.

2. Lumber for all interior structural framing, including roof framing, joists, posts, studs, sills, cap plates, wood bearing plates, and blocking, shall be surface dry and used at maximum 19% moisture content with the following minimum base design values:

Base Design Values for Visually Graded Dimension Lumber:

Bending:

F_b = 850 psi

Horizontal Shear:

F_v = 95 psi

Comp. Perpendicular to Grain:

F_c = 625 psi

Comp. Parallel to Grain:

F_c = 1,300 psi

Modulus of Elasticity:

E = 1,600,000 psi

All values shall be adjusted with appropriate adjustment factors as per the per NDS Supplement. Any lumber species may be used, subject to review and acceptance by the Engineer, if they meet the above minimum requirements.

Should Cedar be used for exterior framing, western species should be used.

3. TJI Series:

TJI joist sections shall be of the size and type specified on the plans, as manufactured by Truss Joist McMillan Ltd., or equal. Flange members, web members and adhesives shall conform to the provisions of CABO Report No. NER-200. Coordinate bridging and stiffener requirements with TJI manufacturer.

4. Plywood:

Subfloor shall consist of 3/4" Exposure 1 Grade plywood, glued and screwed to joists. Exterior wall sheathing shall consist of 3/4" Exposure 1 Grade plywood fastened to wall studs with 8d nails at 6" o.c. max.

5. Laminated Veneer Lumber:

Laminated Veneer Lumber (LVL) sections shall be "MICRO-LAM ®" or "PARALLAM ®" as manufactured by Truss Joist McMillan, Ltd., or equal, with the following minimum properties: F_b = 2865 psi, F_c = 750 psi, F_v = 285 psi, E = 2,000,000 psi.

Multiple sections shall be fastened together with a minimum of two rows of 16d nails at 12" o.c., and as recommended by the manufacturer.

6. All bearing stud walls shall have crosskats at mid-height or 4'-6" o.c. minimum.

7. Use double members at all jambs and heads of all openings. Use double joists (min.) below all non-bearing stud walls parallel to spans and provide solid blocking between joists below all non-bearing stud walls perpendicular to joist spans. Use double sills and cap plates for all bearing walls.

Backfill:

1. All fill shall be placed in eight to twelve inch loose lifts (maximum) compacted with vibratory rollers. Fill material shall be tested by modified proctor density method (ASTM D1557-78) and must qualify as select, with less than 10% passing through the No. 200 sieve. Soil shall be placed with moisture content and energy to provide 92% of maximum dry density. In place density tests shall be taken for each 500 s.f. in each lift. For acceptance of soil, average of density tests must exceed the specified compaction. No tests shall be permitted to fall below 87% compaction.

LOAD SCHEDULE (PSF)

Floor Loads

Roof Loads

Dead Load

15

15

Live Load

40

20

Snow Load

Ground Snow Load = 35 psf + drift

Wind Load

Enclosure Classification: Enclosed*

Exposure (Category II): C

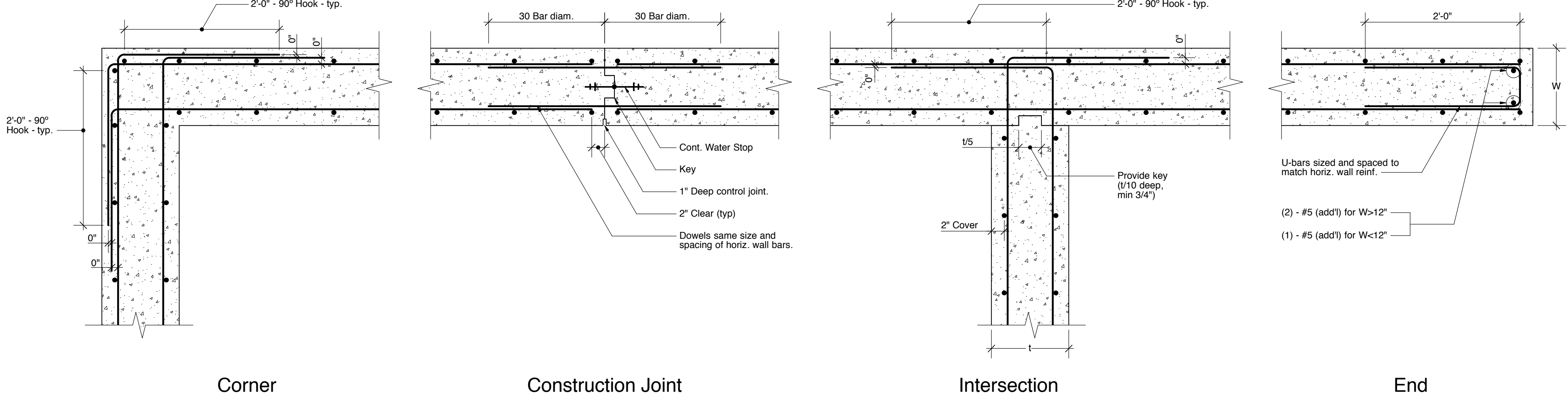
Wind Speed: 130 mph

Seismic

Site Designation: Class "D"

Site Coefficients: F_s = 1.6
F_{ps} = 2.4
S_{DS} = 0.18g
S_{D1} = 0.087g

* Impact resistant glass not required. In the event of glass breakage, building remains within the enclosed guidelines.



Corner

Construction Joint

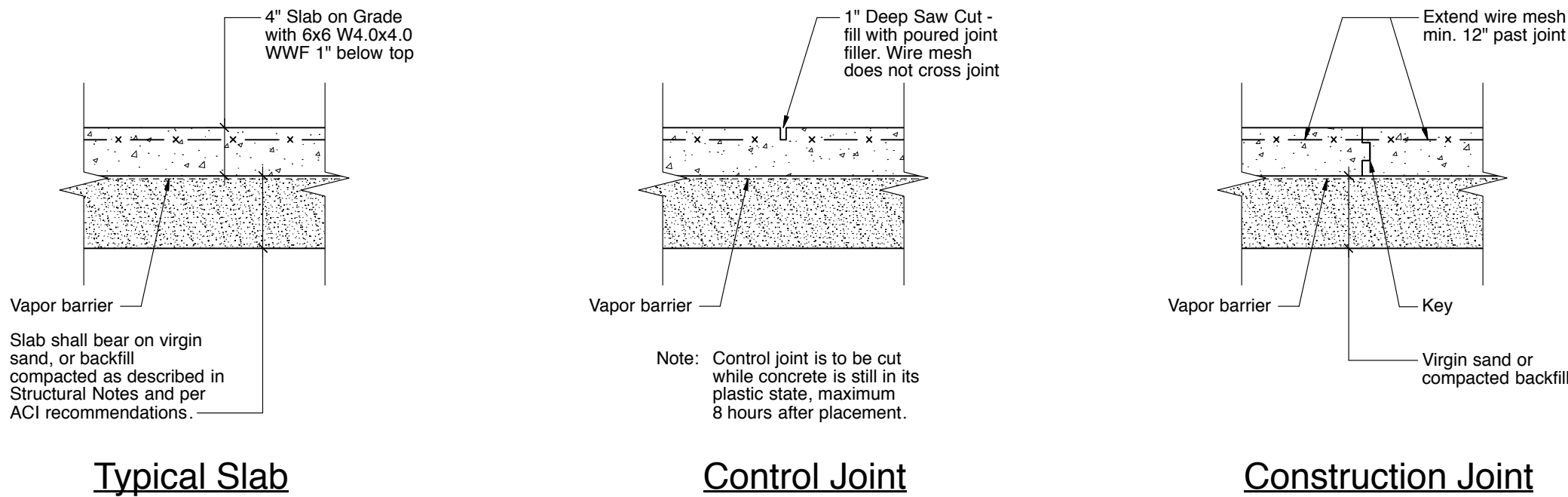
Intersection

End

Plan Details - Typical Concrete Wall

Scale: N.T.S.

150
S103



Typical Slab

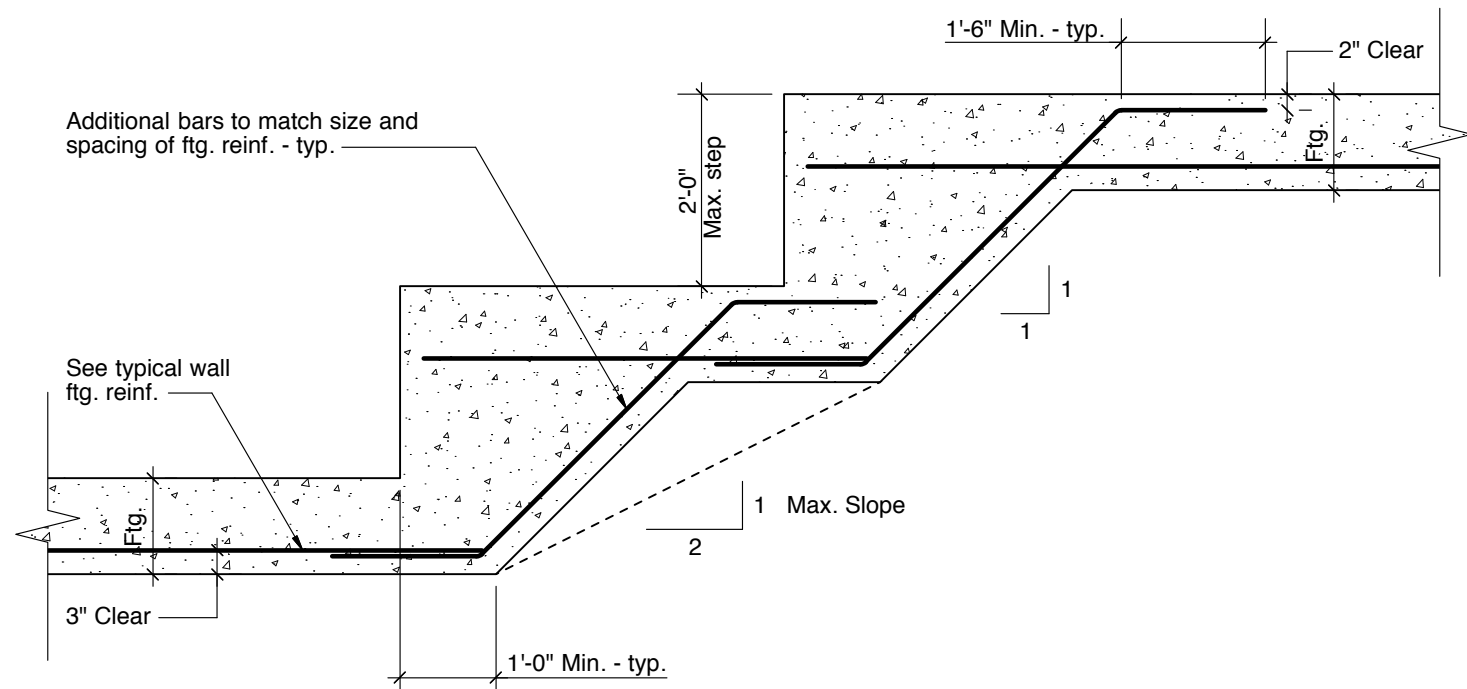
Control Joint

Construction Joint

Details - Typical Slab-on-Grade

Scale: N.T.S.

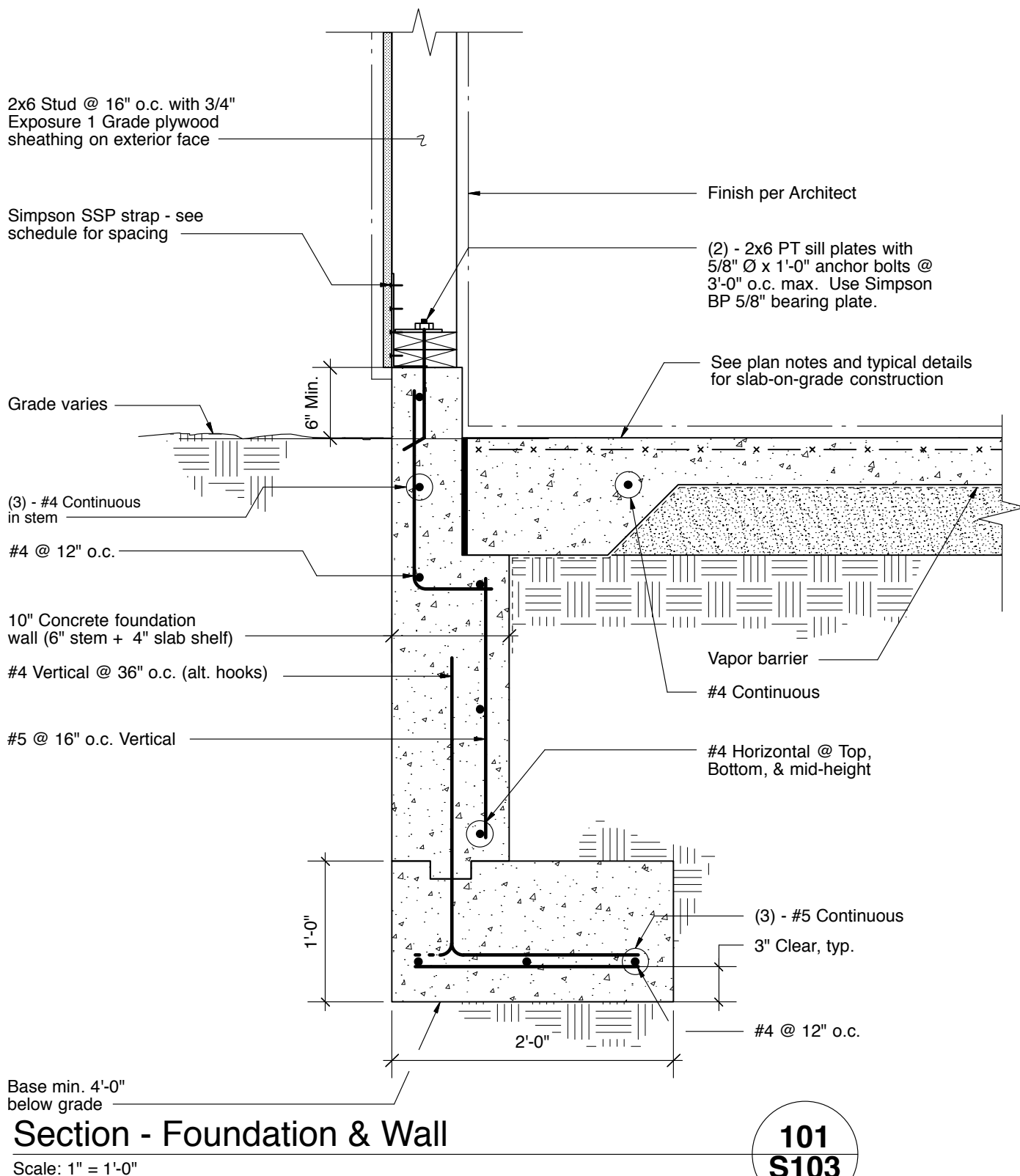
151
S103



Detail - Typical Stepped Footing

Scale: N.T.S.

152
S103

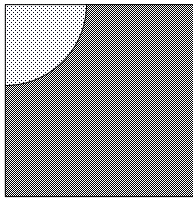


Section - Foundation & Wall

Scale: 1" = 1'-0"

101
S103

NOTES:



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Fax: 646-230-7400

PROJECT INFORMATION:

Project Title
MCCARTHY RESIDENCE
84 FARGO LANE
Irvington, NY

REV. #/DATE

BLDG. DEPT. COMMENTS
6/10/20

TO THE BEST OF MY KNOWLEDGE, BELIEF & PROFESSIONAL JUDGEMENT
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PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION &
BUILDING CODE & THE NEW YORK STATE ENERGY CONSERVATION
CONSTRUCTION CODES, WHEREBY IN WITNESS

DRAWING TITLE:

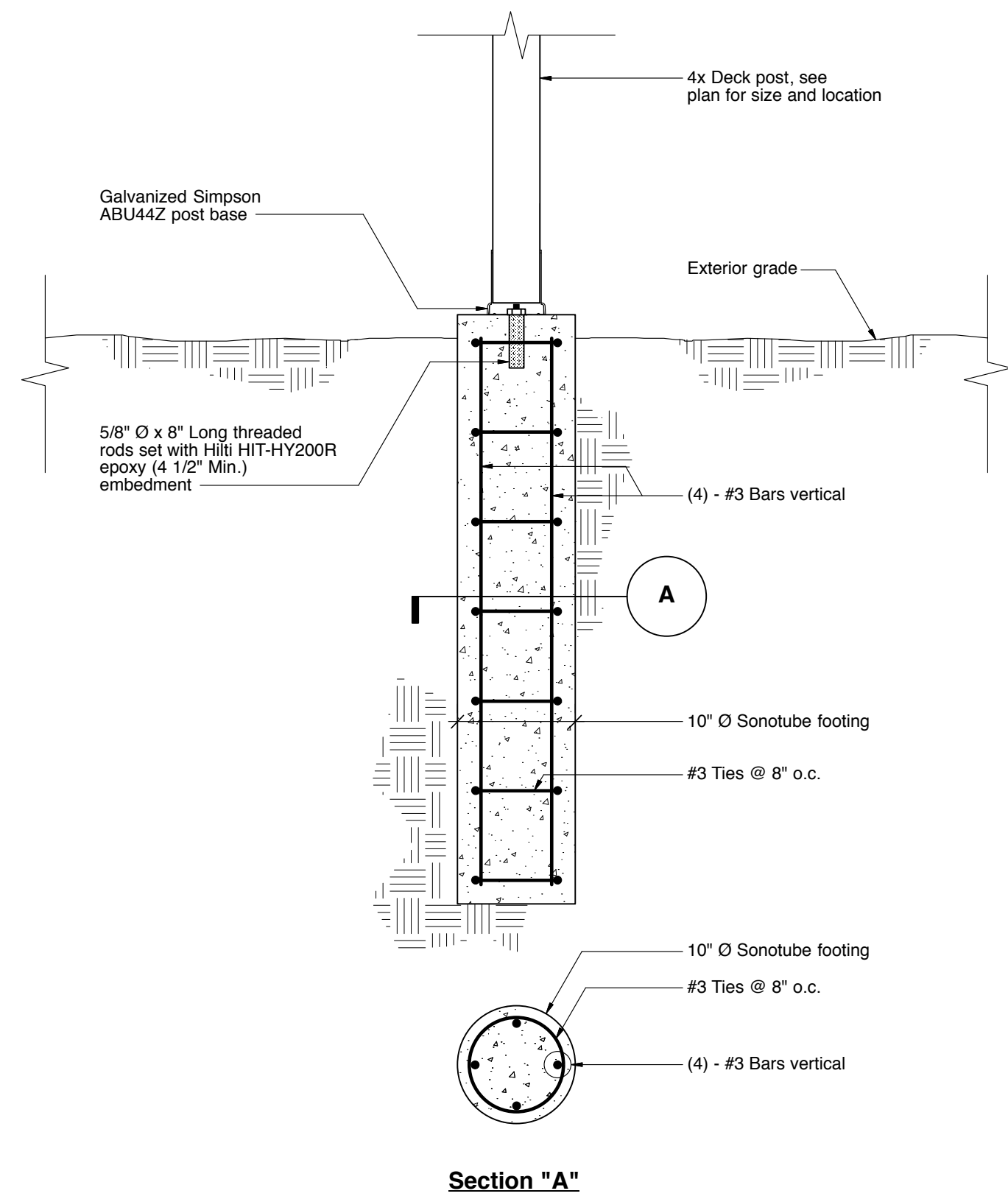
STRUCTURAL NOTES,
SECTIONS & DETAILS

DRAWING INFO.



S103

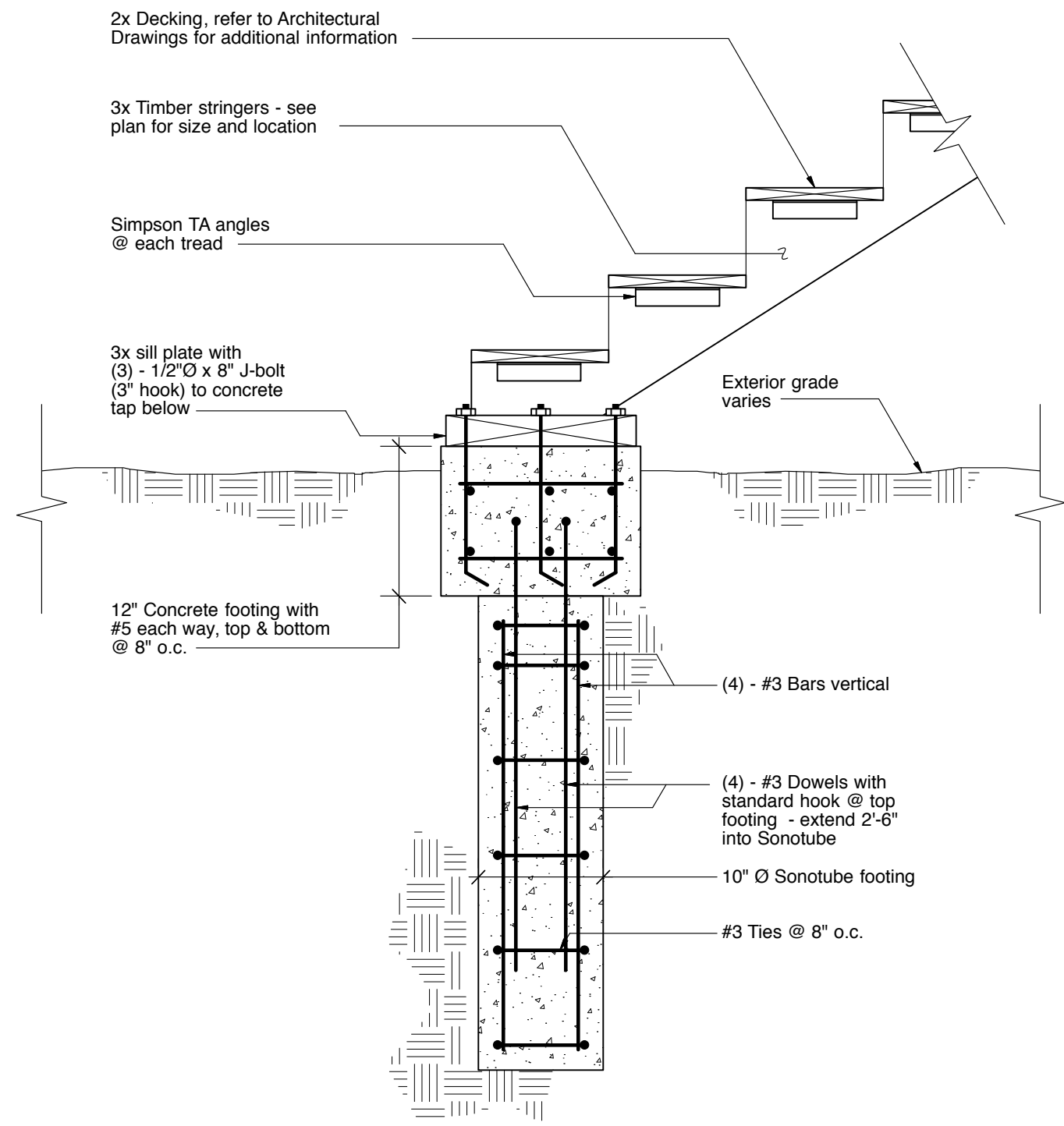
AS NOTED



Section - Typical Footing

Scale: 1" = 1'-0"

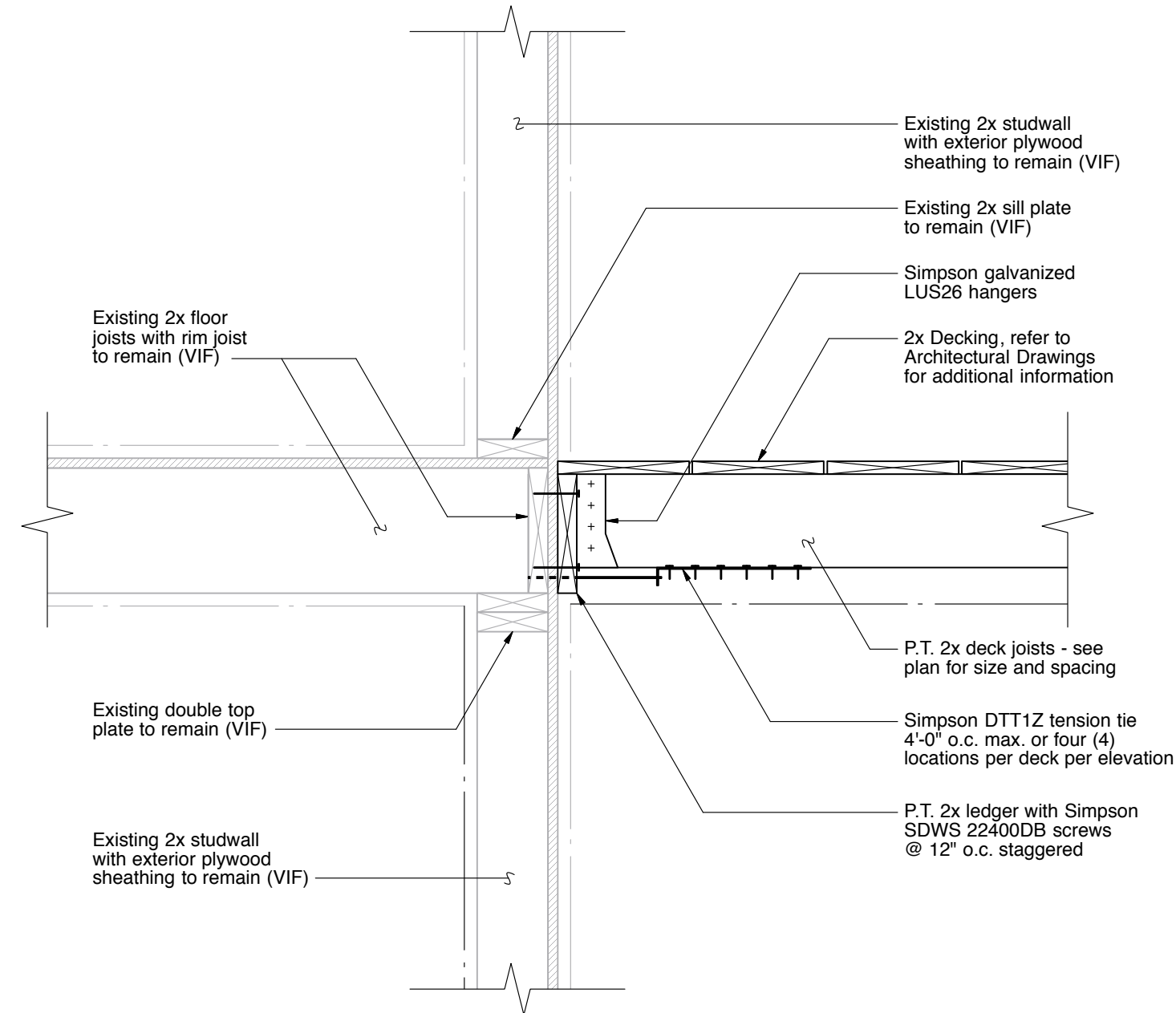
102
S104



Section - Footing @ Stair

Scale: 1" = 1'-0"

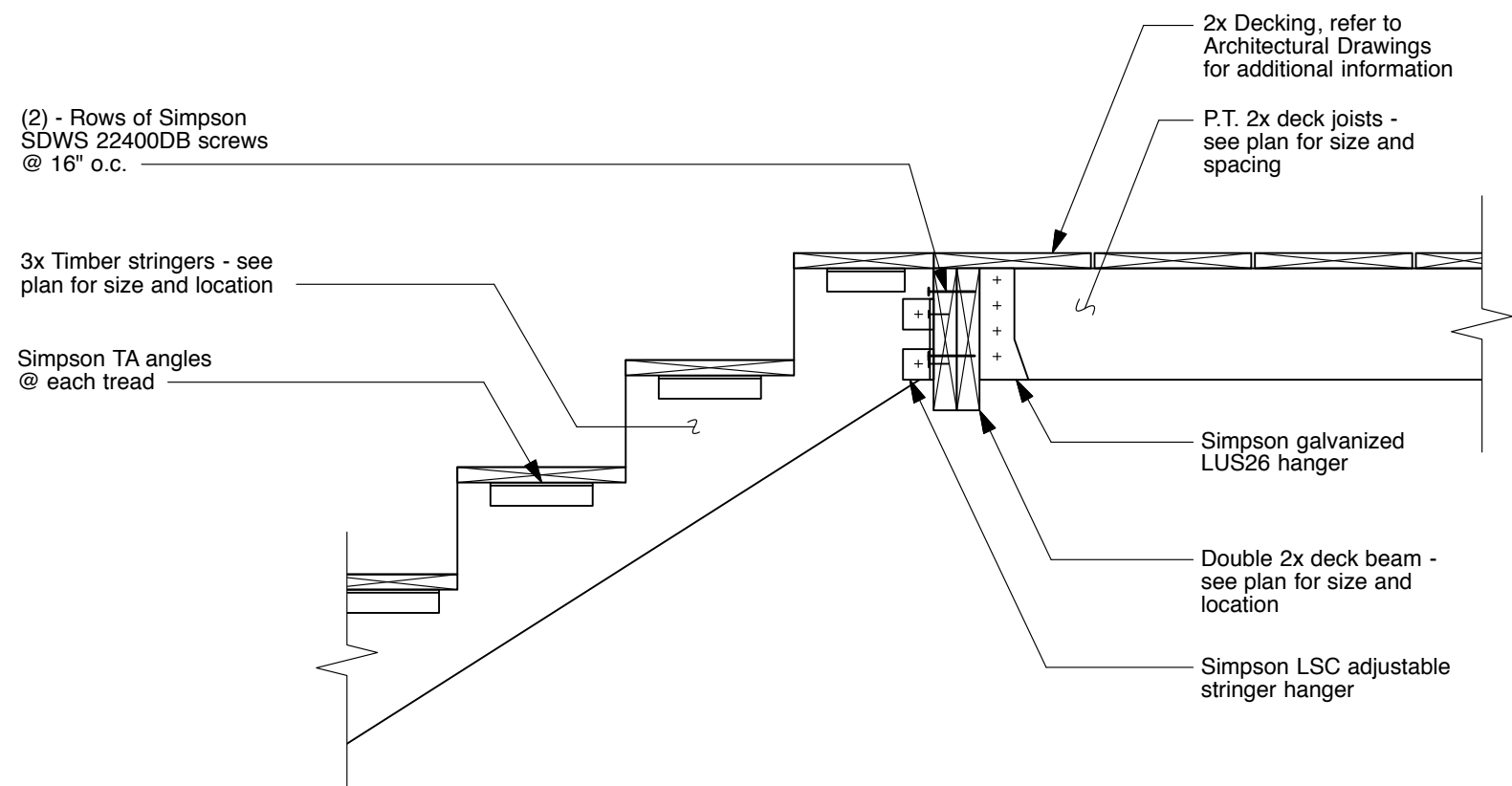
103
S104



Section

Scale: 1" = 1'-0"

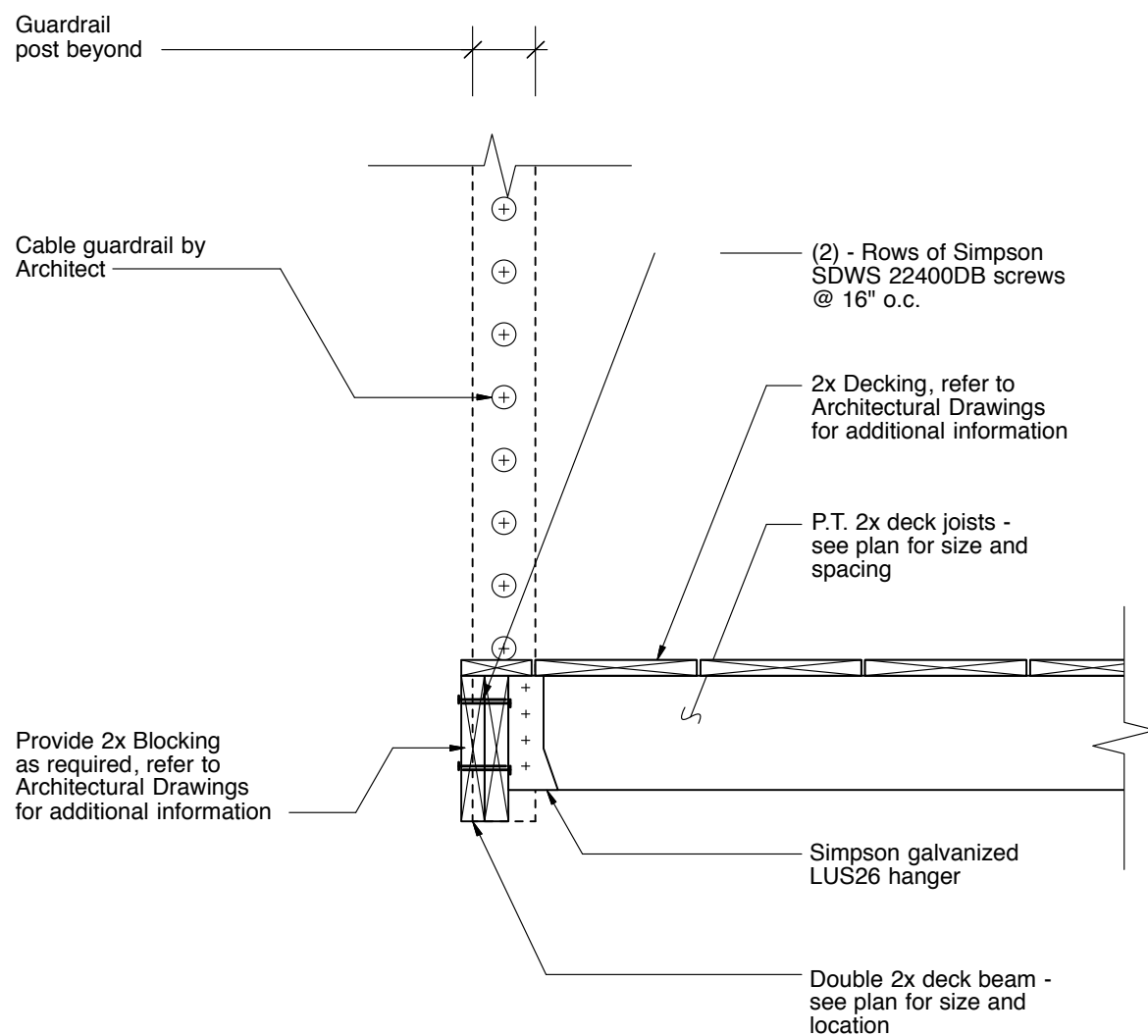
201
S104



Section - Top of Stair

Scale: 1" = 1'-0"

202
S104

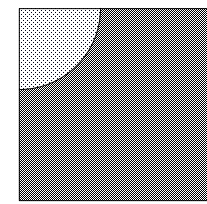


Section - Edge @ Deck

Scale: 1" = 1'-0"

203
S104

NOTES:



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ADMINISTRATION CODES CURRENTLY IN EFFECT.

DRAWING TITLE:

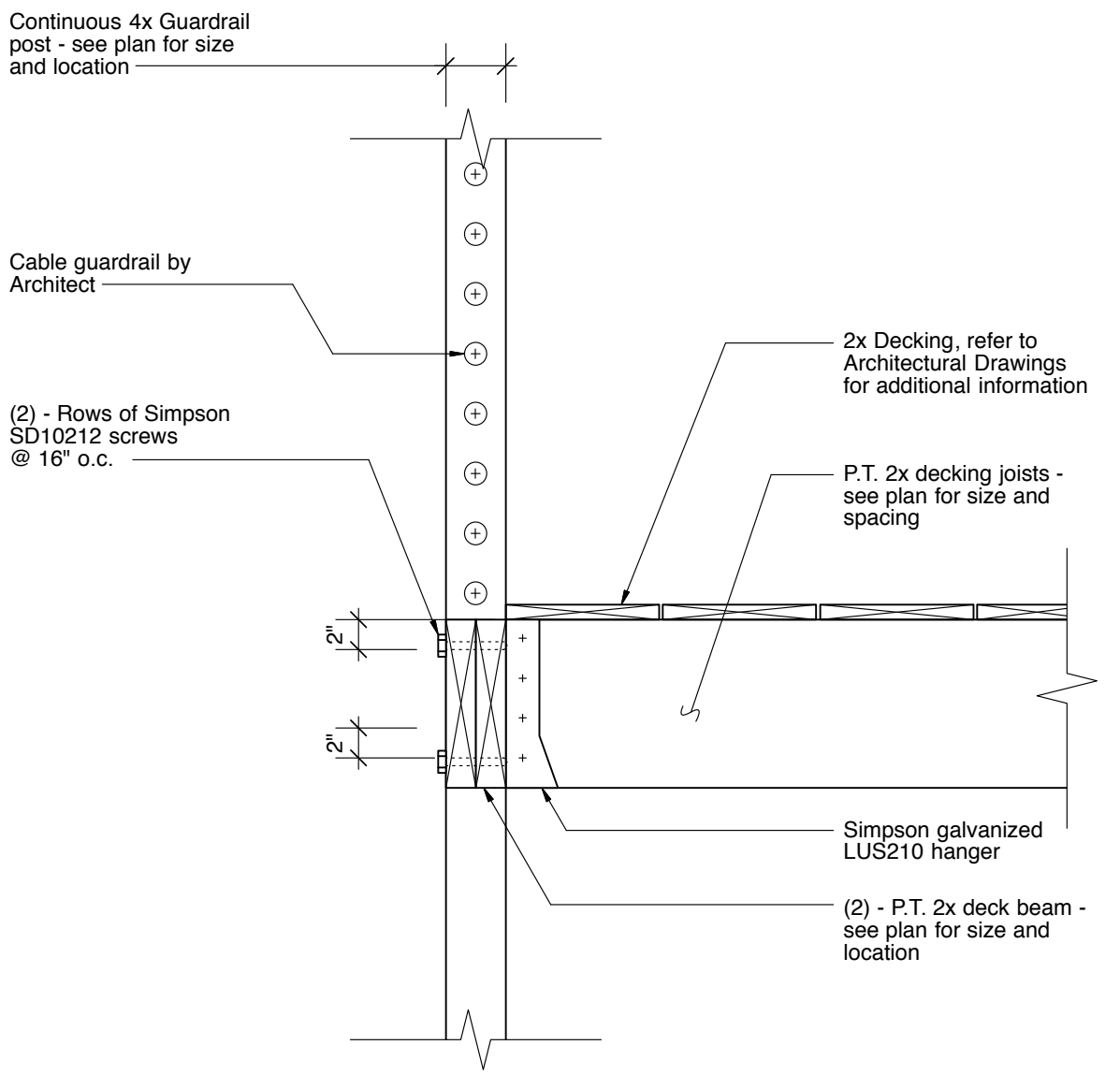
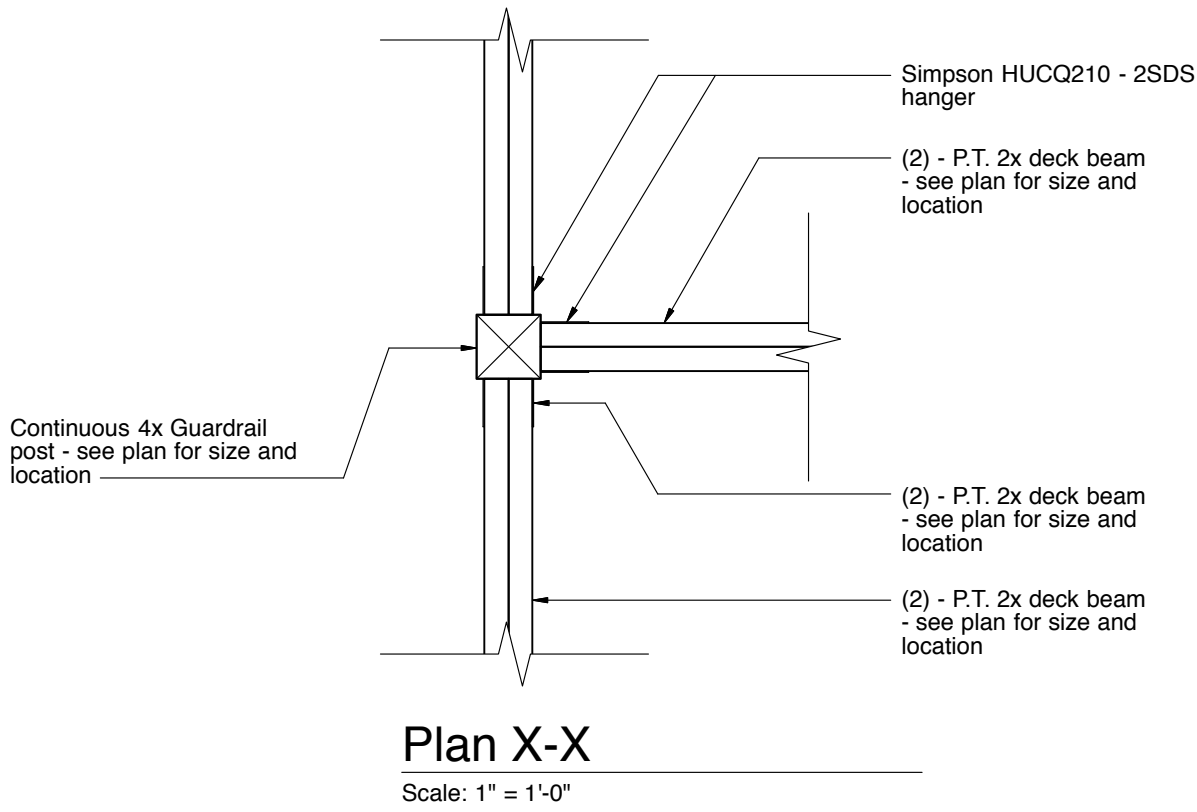
SECTIONS & DETAILS

DRAWING INFO.

S104
AS NOTED

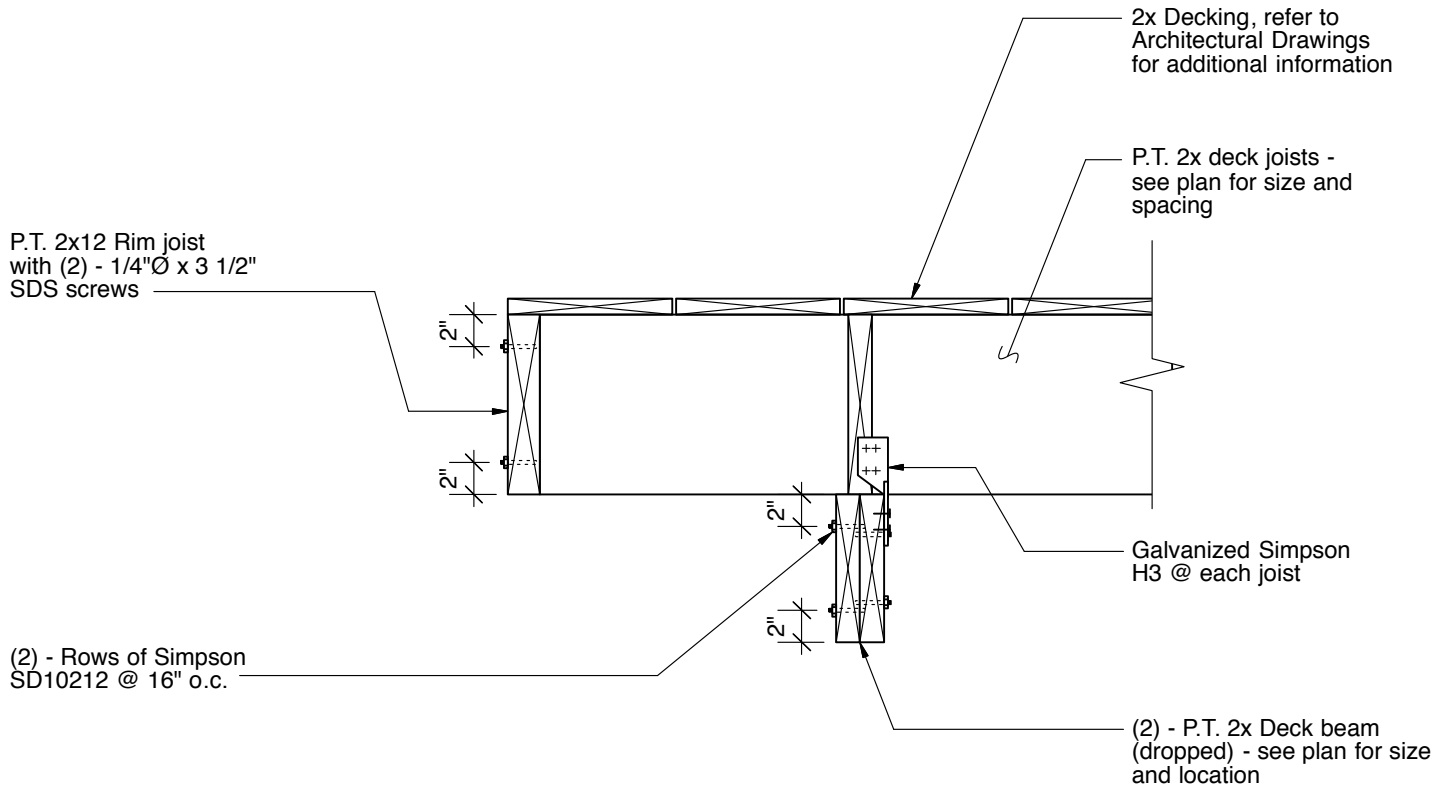


21064
21064 - McCarthy Residence.vwx



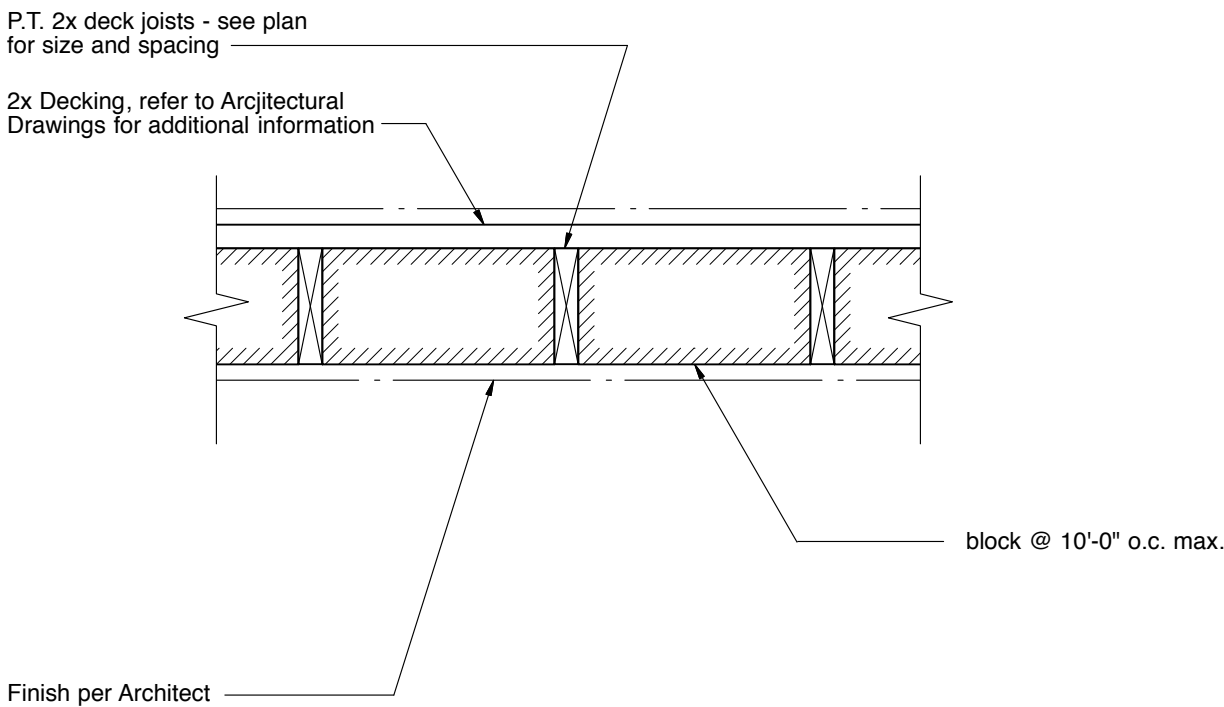
Section - Post @ Edge Of Deck
Scale: 1" = 1'-0"

204
S105



Section - Edge @ Deck
Scale: 1" = 1'-0"

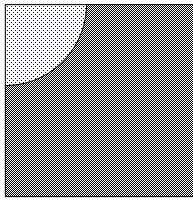
205
S105



Section - Typical Joist Blocking
Scale: 1" = 1'-0"

206
S105

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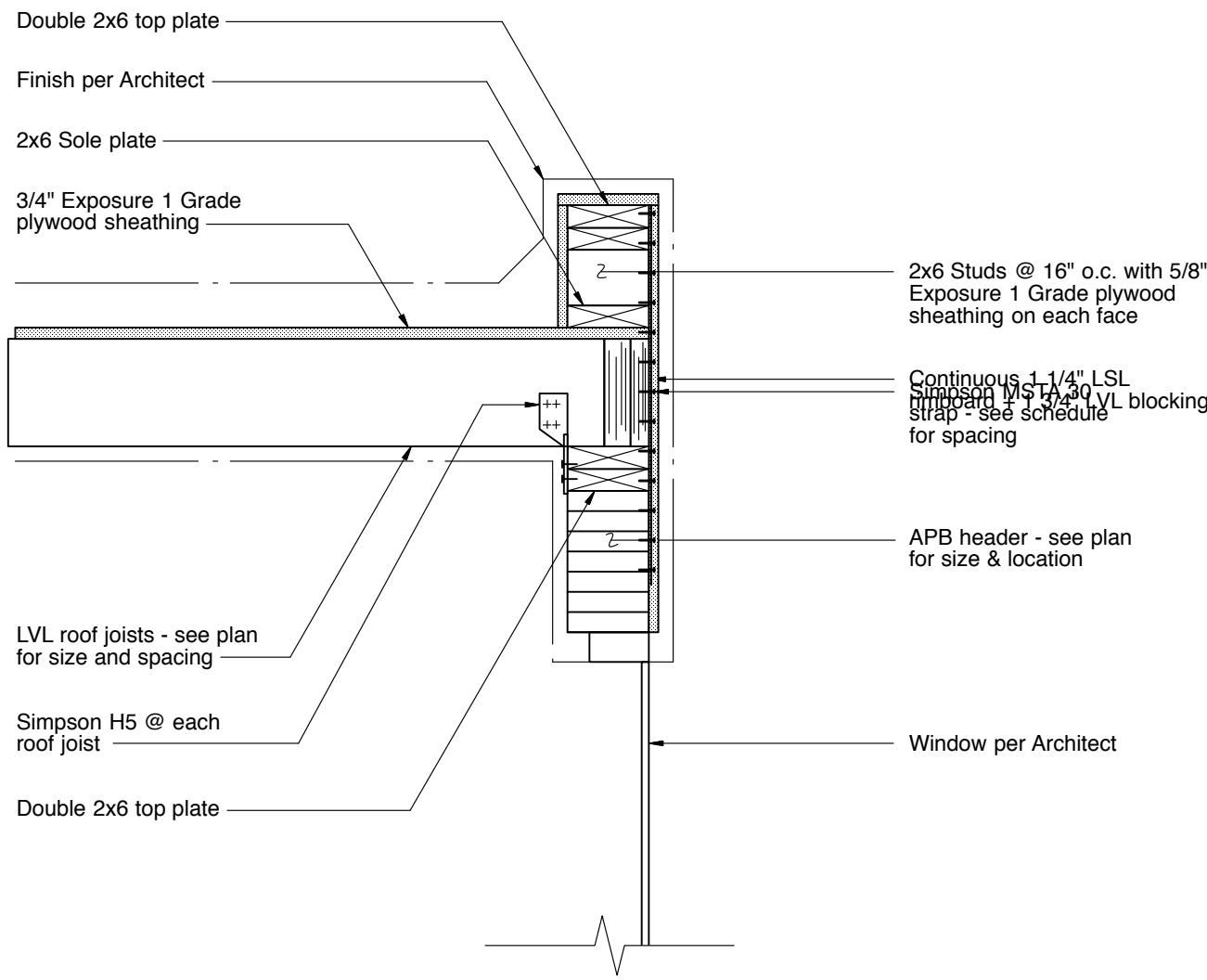
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SECTIONS & DETAILS

DRAWING INFO.

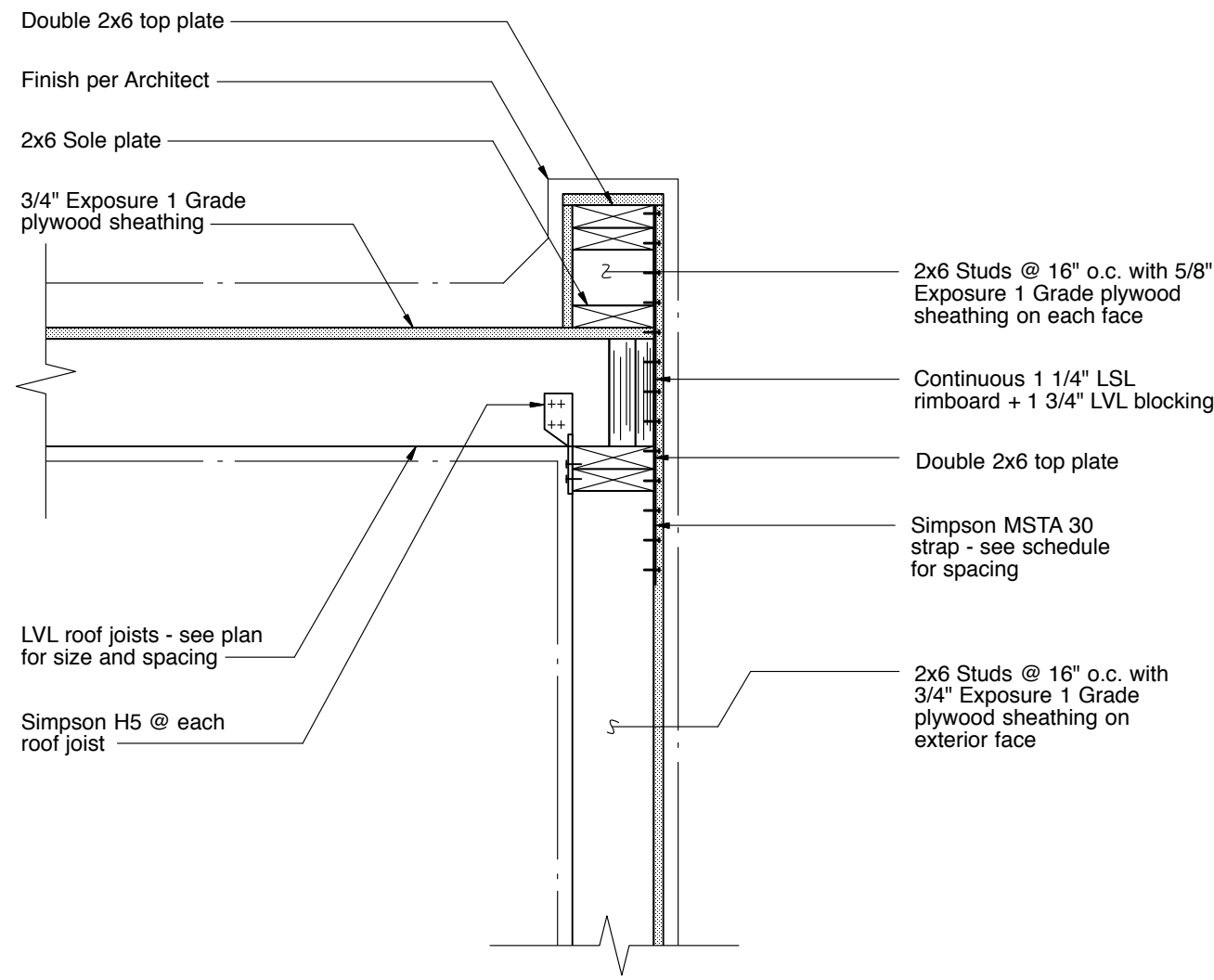


S105
AS NOTED



Section - Roof Joist (Parallel)
Scale: 1" = 1'-0"

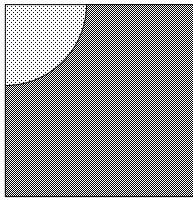
301
S106



Section - Roof Joist (Parallel)
Scale: 1" = 1'-0"

302
S106

NOTES:



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CODES (SECTION 2605.01-2605.05), CURRENTLY IN EFFECT.

DRAWING TITLE:

SECTIONS & DETAILS

DRAWING INFO.



S106
AS NOTED