

March 7, 2022

Irvington Architectural Review Board
85 Main Street
Irvington, NY 10533

Re: 11 Hancock Pl
Parcel No. 2.160-72-8

To whom it may concern,

I am writing on behalf of our clients Darren and Sukaina Klein, owners of the property located at 11 Hancock Pl, which is in the Village's IF-40 zoning area.

As reflected in detail on the plans submitted with this letter, the Kleins are proposing to renovate their existing patio which will include an outdoor kitchen and trellis as well as finishing their existing attic space which will include a new full bath. We have already received approval from the planning board and zoning board.

On behalf of Darren & Sukaina Klein we submit the enclosed for Architectural Review Board approval.

Sincerely,

A handwritten signature in black ink, reading "Christina Griffin". The signature is fluid and cursive, with the first name "Christina" and last name "Griffin" clearly distinguishable.

Christina Griffin AIA LEED AP CPHC
Principal
Christina Griffin Architect P.C.

RENOVATIONS TO THE

KLEIN RESIDENCE

11 HANCOCK PLACE, IRVINGTON, NEW YORK

CHRISTINA GRIFFIN ARCHITECT PC

12 Spring Street, Hastings-on-Hudson, NY 10706



▲

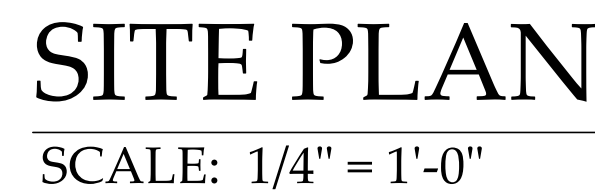
THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.

AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.



ARCHITECTURAL REVIEW BOARD 03-07-2022

GENERAL NOTES		CONSTRUCTION TYPE: TYPE 5A (EXISTING & PROPOSED) OCCUPANCY CLASSIFICATION: SINGLE FAMILY RESIDENTIAL. (EXISTING & PROPOSED)				INSULATION AND FENESTRATION REQUIREMENT BY COMPONENT							DATES	
<div>1. These documents remain the exclusive property of the Architect, and may not be used for any purpose whatsoever without written consent of the Architect.</div> <div>2. All construction shall comply fully with the 2020 Residential code of NYS, local building code, fire department regulations, and all other agencies having jurisdiction over project.</div> <div>3. Approved stamped set of building plans must be present on site for all inspections.</div> <div>4. A current Westchester County licensed and insured contractor must be on file with current building permit until Certificate of Occupancy is issued. If contractor of record has been removed from the project, a stop work order will be issued until a new Westchester County licensed and insured contractor is retained.</div> <div>5. General Contractor shall carry property damage insurance, public liability insurance, workman's compensation, auto insurance, and general liability as required by Federal, State, and Local Codes and as Owner requires.</div> <div>6. Licensed electrician to file separate electrical permit.</div> <div>7. Licensed plumber to file separate plumbing permit.</div> <div>8. All health, safety, fire, zoning and environmental regulations shall be adhered to at all times by the Owner and/or occupant.</div> <div>9. The contractor shall become familiar with conditions of the site, and the work as shown on the construction documents, prior to submitting a bid for construction.</div> <div>10. Contractors shall coordinate all work procedures and working hours with local authorities, neighborhood associations, and any other governing authorities.</div> <div>11. The contractor shall be responsible for providing all labor and materials to complete the project, in accordance with the construction documents, tested and ready for owner's use.</div> <div>12. All indicated Survey material is for general reference only. The Architect assumes no responsibility for the</div>		accuracy or the correctness of any of the indicated material.		before ordering any material or doing any work.		the contractor shall be responsible to (a) protect all interior spaces from the area of renovation, and (b) broom sweep all areas at end of each work day.		for fabrication and / or shipments. The Architect reserves the right to disapprove such substitution, provided in his sole opinion, the item offered is not equal or detailed on the drawings, which requires any redesign of the structure, partitions, piping, redesign, and all new drawings and detailing required therefore shall, with the approval of the Architect, be prepared by the contractor at his own expense.		Energy Notes R-Values & U-Factors		12-22-21		
		13. Contractors shall be responsible for protection of all existing and new conditions and materials with and adjacent to the construction area. Any damage caused by the execution of the work indicated or implied herein shall be repaired or replaced to the Owner's satisfaction.		20. Contractor is to design and install adequate and code approved shoring and bracing where needed to safely complete structural work. Contractor to assume full and sole responsibility for structural adequacy of the shoring and for any injuries, damages, cracks, or defects caused by shoring or bracing, and shall repair all such damage at his sole expense.		28. The contractor shall do all the cutting, fitting & patching that may be required to make several parts of the work come together properly, and to fit his work, and/or receive, or be received by the work of others, as shown, or as reasonably implied on the drawings.		31. If blown or sprayed insulation used, Installer of insulation to submit insulation certification to include the installed thickness of the area covered and R-value of the installed thickness shall be listed on the certificate. The insulation installer shall sign, date and post the certificate in a conspicuous location on the job site per N1101.5 of the 2020 Residential Code of New York State and submit an original signed copy for the Building Departments records.		Design Criteria: 5750 Degree Days 15% Maximum Glazing N1102.2.1 (R402.2.1) CEILINGS WITH ATTIC SPACES Where Section 1102.2.1 requires R-49 insulation in the ceiling, installing R-38 over 100% of the ceiling area requiring insulation shall be deemed to satisfy the requirement for R-49 insulation wherever the full height of uncompressed R-38 insulation extends over the wall top plate at eaves. N1102.2.2(R402.2.2)CEILINGS WITHOUT ATTIC SPACES Where Section 1102.2.2 requires insulation greater than R-30 in the ceiling, and the roof / ceiling assembly does not allow sufficient space, the min. R-value shall be R-30. Insulation over and to the outer edge of the top plate shall not be compressed. This reduction of insulation shall be limited to 500 SF, or 20% of the total insulated ceiling area, whichever is less.		01-13-22		
		14. All construction sites shall conform to the 2020 New York State Property Maintenance Code. All rubbish, garbage and construction debris shall be disposed of in an onsite dumpster or removed off site immediately. Materials shall be stacked in orderly fashion as to not create a blight on the community. The village right of way must be kept clear and maintained at all times.		21. The Architect is not responsible for workmanship, construction methods, or any omissions or derivations from the drawings during construction.		29. New and existing work shall come together in a seamless fashion. All new or modified surfaces shall be finished including, but not limited to taping, spackling and priming.		32. All work shall be guaranteed for one year after final payment. The general contractor is to furnish written guarantees on his work and all subcontractors work against defects resulting from the use of inferior materials, equipment, or workmanship as determined solely by the Architect. All such defects are to be replaced or repaired, complete with labor and materials, at no cost to owner.		Christina Griffin, Architect A.I.A., hereby states that I have prepared these plans and specifications to the best of my knowledge in compliance with all the requirements of the 2020 Residential code of NYS.		03-07-22		
		15. General contractor shall be responsible for the removal of construction debris, rubbish and offsite disposal in a responsible manner.		22. Materials and products indicated on drawings shall be installed in accordance with manufacturer's requirements.		30. All insulation to comply with the Energy Efficiency Certificate required by 401.3 2020 Energy Conservation Construction Code of New York, prepared by the Architect.		33. Substitutions of equipment or materials other than those shown on the drawings or in the specifications shall be made only upon approval of the Architect or owner as noted on the drawings or in these specifications. The contractor shall submit his substitution for approval before releasing any order		The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.				
16. The contractor shall obtain all inspections, approvals and permits, and pay all necessary permit fees required by the local building department and all other agencies having jurisdiction over the project, such as plumbing, electrical & HVAC, except for the building permit, which shall be obtained by the Architect. The contractor shall obtain the certificate of occupancy for the project when construction is complete.		23. The drawings and notes are intended to be complete. Should anything be omitted from the drawings necessary to the proper construction of the work herein described, it shall be the duty of the contractor to notify the Architect. The builder shall visit the site and inform the Architect of any discrepancies of field conditions that may interfere with the total completion of all work included within the contract and verify all conditions prior to the ordering of materials and the start of construction.		34. All work shall be installed so that all parts required are readily accessible for inspection, operation, maintenance and repair. Minor deviations from the drawings may be made to accomplish this, but changes of magnitude shall not be made without prior written approval from the Architect.		37. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.		a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.						
17. Contractor shall keep work site free from debris and accumulated refuse, and shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.		24. Minor details not usually shown or specified, but necessary for proper and acceptable construction, installation or operation of any part of the work shall be included in the work the same as specified or indicated.		35. Upon completion of the work, the entire project is to be completely cleaned and the site restored to existing condition, including but not limited to the following.		38. Contractor to provide a placard indicating installation of engineered lumber and/or truss construction as per NYSDOS.		b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.						
18. Drawings may be rough scaled for estimating and general purposes, but are not to be scaled for construction locations, dimensions, or any other purposes. Dimensions shown shall govern over measurements scaled from plans. Wall dimensions are given to finished surfaces. Contractor to consult with the Architect for questions regarding final dimensions and locations.		25. The contractor shall supervise and direct the work using his best skill and attention, he shall be solely responsible for all construction means, methods, sequences and procedures and for coordination of all portions of the work.		36. Finish materials and paint colors shall be reviewed and approved by the homeowner.				c. *10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. *15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with *15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.						
19. All dimensions and conditions shown and assumed on the drawings must be verified at the site by contractor		26. The use of the words "provide" or "provided" in connection with any item specified is intended to mean that such item be furnished and installed and connected where required.		37. The Architect assumes no responsibility for the accuracy or correctness of any material or drawings prepared by others and provided to the Architect.				d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.						
LIST of DRAWINGS														
TITLE SHEET		GENERAL NOTES, ZONING DATA, CLIMATIC & GEOGRAPHIC CRITERIA, LIST OF DRAWINGS, DATES												
S-1		SITE PLAN												
S-2		SITE DETAILS												
A-1		PATIO FLOOR PLAN, OUTDOOR KITCHEN ELEVATIONS												
A-2		ATTIC FLOOR PLAN & ELEVATIONS												
A-3 - A-5		EXTERIOR ELEVATIONS & DETAILS												



This is a detailed floor plan of a large, symmetrical house. The central feature is a circular FOYER with a semi-circular entrance at the bottom. To the left of the foyer is a large LIVING ROOM with a fireplace, and to the right is a DINING ROOM. Behind the living room is a LIBRARY, and behind the dining room is a BUTLER'S PANTRY. The rear of the house features a large FAMILY ROOM with a fireplace and a KITCHEN. A central HALL connects these rooms to the bedrooms and a BATH. The left wing includes a SOLARIUM and a LOWER PATIO. The right wing includes a GARAGE and a LOWER PATIO. The plan is marked with various symbols for furniture, fixtures, and architectural details like stairs and doors.

AREA OF PROPOSED PATIO WORK

SCALE: 1/16" = 1'-0"



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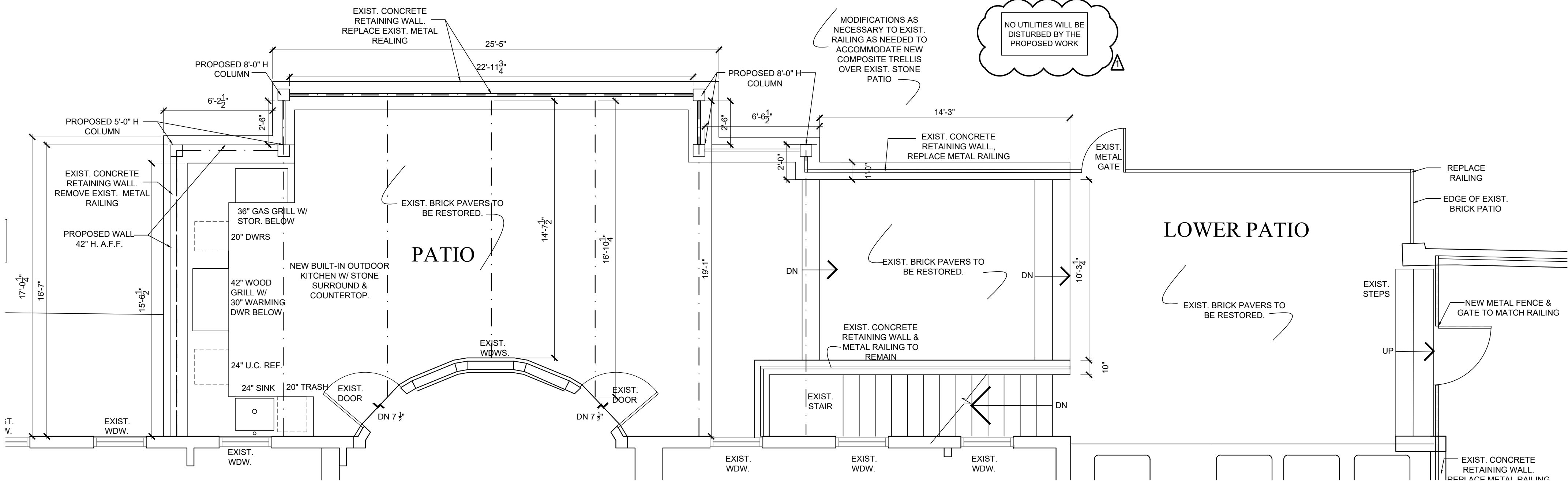
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PLANNING BOARD SUBMISSION 12-22-2021
REVISED PLANNING BOARD SUBMISSION 01-13-2022
ZONING BOARD SUBMISSION 02-07-2022
ARCHITECTURAL REVIEW BOARD 03-07-2022

Drawing Title
SITE PLAN

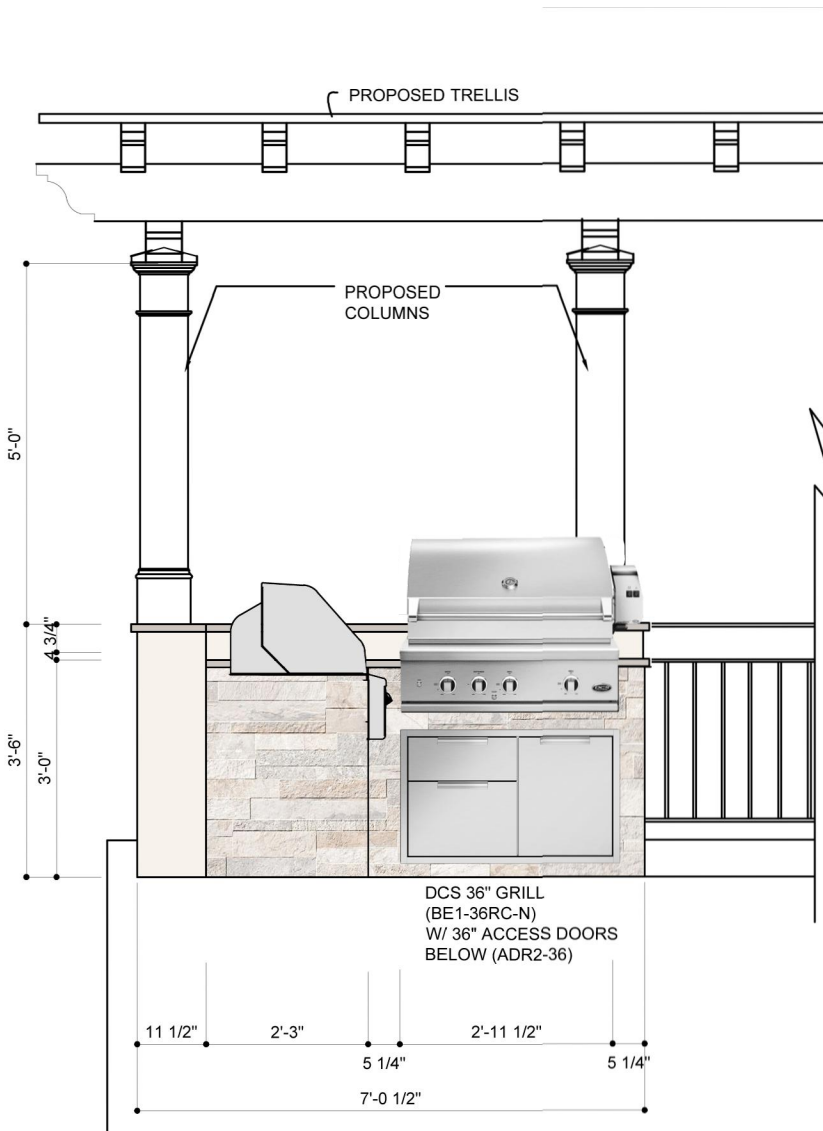
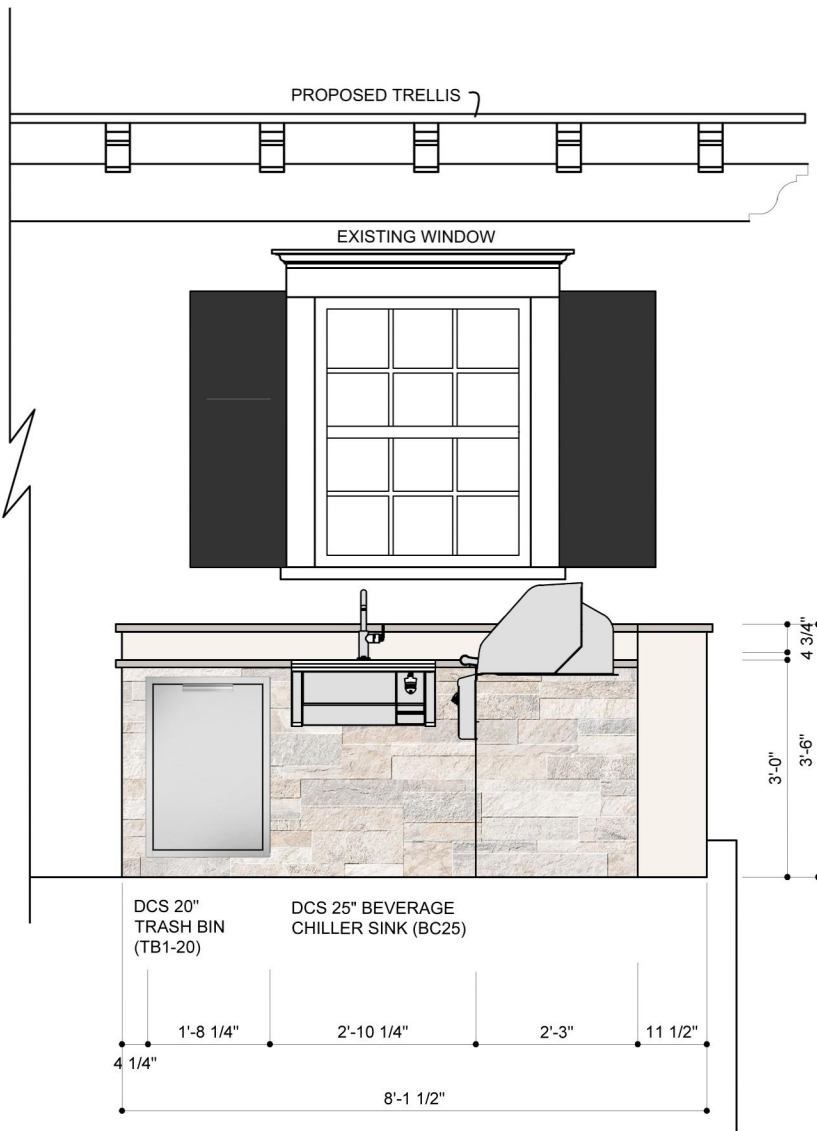
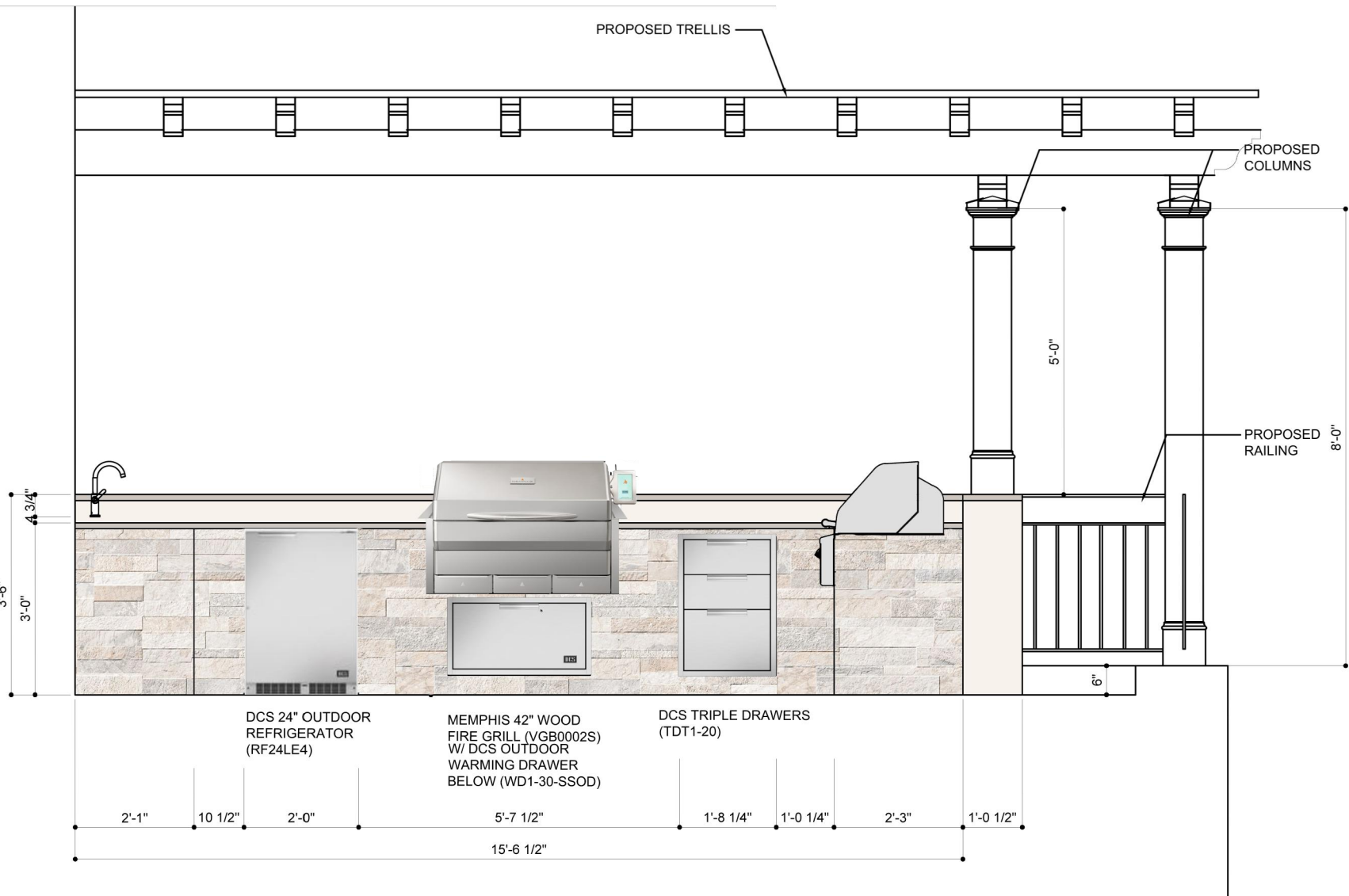
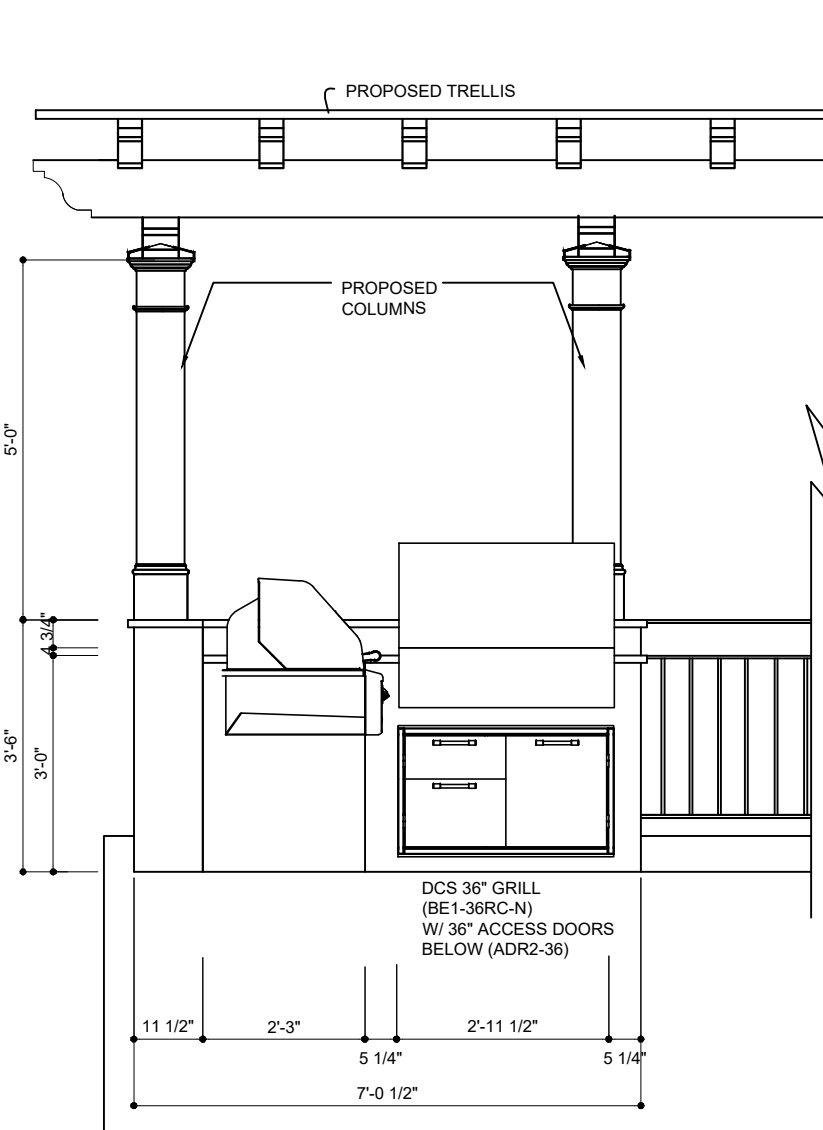
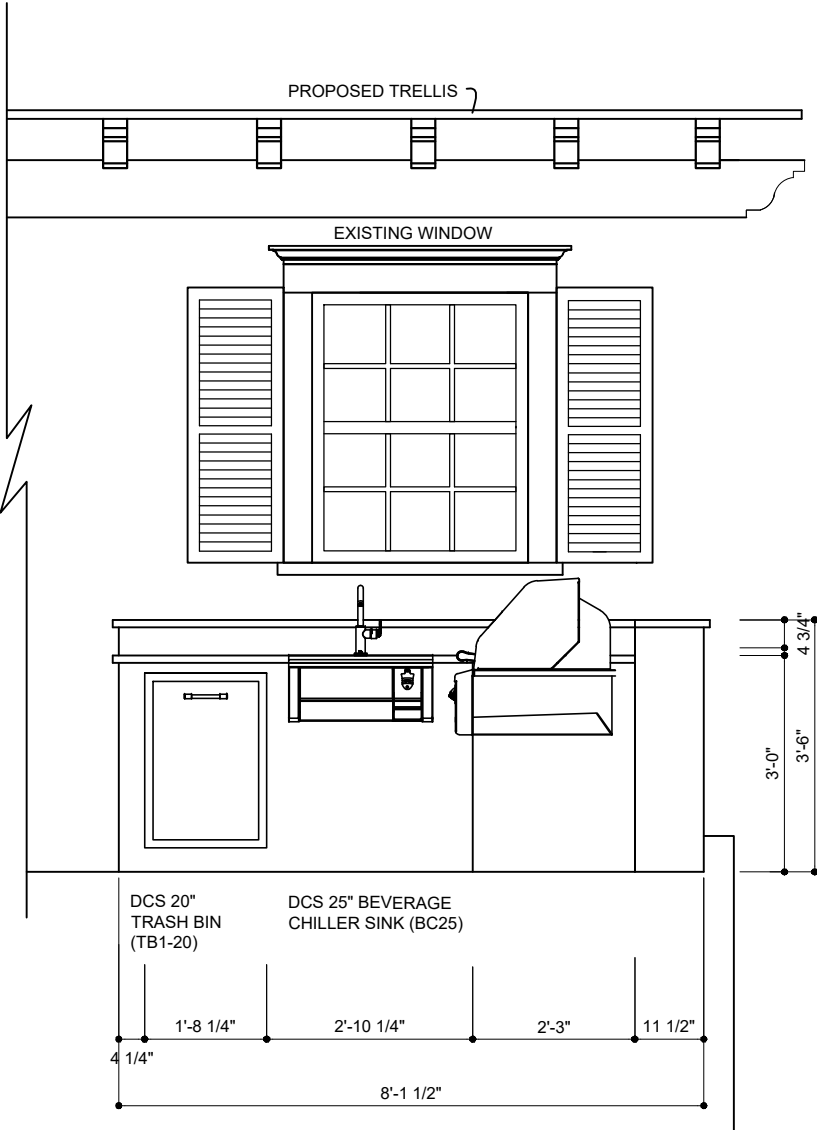
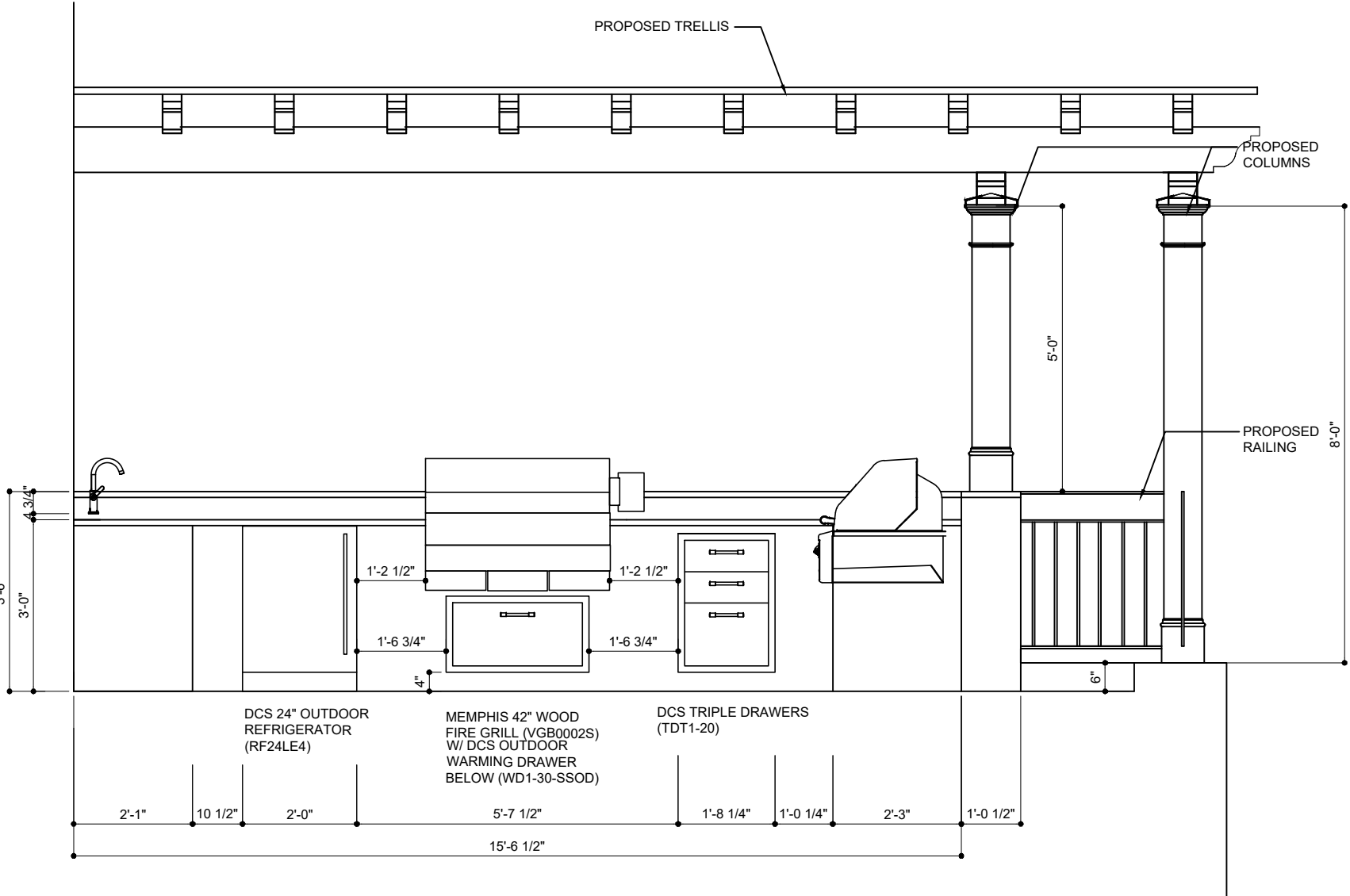
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S-1

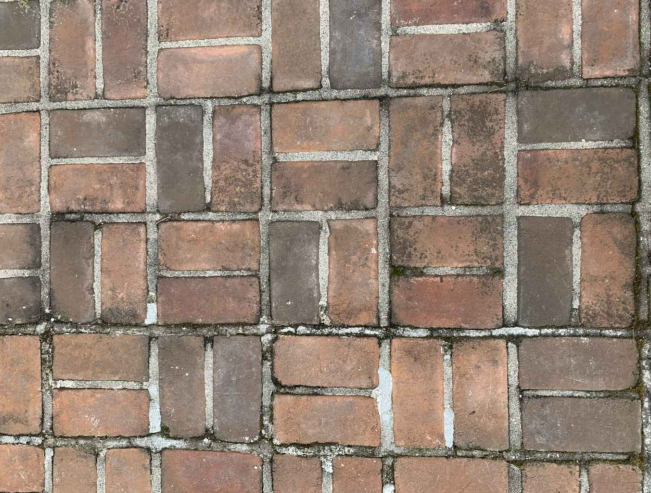


PATIO FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED STONE VENEER



EXISTING BRICK PATIO (TO BE RESTORED)

LEGEND

- EXIST. EXTERIOR WALL: Exist. stud wall w/ new 5" Gypsum bd. Add furring & R-21 Rockwool Comfort Batt. insulation at exterior wall.
- EXIST. INTERIOR WALL: Exist. stud wall w/ new 5" Gypsum bd. Add furring & Rockwool safe 1" sound insulation.
- INTERIOR WALL: 5/8" gypsum board ea. side of 2"x4"s @ 16" o.c.
- INTERIOR WALL WITH ACOUSTICAL INSULATION: 5/8" gypsum board each side of 2"x4"s @ 16" o.c., Rockwool safe 1" sound insulation.
- 3/4" HOUR FIRE RATED WALL: 5/8" fire code gypsum board on outer side of 2"x4"s @ 16" o.c.
- EXTERIOR WALL: Existing stucco on wood sheathing 2"x4" studs 16" o.c. New 2" furring R-21 Rockwool Comfort Batt. insulation, 5" gyp. bd.
- ELEVATION NO. XX, SHEET NO. XX
- SECTION DETAIL ELEVATION NO. XX, SHEET NO. XX
- DOOR TYPE: FOR DESCRIPTION, SEE SPECIFICATIONS - DOOR SCHEDULE
- WINDOW TYPE: FOR DESCRIPTION, SEE SPECIFICATIONS - WINDOW SCHEDULE
- WALL REGISTER

ENGINEERED LUMBER AND/OR TRUSS CONSTRUCTION MUST BE PLACARDED AS PER NYS DOCS

GENERAL STRUCTURAL NOTES

- DESIGN LOADS: LOCATION LIVE LOAD DEAD LOAD TOTAL
1ST FL 40 15 55PSF
2ND FL 40 15 55PSF
ROOF 40 15 55PSF
DECK 50 15 65PSF
- DESIGN STRESSES: SOIL PRESSURE(assumed)= 2 TONS(4 kips)PSF
FC = 3,500 PSI (min. compression strength of concrete)
FS = 24,000 PSI (tensile unit stress of steel)ASTM-A-36
- THE FRAMING CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE STRUCTURAL STEEL WORK AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.
- FRAMED BEAM CONNECTIONS ASTM A-325 HIGH STRENGTH BOLTS(3/4") UNLESS OTHERWISE NOTED.
- WELDING SHALL CONFORM TO AWS CODE FOR GAS & ARC WELDING IN BUILDING CONSTRUCTION. THE EXISTING FLOORS AND ROOF CONSTRUCTED OF WOOD AND SPECIAL PROTECTION MUST BE PROVIDED TO PREVENT FIRE DAMAGE AS A RESULT OF THE FIELD WELDING.
- FURNISH AND DELIVER FOR INSTALLATION BY OTHERS. ANCHOR BOLTS, BEARING PLATES AND LOOSE LINTELS WITH INSTRUCTIONS AND TEMPLATES TO FACILITATE INSTALLATION.
- SHOP PAINT ALL STRUCTURAL STEEL WITH AN APPROVED PRIMER AND TOUCH UP PAINTING.
- FABRICATOR MUST PROVIDE SHOP DRAWINGS PREPARED BY TECHNICAL PERSONNEL UNDER THE SUPERVISION OF A QUALIFIED ENGINEER LICENSED BY THE STATE OF NEW YORK.
- FOOTINGS SHALL BE REINFORCED AS SHOWN AND DOWELED TO RECEIVE THE PIER. ANCHOR BOLTS ARE TO BE SET ACCORDING TO THE ANCHOR BOLT PLAN SUBMITTED BY THE STEEL FABRICATOR AND SECURED IN PLACE BY MEANS OF A TEMPLATE.
- CONTRACTOR TO SUBMIT SHOP DRAWINGS PREPARED BY AN ENGINEER FOR ALL STRUCTURAL STEEL PRIOR TO FABRICATION, FOR REVIEW & APPROVAL BY THE PROJECT ENGINEER.
- INSTALL SOLID 2" THICK BLOCKING THE DEPTH OF FL. JOISTS MAX. 8 FT. O.C.
- ALL PARALLAM BEAMS TO BE 2.0E PSL BY TRUS JOIST.
- ALL PARALLAM POSTS TP BE 1.8 E PSL BY TRUS JOIST.
- FRAMING DETAILS SHALL BE IN ACCORDANCE WITH IRC TABLE R602
- WINDOW HEADER, SILLS AND GLAZING DETAILS TO BE IN IN ACCORDANCE WITH IRC R.
- RE-BAR CHAIRS TO BE INSTALLED TO SUPPORT RE-BAR AT FOOTINGS AND FOUNDATION. NO STIRRUPS REQUIRED.
- ALL FOUNDATIONS TO BE IN ACCORDANCE WITH IRS CH. 403.

OUTDOOR KITCHEN ELEVATIONS

SCALE: 3/8" = 1'-0"

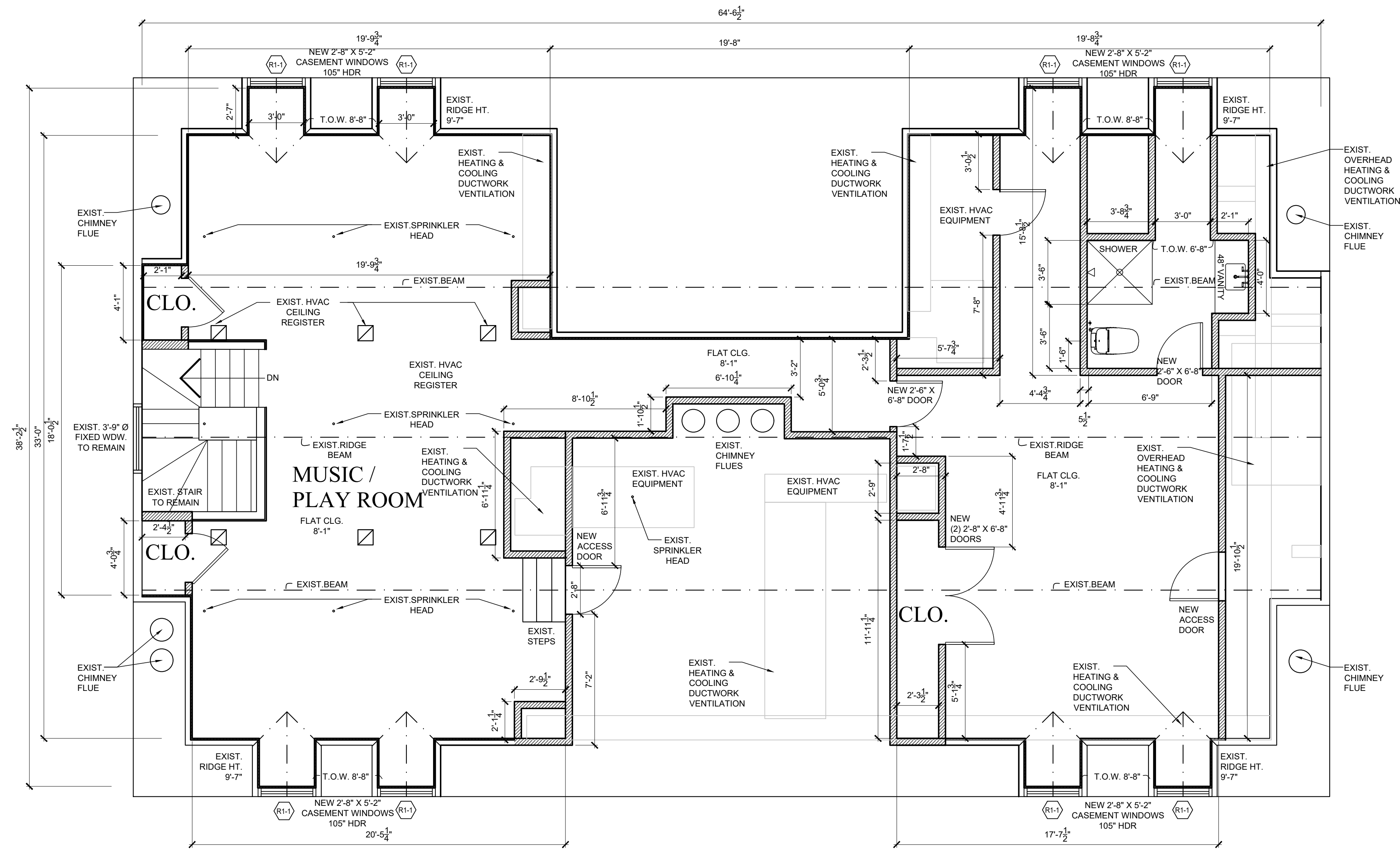
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Date
PLANNING BOARD SUBMISSION 12-22-2021
REVISED PLANNING BOARD SUBMISSION 01-13-2022
ARCHITECTURAL REVIEW BOARD 03-07-2022

Drawing Title
FLOOR PLAN
Scale:
AS SHOWN

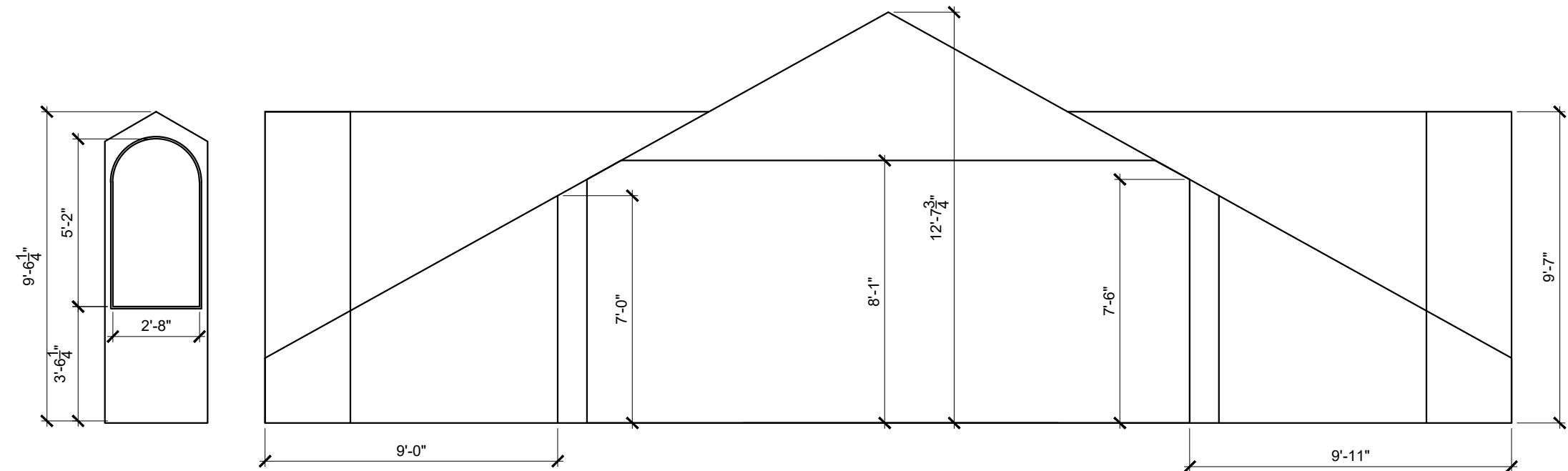


A-1



ATTIC FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING ATTIC ELEVATION

SCALE: 1/4" = 1'-0"

LEGEND

EXIST. EXTERIOR WALL:
Exist. stud wall w/ new 5" Gypsum bd.
Add furring & R-21 Rockwool Comfort Batt.
insulation at exterior wall

EXIST. INTERIOR WALL:
Exist. stud wall w/ new 5" Gypsum bd.
Add furring & Rockwool safe 1" sound
insulation.

NEW INTERIOR WALL:
5/8" gypsum board ea. side
of 2"x4"s @ 16" o.c.

INTERIOR WALL:
New 5/8" gypsum board ea. side
of exist. 2"x4"s @ 16" o.c.

INTERIOR WALL WITH
ACOUSTICAL INSULATION:
5/8" gypsum board each
side of 2"x4"s @ 16" o.c.
Rockwool safe 1" sound insulation.

3/4" HOUR FIRE RATED WALL:
5/8" fire code gypsum board on
outer side of 2"x4"s @ 16" o.c.
New 2" furring
R-21 Rockwool Comfort Batt. insulation,
5" gyp. bd.

EXIST. OVERHEAD
HEATING & COOLING
DUCTWORK
VENTILATION

EXIST. CHIMNEY
FLUE

ELEVATION
NO.

ELEVATION
SHEET NO.

ELEVATION
NO.

ELEVATION
SHEET NO.

DOOR TYPE.
FOR DESCRIPTION,
SEE SPECIFICATIONS -
DOOR SCHEDULE

WINDOW TYPE.
FOR DESCRIPTION,
SEE SPECIFICATIONS -
WINDOW SCHEDULE

WALL REGISTER

ENGINEERED LUMBER AND/OR TRUSS CONSTRUCTION MUST BE PLACARDED AS PER NYSDDS

GENERAL STRUCTURAL NOTES

1. DESIGN LOADS:

LOCATION	LIVE LOAD	DEAD LOAD	TOTAL
1ST FL	40	15	55PSF
2ND FL	40	15	55PSF
ROOF	40	15	55PSF
DECK	50	15	65PSF

2. DESIGN STRESSES:

SOIL PRESSURE(assumed)= 2 TONS(4 kips)/PSF
F'C = 3,500 PSI (min. compression strength of concrete)
F'S= 24,000 PSI (tensile unit stress of steel)ASTM-A-36

3. THE FRAMING CONTRACTOR SHALL INCLUDE ALL LABOR, MATERIALS,
EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE STRUCTURAL STEEL
WORK AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.

4. FRAMED BEAM CONNECTIONS ASTM A-325 HIGH STRENGTH BOLTS(3/4")
UNLESS OTHERWISE NOTED.

5. WELDING SHALL CONFORM TO AWS CODE FOR GAS & ARC WELDING IN
BUILDING CONSTRUCTION. THE EXISTING FLOORS AND ROOF CONSTRUCTED OF
WOOD AND SPECIAL PROTECTION MUST BE PROVIDED TO PREVENT FIRE
DAMAGE AS A RESULT OF THE FIELD WELDING.

6. FURNISH AND DELIVER FOR INSTALLATION BY OTHERS. ANCHOR BOLTS,
BEARING PLATES AND LOOSE LINTELS WITH INSTRUCTIONS AND TEMPLATES TO
FACILITATE INSTALLATION.

7. SHOP PAINT ALL STRUCTURAL STEEL WITH AN APPROVED PRIMER AND TOUCH
UP PAINTING.

8. FABRICATOR MUST PROVIDE SHOP DRAWINGS PREPARED BY TECHNICAL
PERSONNEL UNDER THE SUPERVISION OF A QUALIFIED ENGINEER LICENSED BY
THE STATE OF NEW YORK.

9. FOOTINGS SHALL BE REINFORCED AS SHOWN AND DOWELED TO RECEIVE THE
PIER. ANCHOR BOLTS ARE TO BE SET ACCORDING TO THE ANCHOR BOLT PLAN
SUBMITTED BY THE STEEL FABRICATOR AND SECURED IN PLACE BY MEANS OF A
TEMPLATE.

10. ALL DIMENSIONS SHALL BE FIELD MEASURED AND VERIFIED BY THE
CONTRACTOR PRIOR TO START OF CONSTRUCTION & PRIOR TO
FABRICATION OF STRUCTURAL STEEL MEMBERS

11. CONTRACTOR TO SUBMIT SHOP DRAWINGS PREPARED BY AN ENGINEER
FOR ALL STRUCTURAL STEEL PRIOR TO FABRICATION, FOR REVIEW & APPROVAL
BY THE PROJECT ENGINEER.

12. INSTALL SOLID 2" THICK BLOCKING THE DEPTH OF FL. JOISTS MAX. 8 FT. O.C.

13. ALL PARALLAM BEAMS TO BE 2.0E PSL BY TRUS JOIST.

14. ALL PARALLAM POSTS TP BE 1.8 E PSL BY TRUS JOIST.

15. FRAMING DETAILS SHALL BE IN ACCORDANCE WITH IRC TABLE R602

16. WINDOW HEADER, SILLS AND GLAZING DETAILS TO BE IN IN ACCORDANCE
WITH IRC R.

17. RE-BAR CHAIRS TO BE INSTALLED TO SUPPORT RE-BAR AT FOOTINGS AND
FOUNDATION, NO STIRRUPS REQUIRED.

18. ALL FOUNDATIONS TO BE IN ACCORDANCE WITH IRS CH. 403.

RENOVATIONS TO THE

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ARCHITECTURAL REVIEW BOARD 03-07-2022

Drawing Title

FLOOR PLAN

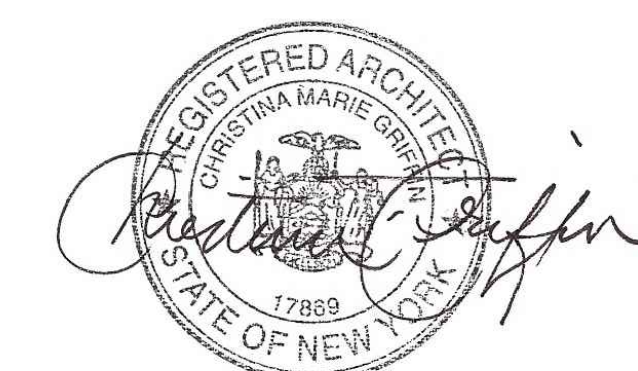
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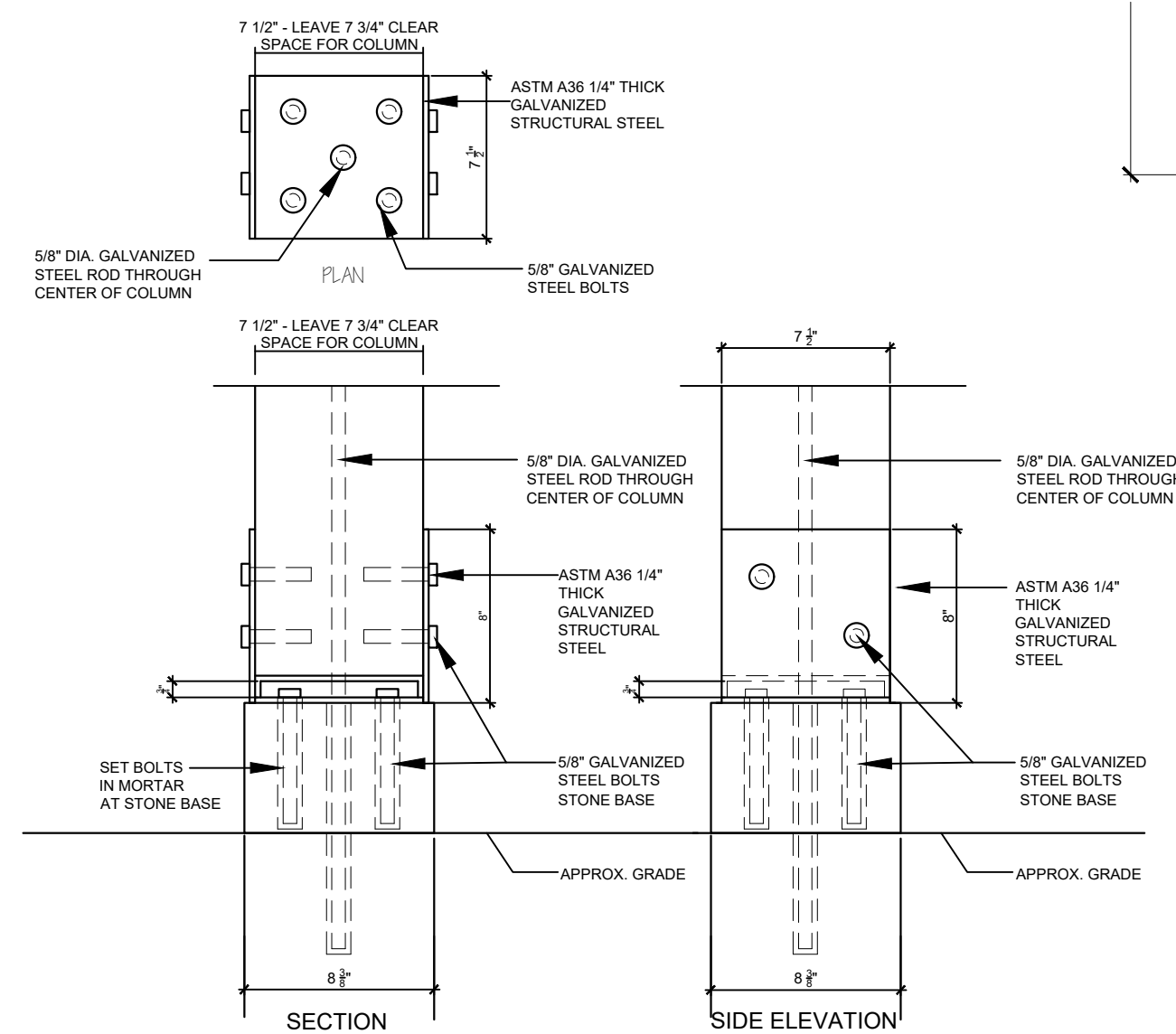
Architectural Review Board Submission 06-07-21
 Revised Planning Board Submission 01-13-2022
 Architectural Review Board 03-07-2022

Drawing Title
WEST
ELEVATION
RAILING DETAIL

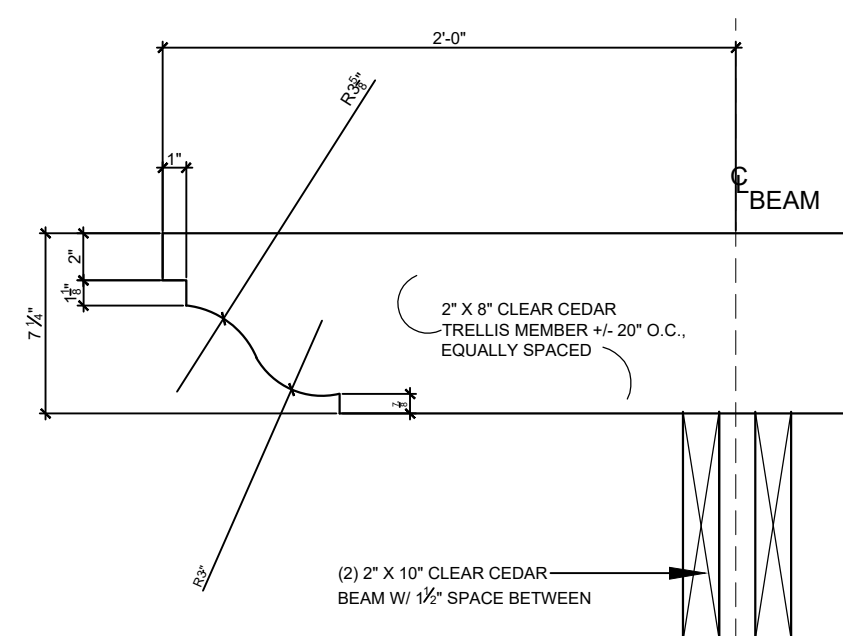
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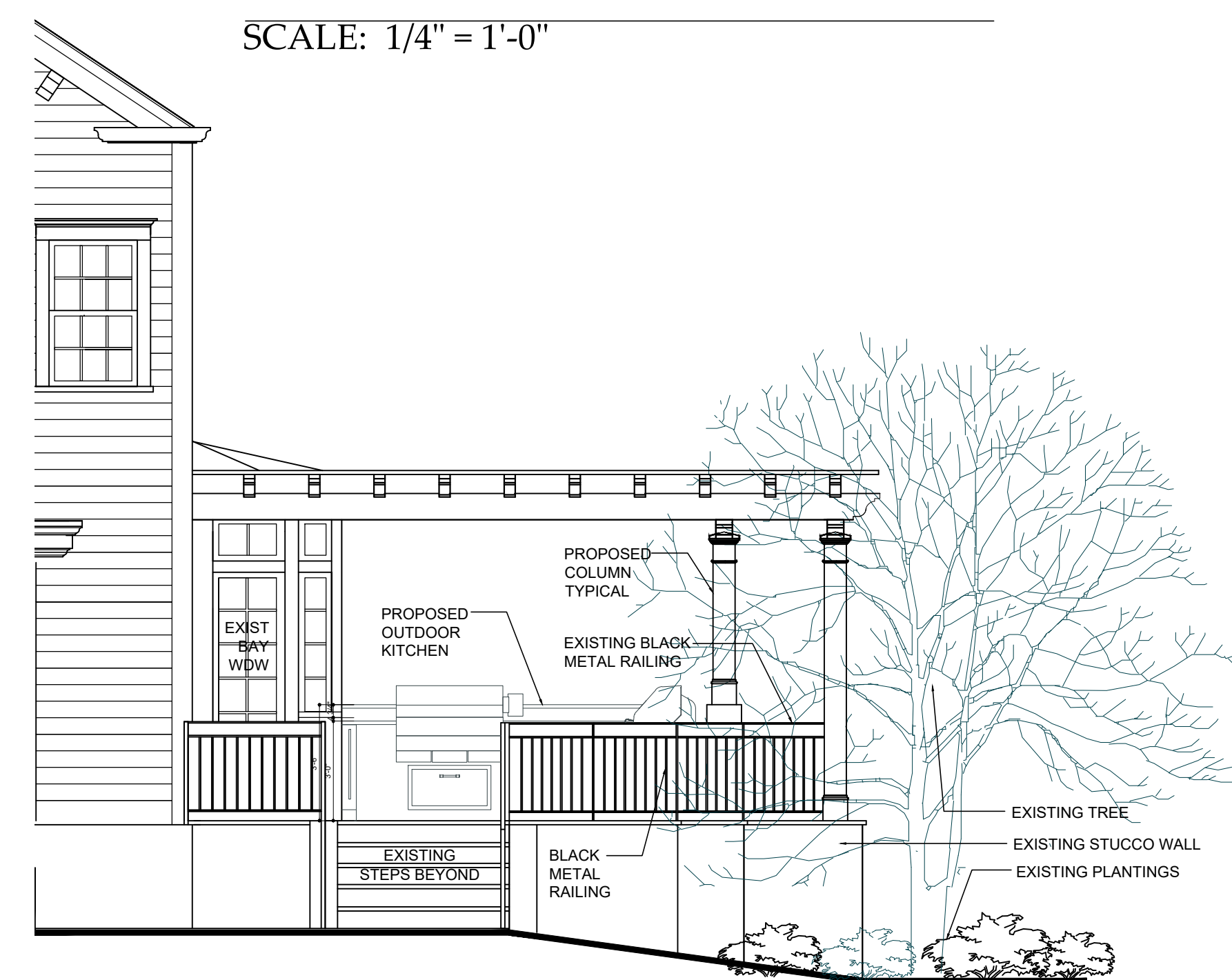
A-3



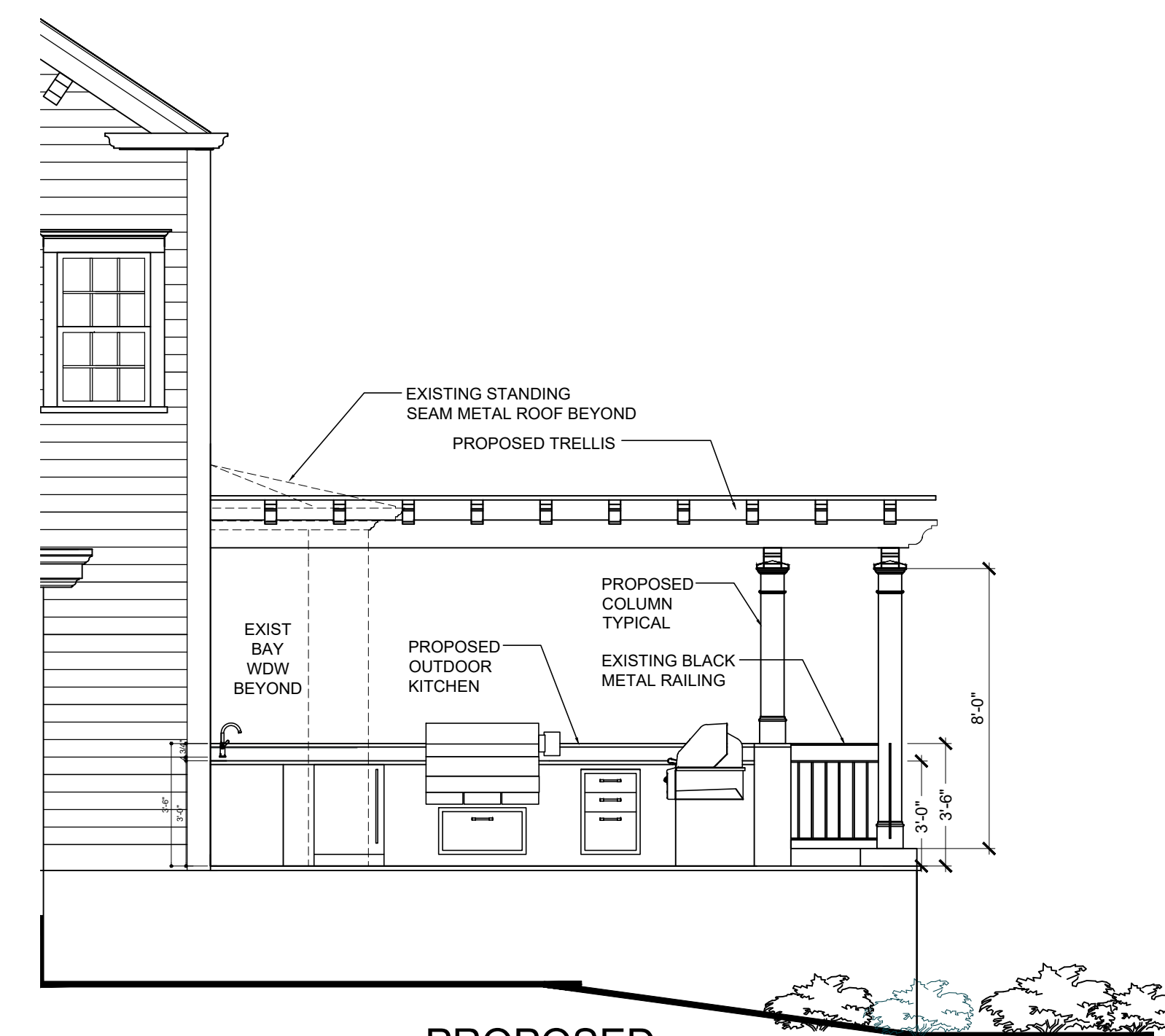
SCALE: 1 1/2" = 1'-0"



SCALE: 1 1/2" = 1'-0"



SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"

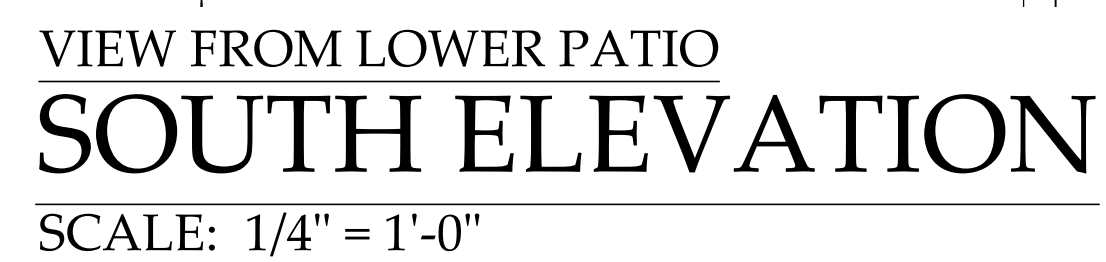


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Drawing Title	Date
NORTH ELEVATIONS	ARCHITECTURAL REVIEW BOARD SUBMISSION 06-07-21
TRELLIS DETAILS	REVISED PLANNING BOARD SUBMISSION 01-13-2022
	ARCHITECTURAL REVIEW BOARD 03-07-2022

Scale:

A-4



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ARCHITECTURAL REVIEW BOARD SUBMISSION 06-07-21
REVISED PLANNING BOARD SUBMISSION 01-13-2022
ARCHITECTURAL REVIEW BOARD 03-07-2022

SOUTH ELEVATIONS

AS SHOWN

A-5

