

April 04, 2022

Mr. Rocco Rasulo, Chairperson
Village of Irvington Architectural Review Board
Village Hall
85 Main Street
Irvington, NY 10533

**Re: 126 Main Street
Irvington NY (2.90-44-28)
Request of Approval of Demolition of Windows, Front Stairs and Partial Porch Roof in the
Historic Overlay District**

Dear Chairperson Rasulo and Members of the Architectural Review Board:

As per added section on the amended Chapter 9 of the Code of the Village of Irvington (Board of Architectural Review), we are submitting the attached information to request the approval of partial demolition of a building in the property listed above as part of a renovation project. Below is a point-by-point description addressing the required items listed in Section 9-11 B.

1. The property is located at 126 Main Street, Irvington NY (2.90-44-28). The existing building was originally built in 1911 and is considered a contributing building in the Main Street Historic District. The building was originally designed as a one family dwelling and was renovated as a two-family dwelling approximately 60 years ago. At that point the main stair was modified, and the western portion of the original wraparound porch was enclosed to provide for an entrance and stair to a separate dwelling unit on the second floor and attic levels. The renovation at that time most likely included the addition of asbestos-cement shingle siding over the original wood siding, the asphalt shingle roofing and the reduction in the size of the second-floor window. Around the same time, approximately 1960, a two-car garage was constructed in the rear yard. In 1963 a metal fire escape from the attic was added. The original windows have been replaced with vinyl replacement windows. The date of these replacements is not clear but may have been part of recorded fire related repairs in either 1977 or 1991.
2. The Applicant:
John Malone - Ferguson Malone Architecture
One Bridge St – Suite 29
Irvington, NY 10533
T: 914-591-5066
Email: jmalone@fergusonmalone.com

Building Owner:
Pat Gallo
126 Main Street
Irvington, NY 10533
T: 914-403-6504
Email: divinebars@gmail.com

- (1) FMA is requesting the approval of the items indicated on the attached drawing, including the following:

- a. the removal of the existing windows throughout the house to accommodate new windows that will be more historically accurate, will operate properly and will comply with the new current energy code;
 - b. the demolition of the exterior porch stairs to allow for a more historically accurate replacement. The stairs to be demolished are not original to the building;
 - c. the demolition of portion of added roof above the original porch roof that allowed for the modification of the interior stairs. This roof was not original to the house;
 - d. the removal of the rear fire escape. The renovated single-family dwelling will be designed the with code compliant egress from all bedrooms;
 - e. the demolition and replacement of the existing roof finishes and siding throughout. The roofing to be replaced with an architectural asphalt shingle designed to emulate the thin slate type roofing typical in early 1900s Irvington.
- (2) We do not believe that appraisals are required and ask that the board waive this requirement. The property was acquired recently for \$679,000 dollars and the renovation is expected to cost approximately \$300,000
- (3) The property was purchased on January 10, 2022, for a cost of \$679,000.
- (4) We do not believe that property listings are required and ask that the board waive this requirement
- (5) Reason for demolition does not directly relate to the safety of the building, though much of the building is in a state of differed maintenance.
- (6) Reason for demolition does not relate to safety of the building.
- (7) The owner is not planning to pursue governmental funding or incentives.
- (8) Please refer to the attached drawing set.
- (9) Photographs of the existing building have been included in the drawing set.

In the case that the applicant's submission addresses the items identified above and allows the board to approve the proposed demolition in the historic district, the applicant requests that the Architectural Review Board provide its typical ARB review at that same meeting. The drawing set that we have provided includes details of the proposed exterior renovation.

Please let me know if you or your consultants have any questions or concerns, and feel free to contact me at (914) 591-5066 or via email at jmalone@fergusonmalone.com.

Sincerely,



John Malone, AIA LEED AP

Enc: Drawing Set – dated 04/04/2022
Notice of hearing for Newspaper
Notice of hearing to Neighbors
Exterior specification sheets

cc: Pat Gallo
File

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	332	Date:	03/31/2022
Job Location:	126 MAIN ST	Parcel ID:	2.90-44-28
Property Owner:	Pat Gallo	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
John Malone	Sean Connaughton
Ferguson Malone Architecture	Black Diamond Contracting Corp.
One Bridge Street Suite 29 Irvington NY 10533	35 High Street Hastings on Hudson NY 10706
9145643166	914-646-5807

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	300000.00	Property Class:	1 FAMILY RES

Description of Work

Partial exterior demolition in the historic district. Exterior renovation including windows replacement. Interior renovation.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

AFFIDAVIT OF APPLICANT

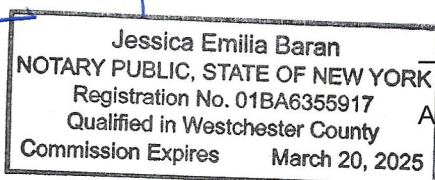
I **John Malone** being duly sworn, depose and says: That s/he does business as: **Ferguson Malone Architecture** with offices at: **One Bridge Street Suite 29 Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 4th day of April of 2022

[Signature]
Notary Public / Commission of Deeds



[Signature]
Applicant's Signature

OWNER'S AUTHORIZATION

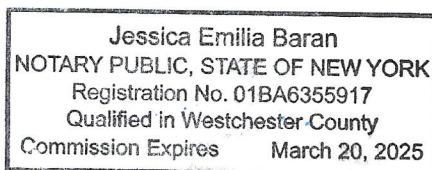
I **Pat Gallo** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number (914) 403-6504 Owner email address Dinnebars@Gmail.com

- ☐ Patrick Gallo I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 1st day of April of 2022

[Signature]
Notary Public / Commission of Deeds



[Signature]
Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

APPLICANT'S NAME: Cristina Nemchek ARB MATTER NO. _____

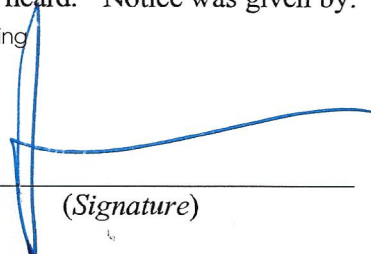
PROPERTY ADDRESS: 7-9 South Cottonet Street

**ARCHITECTURAL REVIEW BOARD
AFFIDAVIT OF MAILING**

STATE OF NEW YORK)
COUNTY OF WESTCHESTER) ss.:

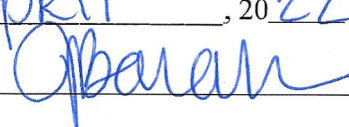
John Malone, being duly sworn, depose(s) and say(s):

On April 4, 2022, I mailed or arranged delivery of the Notice attached to this Affidavit to each party listed on the annexed List of Affected Property Owners at the address on that List. Such notice was mailed or delivered not later than 14 days prior to the Arch. Rev. Board meeting at which this application will first be heard. Notice was given by: *[state method of mailing or delivery]* Mail, with Certificate of Mailing



(Signature)
John Malone

(Type or print name)

Sworn to before me this 4th
day of April, 2022


Notary Public



*[Attach List of Affected Property Owners, Notice, and proof of delivery
or mailing from Post Office or delivery company]*

FERGUSON MALONE ARCHITECTURE

April 4, 2022

To: Neighbors of Pat Gallo

Via: Certificate of Mailing

**RE: Application for Demolition in the Historic Overlay District
126 Main Street**

PLEASE TAKE NOTICE that the applicant indicated above is requesting the Architectural Review Board of the Village of Irvington to grant, in accordance with Chapter 9 of the Village Code, approval of windows and front stair demolition & replacement at a house in the Historic Overlay District, on property identified by parcel identification # 2.90-44-28. And is located at 126 Main Street, Irvington. The site abuts property owned by:

- | | |
|-----------------------|---------------------------------|
| - Fitzgerald, William | (130 Main St.; 2.90-44-27) |
| - Main 126 Corp. | (126 Main St.; 2.90-44-28) |
| - Morabito, John R. | (9 S. Dearman St.; 2.90-44-29) |
| - Keller, Jonathan | (19 S. Dearman St.; 2.90-44-30) |

The following is a brief description of the property development for which partial demolition is being requested:

The proposed project to convert the existing two family house into a single family residence includes partial exterior demolition & interior renovations.

The application will be available for review on line, at the Building Department and at the Village Public Library.

It is expected that the Application will be considered by the Village Architectural Review Board at the Meeting which begins at 8:00 PM on April 25, 2022 at the Village Hall, located on 85 Main Street, Irvington. Zoom meeting link will be also available on the Village's Website.

Sincerely,



**John Malone, AIA LEED AP
Ferguson Malone Architecture**

FOLEY, ANNE U.
129 MAIN ST
IRVINGTON, NY 10533

FITZGERALD, WILLIAM
130 MAIN ST
IRVINGTON, NY 10533

VILLAGE OF IRVINGTON (V2)
BROADWAY
IRVINGTON, NY 10533

FIELDPOINT (C2)
BROADWAY
IRVINGTON, NY 10533

HIGHET, ALAN G.
ELM PARK
IRVINGTON, NY 10533

35 ELM PARK LLC
35 S DEARMAN ST
IRVINGTON, NY 10533

MAIN 126 CORP.
126 MAIN ST
IRVINGTON, NY 10533

HIGHET, ALAN G.
20 ELM PARK
IRVINGTON, NY 10533

BOWRING, SCYLD
120 MAIN ST
IRVINGTON, NY 10533

SABATINO, THOMAS
10 S DEARMAN ST
IRVINGTON, NY 10533

STONE, LAURYN S
123 MAIN ST
IRVINGTON, NY 10533

ROSIS CORP
136 MAIN ST
IRVINGTON, NY 10533

**Z &
S MAIN STREET LLC**
S AQUEDUCT LN
IRVINGTON, NY 10533

ABBOTT, JOHN
12 S BROADWAY
IRVINGTON, NY 10533

LAMBERTI SR, MORRIS
11 N DEARMAN ST
IRVINGTON, NY 10533

113-115 MAIN LLC
115 MAIN ST
IRVINGTON, NY 10533

STRIANO, PHILIP
119 MAIN ST
IRVINGTON, NY 10533

MORABITO, JOHN R
9 S DEARMAN ST
IRVINGTON, NY 10533

CONSOLIDATED EDISON CO
MAIN ST NEAR BROADWAY
IRVINGTON, NY 10533

BEN-ANN CO REALTY CORP
6 S BROADWAY
IRVINGTON, NY 10533

ST BARNABAS CHURCH
15 N BROADWAY
IRVINGTON, NY 10533

GAZZETTA TRUSTEE, ROBERT
8 AQUEDUCT LN
IRVINGTON, NY 10533

7 NORTH DEARMAN LLC
7 N DEARMAN ST
IRVINGTON, NY 10533

**Z &
S MAIN STREET LLC**
S AQUEDUCT LN
IRVINGTON, NY 10533

ISHKANIAN, DANIELLE C
124 MAIN ST
IRVINGTON, NY 10533

VILLAGE OF IRVINGTON
131 MAIN ST
IRVINGTON, NY 10533

FIELDPOINT (C3)
BROADWAY
IRVINGTON, NY 10533

MARRA, REGINALD F
10 AQUEDUCT LN
IRVINGTON, NY 10533

9 NORTH DEARMAN LLC
9 N DEARMAN ST
IRVINGTON, NY 10533

**Z &
S MAIN STREET LLC**
116-118 MAIN ST
IRVINGTON, NY 10533

IVKOSIC, STEVEN J
117 MAIN ST
IRVINGTON, NY 10533

KELLER, JONATHAN
19 S DEARMAN ST
IRVINGTON, NY 10533

IRVINGTON ESTATES OWNERS
14 S BROADWAY
IRVINGTON, NY 10533

BEN-ANN CO REALTY CORP
10 S BROADWAY
IRVINGTON, NY 10533

LMLIRV REALTY CORP
1 N BROADWAY
IRVINGTON, NY 10533

TACONIC STATE PARK
OLD CROTON AQUADUCT
IRVINGTON, NY 10533

FIELDPOINT (C4)
BROADWAY
IRVINGTON, NY 10533



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14 S BROADWAY
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1 N BROADWAY
IRVINGTON, NY 10533

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117 MAIN ST
IRVINGTON, NY 10533

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One Bridge Street, Suite 29
Irvington, NY 10533

To:

BEN-ANN CO REALTY CORP
10 S BROADWAY
IRVINGTON, NY 10533

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One Bridge Street, Suite 29
Irvington, NY 10533

To:

FIELDPOINT (C4)
BROADWAY
IRVINGTON, NY 10533

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Irvington, NY 10533

To:

FOLEY, ANNE U.
129 MAIN ST
IRVINGTON, NY 10533

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One Bridge Street, Suite 29
Irvington, NY 10533

To: **MAIN 126 CORP.**
126 MAIN ST
IRVINGTON, NY 10533

PS Form 3817, April 2007 PSN 7530-02-000-9065

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Ferguson Malone Architecture
One Bridge Street, Suite 29
Irvington, NY 10533

To:

GAZZETTA TRUSTEE, ROBERT
8 AQUEDUCT LN
IRVINGTON, NY 10533

PS Form 3817, April 2007 PSN 7530-02-000-9065



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One Bridge Street, Suite 29
Irvington, NY 10533

To: **SABATINO, THOMAS**
10 S DEARMAN ST
IRVINGTON, NY 10533

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Irvington, NY 10533

To: **Z &**
S MAIN STREET LLC
S AQUEDUCT LN
IRVINGTON, NY 10533

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To:

CONSOLIDATED EDISON CO
MAIN ST NEAR BROADWAY
IRVINGTON, NY 10533

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One Bridge Street, Suite 29
Irvington, NY 10533

To: **113-115 MAIN LLC**
115 MAIN ST
IRVINGTON, NY 10533

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FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

HIGHET, ALAN G.
ELM PARK
IRVINGTON, NY 10533

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FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

STONE, LAURYN S
123 MAIN ST
IRVINGTON, NY 10533

To:



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From:

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1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

FITZGERALD, WILLIAM
130 MAIN ST
IRVINGTON, NY 10533

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From:

Ferguson Malone Architecture
One Bridge Street, Suite 29
Irvington, NY 10533

To:

MARRA, REGINALD F
10 AQUEDUCT LN
IRVINGTON, NY 10533

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1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

HIGHET, ALAN G.
20 ELM PARK
IRVINGTON, NY 10533

To:



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From:

Ferguson Malone Architecture
One Bridge Street, Suite 29
Irvington, NY 10533

To:

ISHKANIAN, DANIELLE C
124 MAIN ST
IRVINGTON, NY 10533

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10533
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From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

ABBOTT, JOHN
12 S BROADWAY
IRVINGTON, NY 10533

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From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

STRIANO, PHILIP
119 MAIN ST
IRVINGTON, NY 10533

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FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

7 NORTH DEARMAN LLC
7 N DEARMAN ST
IRVINGTON, NY 10533

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FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

BEN-ANN CO REALTY CORP
6 S BROADWAY
IRVINGTON, NY 10533

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IRVINGTON, NY
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FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

VILLAGE OF IRVINGTON
131 MAIN ST
IRVINGTON, NY 10533

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AMOUNT
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FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

9 NORTH DEARMAN LLC
9 N DEARMAN ST
IRVINGTON, NY 10533

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From: **FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To: **Z &
S MAIN STREET LLC**
116-118 MAIN ST
IRVINGTON, NY 10533

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IRVINGTON, NY 10533
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From: **FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To: **FIELDPOINT (C3)**
BROADWAY
IRVINGTON, NY 10533

U.S. POSTAGE PAID
IRVINGTON, NY 10533
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AMOUNT
\$1.65
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1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To: **Z &
S MAIN STREET LLC
S AQUEDUCT LN**
IRVINGTON, NY 10533

U.S. POSTAGE PAID
IRVINGTON, NY 10533
APR 04, 22
AMOUNT
\$1.65
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1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To: **ST BARNABAS CHURCH**
15 N BROADWAY
IRVINGTON, NY 10533

U.S. POSTAGE PAID
IRVINGTON, NY 10533
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AMOUNT
\$1.65
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From: **FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To: **LAMBERTI SR, MORRIS**
11 N DEARMAN ST
IRVINGTON, NY 10533

PS Form 3817, April 2007 PSN 7530-02-000-9065

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IRVINGTON, NY 10533
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From: **FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To: **MORABITO, JOHN R**
9 S DEARMAN ST
IRVINGTON, NY 10533

PS Form 3817, April 2007 PSN 7530-02-000-9065

U.S. POSTAGE PAID
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AMOUNT
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**UNITED STATES
POSTAL SERVICE®**

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From

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1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

ROSIS CORP
136 MAIN ST
IRVINGTON, NY 10533



U.S. POSTAGE PAID

IRVINGTON, NY

10533

APR 04, 22
AMOUNT

\$1.65

R2304E107191-18

APPLICANT'S NAME: Pat Gallo ARB MATTER NO. _____

PROPERTY ADDRESS: 126 Main Street

**ARCHITECTURAL REVIEW BOARD
AFFIDAVIT OF PUBLICATION**

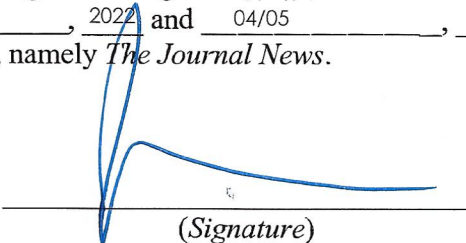
[Required for demolition in historic district]

STATE OF NEW YORK)
COUNTY OF WESTCHESTER) ss.:

John Malone

_____, being duly sworn, depose(s) and say(s):

As required by Section 224-69E(2) of the Irvington Zoning Code, a notice in the form attached hereto was published twice, on 04/04, 2022 and 04/05, 2022 in the official newspaper of the Village of Irvington, namely *The Journal News*.


(Signature)

John Malone

(Type or print name)

Sworn to before me this

4th

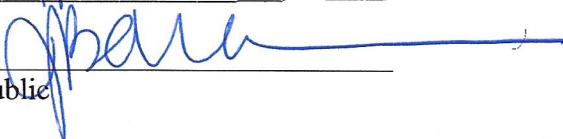
day of

APRIL

, 20

22

Notary Public



Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

[Attach text of Notice]



**Classified Ad Receipt
(For Info Only - NOT A BILL)**

Customer: CLAUDIA SCHRADER
Address: ONE BRIDGE STREET IRVINGTON
IRVINGTON NY 10533
USA

Ad No.: 0005198107
Pymt Method Credit Card
Net Amt: \$74.00

Run Times: 2

Zone: TJN-Westchester
No. of Affidavits: 1

Run Dates: 04/04/22, 04/05/22

Text of Ad:

PLEASE TAKE NOTICE that on April 25, 2022 at 8:00 PM, the Architectural Review Board of the Village of Irvington will consider the application of Ferguson Malone Architecture at One Bridge Street, Irvington, New York as agent For Pat Gallo, owner of property located at 126 Main Street, Irvington, New York and also designated as parcel 2.90-44-28, for the partial demolition in the historic district. The application may be examined by contacting the Irvington Building Department. 0005198107

BELMONT[®]

Luxury Roofing Shingles



Designed
to inspire.

Engineered
for
strength.

The classic look of slate, masterfully replicated in high performing asphalt shingles.

Belmont® by CertainTeed puts luxury roofing well within your reach.

Ideal for homes with steep-sloped roofs where the aesthetic of slate is preferred. The color palette includes deep blacks and grays and rich browns highlighted by shades of ochre, all with depth-enhancing shadow lines that provide authentic dimensionality.

Unlike slate, Belmont is virtually maintenance free and is backed by a lifetime-limited warranty.



BELMONT COLOR PALETTE



Black Granite



Colonial Slate



Gatehouse Slate



Performs. Beautifully.

BELMONT®

- Authentic depth & dimension of natural slate
- Dynamic color options
- All colors are available in an Impact Resistant version
- Superior resistance to fire and high winds



Scan code for
more information



Shenandoah



Stonegate Gray



Weathered Wood

HardiePlank®

Sleek and strong, HardiePlank® lap siding is not just our best-selling product – it's the most popular brand of siding in America.

With a full spectrum of colors and textures, homeowners can enjoy protection from the elements and the versatility to make their dream home a reality. From Victorians to Colonials, HardiePlank lap siding sets the standard in exterior cladding.

HardieTrim®
Boards
Arctic White

HardiePlank®
Lap Siding
Select Cedarmill®
Khaki Brown

A classic look for
THE HOME OF THEIR DREAMS.

HardiePlank®

Thickness 5/16 in

Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

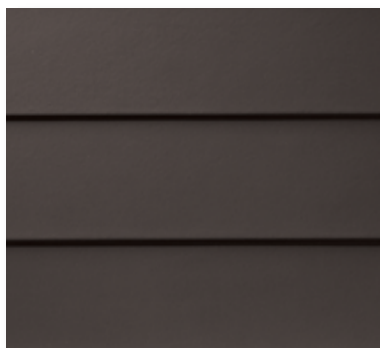
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
Exposure	4 in	5 in	6 in	7 in	8 in
Prime Pcs/Pallet	360	308	252	230	190
ColorPlus Pcs/Pallet	324	280	252	210	—
Pcs/Sq	25.0	20.0	16.7	14.3	12.5

SELECT CEDARMILL®



Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
STATEMENT COLLECTION™		✓		✓	
DREAM COLLECTION™	✓	✓	✓	✓	
PRIME	✓	✓	✓	✓	✓

SMOOTH



Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in*
STATEMENT COLLECTION™		✓		✓	
DREAM COLLECTION™	✓	✓	✓	✓	
PRIME	✓	✓	✓	✓	

BEADED CEDARMILL®

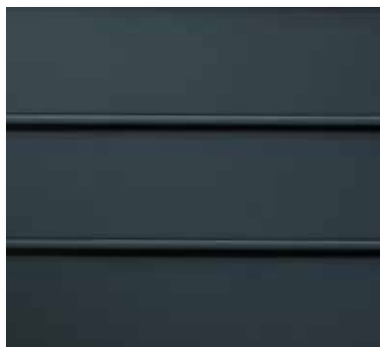


BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in
Exposure	7 in
ColorPlus Pcs/Pallet	210
Pcs/Sq	14.3

STATEMENT COLLECTION™	_____
DREAM COLLECTION™	✓
PRIME	_____

BEADED SMOOTH



*9.25 in widths do not feature the drip edge

STATEMENT COLLECTION™

Make your next home stand out with our Statement Collection™ products. Carefully curated by our design experts specifically for your market, the collection brings together the most popular James Hardie ColorPlus® siding and trim styles, textures, and colors. This stunning selection is locally stocked and designed for simplicity - making it easier than ever to get a beautiful, long-lasting home exterior.

ColorPlus® Technology

Plank, Panel, Shingle and Batten Color Offering

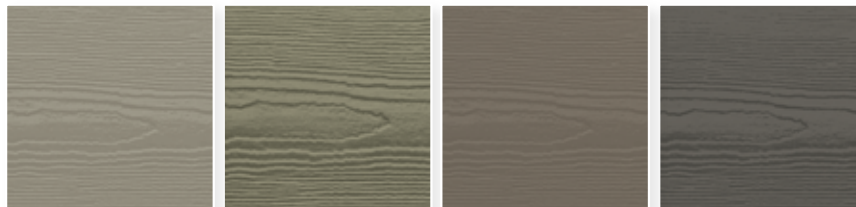


ARCTIC WHITE

COBBLE STONE

NAVAJO BEIGE

KHAKI BROWN

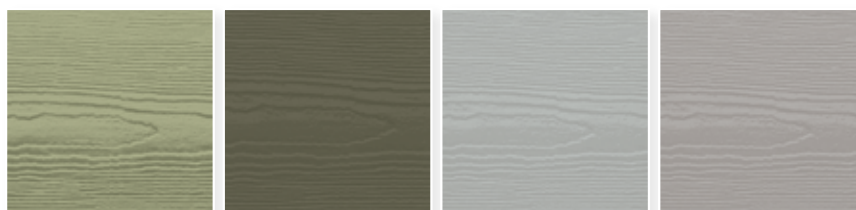


MONTEREY TAUPE

WOODSTOCK BROWN

TIMBER BARK

RICH ESPRESSO



HEATHERED MOSS

MOUNTAIN SAGE

LIGHT MIST

PEARL GRAY

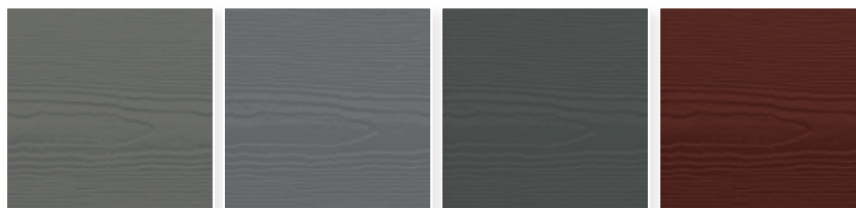


GRAY SLATE

BOOTHBAY BLUE

EVENING BLUE

DEEP OCEAN



AGED PEWTER

NIGHT GRAY

IRON GRAY

COUNTRYLANE RED

Trim Color Offering



ARCTIC
WHITE

COBBLE
STONE

KHAKI
BROWN

MONTEREY
TAUPE

TIMBER
BARK

IRON
GRAY

Colors shown are as accurate as printing methods will permit.
Please see actual product sample for true color.

ELEVATE

MARVIN ELEVATE™ COLLECTION



Marvin Elevate™ Collection

THE PERFECT BALANCE OF BEAUTY AND STRENGTH

Balancing beautiful design with superior strength, the Marvin Elevate collection delivers style in any climate. Previously known as Integrity Wood-Ultrex®, Elevate features warm wood interiors that can blend in or stand out, with Ultrex fiberglass exteriors for lasting durability. The collection offers a range of carefully selected features and options, making it as versatile as it is elegant.

About Us

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.

WHY MATERIALS MATTER

THE MARVIN MATERIALS DIFFERENCE: ULTREX FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex®, an innovative fiberglass material pioneered by Marvin over 20 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

- Some companies use materials like sawdust and vinyl to produce a composite material with fundamentally different properties and performance values. But Ultrex is different. Its material makeup contains a high density of woven fibers bound by a thermally-set resin that makes it more resistant to pressure and temperature than vinyl-based composites.
- With such different materials grouped in the composites category, it becomes important to know what sets them apart.



STRENGTH AND STABILITY OF ULTREX

Ultrex fiberglass is highly impact resistant and more rigid than vinyl and vinyl/wood composites. Issues of instability and less-than-perfect alignment that can complicate installation—and long-term performance—are not a concern with Elevate collection windows and doors.

The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.

PULTRUDED FIBERGLASS

Thin strands of strong glass cables, saturated with compounded resins create a durable material.

PATENTED FINISH

The patented finishing process applies an impermeable and AAMA 624 verified factory finish.



Double Hung windows and Inswing French doors with swinging screens

ULTREX FIBERGLASS: QUITE POSSIBLY
THE PERFECT BUILDING MATERIAL®

WHY MATERIALS MATTER

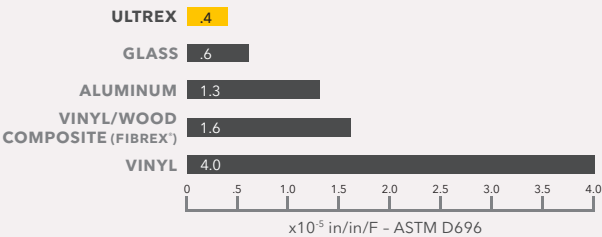
TEMPERATURES MAY FLUCTUATE, BUT ULTREX WON'T

Ultrrex® expands and contracts at virtually the same rate as glass so it works with glass rather than against it. This means seals aren't as prone to leaking and windows aren't subjected to sagging issues like other composites.

This is especially true when compared to vinyl, which can distort in extreme heat and crack in fluctuating temperatures. Ultrrex resists distortion even at temperatures up to 285°F. Rapid temperature change doesn't faze Ultrrex. From -30°F to 70°F, a 6 foot stile changes less than 1/32 inch in length.

EXPANSION MEASUREMENT

Ultrrex expands and contracts at virtually the same rate as glass.



INDUSTRY'S BEST FIBERGLASS FINISH FOR LASTING BEAUTY

Ultrrex is the first and only fiberglass finish to be verified to AAMA's 624 voluntary finish specifications for fiber reinforced thermoset profiles (fiberglass).

Windows and doors made with Ultrrex resist scratches, dings, and marring more than vinyl. Our patented, mechanically bonded acrylic finish is up to three times thicker than painted competitive finishes, and it resists UV degradation up to five times longer than vinyl—even on dark colors.

PATENTED ACRYLIC CAP



Casement and Double Hung windows in Bronze



Picture windows in Bronze

COOLER IN SUMMER, WARMER IN WINTER

TOP RATED ENERGY EFFICIENCY

The National Fenestration Rating Council (NFRC) defines energy performance ratings for the entire window and door industry. It rates:

- **U-factor:** How well a window keeps heat inside a building.
- **Solar heat gain:** A window's ability to block warming caused by sunlight.
- **Visible light transmittance:** How much light gets through a product.
- **Air leakage:** Heat loss and gain by air infiltration through cracks in the window assembly.

Ultrex® fiberglass is 500 times less conductive than roll-form aluminum and is similar to wood and PVC. It provides an insulated barrier against extreme weather temperatures, keeping homes comfortable, and reducing heating and cooling costs.

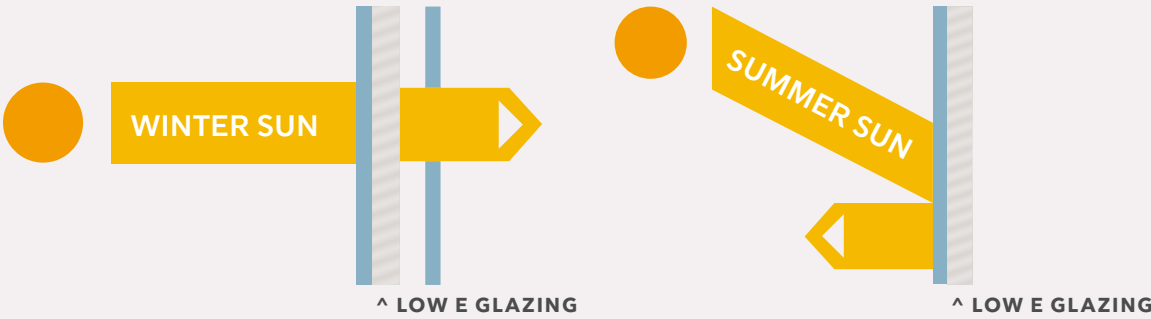
ENERGY COST SAVINGS

Marvin was the first major window and door manufacturer to offer energy-efficient Low E2 glass and ENERGY STAR® certified performance on all of our standard windows and doors. Compared to non-certified products, ENERGY STAR certified windows and doors cut heating and cooling costs by 12%.*

The Elevate collection offers Triple-pane, Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas, which has thermal conductivity 30% lower than that of air. It adds improved solar and thermal protection by distinguishing between visible light, damaging UV, and near-infrared rays to offer the ultimate glass performance, and provides a selection of energy-efficient solutions depending on your climate and needs.

LOW E GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.



A MORE COMFORTABLE INTERIOR, REGARDLESS OF THE SEASON

Keep heat inside during cooler weather and block the sun's rays during warmer weather with Dual Pane windows and Low E coating.



Black finish / Large size



SALE

Bowman Wall Sconce

by Tech Lighting

★★★★★ (3 reviews)

\$334.90 - \$486.20

~~\$394.00 - \$572.00~~

FREE SHIPPING

SAVE 15% ▾

Choose Finish (5): **Black**



Choose Size (2): **Large**

Large

Choose Color Temperature (2): **3000**



Choose Voltage (2): **120 Volt**

120 Volt

SPECS

AVAILABILITY

SCHEMATICS

RATINGS + REVIEWS

CUT SHEET

PRINT THIS TAB

Ships To Canada

Dimmable

OK For Outdoor Use

The soft silhouette of classic table lamp shades is referenced and transformed into a sleek LED wall sconce fixture suitable for both indoor and outdoor applications. The Bowman Wall Sconce by Tech Lighting's die-cast metal body houses a powerful LED light source for plentiful illumination on even the darkest of nights.

Founded in 1987, Tech Lighting is the leading brand for modern decorative and specification grade architectural lighting. With a passion for innovation, original design and uncompromising quality, Tech Lighting delivers iconic and timeless indoor and outdoor lighting collections. By collaborating closely with lighting and interior designers to understand their needs and to solve their toughest challenges, the company has developed a reputation for excellence in contemporary lighting designs and low voltage lighting systems. Lighting is the only design element that impacts every other design element in a space and the Illinois-based company has applied that same standard to a growing collection of decorative and functional lighting. Their solutions range from modern chandeliers to LED undercabinet to architectural-grade outdoor lighting with a focus on quality and innovation.



Cut Sheet Preview

Customize

Add custom contact info, project, logo and more.

Create

Generate PDF Spec Sheet to save, print and share.

Bowman Outdoor Wall Sconce

By Tech Lighting



Call Us 866.428.9289

Product Options

Finish: Antique Bronze, Black, Silver, White, Charcoal

Size: Small, Large

Color Temperature: 2700, 3000

Voltage: 120 Volt, 277 Volt

Details

- Suitable for outdoor use (IP65 rating)
- Designed in 2014
- Material: Die-Cast Metal
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dark Sky compliant, Title 24 compliant
- ETL Listed Wet
- Made In China



Dimensions

Small Option Backplate: Height 4.5"

Small Option Fixture: Height 4.5", Depth 6.7", Diameter 4.5", Weight 3Lbs

Large Option Backplate: Height 6"

Large Option Fixture: Height 6", Depth 9", Diameter 7.5", Weight 3.4Lbs

Notes:

Lighting

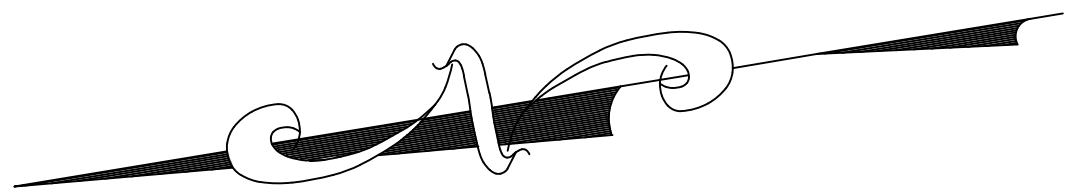
- Small Option: 17.8 Watt (699 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Small Option: 17.8 Watt (699 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Small Option: 17.8 Watt (699 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Small Option: 17.8 Watt (699 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Large Option: 18 Watt (1163 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Large Option: 18 Watt (1163 Lumens) 120 Volt Integrated LED: CRI: 80 Color Temp: 3000K
- Large Option: 18 Watt (1163 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 2700K
- Large Option: 18 Watt (1163 Lumens) 277 Volt Integrated LED: CRI: 80 Color Temp: 3000K

Additional Details

Product URL: <https://www.ylighting.com/bowman-wall-sconce-by-tech-lighting-TECP89764.html>

Rating: ETL Listed Wet

Product ID: TECP89764



Only copies from the original of this topography map marked with an original of the Land Surveyors embossed seal or red colored seal shall be considered to be true, valid copies.

Unauthorized alteration or addition to a map bearing a licensed Land Surveyors seal is a violation of Section 7209, Subdivision 2 of the New York State Education Law.

Possession only where indicated.

Adjacent property lines and easements not surveyed or certified.
Access to adjacent rights of way, easements and public or private lands not guaranteed or certified.

Underground utilities shown hereon are approximate and should be verified before excavating.
Additional underground utilities are not shown or certified.
Encroachments and structures below grade, if any, not shown or certified.

Subject to covenants, easements, restrictions, conditions and agreements of record.

This map is prepared to show topography only and is not to be used for title transfer purposes. Map may not be certified to title companies and/or banks.

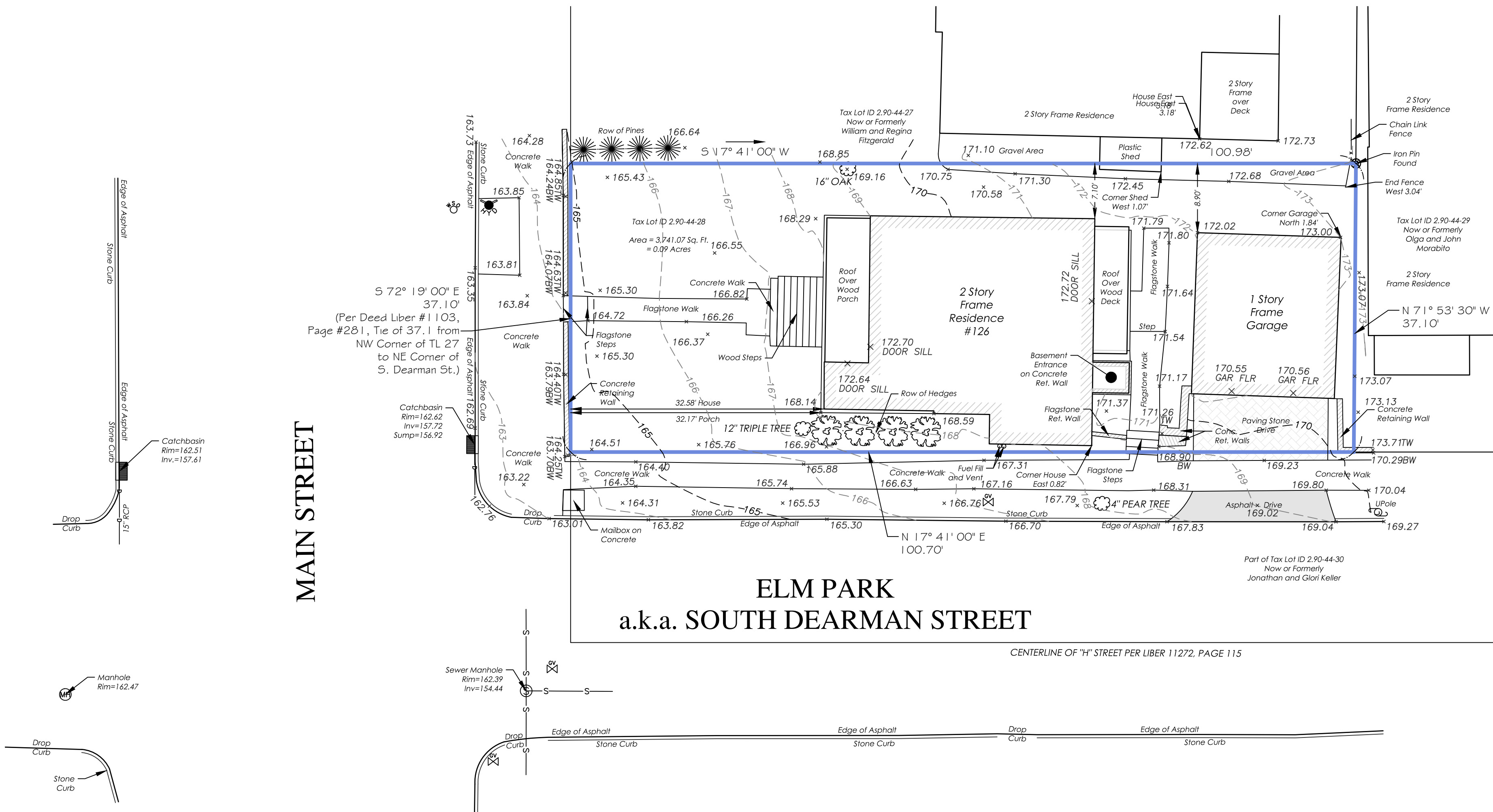
Tree species shown hereon to be verified by a licensed arborist and are not certified by surveyor.

Elevations shown hereon generally in accordance with North American Vertical Datum 88.

Surveyed in accordance with Deed Control Number 472610337.

Premises shown hereon designated on the Town of Greenburgh Tax Maps as: Section 2.90, Block 44, Lot 28.

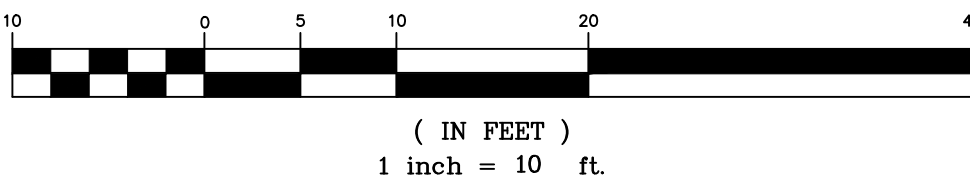
Property Address: 126 Main Street
Irvington, NY 10533



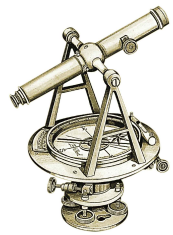
TOPOGRAPHY OF PROPERTY
PREPARED FOR
MAIN 126 CORP.
SITUATE IN THE
TOWN OF GREENBURGH
VILLAGE OF IRVINGTON
WESTCHESTER COUNTY, NEW YORK

SCALE: 1" = 10'

GRAPHIC SCALE

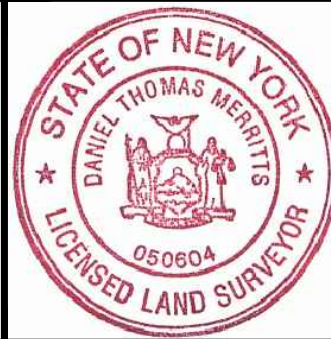


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IS A VIOLATION OF APPLICABLE LAWS.



TC MERRITTS LAND SURVEYORS

394 BEDFORD ROAD • PLEASANTVILLE • NY 10570
(914) 769-8003 • survey@tcmerritts.com



Surveyed: March 17, 2022
Map Prepared: March 25, 2022

By: *Daniel T. Merritts*
New York State Licensed Land Surveyor No.050604

Gallo
Residence
126 Main Street
Irvington, NY

Submission for Interior Demolition Permit
March 03, 2022

Re-Submission for Interior Demolition Permit
March 17, 2022 **Revision** 

Submission for ARB Exterior Demolition Approval
April 04, 2022 **Revision** 

PROJECT NO.: 2117

FERGUSON MALONE ARCHITECTURE

Climate and Geographic Design Criteria (Effective 10/3/2016)													
Location: Village of Irvington												Zip Code: 10533	
Ground Snow Load	Wind Design				Seismic Design Category (RCNY Only)	Subject to Damage From			Climate Zone	Ice Barrier Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp.
	Speed (mph)	Topo Effects	Special Wind Region	Wind-borne Debris Zone		Weathering	Frost Line Depth	Termite					
30"	*Special Wind Region	No	Yes	No	C	Severe	42"	Moderate to Heavy	4A	Yes	**Firm Community - Panel Map # 36119C0261F Effective Date: 9-28-2007	2000	51.6

*115 MPH to 120 MPH. The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind Speeds higher than the derived values takes from Section 1609 of IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.










**State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site <http://www.floodmap.floodsimple.com/>

Insulation and Fenestration Requirements by Component										
Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement Wall R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
Table R402.1.2 Insulation and Fenestration Requirements by Component										
4	0.27	0.50	0.4	49	21 in _l , or 20+5 or 13 + 5	15/20	30	15/19	10.4 FT	15/19
Table R402.1.4 Equivalent U-Factors										
4	0.27	0.50		0.026	0.045	0.056	0.033	0.050	0.059	0.042

Notes:

- * Plans have been designed in accordance with the prescriptive energy requirements of the 2020 Energy Conservation Construction Code of New York State.
- * Plans have been designed in accordance with the National Electrical code NFPA 70 2014 Edition.
- * All wall insulation to be installed per manufacturer's instructions.
- * All ceiling insulation to be installed per manufacturer's instructions. Blown insulation marked every 300 sq/ft.
- * Air barrier and thermal barrier to be installed per manufacturer's instructions.
- * Blower door test @50 Pa, <=5 a/ch in Climate Zones 1-2, and <=3 a/ch in Climate Zones 3-8.
- * Existing and proposed building construction to be Type 5 B: Wood-Framed, combustible.
- * Existing and proposed occupancy is 1-Family

Legend and Symbols

	ELEVATION NUMBER	ELEVATION	
	DRAWING NUMBER		
	DETAIL NUMBER	DETAIL	
	DRAWING NUMBER		
	DOOR NUMBER		FINISH TAG
	WINDOW TYPE		KEY NOTE
	PLUMBING FIXTURE TAG		WALL TYPE
	EQUIPMENT TAG	<u>ROOM NAME</u>	ROOM TAG
		ROOM NO.	ROOM TAG

Construction Requirements

All work shall be in accordance with the 2020 New York State Building Code and the November 2019 addition, and all applicable local jurisdiction and fire department regulations.

Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.

All work, including plumbing and electrical work, shall be performed by licensed contractors.

All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS.

The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.

Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.

The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.

Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.

Contractor shall exercise strict control over safety and security of the site.

The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose.

Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.

The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.

All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.

Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.

Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.

Concrete:
Soil bearing value assumed to be min. 2 tons per square foot subject to field verification. Concrete work shall conform to ACI 318-63. in cases of conflict the NY state building code shall govern.

Concrete slabs on grade at sidewalks, concrete fill and pads shall be average concrete. Average concrete shall have a mix proportion and a water cement ratio which has been shown by previous CBE to produce satisfactory concrete of 2,500 psi at a slump of 5" +/- 1".

All reinforcing bars shall be new billet deformed steel conforming to ASTM 615 grade 60. Slabs-on-grade reinforcement shall be 6" x 6" - 10/10 gauge welded wire mesh. Provide clearances from faces of concrete to reinforcement as follows:

	Beams	1-1/2"
	Footings	3-0"
Walls:	Exterior face	1-1/2"
	Interior face	3/4"

At concrete surfaces to be exposed to weather:

#4 and smaller	1-1/2"
#5 and larger	2-0"

Abbreviations

A/C	AIR CONDITIONING	F	F.A.L.M.	FIRE ALARM
ACOUS.	ACOUSTICAL	FABR.	FABR.	FABRICATE
ACOUS.T	ACOUSTICAL TILE [OR	F.E.	F.E.C.	FIRE EXTINGUISHER
ADDTN(L).	ADDITIONAL)			FIRE EXTINGUISHER
ADJ.	ADJUSTABLE	FIN. FL.	FIN. FL.	CABINET
ALUM.	ALUMINUM	F.H.C.	F.H.C.	FINISH FLOOR
ALT.	ALTERNATE	FIN.	FIN.	FIRE HOSE CABINET
ANOD.	ANODIZED	FIN.FL.	FIN.FL.	FINISH(ED)
APPVD.	APPROVED	FLUOR.	FLUOR.	FLOOR
APPROX.	APPROXIMATE	F.O.C.	F.O.C.	FACE OF CONCRETE
ARCH.	ARCHITECT OF	P.F.C.	P.F.C.	FACE OF FINISH
	ARCHITECTURAL	F.O.G.	F.O.G.	FACE OF GYP BD.
AUTO.	AUTOMATIC	F.O.S.	F.O.S.	FACE OF STUD
AVG. &	AVERAGE	F.O.W.	F.O.W.	FACE OF WALL
A.F.F.	AND	FR.	FR.	FRAME
	ABOVE FINISH	F.S.	F.S.	FULL SIZE
ABV.	FLOOR	FT.	FT.	FOOT OR FEET
	ABOVE	F.A.R.	F.A.R.	FLOOR AREA RATIO
B		F-F	F-F	FACE TO FACE FURR.
BD.	BOARD	FIXT.	FIXT.	FURRING
BLDG.	BUILDING			FIXTURE
BLKG.	BLOCKING	G	G	
BKRT.	BRACKET	GA.	GA.	GAUGE
BRZ.	BRONZE	GEN.	GEN.	GENERAL
BSMT.	BASEMENT	GL.	GL.	GLASS OR GLAZED
C		GYP.	GYP.	GYPSUM
CAB.	CABINET	GW8	GW8	GYPSUM WALL
C.C.	CENTER TO CENTER			BOARD
CER.	CERAMIC	H	H	
CLKG.	CALKING	HDWR.	HDWR.	HARDWARE
	CENTER LINE	HDWD.	HDWD.	HARDWOOD
CLG.	CEILING	HGT.	HGT.	HEIGHT
(OR CEIL.)	CLOSET	H.M.	H.M.	HOLLOW METAL
CLC.	CLEAR	HORIZ.	HORIZ.	HORIZONTAL
CLR. OPG.	CLEAR OPENING	HVAC	HVAC	HEATING,
COL.	COLUMN			VENTILATING AND
CONC.	CONCRETE	H.W.	H.W.	AIR CONDITIONING
CONN.	CONNECT OR			HOT WATER
CONST.	CONNECTION	I	I	
CONT.	CONTINUOUS	I.D.	I.D.	INSIDE DIAMETER
COR.	CORNER	INCL.	INCL.	INCLUDE(D)(ING)
CORR.	CORRIDOR	INFO.	INFO.	INFORMATION INCAN.
C.T.	COUNTERTOP	INT.	INT.	INCANDESCENT
CIR.	CENTER			INTERIOR
C.W.	COLD WATER	J	J	
CM.	CARBON MONOXIDE	JAN.	JAN.	JANITOR
D		JT.	JT.	JOINT
D.A.	DOUBLE-ACTING DBL.	L	L	
	DOUBLE	L.	L.	ANGLE
DEPT.	DEPARTMENT	LAM.	LAM.	LAMINATE
DET.	DETAIL	LB. [OR #]	LB. [OR #]	POUND
D.F.	DRINKING	L.H.	L.H.	LEFT HAND
DIA.	DIAMETER	LAV.	LAV.	LAVATORY
DIM.	DIMENSION	M	M	
DIV.	DIVISION	MAINT.	MAINT.	MAINTENANCE
DN.	DOWN	MAX.	MAX.	MAXIMUM
DR.	DROR	MECH.	MECH.	MECHANICAL
DWG.	DRAWING	M.C.	M.C.	MAIL CHUTE
DRW.	DRAWER	MTL.	MTL.	METAL
E		MEZZ.	MEZZ.	MEZZANINE
(E.)	EAST	MGR.	MGR.	MANAGER
ELEC.	ELECTRIC	MIN.	MIN.	MINIMUM
ELEV.	ELEVATION	MISC.	MISC.	MISCELLANEOUS
ENGR.	ENGINEER	MTD.	MTD.	MOUNTED
EQ.	EQUAL	MULL.	MULL.	MULLION
EQUIP.	EQUIPMENT	M.T.H.	M.T.H.	METAL THRESHOLD
EXH.	EXHAUST	MW.	MW.	MICROWAVE
E. EXIST.	EXISTING	N	N	
EXPAN.	EXPANSION EXPOS.	(N)	(N)	NORTH
	EXPOSED	N.	N.	NEW
EXT.	EXTERIOR	NEG.	NEG.	NEGATIVE
ELECT.	ELECTRICAL	N.I.C.	N.I.C.	NOT IN
		NO./OR #)	NO./OR #)	CONTRACT
		N.T.S.	N.T.S.	NUMBER
				NOT TO SCALE

O.A.	OVERALL	W	WEST
O.C.	ON CENTER	(W)	WITH
O.D.	OUTSIDE DIAMETER OFF.	W/	WATER CLOSET
	OFFICE	W.C.	WOOD
O.H.	OPPOSITE HAND OPNG.	WD	WINDOW
	OPENING	WIN.	WATER HEATER
OPP.	OPPOSITE	W.H.	WITHOUT
ORIG.	ORIGINAL	W/O	WEATHERSTRIPPING
		W.S.	WOOD VENEER
		WV.	
P		Y	
PART. BD.	PARTICLE BOARD	YD.	YARD
P.I.A.M.	PLASTIC LAMINATE		
PLAS.	PLASTER		
PLYWD.	PLYWOOD		
PNL.	PANEL		
PR.	PAIR		
PREFAB.	PREFABRICATED		
PRO.J.	PROJECT		
PTN.	PARTITION		
PTD.	PAINTED		
PWG.	PAINTED WOOD & GLASS		
Q			
QUAL.	QUALITY		
QUAN.	QUANTITY		
R			
R/A.	RETURN AIR		
RAD.	RADIUS		
RECEP.	RECEPTACLE		
REF.	REFERENCE		
REFL.	REFLECTED		
REINF.	REINFORCED		
RESIL.	RESILIENT		
REQ'D.	REQUIRED		
R.H.	RIGHT HAND		
RM.	ROOM		
RND.	ROUND		
R.O.	ROUGH OPENING		
REV.	REVISION		
S			
(S)	SOUTH		
SCHED.	SCHEDULE		
SECT.	SECTION		
SIM.	SIMILAR		
SQ.	SQUARE		
S.F.	SQUARE FEET		
STL.	STEEL		
S.S.	STAINLESS STEEL		
STD.	STANDARD STRUCT.		
	STRUCTURAL		
SUSP.	SUSPEND (ED) SYMM.		
	SYMMETRICAL		
SYS.	SYSTEM		
SPL.	SPLASH		
S.D.	SMOKE DETECTOR		
STOR.	STORAGE		
T			
TECH.	TECHNICAL		
TEL.	TELEPHONE		
TEMPD.	TEMPERED		
TEMP. GL.	TEMPERED GLASS		
THK.	THICK (NESS)		
TYP.	TYPICAL		
T.M.E.	TO MATCH EXISTING		
U			
U.L.	UNDERWRITERS		
	LABORATORY		
UTIL.	UTILITY		
U.O.N.	UNLESS OTHERWISE NOTED		
V			
VERT.	VERTICAL		
VEST.	VESTIBULE		
V.I.F.	VERIFY IN FIELD		
VOL.	VOLUME		

LIST OF DRAWINGS

[illegible]

Gallo
Residence

126 Main Street
Irvington, NY

[illegible]

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 a New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 503

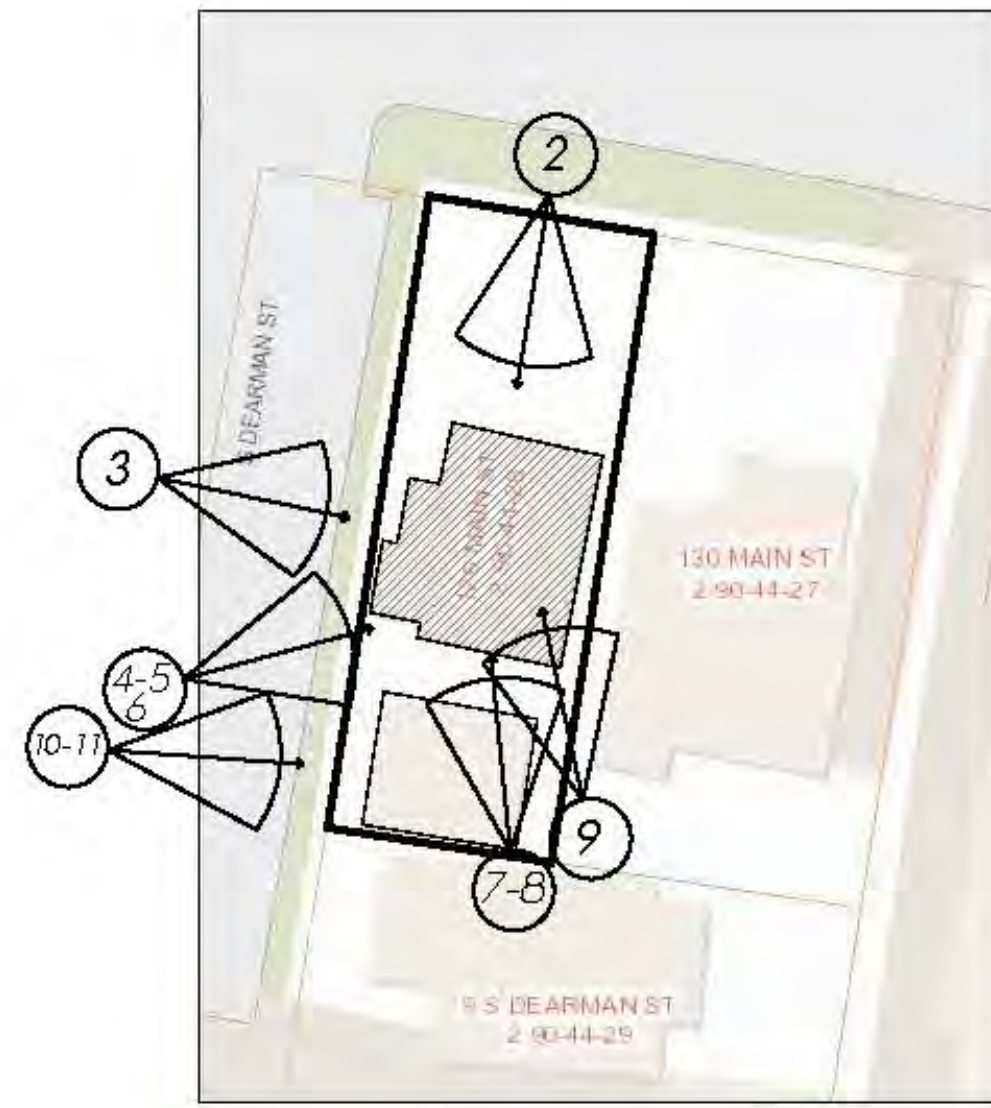
General Notes & List of Drawings

SCALE: As Noted

DATE: 02/03/2022

JOB: 2117

G-0.00



1 Site Map

N.T.S.



2 View from Cottenet

N.T.S.



3 View from Main Street

N.T.S.



4 View from Rear Yard (East)

N.T.S.



5 View from Side Yard (South)

N.T.S.



6 View from Side Yard (South)

N.T.S.



7 View from Side Yard (South)

N.T.S.



8 Existing Condition at West Porch

N.T.S.



Existing Condition at Bay Window

N.T.S.



10 Existing Condition at Garage

N.T.S.



11 Existing Condition at Garage

N.T.S.

Gallo
Residence

126 Main Street
Irvington, NY

[illegible]

2	04/04/2022	Submission for AR & Approval
1	03/17/2022	Resubm. for Demolition Permit
	03/10/2022	Submission for Demolition Permit
NO.	DATE	ISSUE/REVISION

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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Existing Exterior
Photos

SCALE: As Noted

DATE: 02/03/2022

JOB: 2117

G-0.01

Gallo Residence

126 Main Street
Irvington, NY

[illegible]

2	04/04/2022	Submission for ARB Approval
1	03/17/2022	Resubm. for Demolition Permit
	03/10/2022	Submission for Demolition Permit

NO.	DATE	ISSUE/REVISION
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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State [IRC 2018/New York State Amendments] which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Door Schedule

SCALE: As Noted

DATE: 02/03/2022

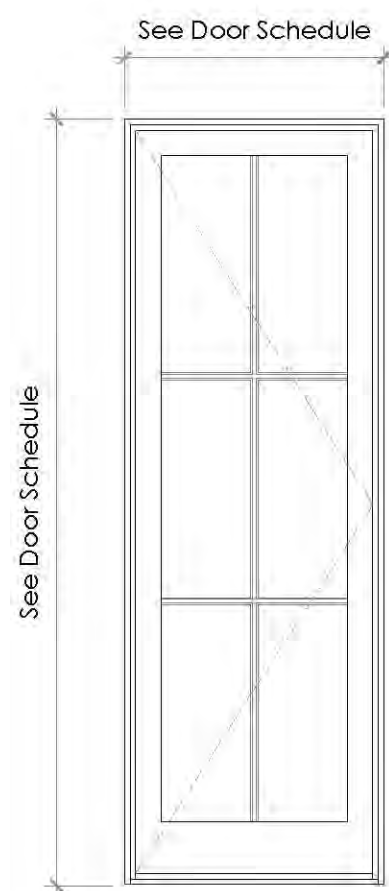
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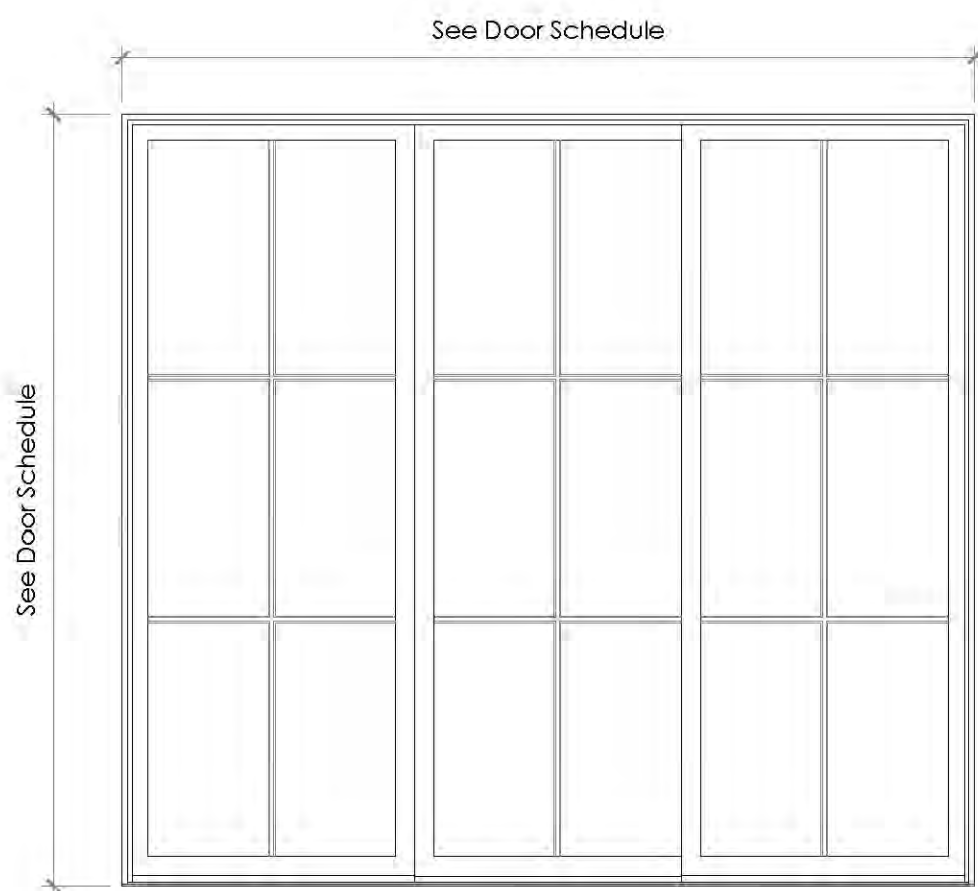
Exterior Doors:



Type A

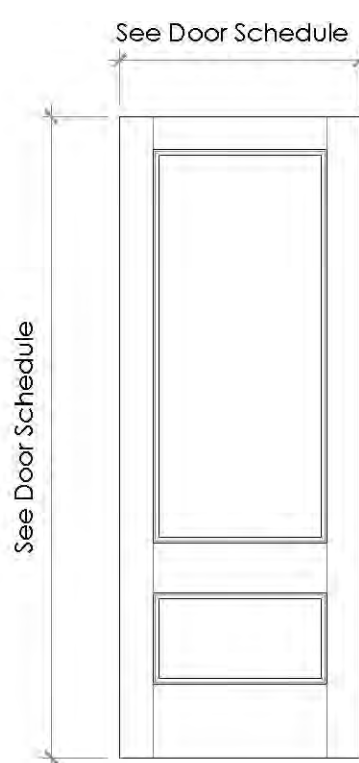


Type B

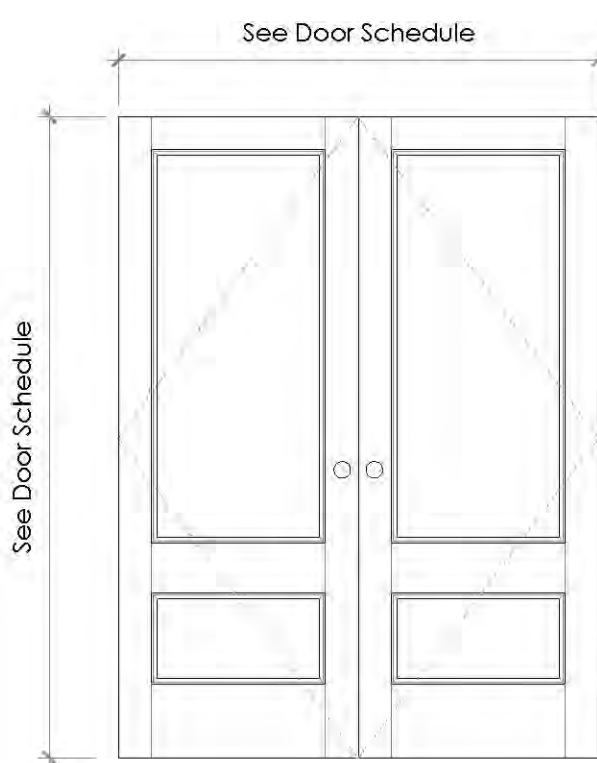


Type C

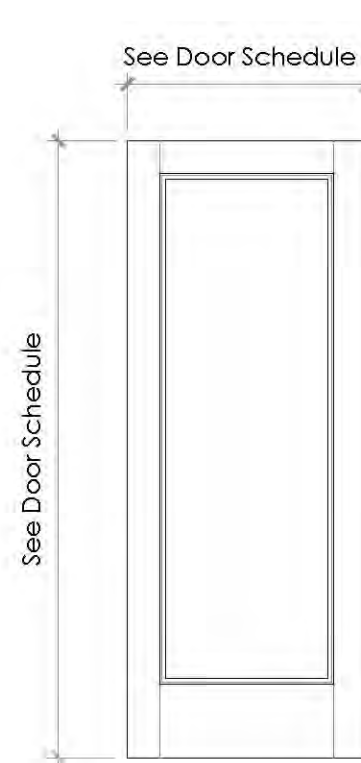
Interior Doors:



Type D



Type E



Type F

[illegible]

Door Notes

Submit door and hardware specifications and shop drawings for architect's approval.
See door details for casing information.

Saddle Types

1. As per manufacturer
2. Flush Wood
3. Stone

Door Type Schedule							
Type	Description	Manufacturer	Product No.	Width	Material	Finish	Remark
A	Inswing Wood Entry Door w/ Raised Panel Glass & Transom (Custom)	Update Door Classic	Layout E-30 w/transom	1 3/4"	Wood/Pine & glass	Primed White	
B	Inswing Wood Entry Door	Marvin Ultimate	BLIF2880	1 3/4"	Wood/Pine & glass	Primed White	
C	Interior 2 Panel Door	Simpson	81	1 3/4"	Wood/Pine	Primed White	4 9/16" Jamb Width, OG Sticking Option w/ 3/4 single hip Raised Panel
D	Interior 2 Panel Pair of Doors	Simpson	(2) 81	1 3/4"	Wood/Pine	Primed White	4 9/16" Jamb Width, OG Sticking Option w/ 3/4 single hip Raised Panel
E	Sliding Patio Doors	Marvin	BLSPD9080		Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White Interior	
F	Interior 1 Panel Door	Simpson	49900	1 3/4"	Wood/Pine	Primed White	4 9/16" Jamb Width, OG Sticking Option w/ 3/4 single hip Raised Panel

Category	Type	Description	Manufacturer	Product Number	Finish	Remark
Entry	1	Hinges	TBD	TBD	TBD	
		Mortise Entry Set	TBD	TBD	TBD	
		Lever	TBD	TBD	TBD	
Privacy Rim locks	2	Hinges	TBD	TBD	TBD	
		Knob	TBD	TBD	TBD	
		Rosette	TBD	TBD	TBD	
Passage / Closet	3	Hinges	TBD	TBD	TBD	
		Knob	TBD	TBD	TBD	
		Rosette	TBD	TBD	TBD	
Double Closet	4	Hinges	TBD	TBD	TBD	
		Knob	TBD	TBD	TBD	
		Rosette	TBD	TBD	TBD	

Door Hardware Notes

Submit door and hardware specifications and shop drawings for architects approval

Finish hardware shall be premium grade Baldwin or as indicated in hardware schedule.

Functional and finish hardware shall be provided by and installed by contractor and shall be installed as per manufacturer's specifications.

Verify backset distance and door thickness and coordinate with selected door hardware.

126 Main Street
Irvington, NY

126 Main Street
Irvington, NY

[illegible]

2	04/04/2022	Submission for ARB Approval
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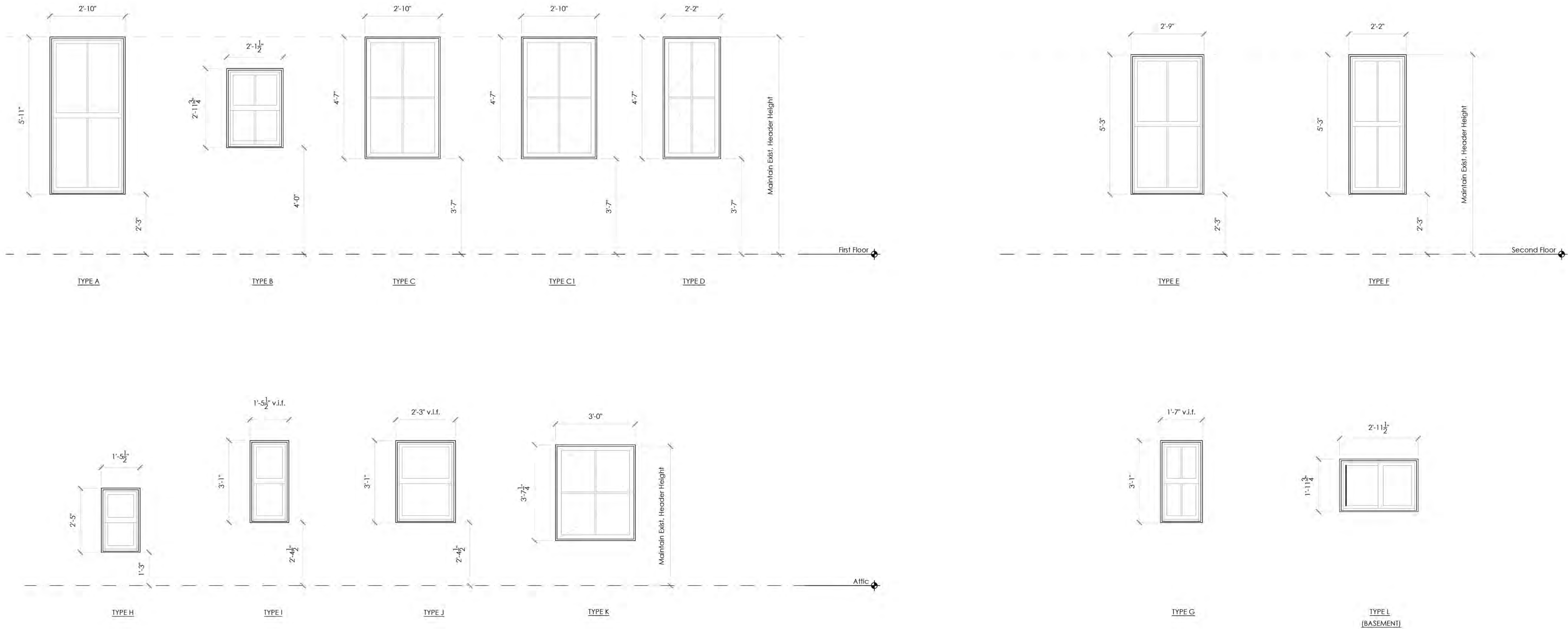
NO.	DATE	ISSUE/REVISION
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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031



Window Schedule							
Type	Description	Manufacturer	Product No.	Frame Size	Material	Finish	Remark
A	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer
B	Elevate Double Hung Window	Marvin	ELDH2636	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer
C	Elevate Casement Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer
C1	Elevate Casement Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer
D	Elevate Casement Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer
E	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	Egress compliant as per Marvin - With Screen and semi-divided lights with spacer. Glass to be tempered safety glass at bathroom window.
F	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer
G	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen and semi-divided lights with spacer. Glass to be tempered safety glass
H	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen
I	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen
J	Elevate Double Hung Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen
K	Elevate Casement Window	Marvin	ELCA3743	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	Egress compliant as per Marvin - With Screen and semi-divided lights with spacer
L	Elevate Slider Window	Marvin	Custom	See elevations	Fiber glass exterior/Pine Wood Interior	Factory finished Bronze exterior / Prefinished White interior	With Screen

All new windows to meet the requirements of Residential Code of New York and are to have a U-factor of 0.27 or less and SHGC of 0.4 or less.

Operable windows hardware to be selected by homeowner

Verify rough opening and wall thickness for window jam dimensions in field.

Submit window and hardware specifications and shop drawings for architects approval.

Prior to ordering, verify all rough openings and wall thickness for window jam dimensions in field.

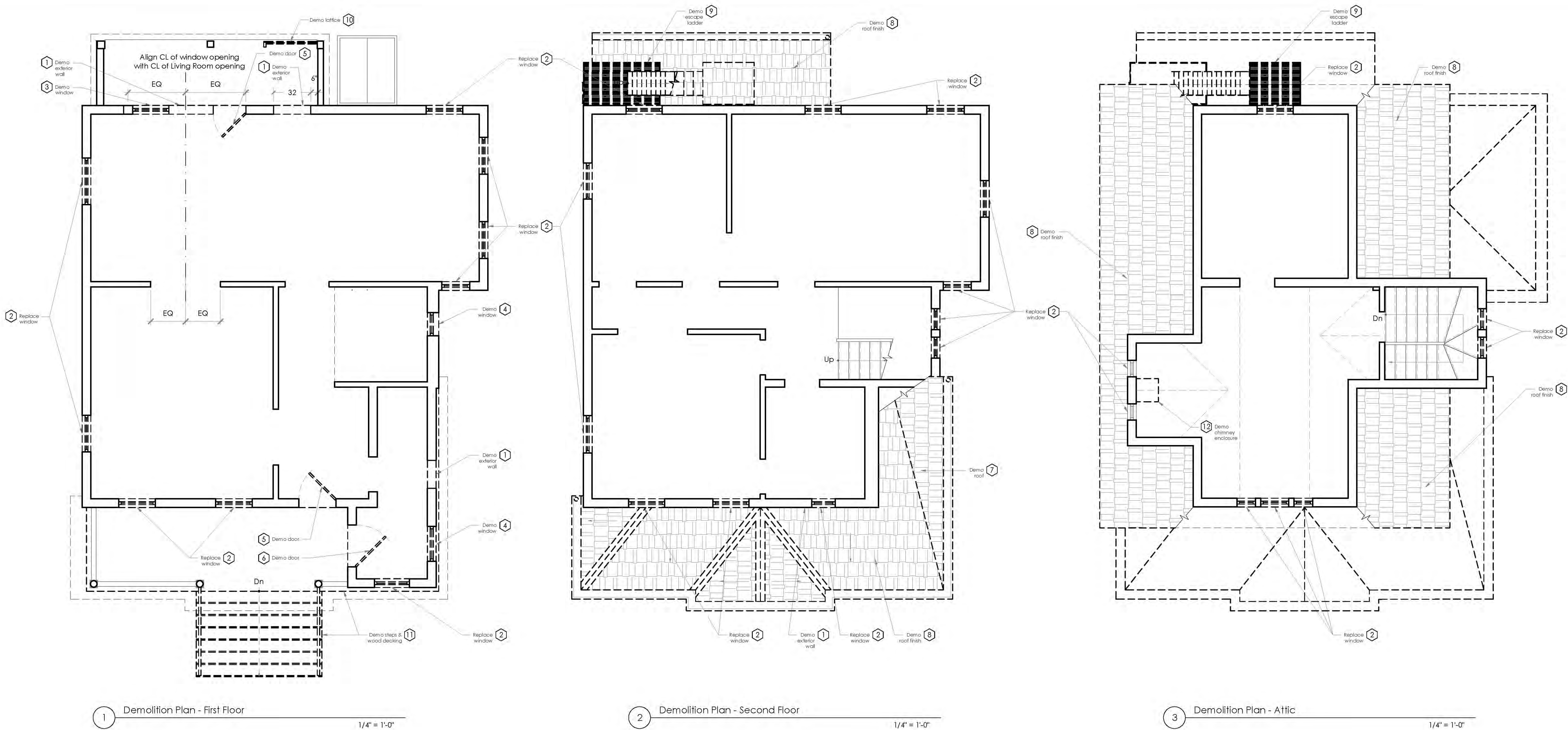
Room	Window/ Door Designation	Room Area	Required Glazing Area (sf), 8%	Provided Glazing Area, sf	Provided Artificial Illumination	Req'd Operable Area (sf), 4%	Provided Operable Area	Provided Mech. Ventilation	Notes
Living Room 102	(3) A	198	15.8	36.0	YES	7.9	21.0	YES	
Dining Room 104- Kitchen 105	(7) C, Door 103	334	26.7		YES	13.4		YES	
Bedroom 202	(3) E	142	11.4	30.0	YES	5.7	14.0	YES	
Bedroom 204	(2) E	124	9.9	20.0	YES	5.0	12.0	YES	
Bedroom 204	(2) E	115	9.2	20.0	YES	4.6	12.0	YES	
Storage Room 300	(2) H, (1) J, (2)	205	16.4	11.4	YES	8.2	8.8	YES	
Storage Room 301	(1) K	123	9.8	6.4	YES	4.9	8.0	YES	

E: As Noted

DATE: 02/03/2022

JOB: 2117

A-0.11



Gallo Residence

126 Main Street
Irvington, NY

2	04/04/2022	Submission for ARB Approval
1	03/17/2022	Resubm. for Demolition Permit
	03/10/2022	Submission for Demolition Permit
NO.	DATE	ISSUE/REVISION

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (RCS 2018 New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Demolition Notes

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective demolition operations. Promptly notify the Architect if any such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. Promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties. Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. All concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches, receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. See electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations began.

Demolition Key Notes

- 1 Demo exterior wall - Carefully and selectively demolish exterior wall framing as necessary to accommodate proposed renovations. Prepare opening to receive new window or door. Refer to proposed plans.
- 2 Replace window - Carefully demolish the existing window. Prepare existing framed to receive a new window. Refer to proposed plans and window schedule.
- 3 Demo window - Remove the existing window and all associated framing components. Prepare opening to receive new door. Refer to proposed plans and door schedule.
- 4 Demo window - Remove the existing window and all associated framing components. Prepare opening to be infilled. Refer to proposed plans.
- 5 Demo door - Carefully demolish the existing door. Prepare existing framed to receive a new door. Refer to proposed plans and door schedule.
- 6 Demo door - Remove the existing door and all associated framing components. Prepare opening to be infilled. Refer to proposed plans.
- 7 Demo roof - Carefully remove portion of existing roof and all associated components including structure, gutters and leaders. Frame to receive new roof. Refer to proposed plans.
- 8 Demo roof finish - Carefully remove roof finishes throughout including highest portions of roof not shown on the Attic plan. Demo gutters and leaders. Roof structure to remain and associated trim to remain. Repair or replace roof sheathing and framing components as necessary.
- 9 Demo escape ladder - Carefully remove existing escape ladder and all associated components in their entirety.
- 10 Demo lattice - Carefully remove existing lattice and all associated framing.
- 11 Demo steps and wood decking - Carefully remove existing steps to porch and all associated components including railing. Carefully remove wood decking. Existing structure and railing to remain. Replace within the same footprint. Refer to proposed plans.
- 12 Demo chimney enclosure - Remove the existing chimney enclosure in its entirety.



Demolition Notes

Refer to Site Demolition and Tree Protection Plan for additional demolition scope.

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective demolition operations. Promptly notify the Architect if any such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities, promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties. Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. Temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. When permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. Locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches, receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed, see electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. Return adjacent areas to condition existing before selective demolition operations begin.

Key Notes

- 1 Demo chimney - Existing chimney to be removed in its entirety.
- 2 Existing brick foundation- Existing brick foundation to remain, to be repaired and re-pointed as necessary.
- 3 Existing CMU foundation- Existing CMU foundation to remain.
- 4 Replace door - Carefully remove the existing door. Prepare frame to receive a new door. Refer to plans and door schedule.
- 5 Replace window - Carefully remove the existing window. Prepare existing frame to receive a new window. Refer to plans and window schedule.
- 6 Demo window, door & wall - Carefully remove existing window, door & portion of existing wall. Prepare opening to receive new doors. Refer to plans and door schedule. Infill wall as necessary to match existing wall framing.
- 7 Demo window & wall - Carefully remove existing window & portion of existing wall. Prepare opening to receive a new window. Refer to plans and window schedule.
- 8 Demo wall - Carefully remove portion of existing wall. Prepare opening to receive a new window. Refer to plans and window schedule.
- 9 Demo window - Carefully remove existing window. Prepare opening to receive a new window. Infill remaining of the wall to match existing wall framing.
- 10 Demo window/door - Carefully remove existing window/door and all framing components. Infill remaining wall to match existing wall framing.
- 11 Demo roof finish - Carefully remove roof finishes and components including gutters and finishes. Roof structure and associated trim to remain. Repair and replace as necessary.
- 12 Demo roof - Carefully remove portion of the roof including structure, sheathing and finishes. Refer to demo and proposed plans.
- 13 Demo escape ladder - Carefully remove existing escape ladder and all associated components.
- 14 Demo Existing Lattice - Carefully remove existing lattice and all associated framing components.
- 15 Demo stair to porch - Carefully remove existing stair to porch and all associated components.
- 16 Demo porch decking - Carefully remove existing porch decking to be replaced. Existing framing and structure to remain. Repair as necessary.
- 17 Demo siding - Carefully remove existing siding throughout. Repair and replace existing sheathing as necessary. Prepare to receive new siding.

Gallo Residence

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03/17/2022	Resubm. for Demolition Permit
03/10/2022	Submission for Demolition Permit

NO.	DATE	ISSUE/REVISION
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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (RC 2018 New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
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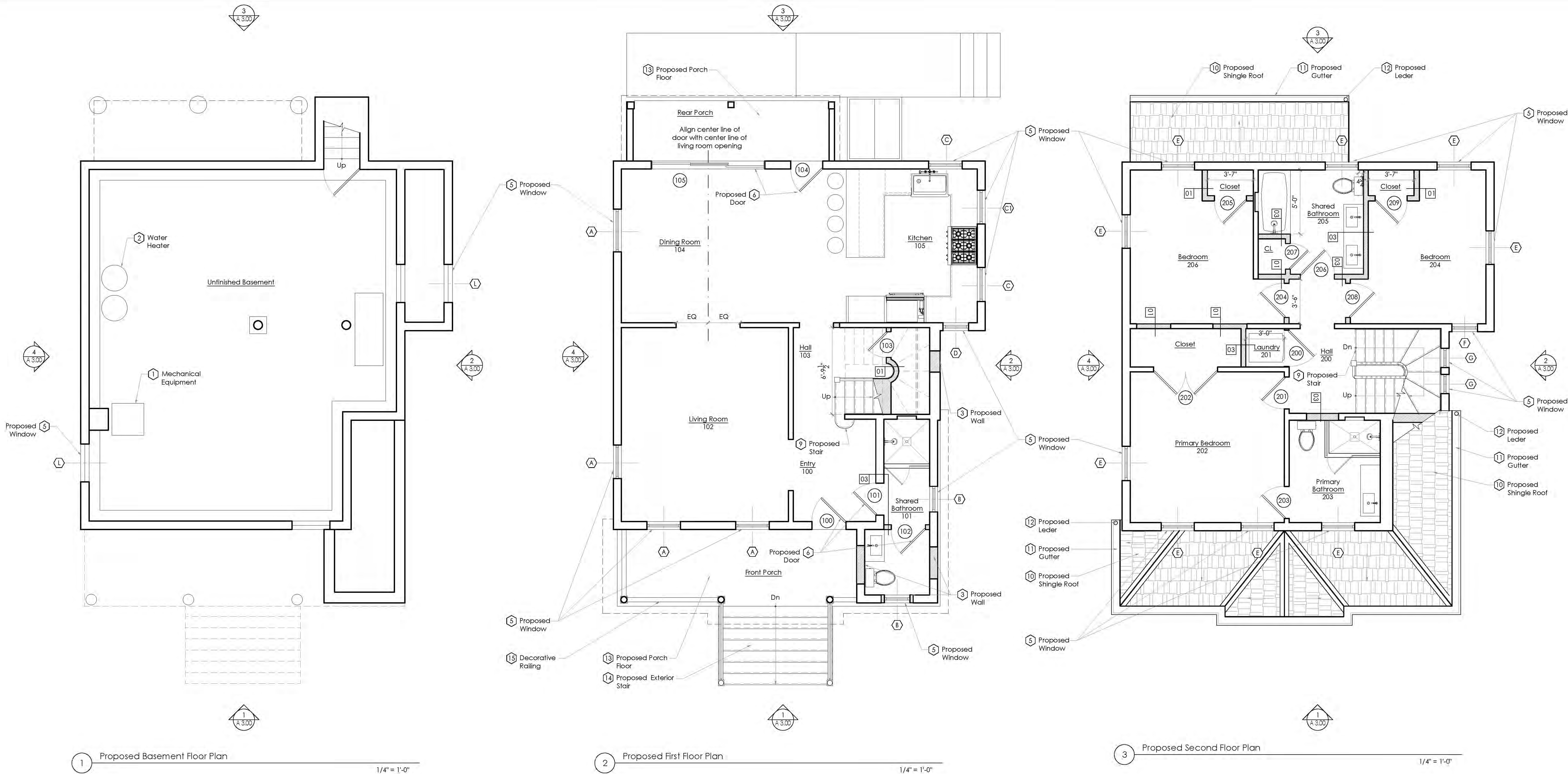
Existing/Demo Elevations

SCALE: As Noted

DATE: 02/03/2022

JOB: 2117

A-1.10



General Notes

Proposed renovation and addition will comply with the energy efficiency code requirements as per the 2020 residential code of New York State.

Any existing wall, ceiling or floor cavities exposed during construction will be insulated as per Section N1109.1.1 Exceptions 2 and 5.

The dwelling unit is to be tested and verified as having an air leakage rate not to exceeding three air changes per hour. Testing shall be conducted in accordance with RESNET/ICC 380, ASTM E779 or SDYM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a qualified testing agency, at any time after creation of all penetrations of the building thermal envelope.

Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

Partition Types

- 01 Full Height Partition**
One layer of 5/8" GWB on each side, 2x wood studs & 16" o.c., from floor to ceiling.
- 02 Full Height Partition**
One layer of 5/8" GWB on one side, 2x wood studs & 16" o.c., from floor to ceiling.
- 03 Moisture Resistant Partition**
One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
- 04 Full Height Furring Partition**
One layer of 5/8" GWB on one side, 2x4 wood studs & 16" o.c., from floor to ceiling.

Key Notes

- 01 Mechanical Equipment** - Existing mechanical equipment and all necessary components to be replaced - See mechanical plans for more information.
- 02 Water Heater** - Existing water heater to be replaced. Re-route piping as necessary, according to proposed plans - See plumbing plans for more information.
- 03 Proposed Wall** - Fill door/window opening w/2x wood framing at 16" O.C. Insulation to be code compliant, exterior sheathing. Exterior siding to match existing.
- 04 Proposed Door** - See door schedule for more information.
- 05 Proposed Window** - See window schedule for more information.
- 06 Proposed Stair** - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Continuous wood handrail, mahogany, stained to match decking.
- 10 Proposed Shingle Roof** - New framed asphalt roof shingles roof. "Certain Teed" Belmont, Color to be Colonial Slate
- 11 Proposed Roof Gutter** - Kynar aluminum K-Style roof gutter.
- 12 Proposed Leader** - Proposed aluminum leader, color to match gutter.
- 13 Proposed Porch Floor** - 3/4" solid wood mahogany decking over existing framing - Stained with semitransparent stain.
- 14 Proposed Exterior Stair** - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Railing to be mahogany, painted to match porch railing. Post to be 6" cedar newel #MS, style to be "Designer", from Vintage Woodworks, painted to match porch railing. Railing extension to be 1 1/2" metal round over wood railing.
- 15 Decorative Railing** - Existing decorative railing to remain, to be sanded and painted. Repair or replace in kind as necessary.

Gallo Residence

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Irvington, NY

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3	03/10/2022	Submission for Demolition Permit

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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

Proposed Floor Plans

SCALE: As Noted

DATE: 02/03/2022

JOB: 2117

A-2.00

126 Main Street
Irvington, NY

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NO.	DATE	ISSUE/REVISION
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FERGUSON MALONE ARCHITECTURE

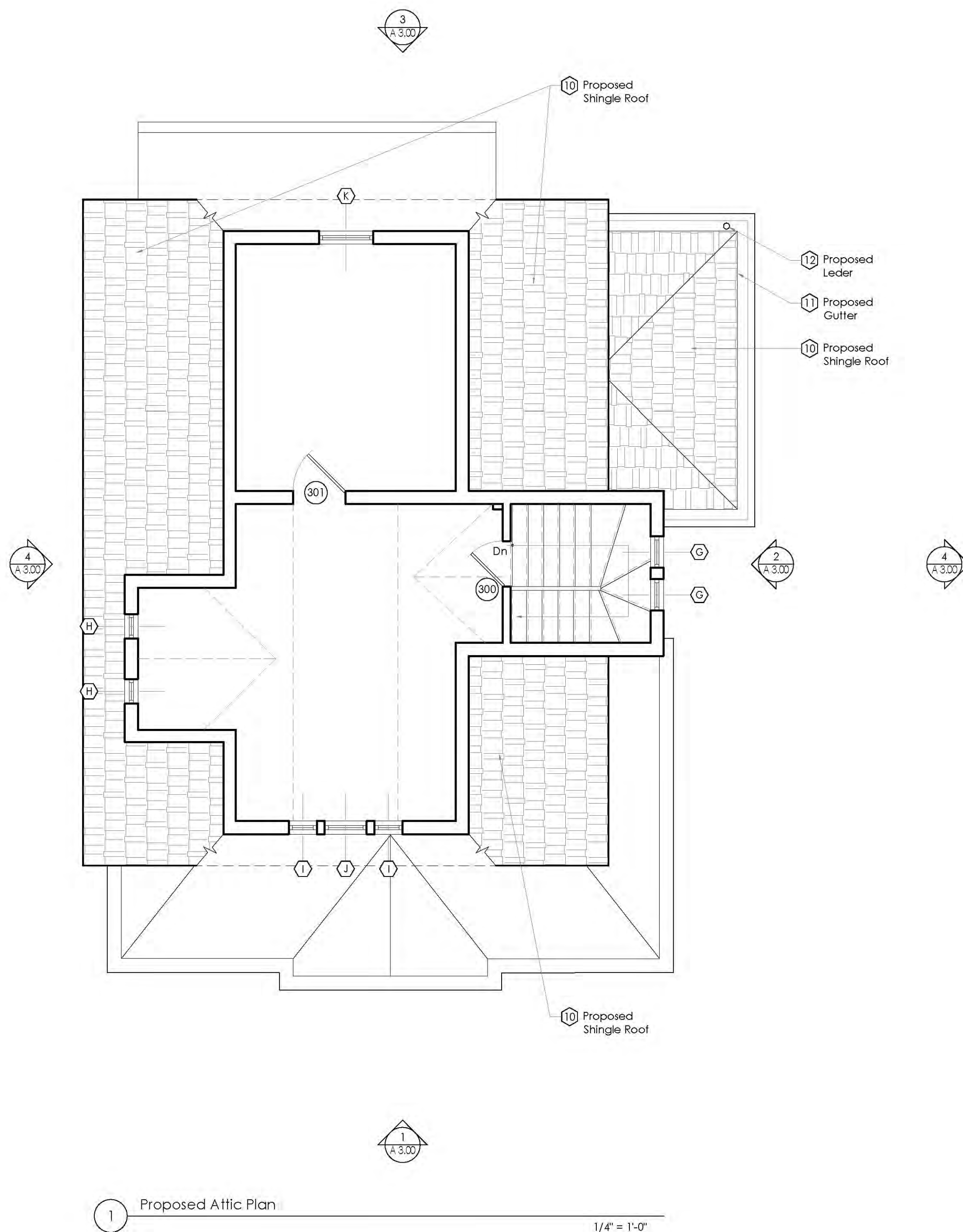
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

SCALE: As Noted

DATE: 02/03/2022

JOB: 2117

A-2.01



General Notes

Proposed renovation and addition will comply with the energy efficiency code requirements as per the 2020 residential code of New York State.

Any existing wall, ceiling or floor cavities exposed during construction will be insulated as per Section N1109.1.1 Exceptions 2 and 5.

The dwelling unit is to be tested and verified as having an air leakage rate not to exceed three air changes per hour. Testing shall be conducted in accordance with RESNET/JCC 380, ASTM E779 or SDYM E1827 and reported at a pressure of 0.2 inch w.g. (50 Pascals). Testing shall be performed by a qualified testing agency, at any time after creation of all penetrations of the building thermal envelope.

Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

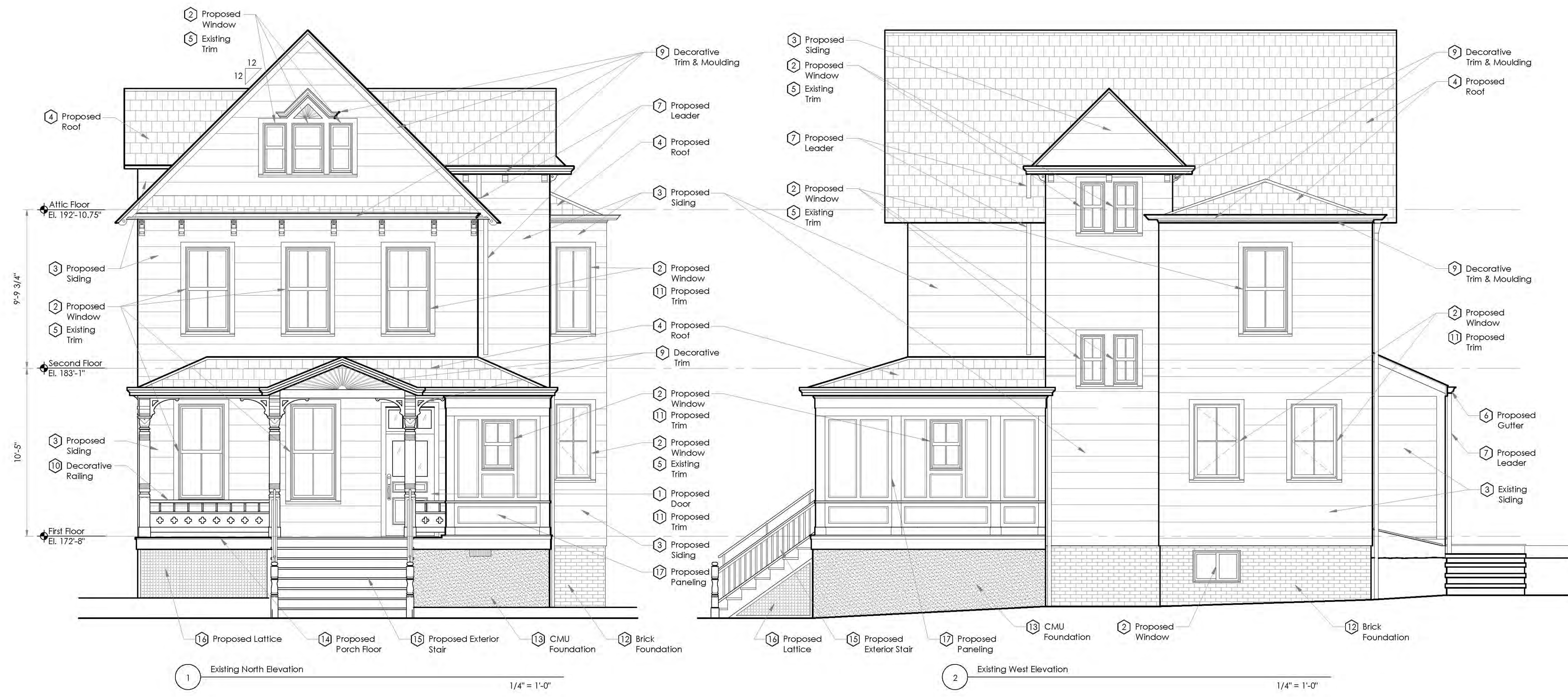
All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

Partition Types

- | | |
|----|---|
| 01 | <p><u>Full Height Partition</u></p> <p>One layer of 5/8" GWB on each side, 2x wood studs & 16" o.c., from floor to ceiling.</p> |
| 02 | <p><u>Full Height Partition</u></p> <p>One layer of 5/8" GWB on one side, 2x wood studs & 16" o.c., from floor to ceiling.</p> |
| 03 | <p><u>Moisture Resistant Partition</u></p> <p>One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.</p> |
| 04 | <p><u>Full Height Furring Partition</u></p> <p>One layer of 5/8" GWB on one side, 2x4 wood studs & 16" o.c., from floor to ceiling.</p> |

Key Notes

- ① Mechanical Equipment - Existing mechanical equipment and all necessary components to be replaced - See mechanical plans for more information.
- ② Water Heater - Existing water heater to be replaced. Re-route piping as necessary, according to proposed plans - See plumbing plans for more information.
- ③ Proposed Wall - Fill door/window opening w/2x wood framing at 14" O.C. Insulation to be code compliant, exterior sheathing. Exterior siding to match existing.
- ④ Proposed Door - See door schedule for more information.
- ⑤ Proposed Window - See window schedule for more information.
- ⑥ Proposed Stair - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Continuous wood handrail, mahogany, stained to match decking.
- ⑦ Proposed Shingle Roof - New framed asphalt roof shingles roof. "Certain Teed" Belmont, Color to be Colonial Slate
- ⑧ Proposed Roof Gutter - Kynar aluminum K-Style roof gutter.
- ⑨ Proposed Leader - Proposed aluminum leader, color to match gutter.
- ⑩ Proposed Porch Floor - $\frac{3}{4}$ " solid wood mahogany decking over existing framing - Stained with semitransparent stain.
- ⑪ Proposed Exterior Stair - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Railing to be mahogany , painted to match porch railing. Post to be 6" cedar newel # MS style to be "Designer", from *Vintage Woodworks*, painted to match porch railing. Railing extension to be 1 $\frac{1}{2}$ " metal round over wood railing.
- ⑫ Decorative Railing - Existing decorative railing to remain, to be sanded and painted. Repair or replace in kind as necessary.



- Key Notes
- 1 Proposed Door - See door schedule for detailed information.
 - 2 Proposed Window - See window schedule for detailed information.
 - 3 Proposed Siding - Fiber cement siding - Hardieplank® lap siding - smooth - Painted.
 - 4 Proposed Roof - New asphalt roof shingles, "Certain Teed" Belmont, Color to be Colonial Slate.
 - 5 Existing Trim - Existing trim to remain, Replace and repair in kind as necessary. Painted.
 - 6 Proposed Gutter - Kynar aluminum K-Style roof gutter.
 - 7 Proposed Leader - Proposed aluminum leader, color to match gutter.
 - 8 Proposed light fixture - Proposed dark sky compliant exterior fixture.
 - 9 Decorative Trim & Moulding - Existing decorative trim to remain, to be sanded and painted. Repair or replace in kind as necessary.
 - 10 Decorative Railing - Existing decorative railing to remain, to be sanded and painted. Repair or replace in kind as necessary.
 - 11 Proposed Trim - 1x solid wood mahogany trim to match existing. Painted.
 - 12 Brick foundation - Existing brick foundation to remain, to be repaired and re-pointed as necessary.
 - 13 CMU foundation - Existing CMU foundation to remain. Patch and paint.
 - 14 Proposed Porch Floor - 2" solid wood mahogany decking over existing framing - Stained with semitransparent stain.
 - 15 Proposed Exterior stair - Stair to have mahogany treads stained to match decking. Risers and stringers painted white to match trim. Railing and balusters to be mahogany, painted to match porch railing. Post to be 6" cedar newel #MS, style to be "Designer", from Vintage Woodworks, painted to match porch railing. Railing extension to be 1 1/2" metal round over wood railing.
 - 16 Proposed Lattice - Cedar wood lattice, painted.
 - 17 Proposed Paneling - Proposed poly ash composite paneling, painted.

Gallo Residence

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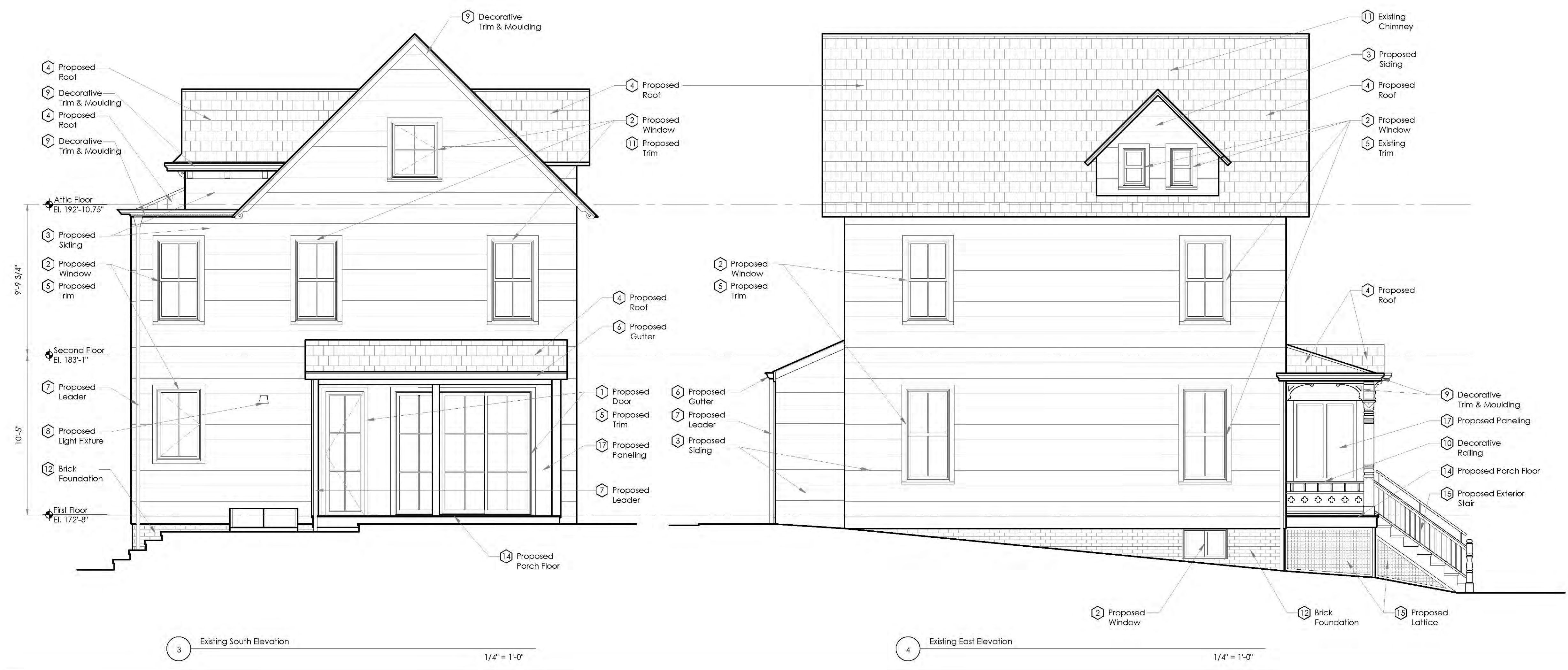
NO.	DATE	ISSUE/REVISION
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FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
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T 914 591 5066 F 914 591 5031



Proposed Exterior Elevations

SCALE: As Noted

DATE: 02/03/2022

JOB: 2117

A-3.00