
FERGUSON MALONE ARCHITECTURE

May 2, 2022

Mr. Rocco Rasulo, Chairperson
Village of Irvington Architectural Review Board
Village Hall
85 Main Street
Irvington, NY 10533

Re: Tracy Calvin & Gordon Fearey Barn Renovation
Application No. 269 (99 Bracebridge Lane, Irvington NY)
Parcel No. 2.20-4-6
Revisions

Dear Chairperson Rasulo and Members of the Architectural Review Board:

Attached please find proposed revisions for the Calvin Fearey House project at 99 Bracebridge Lane. The project was submitted and approved by the ARB in April 2019, and Revisions were submitted and approved in December 2020. Below is a list of additional revision.

1. The proposed vertical cedar siding and existing siding have been replaced with Hardie Panel Vertical Board & Batten Siding.
2. The previously approved window assemblies at living room and master bedroom have been revised to a different configuration to reduce the number of windows and to be more in line with the proposed windows assemblies design at the addition.
3. The proposed sliding door at the South façade in the dining room has been replaced with a French outswing door.
4. A new operable window has been added at the North façade in the guest Office/Bedroom. The additional window is from the same manufacturer and line of all the previously approved windows throughout the house and the addition.

Please let me know if you or your consultants have any questions or concerns, and feel free to contact me at (914) 591-5066 or via email at jmalone@fergusonmalone.com.

Sincerely,



John Malone, AIA LEED AP

Enc: Drawing Set – dated 05/02/2022
cc: Tracy Calvin & Gordon Fearey
File



Discover a whole new
SIDE OF HOME.



James Hardie Complete Exterior™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



HardieShingle®
Siding



HardiePanel® Vertical
Siding & HardieTrim®
Batten Boards



HardiePlank®
Lap Siding



HardieTrim®
Boards



HardieSoffit®
Panels

HardiePanel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.

HardiePanel®
Vertical Siding
Evening Blue

HardieTrim®
Batten Boards
Evening Blue

True to your needs of
PERFORMANCE AND BEAUTY.

HardiePanel®

Thickness 5/16 in

SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

Size	4 ft x 8 ft	4 ft x 10 ft
Prime Pcs/Pallet	50	50
ColorPlus Pcs/Pallet	50	50
Pcs/Sq	3.2	2.5

SELECT CEDARMILL®



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SMOOTH



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		✓
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

STUCCO



Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		
DREAM COLLECTION™	✓	✓
PRIME	✓	✓

SIERRA 8

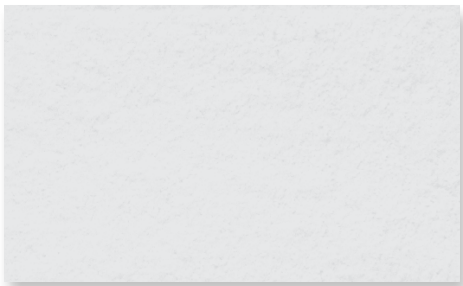


Size	4 ft x 8 ft	4 ft x 10 ft
STATEMENT COLLECTION™		
DREAM COLLECTION™		
PRIME	✓	✓

HardieTrim®

Length 12 ft boards

NT3® BOARDS SMOOTH



4/4 SMOOTH

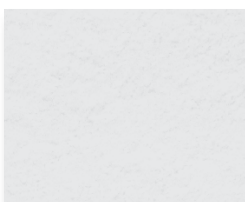
Thickness	.75 in				
Width	3.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	312	208	156	104	104
STATEMENT COLLECTION™	✓	✓	✓		✓
DREAM COLLECTION™	✓	✓	✓	✓	✓
PRIME					

5/4 SMOOTH

Thickness	1 in					
Width	3.5 in	4.5 in	5.5 in	7.25 in	9.25 in	11.25 in
ColorPlus Pcs/Pallet	240	200	160	120	80	80
STATEMENT COLLECTION™	✓	✓	✓	✓		✓
DREAM COLLECTION™	✓	✓	✓	✓	✓	✓
PRIME						

BATTEN BOARDS

SMOOTH



RUSTIC GRAIN®



SMOOTH & RUSTIC GRAIN®

Thickness	.75 in	STATEMENT COLLECTION™	✓
Width	2.5 in	DREAM COLLECTION™	✓
Prime Pcs/Pallet	190	PRIME	✓
ColorPlus Pcs/Pallet	437		

ELEVATE

MARVIN ELEVATE COLLECTION



Marvin Elevate collection

THE PERFECT BALANCE OF
BEAUTY AND STRENGTH

Balancing beautiful design with superior strength, the Marvin Elevate collection delivers style in any climate. Elevate features warm wood interiors that can blend in or stand out, with Ultrex® fiberglass exteriors for lasting durability. The collection offers a range of carefully selected features and options, making it as versatile as it is elegant.

About Us

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.

Casement windows with Simulated Checkrails and Grills-between-the-Glass
in Designer Black with Matte Black hardware

WHY MATERIALS MATTER

THE MARVIN MATERIALS DIFFERENCE: ULTREX® FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex, an innovative fiberglass material pioneered by Marvin over 20 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

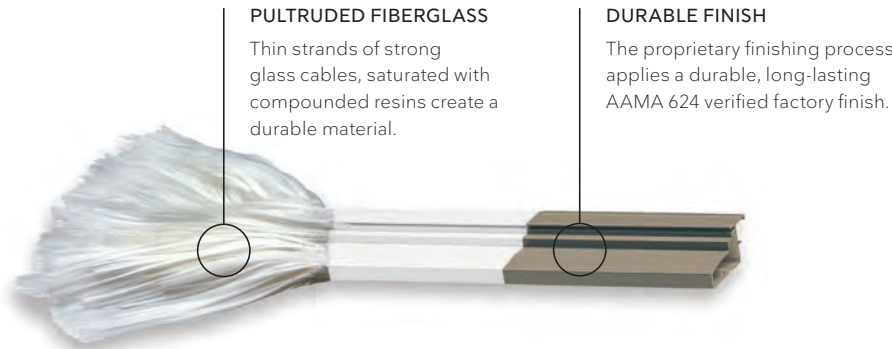
Some companies use materials with fundamentally different properties and performance values to produce a composite material. But Ultrex is different. High density woven fibers bound by a thermally-set resin makes Ultrex more resistant to pressure and temperature than vinyl-based composites. With such different materials grouped in the composites category, it becomes important to know what sets them apart.



STRENGTH AND STABILITY OF ULTREX

Ultrex pultruded fiberglass has a tensile strength 8x stronger than vinyl and 3x stronger than non-fiberglass vinyl/wood composites. Windows and doors made with Ultrex bend and flex less, resist cracking and separating, and stand up better to everyday wear and tear.

The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.



Double Hung windows and Inswing French doors with swinging screens

ULTREX FIBERGLASS: QUITE POSSIBLY
THE PERFECT BUILDING MATERIAL®

WHY MATERIALS MATTER

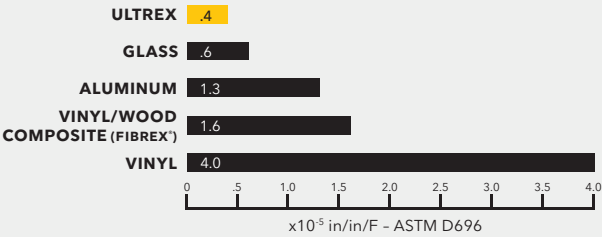
TEMPERATURES MAY FLUCTUATE, BUT ULTREX® FIBERGLASS WON'T

Ultrex expands and contracts at virtually the same rate as glass so it works with glass rather than against it. This means seals aren't as prone to leaking, and windows aren't subjected to sagging issues like other composites.

This is especially true when compared to vinyl, which can distort in extreme heat and crack in fluctuating temperatures. Ultrex resists distortion even at temperatures up to 285°F. Rapid temperature change doesn't faze Ultrex. From -30°F to 70°F, a 6 foot stile changes less than 1/32 inch in length.

EXPANSION MEASUREMENT

Ultrex expands and contracts at virtually the same rate as glass.

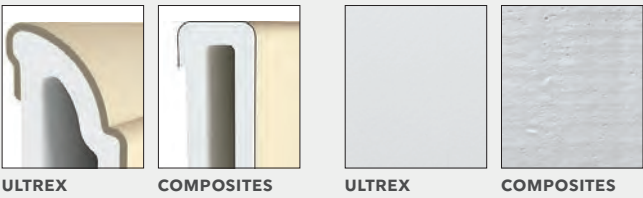


INDUSTRY'S BEST FIBERGLASS FINISH FOR LASTING BEAUTY

Ultrex is the first and only fiberglass finish to be verified to AAMA's 624 voluntary finish specifications for fiber reinforced thermoset profiles (fiberglass).

Windows and doors made with Ultrex resist scratches, dings, and marring more than vinyl. Our proprietary, mechanically bonded acrylic finish is up to three times thicker than painted competitive finishes, and it resists UV degradation up to five times longer than vinyl—even on dark colors.

ACRYLIC CAP



Casement and Direct Glaze windows in Stone White



Casement windows with Window Opening Control Device

COOLER IN SUMMER, WARMER IN WINTER

TOP RATED ENERGY EFFICIENCY

The National Fenestration Rating Council (NFRC) defines energy performance ratings for the entire window and door industry. It rates:

- **U-factor:** How well a window keeps heat inside a building.
- **Solar heat gain:** A window's ability to block warming caused by sunlight.
- **Visible light transmittance:** How much light gets through a product.
- **Air leakage:** Heat loss and gain by air infiltration through cracks in the window assembly.

Ultrex® fiberglass is 500 times less conductive than roll-form aluminum and is similar to wood and PVC. It provides an insulated barrier against extreme weather temperatures, keeping homes comfortable, and reducing heating and cooling costs.

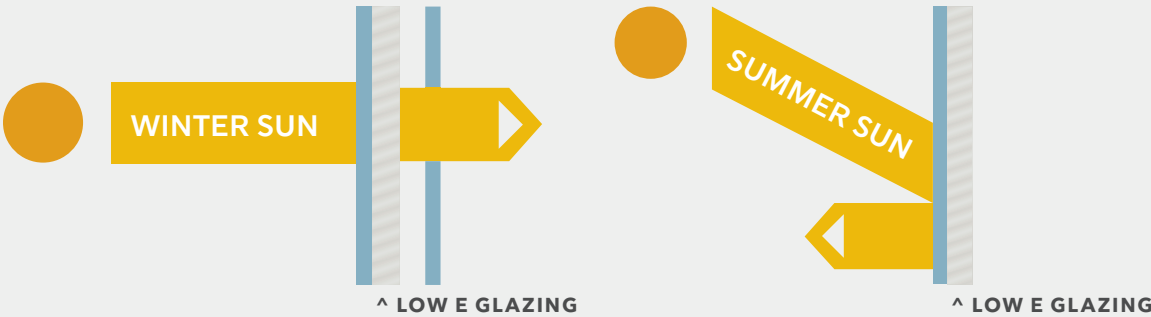
ENERGY COST SAVINGS

Marvin was the first major window and door manufacturer to offer energy-efficient Low E2 glass and ENERGY STAR® certified performance on all of our standard windows and doors. Compared to non-certified products, ENERGY STAR certified windows and doors cut heating and cooling costs by 12%.*

The Elevate collection offers Triple-pane, Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas, which has thermal conductivity 30% lower than that of air. It adds improved solar and thermal protection by distinguishing between visible light, damaging UV, and near-infrared rays to offer the ultimate glass performance. And provides a selection of energy-efficient solutions depending on your climate and needs.

LOW E GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.



Double Hung window with Sash Lock + Keeper in White

A MORE COMFORTABLE INTERIOR, REGARDLESS OF THE SEASON

Keep heat inside during cooler weather and block the sun's rays during warmer weather with dual-pane windows and Low E coating.

OUTSWING FRENCH DOOR



Outswing French door with Northfield hardware in Matte Black



Outswing French door with Cambridge hardware in Satin Nickel

OUTSWING FRENCH DOOR

- Low-maintenance fiberglass exteriors and rich pine interiors with a variety of finish options.
- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/4 inch increments.
- Tempered, insulated glass with argon gas.
- Available in 1-, 2-, or 3-panel configuration.*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG50 performance rating standard.



INTERIOR



EXTERIOR



DOOR HINGE SHOWN IN SATIN NICKEL



Available with IZ3

* 3 panel configuration is achieved by mulling multiple frames together to create an assembly.

DESIGN OPTIONS

INTERIOR AND EXTERIOR FINISHES

Elevate windows and doors features rich pine interiors and a durable, strong, and fully paintable Ultrex® fiberglass exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics. Elevate Round Tops include the extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking.

WOOD INTERIOR FINISHES

BARE PINE
Wood comes bare and ready to be painted or stained

CLEAR COAT
Wood is finished in the factory with a clear coat

PREFINISHED WHITE
Factory painted

DESIGNER BLACK
Factory painted

FIBERGLASS EXTERIOR COLORS

STONE WHITE

CASHMERE

PEBBLE GRAY

EVERGREEN

BRONZE

EBONY

DIVIDED LITES

GRILLES-BETWEEN-THE-GLASS (GBG)
Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Evergreen, Bronze, or Ebony exterior.*

SIMULATED DIVIDED LITE (SDL)
Bars permanently adhered to both sides of the glass for a more authentic look. Available with or without spacer bar and in several lite cut options.



GRILLES-BETWEEN-THE-GLASS



SIMULATED DIVIDED LITE

GLASS OPTIONS

Glass is available with Standard Dual Pane or optional Triple Pane on select products. Available with Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas.* Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones. Laminated glass is also offered in products designed specifically for hurricane zones.

DECORATIVE GLASS

OBSCURE

GLUE CHIP

RAIN

REED

NARROW REED

FROST

BRONZE TINT

GRAY TINT

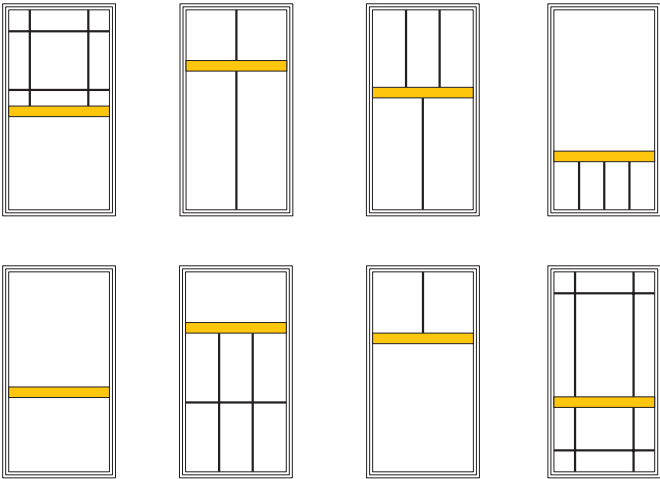
GREEN TINT

SIMULATED CHECKRAIL

Simulated Checkrail is the perfect solution when aesthetics call for the beauty of a double hung, but operation, egress, or performance demand another solution.

You specify placement of the horizontal simulated checkrail bar and the lite cut patterns above and below.

These illustrations offer a sampling of 7/8" Simulated Divided Lite (SDL) patterns that can be selected in combination with the 2 1/2" Simulated Checkrail on Casement, Awning, Glider, Direct Glaze Rectangle, Picture windows, and all Elevate doors.



* Not available in polygons except direct glaze rectangles.

* Argon gas not available in high elevations where capillary tubes are required.

ESSENTIAL

MARVIN ESSENTIAL™ COLLECTION



THE MARVIN PORTFOLIO

Inspired by how people live, the Marvin portfolio is organized into three product collections—defined by the degree of design detail and customization opportunities. Our thoughtful solutions provide exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch, to help bring your vision to life.

ULTIMATE



MARVIN SIGNATURE® COLLECTION

MODERN



MARVIN SIGNATURE® COLLECTION

COASTLINE



MARVIN SIGNATURE® COLLECTION

Featuring the Ultimate, Modern, and Coastline product lines, the Marvin Signature collection offers the broadest range of product types, sizes, configurations, and design options. Every detail is considered, delivering the highest level of architectural correctness and unrivaled appeal.

ELEVATE



MARVIN ELEVATE® COLLECTION

The Elevate collection is thoughtfully designed to offer specifically-chosen features and options to help make your vision a reality. Warm wood interiors with strong, durable, Ultrex® fiberglass exteriors, provide the ideal combination of beauty and strength.

ESSENTIAL



MARVIN ESSENTIAL™ COLLECTION

The Essential collection makes it easy to achieve design and quality with clean lines, streamlined options, and powerful performance. Strong, durable, Ultrex fiberglass interiors and exteriors mean windows and doors that are virtually maintenance free.

WHY MATERIALS MATTER

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The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.

PULTRUDED FIBERGLASS

Thin strands of strong glass cables, saturated with compounded resins create a durable material.

DURABLE FINISH

The proprietary finishing process applies a durable, long-lasting AAMA 624 verified factory finish.



Picture windows in Stone White

ULTREX FIBERGLASS: QUITE POSSIBLY
THE PERFECT BUILDING MATERIAL®

WHY MATERIALS MATTER

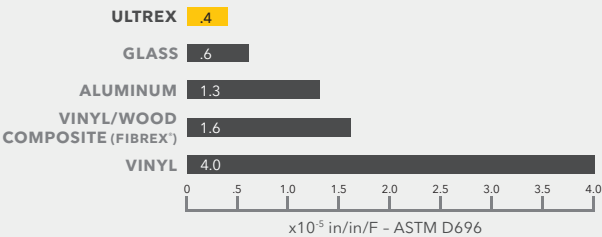
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ACRYLIC CAP



Casement and Picture windows in Stone White



Casement, Awning, and Picture windows in Ebony

COOLER IN SUMMER, WARMER IN WINTER

TOP RATED ENERGY EFFICIENCY

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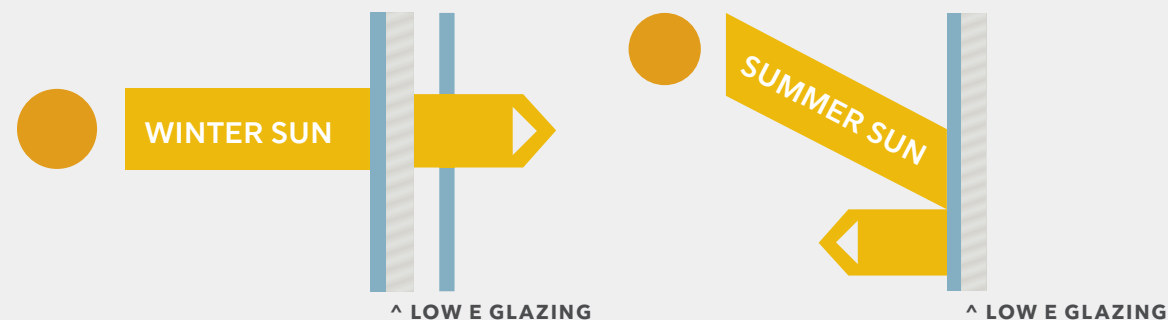
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The Essential collection offers Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas, which has thermal conductivity 30% lower than that of air. It adds improved solar and thermal protection by distinguishing between visible light, damaging UV, and near-infrared rays to offer the ultimate glass performance, and provides a selection of energy-efficient solutions depending on your climate and needs.

LOW E GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.



A MORE COMFORTABLE INTERIOR, REGARDLESS OF THE SEASON

Keep heat inside during cooler weather and block the sun's rays during warmer weather with dual-pane windows and Low E coating.

CASEMENT + AWNING



Casement windows in Oil Rubbed Bronze with Black hardware



Sliding Patio door, Awning, and Specialty Shape windows in Bronze

CASEMENT + AWNING

- Multi-point sequential locking system provides superior PG40 performance rating with single lever operation.
- Stationary, operating, transom, and picture units available.
- Folding handle provides easy operation and neatly stows out of the way of window treatments and blinds.
- Casement available in standard and special sizes up to 3 feet wide by 6 feet high.
- Awning available in standard and special sizes up to 4 feet wide by 3 feet high.
- Coordinating Picture and Transom windows available up to 6 feet wide by 6 feet high.
- Features an easy to remove screen with concealed fasteners.
- Crank out operation.



CASEMENT INTERIOR



AWNING EXTERIOR



FOLDING HANDLE SHOWN IN BRONZE

PICTURE



Casement and Picture windows in Ebony with Matte Black hardware



Picture windows in Ebony

PICTURE

- Fixed window available in either in-sash or direct glaze to meet various design needs.
- Direct glaze:
 - › Glass meets the frame directly without a sash for a simple, clean profile with more glass area.
 - › Available in sizes up to 9 ½ feet wide by 9 ½ feet high, not to exceed 49 square feet.
- In-sash:
 - › Designed to match profiles of operable windows in the Essential collection.
 - › Casement Picture windows available in sizes up to 6 feet wide by 6 feet high.
 - › Double Hung Picture windows available in sizes up to 5 feet wide by 6 feet high.



INTERIOR



EXTERIOR



INTERIOR WINDOW PROFILE SHOWN IN STONE WHITE

DESIGN OPTIONS

INTERIOR AND EXTERIOR FINISHES

Essential windows and doors have a durable, strong, and fully paintable Ultrex® fiberglass interior and exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics.

FIBERGLASS INTERIOR COLORS

STONE WHITE
Available with your choice of exterior finish colors

BRONZE
Available when paired with Bronze exterior finish

EBONY
Available when paired with Ebony exterior finish

FIBERGLASS EXTERIOR COLORS

STONE WHITE

CASHMERE

PEBBLE GRAY

EVERGREEN

BRONZE

EBONY

DIVIDED LITES

GRILLES-BETWEEN-THE-GLASS (GBG)
Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Evergreen, Bronze, or Ebony exterior.*



GRILLES-BETWEEN-THE-GLASS SHOWN IN STONE WHITE

GLASS OPTIONS

Available with dual-pane in Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas.* Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones.

DECORATIVE GLASS

OBSCURE

GLUE CHIP

RAIN

REED

NARROW REED

FROST

BRONZE TINT

GRAY TINT

GREEN TINT

ACCESSIBILITY OPTIONS

WINDOW OPENING CONTROL DEVICE
Limits opening to 4", while providing for full egress. ASTM F2090 compliant. Available on Casement, Double Hung, Single Hung, and Glider windows.

SLIM HANDLE
Provides a 32" net clear opening on Sliding Patio doors on a 6 foot wide, 2-panel configuration. Compatible with Northfield and Cambridge handles.

SASH LIMITER
Permanently limits sash movement for safety and security.

NON-OPERABLE LOCK
Renders sash inoperable when security is a paramount concern.



CASEMENT OPENING CONTROL DEVICE



DOUBLE/SINGLE HUNG OPENING CONTROL DEVICE



SLIM HANDLE



DOUBLE/SINGLE HUNG SASH LIMITER



AWNING SASH LIMITER



NON-OPERABLE LOCK

* Not available in polygons except direct glaze rectangles.

* Argon gas not available in high elevations where capillary tubes are required.

Calvan Fearey Residence

Phase II

99 Bracebridge Lane
Irvington, NY

- Submission for Planning Board Approval
June 27, 2018
- Resubmission for Planning Board Approval
August 22, 2018 **REVISION** 
- Resubmission for Planning Board Approval
September 19, 2018 **REVISION** 
- Submission for Zonning Board of Appeal Approval
October 8, 2018 **REVISION** 
- Resubmission for Planning Board Approval
October 24, 2018 **REVISION** 
- Submission to Architectural Review Board
for Approval - Phase II
April 15, 2019 **REVISION** 
- Resubmission for Planning Board Approval
June 19, 2019 **REVISION** 
- Resubmission for Planning Board Approval
August 21, 2019 **REVISION** 
- Submission for Additional Site Work Permit
September 23, 2019 **REVISION** 
- Resubmission for Building Permit
September 28, 2020 **REVISION** 
- VE Revisions for ARB Approval
December 7, 2020 **REVISION** 
- Foundation Revisions
March 31, 2021 **REVISION** 
- Revisions for ARB Approval
May 2, 2022 **REVISION** 

PROJECT NO.: 1724

Calvan/Fearey
Residence

99 Bracebridge Lane
Irvington, NY

A	05/02/22	Revisions for ARB Approval
7	03/31/21	Foundation Revision
D	12/07/20	VE Revisions for ARB Approval
9	09/28/20	Resubmission for Building Permit
B	09/23/21	Subm. for Addl. Site Work Permit
7	08/21/19	IPB Resubmission
6	04/19/19	IPB Resubmission
5	04/15/19	ARB Submission
4	10/24/18	IPB Resubmission
3	10/08/18	ZBA Submission
2	09/19/18	IPB Resubmission
	08/22/18	IPB Resubmission
	06/27/18	IPB Submission
	06/22/18	Client Meeting
NO.	DATE	ISSUE/REVISION

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Elmsford, New York 10523
T: 914-909-0420

ARBORIST
THE CARE OF TREES
57 Valley Avenue - Elmsford, New York 10523
T: 914-345-8733

Window Schedule

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

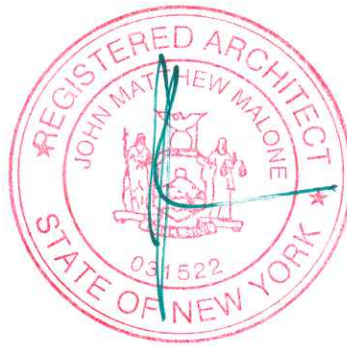
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Calvan/Fearey Residence

99 Bracebridge Lane
Irrington, NY

12	05/02/22	Revisions for ARB Approval
11	03/31/21	Foundation Revision
10	12/07/20	VE Revisions for ARB Approval
9	09/28/20	Resubmission for Building Permit
8	09/23/19	Subm. for Add. Site Work Permit
7	08/21/19	IPB Resubmission
6	06/19/19	IPB Resubmission
5	04/15/19	ARB Submission
4	10/24/18	IPB Resubmission
3	10/08/18	ZBA Submission
2	09/19/18	IPB Resubmission
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Window
Schedule

SCALE: As Noted

DATE: 06/27/18

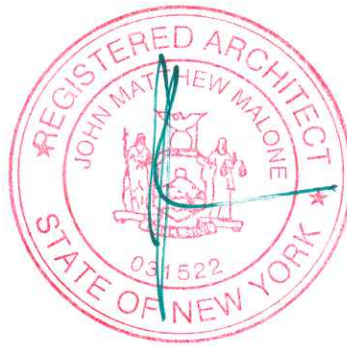
JOB: 1724

Calvan/Fearey Residence

99 Bracebridge Lane
Irvington, NY

12	05/02/22	Revisions for ARB Approval
11	03/31/21	Foundation Revision
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3	10/08/18	ZBA Submission
2	09/11/18	IPB Resubmission
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	06/27/18	IPB Submission
	06/22/18	Client Meeting
NO.	DATE	ISSUE/REVISION

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Tag	Description	Manufacturer/Style	Product Name / Number	Finish/Color	Frame Dimensions	Remark
A	Casement	Marvin Windows - Essential Casement	ESCA3040	Ultrtex acrylic finish, stone white interior, Bronze exterior - Egress	See elevations	LH operable w/screen, Egress
B	Picture	Marvin Windows - Essential Picture	ESCAP5040	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	
B1	Picture Assembly	Marvin Windows - Essential Picture	ESCAP5040/ESCAP5026	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Windows adjacent to doors #109 & #110 to have tempered safety glass. Muller together
C	Casement	Marvin Windows - Essential Casement	ESCA3040	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	LH operable w/screen
C1	Casement	Marvin Windows - Essential Casement	ESCA3040	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	RH operable w/screen
D1	Picture	Marvin Windows - Essential Direct Glaze	ESDGP4-5 - CUSTOM	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevation - V.I.F.	D1, D2 & D3 Muller together
D2	Picture	Marvin Windows - Essential Direct Glaze	ESDGP4-5 - CUSTOM	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevation - V.I.F.	D1, D2 & D3 Muller together
D3	Picture	Marvin Windows - Essential Direct Glaze	ESDGP4-5 - CUSTOM	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevation - V.I.F.	D1, D2 & D3 Muller together
D4	Picture	Marvin Windows - Essential Direct Glaze	ESDGP4-5 - CUSTOM	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevation - V.I.F.	
F	Casement	Marvin Windows - Essential Casement	ICA3331		2'-6" x 2'-7 1/8"	RH operable w/screen
F1	Casement	Marvin Windows - Integrity Wood-Ultrtex Casement	ICA3331		2'-6" x 2'-7 1/8"	LH operable w/screen
G	Picture	Marvin Windows - Essential Picture	ESCAP2660 T	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	
H	Picture	Marvin Windows - Essential Picture	ESCAP2646	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	
I	Picture	Marvin Windows - Essential Picture	ESCAP2630	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	
J	Casement	Marvin Windows - Essential Casement	ESCAP2660 T	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	LH operable w/screen
J1	Casement	Marvin Windows - Essential Casement	ESCA2660 T	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	RH operable w/screen
K	Picture Window Assembly	Marvin Windows - Essential Casement	ESCAP5030/ESCAP2030 *	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Muller together
L	Picture Window Assembly	Marvin Windows - Essential Picture	ESCAP5060/ESCAP2060 *	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Muller together
M	Picture Window Assembly	Marvin Windows - Essential Picture	ESCAP5050/ESCAP2050	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Muller together
N	Picture	Marvin Windows - Essential Direct Glaze	ESDGP4-5 - CUSTOM	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevation - V.I.F.	
O	Picture Window Assembly	Marvin Windows - Essential Direct Glaze	ESDGP4-5 - CUSTOM	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevation - V.I.F.	Muller together
P	Window Assembly	Marvin Windows - Essential Casement & Awning	ESAP6020/ESCAP2020 ESCAP6060/ESCAP2060	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Muller together LH operable w/screen
Q	Window Assembly	Marvin Windows - Essential Casement & Picture	ESCA2060/ESCAP6060	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Muller together RH operable w/screen
R	Window Assembly	Marvin Windows - Essential Casement & Picture	ESCA6060/ESCAP3060	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	Muller together LH operable w/screen - RH operable w/screen
S	Picture	Marvin Windows - Essential Picture	ESCAP2046	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	
T	Casement	Marvin Windows - Essential Picture	ESCA2630	Ultrtex acrylic finish, stone white interior, Bronze exterior	See elevations	RH operable w/screen

Window Notes

All new windows to meet the requirements of Residential Code of New York and are to have a U-factor of 0.55 or less and SHGC of 0.7 or less.

Operable windows hardware to be selected by homeowner.

Verify rough opening and wall thickness for window jam dimensions in field.

* Standard size - operator, stationary - tempered recommended or required

Submit window and hardware specifications and shop drawings for architects approval.

Window Schedule

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A- 0.21

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NO.	DATE	ISSUE/REVISION
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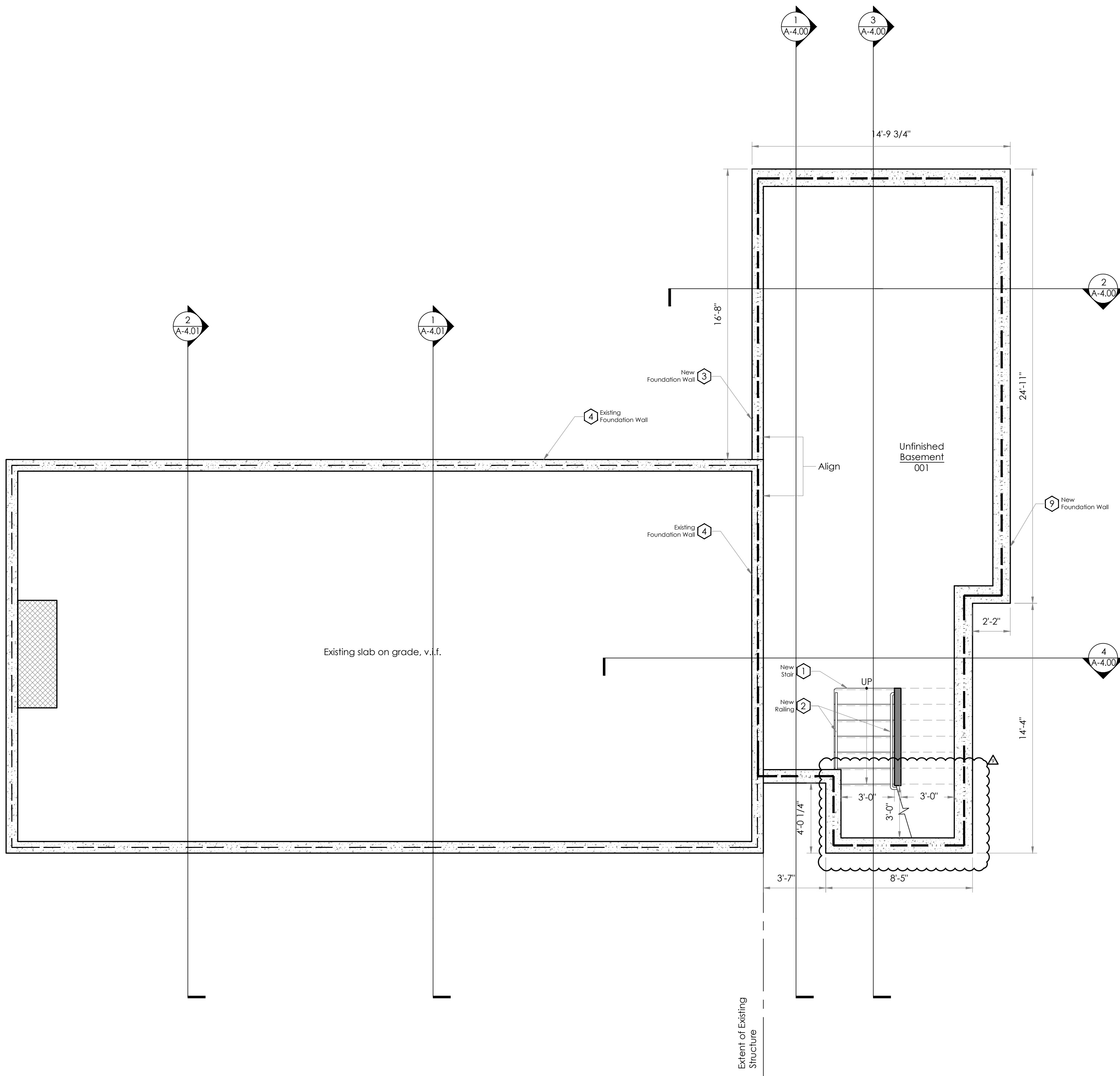


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1 Proposed Basement Plan
1/4" = 1'-0"

Partition Types

- 01** Furred Concrete Wall
One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.
- 02** Full Height Partition
One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.
- 03** Moisture Resistant Partition
One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
- 04** Fire Rated Full Height Partition
One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

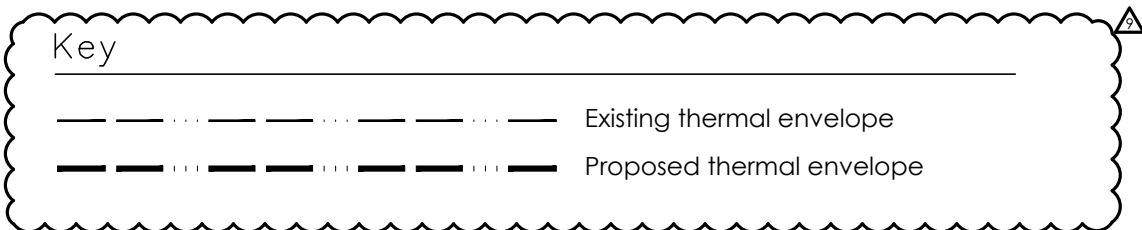
Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

Key Notes

- 1** New Stair
- 2** New railing - New wood stair railing.



Proposed
Basement
Plan

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A-2.00

99 Bracebridge Lane
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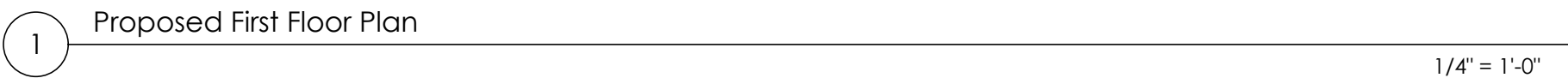
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THE CARE OF TREES
57 Valley Avenue - Elmsford, New York 10523
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SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A-2.01



01	<u>Furred Concrete Wall</u> One layer 5/8" moisture resistant G&WB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.
02	<u>Full Height Partition</u> One layer of 5/8" G&WB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.
03	<u>Moisture Resistant Partition</u> One layer of 5/8" moisture resistant G&WB on side facing wet area and one 5/8" G&WB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
04	<u>Fire Rated Full Height Partition</u> One layer of 5/8" X type G&WB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

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All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

- 1 New Stair
- 2 New railing - New wood stair railing.
- 3 New shower glass - Proposed shower glass and door within a "Hazardous Locations" i.e: bathtubs, showers, whirlpools etc. to be tempered safety glass
- 4 New fixture - New plumbing fixture. See enlarged plan and plumbing fixture schedule.
- 5 Relocated boiler vent flue - Vent flue to be relocated. Provide misc. frame & chase base for new boiler flue. New location to be field coordinated with architect. See mechanical plans for more information
- 6 New appliance - See mechanical plans for specifications

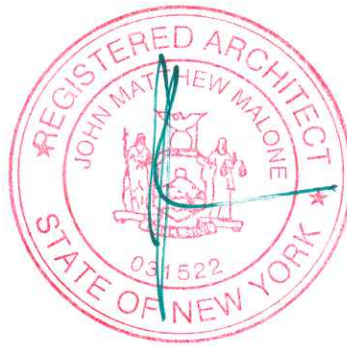
Existing thermal envelope
Proposed thermal envelope

Calvan/Fearey Residence

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Irvington, NY

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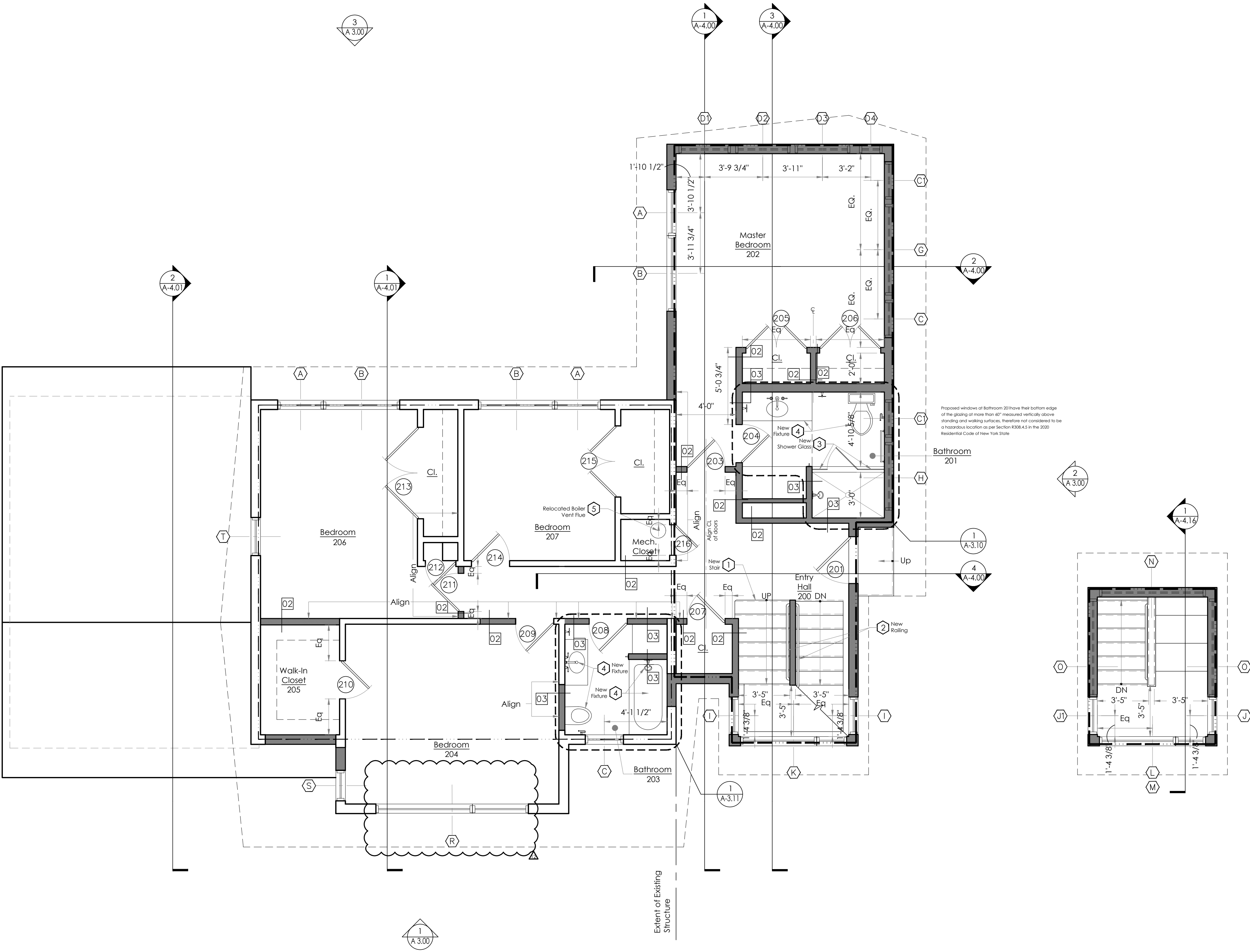


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1 Proposed Second Floor Plan
1/4" = 1'-0"

Partition Types	
01	Furred Concrete Wall One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.
02	Full Height Partition One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.
03	Moisture Resistant Partition One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
04	Fire Rated Full Height Partition One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

Partition Notes	
	All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.
	Use moisture resistance GWB at all wet areas including bathrooms.
	Use cement board as substrate for tile in all showers.
	Dimensions are from finish to finish unless otherwise noted.
	Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.
	All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

Key Notes	
1	New Stair
2	New railing - New wood stair railing.
3	New shower glass - Proposed shower glass and door within a "Hazardous Locations" ie: bathtubs, showers, whirlpools etc. to be tempered safety glass
4	New fixture - New plumbing fixture. See enlarged plan and plumbing fixture schedule.
5	Relocated boiler vent flue - Vent flue to be relocated. Provide misc. frame & chase base for new boiler flue. New location to be field coordinated with architect. See mechanical plans for more information
6	New appliance - See mechanical plans for specifications

Key	
---	Existing thermal envelope
---	Proposed thermal envelope

Proposed
Second
Floor Plan

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

Calvan/Fearey Residence

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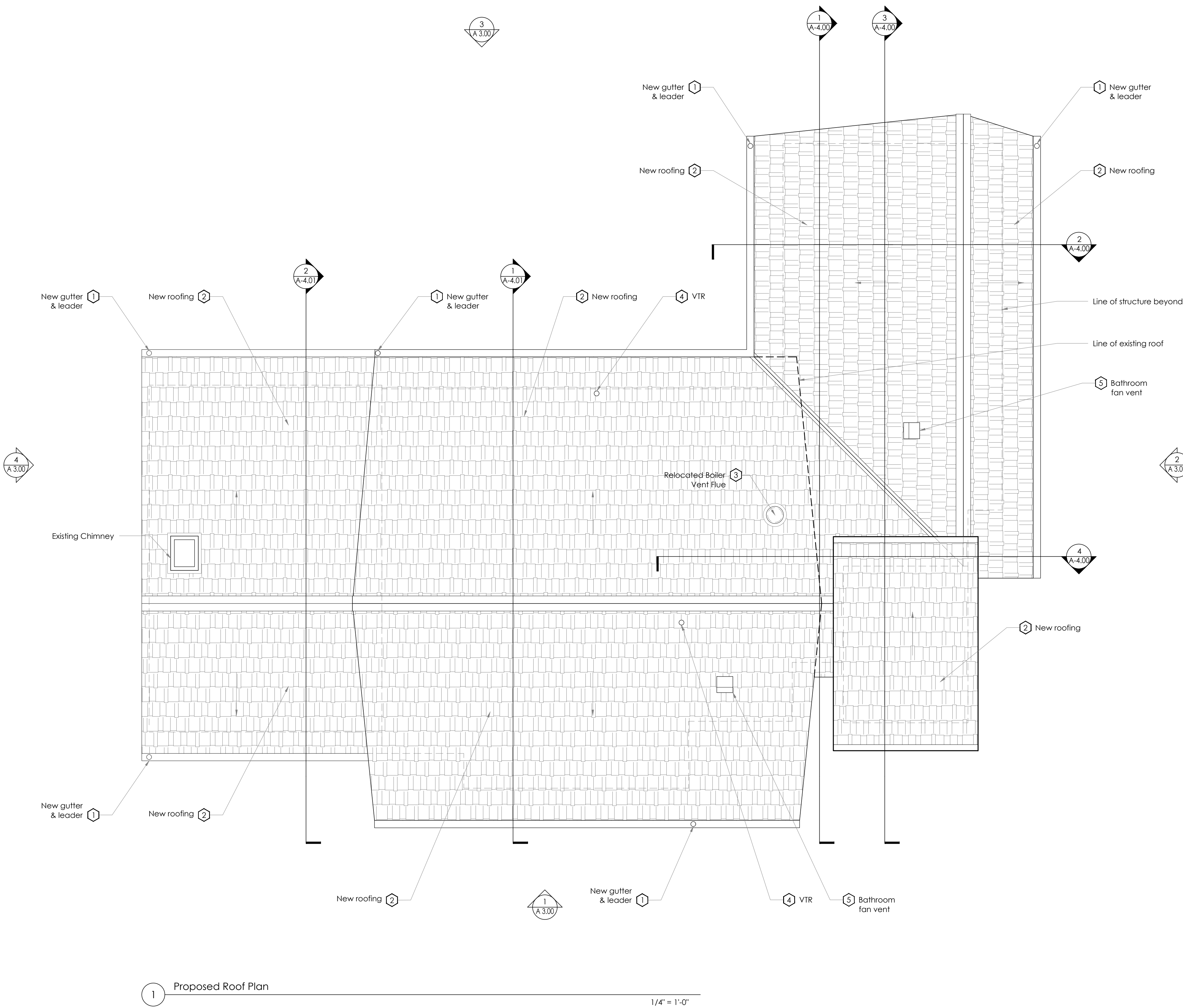
Proposed
Roof Plan

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A-2.03



1 Proposed Roof Plan

1/4" = 1'-0"

Partition Types

- 01

Furred Concrete Wall

One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.
- 02

Full Height Partition

One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.
- 03

Moisture Resistant Partition

One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.
- 04

Fire Rated Full Height Partition

One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

Partition Notes

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Key Notes

- 1

New gutter & leader - North, West and East leaders to be connected to stormwater system. South leaders to splash blocks.
- 2

New roofing - New Asphalt roof shingles-GAF Timberline NS Shingles. Color: Slate
- 3

Relocated Boiler Vent Flue - New location to be field coordinated with architect. Provide waterproof roof penetration as per roof manufacturer's standard detail
- 4

VTR - Provide waterproof roof penetration as per roof manufacturer's standard detail
- 5

Bathroom fan vent - Provide roof cap & waterproof roof penetration as per roof manufacturer's standard detail.

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Proposed
Reflected
Ceiling Plan

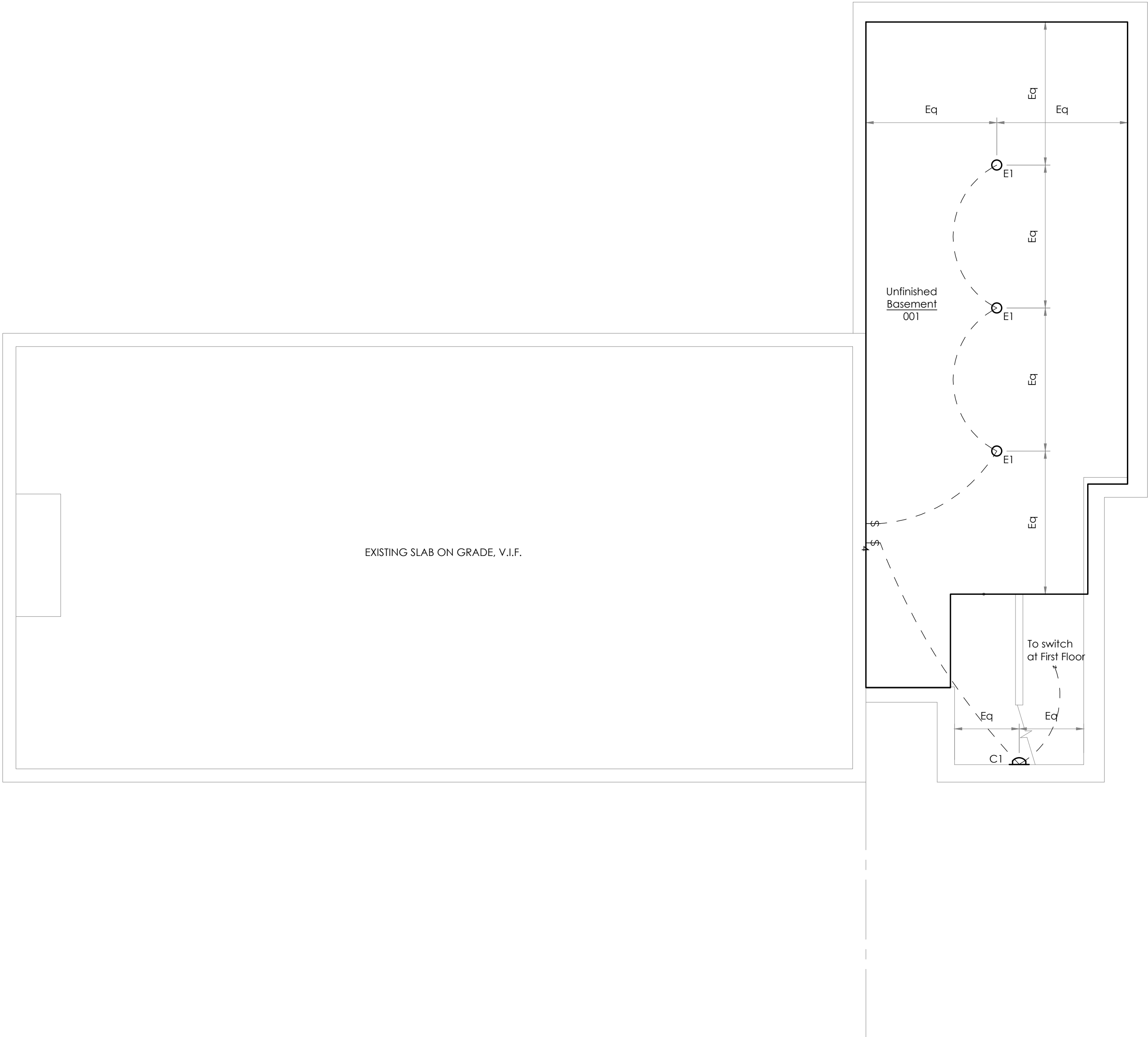
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A-2.10

Lighting Fixture Schedule							
Symbols	Description	Manufacturer	Product	Finish	Watt / Lamps	Volt	Remarks
	Remote Fan Intake	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Refer to mechanical plans for location and specifications.
A1	New Recessed Fixture	WAC LIGHTING	Loto Downlight 3000k	White	T.B.D	T.B.D	Contractor supplied fixture
A2	New Recessed Moisture Resistant Fixture	WAC LIGHTING	Loto Downlight 3000k	White	T.B.D	T.B.D	Contractor supplied fixture
A3	New Recessed Directional Fixture	WAC LIGHTING	Loto Adjustable Downlight 3000k	White	T.B.D	T.B.D	Contractor supplied fixture
B1	New Ceiling Hung Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B2	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B3	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B4	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B5	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B6	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B7	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
B8	New Ceiling Hung Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
C1	New Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
C2	New Exterior Wall Mounted Fixture	Lamp Plus	Possini Euro Ellis	Satin	120 max.	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
C3	New Exterior Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
C4	New Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
C5	New Exterior Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
E1	New Lamp Holder Fixture	T.B.D.	Porcelain	T.B.D.	9 W max.	120V	Contractor supplied fixture. Provide high efficiency LED lamp
D1	New Linear Closet LED Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
D2	New Linear Suspended LED Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.
D3	New Linear Suspended LED Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D	T.B.D	Owner supplied fixture. Fixture to be high efficiency LED.



1 Reflected Ceiling Plan - Basement

1/4" = 1'-0"

Key of Devices			
	New single pole switch		New smoke / carbon monoxide detector / alarm
	New switch with dimming capability		New smoke / carbon monoxide detector / alarm
	New switch with 3-way capability		New speaker
	New switch with 4-way capability		

Key of Ceiling Finishes	
	Existing Gyp. Bd. or Plaster Ceiling - To be patched, prepped and painted.
	New 1/2" Gypsum Ceiling - To be finished and painted

Lighting Notes

New lighting fixtures shall be provided as indicated on the fixture schedule. Install all accessories, wiring and conduit as required.

All IC Rated recessed lighting fixtures are to be sealed at housing finish and be labeled to indicate ≤ 2.0 cfm leakages at 75 Pa.

The existing electrical service is to be upgraded as needed as per licensed sub evaluation, see power distribution plan for additional information.

Contractor to provide detailed shop drawings indicating all lighting control components and connections. Dimming function for fixture is indicated as switching with dimming capability.

Dimming system is to be coordinated with specified fixture.

Contractor is to confirm compatibility of all specified fixture with the lighting control system.

Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Light switches to be mounted at 3'-6" to centerline above finish floor.

Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and Household Fire Warning Equipment Provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms.

99 Bracebridge Lane
Irvington, NY

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	06/27/18	IPB Submission
	06/22/18	Client Meeting

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



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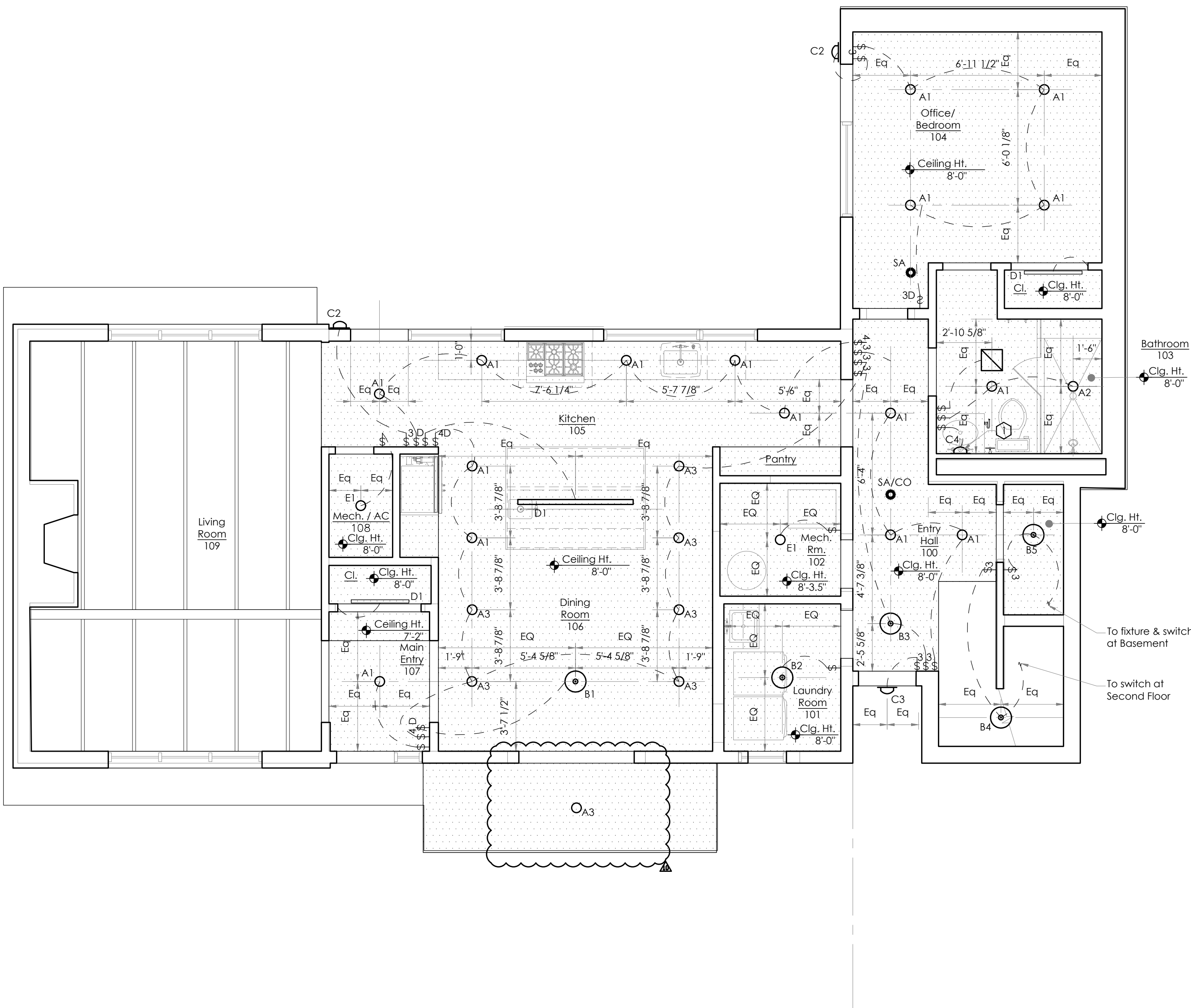
Proposed
Reflected
Ceiling Plan

SCALE: As Noted

DATE: 06/27/18






















JOB: 1724

A-2.11






Reflected Ceiling Plan - First Floor

$$1/4'' = 1'-0''$$

Symbols	Description	Manufacturer	Product	Finish	Watt / Lamps	Volt	Remarks
	Remote Fan Intake	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Refer to mechanical plans for location and specifications.
	New Recessed Fixture	WAC LIGHTING	Loto Downlight 3000k	White	T.B.D.	T.B.D.	Contractor supplied fixture
	New Recessed Moisture Resistant Fixture	WAC LIGHTING	Loto Downlight 3000k	White	T.B.D.	T.B.D.	Contractor supplied fixture
	New Recessed Directional Fixture	WAC LIGHTING	Loto Adjustable Downlight 3000k	White	T.B.D.	T.B.D.	Contractor supplied fixture
	New Ceiling Hung Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Ceiling Hung Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Exterior Wall Mounted Fixture	Lamp Plus	Possini Euro Ellis	Satin	120 max.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Exterior Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Exterior Wall Mounted Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Lamp Holder Fixture	T.B.D.	Porcelain	T.B.D.	9 W max.	120V	Contractor supplied fixture. Provide high efficiency LED lamp
	New Linear Closet LED Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Linear Suspended LED Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.
	New Linear Suspended LED Fixture	T.B.D.	T.B.D.	T.B.D.	T.B.D.	T.B.D.	Owner supplied fixture. Fixture to be high efficiency LED.

Key of Devices

\$ ₁	New single pole switch		New smoke / carbon monoxide detector / alarm
\$ _D	New switch with dimming capability		New smoke / carbon monoxide detector / alarm
\$ ₃	New switch with 3-way capability		New speaker
\$ ₄	New switch with 4-way capability		

Key of Ceiling Finishes

Existing Gyp. Bd. or Plaster Ceiling - To be patched, prepped and painted.

New $\frac{1}{2}$ " Gypsum Ceiling - To be finished and painted.

Lighting Notes

New lighting fixtures shall be provided as indicated on the fixture schedule. Install all accessories, wiring and conduit as required.

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The existing electrical service is to be upgraded as needed as per licensed sub evaluation, see power distribution plan for additional information.

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Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Light switches to be mounted at 3'-6" to centerline above finish floor.

Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and Household Fire Warning Equipment Provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms.

Key Notes

- 1 Center fixture over sink
- 2 Center fixture in tub/shower area
- 3 Line of soffit
- 4 Existing fixtures to remain

Calvan/Fearey Residence

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NO.	DATE	ISSUE/REVISION

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018), New York State Amendments) which includes Chapter 11 Energy Efficiency.



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1 Power and Data Plan - Basement

1/4" = 1'-0"

Extent of Existing
Structure

Key of Devices

- New wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.
- New switched wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.
- New wall mounted duplex electrical receptacle @ 42" a.f.f. (typ) u.o.n. ground-fault circuit interrupter.
- New wall mounted receptacle w/ usb charger @ 15"
- Appliance connection
- 240V receptacle
- New switched flush mounted floor box w/ duplex electrical receptacle - exact location to be confirmed w/ architect.
- New telecommunication and data wall outlet @ 15" a.f.f. (typ.) u.o.n.
- New cable outlet
- New thermostat

Electrical Distribution Notes

All work shall be performed by licensed personnel, and shall comply with N.Y. State Uniform Fire Prevention and Building Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association and all federal, state, and municipal authorities having jurisdiction over the work. All work shall comply with the National Electrical Code NFPA 20 Edition 2020.

New service will be grounded as per section E3408.1.4 of the NYS IRC, by grounding a rod or pipe electrode. Rod and pipe electrodes shall be installed as per section E3408.1.4.1 of the NYS IRC such that at least 8' of length is in contact with the soil. They shall be driven to a depth of not less than 8'.

Contractor shall obtain exact requirements before proceeding with the work.

Install wiring and conduit as required by code.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices are to be white.

Adjacent switches and receptacles are to be installed in ganged with single coverplate.

Exact locations of outlets & switches shall be verified. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

Data Notes

All data cabling to be CAT 6.

Cables are to be homeruns data termination point in electrical room - coordinate work w/ owner's it vendor.

All telecom cabling is to be CAT 5E.

Cables are to be homeruns to main telecom panel in telecom closet. Closet location to be field coordinated - GC to coordinate work with owners' telecom vendor.

Electrician is to supply telecom, data and cable wires.

Key Notes

- Existing power & data to remain - No additional electrical work on this area

Proposed
Power & Data
Plan

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

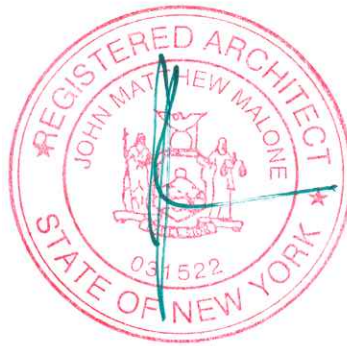
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Calvan/Fearey Residence

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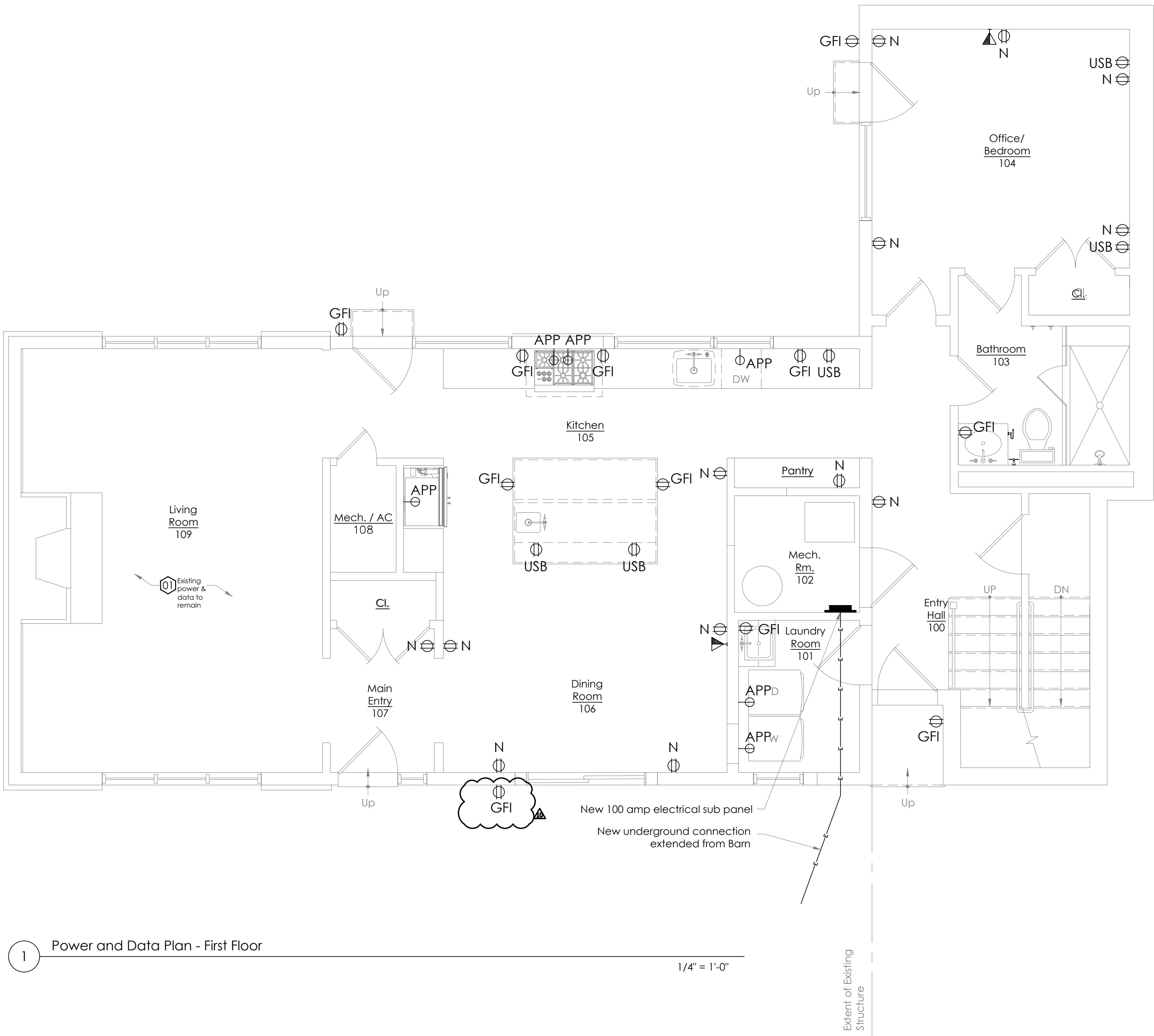


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57 Valley Avenue - Elmsford, New York 10523
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1 Power and Data Plan - First Floor

Key of Devices

- New wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.
- New switched wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.
- New wall mounted duplex electrical receptacle @ 42" a.f.f. (typ) u.o.n. ground-fault circuit interrupter.
- New wall mounted receptacle w/ usb charger @ 15"
- Appliance connection
- 240V receptacle
- New switched flush mounted floor box w/ duplex electrical receptacle - exact location to be confirmed w/ architect.
- New telecommunication and data wall outlet @ 15" a.f.f. (typ.) u.o.n.
- New cable outlet
- New thermostat

Electrical Distribution Notes

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New service will be grounded as per section E3608.1.4 of the NYS IRC, by grounding a rod or pipe electrode. Rod and pipe electrodes shall be installed as per section E3608.1.4.1 of the NYS IRC such that at least 8' of length is in contact with the soil. They shall be driven to a depth of not less than 8'.

Contractor shall obtain exact requirements before proceeding with the work.

Install wiring and conduit as required by code.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices are to be white.

Adjacent switches and receptacles are to be installed in ganged with single coverplate.

Exact locations of outlets & switches shall be verified. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

Data Notes

All data cabling to be CAT 6.

Cables are to be homeruns data termination point in electrical room - coordinate work w/ owner's it vendor.

All telecom cabling is to be CAT 5E.

Cables are to be homeruns to main telecom panel in telecom closet. Closet location to be field coordinated - GC to coordinate work with owners' telecom vendor.

Electrician is to supply telecom, data and cable wires.

Key Notes

- Existing power & data to remain - No additional electrical work on this area

Proposed
Power & Data
Plan

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A-2.21

Calvan/Fearey Residence

99 Bracebridge Lane
Irvington, NY

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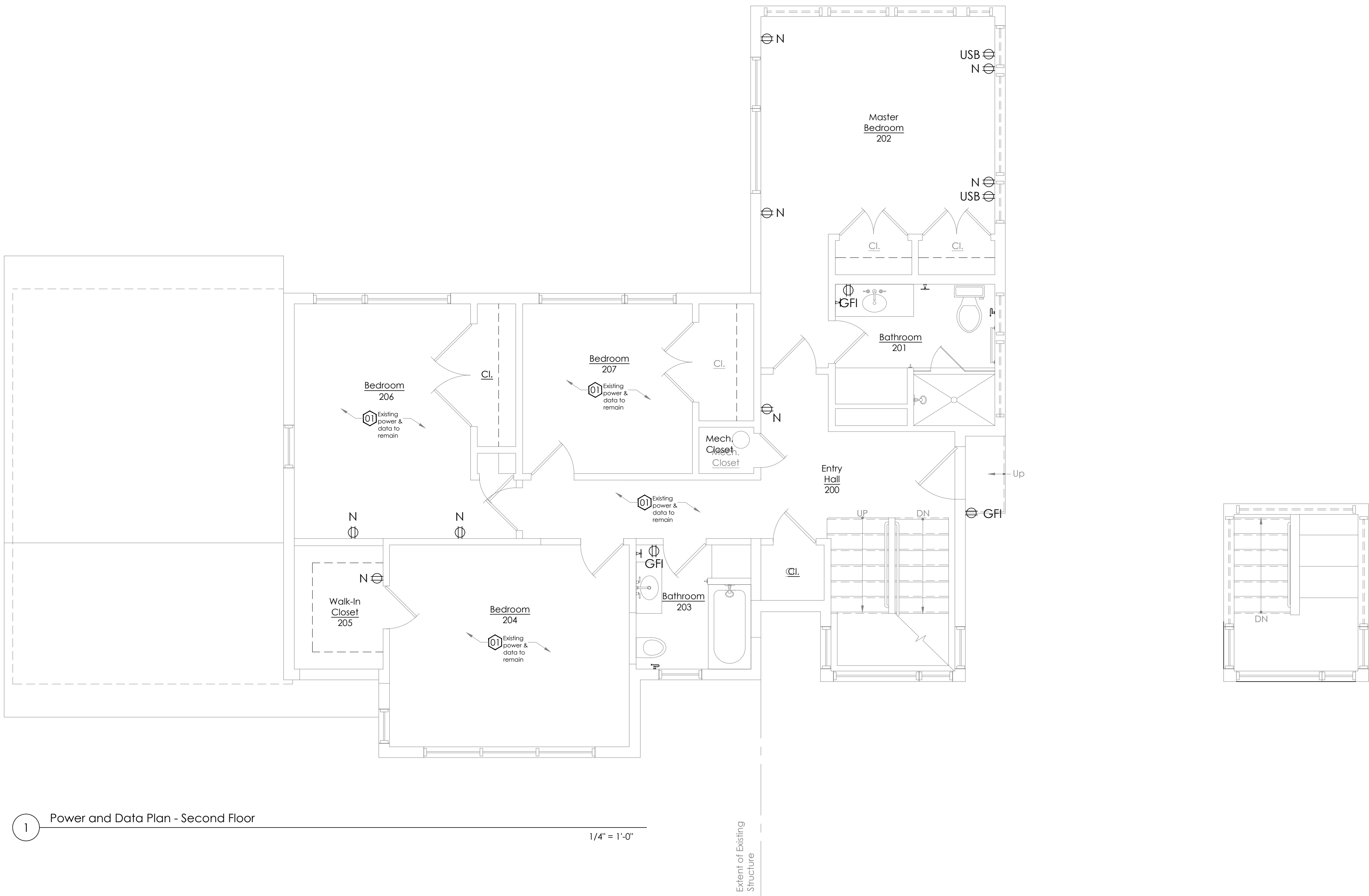


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Key of Devices	
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	New switched flush mounted floor box w/ duplex electrical receptacle - exact location to be confirmed w/ architect.
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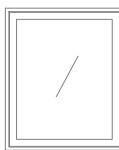
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Key Notes

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Proposed
Power & Data
Plan

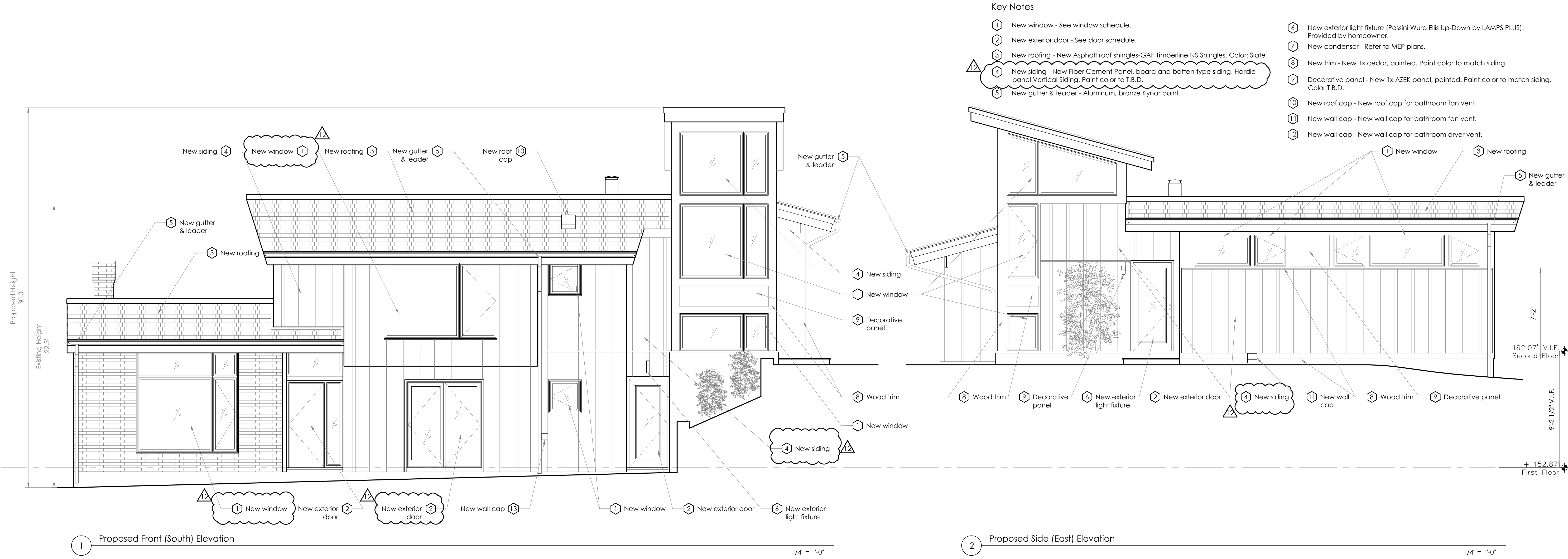
SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A-2.22

New Sheet



Key Notes

- 1 New window - See window schedule.
- 2 New exterior door - See door schedule.
- 3 New roofing - New Asphalt roof shingles-GAF Timberline NS Shingles. Color: Slate
- 4 New siding - New Fiber Cement Panel, board and batten type siding, Hardie panel Vertical Siding. Paint color to T.B.D.
- 5 New gutter & leader - Aluminum, bronze Kynar paint.
- 6 New exterior light fixture (Possini Wuro Ellis Up-Down by LAMPS PLUS). Provided by homeowner.
- 7 New condensor - Refer to MEP plans.
- 8 New trim - New 1x cedar, painted. Paint color to match siding.
- 9 Decorative panel - New 1x AZEK panel, painted. Paint color to match siding. Color T.B.D.
- 10 New roof cap - New roof cap for bathroom fan vent.
- 11 New wall cap - New wall cap for bathroom fan vent.
- 12 New wall cap - New wall cap for bathroom dryer vent.

Calvan/Fearey Residence

99 Bracebridge Lane
Irvington, NY

NO.	DATE	ISSUE/REVISION
12	05/02/22	Revisions for ARB Approval
11	03/31/21	Foundation Revision
10	12/07/20	VE Revisions for ARB Approval
9	09/28/20	Resubmission for Building Permit
8	09/23/19	Subm. for Add. Site Work Permit
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Proposed Exterior Elevations

SCALE: As Noted

DATE: 06/27/18

JOB: 1724

A-3.00