### FERGUSON MALONE ARCHITECTURE

May 2, 2022

Mr. Rocco Rasulo, Chairperson Village of Irvington Architectural Review Board Village Hall 85 Main Street Irvington, NY 10533

> Re: Tracy Calvan & Gordon Fearey Barn Renovation Application No. 269 (99 Bracebridge Lane, Irvington NY) Parcel No. 2.20-4-6 Revisions

Dear Chairperson Rasulo and Members of the Architectural Review Board:

Attached please find proposed revisions for the Calvan Fearey House project at 99 Bracebridge Lane. The project was submitted and approved by the ARB in April 2019, and Revisions were submitted and approved in December 2020. Below is a list of additional revision.

- 1. The proposed vertical cedar siding and existing siding have been replaced with Hardie Panel Vertical Board & Batten Siding.
- 2. The previously approved window assemblies at living room and master bedroom have been revised to a different configuration to reduce the number of windows and to be more in line with the proposed windows assemblies design at the addition.
- 3. The proposed sliding door at the South façade in the dining room has been replaced with a French outswing door.
- 4. A new operable window has been added at the North façade in the guest Office/Bedroom. The additional window is from the same manufacturer and line of all the previously approved windows throughout the house and the addition.

Please let me know if you or your consultants have any questions or concerns, and feel free to contact me at (914) 591-5066 or via email at <a href="mailto:jmalone@fergusonmalone.com">jmalone@fergusonmalone.com</a>.

Sincerely,

John Malone, AIA LEED AP

Enc: Drawing Set – dated 05/02/2022 cc: Tracy Calvan & Gordon Fearey

File



Discover a whole new **SIDE OF HOME.** 





# **James Hardie Complete Exterior**™

Top to bottom, our exterior product line is defined by excellent performance, aesthetics and design options.

Provide protection from the elements, showcase a homeowner's individual style and install peace of mind with exceptional warranties through a single, trusted manufacturer.



HardieShingle® Siding



HardiePanel® Vertical Siding & HardieTrim® Batten Boards



HardiePlank® Lap Siding



HardieTrim® Boards



HardieSoffit® Panels

# **Hardie**Panel®

HardiePanel® vertical siding delivers style and substance. When combined with HardieTrim® boards, it achieves the rustic board-and-batten look that defines cottage charm. The covered seams contribute to a well-insulated home.

Its crisp, clean lines make HardiePanel vertical siding a smart choice for strong, contemporary designs.



### **Hardie**Panel®

Thickness 5/16 in

### SELECT CEDARMILL®, SMOOTH, STUCCO & SIERRA 8

| Size                 | 4 ft x 8 ft | 4 ft x 10 ft |
|----------------------|-------------|--------------|
| Prime Pcs/Pallet     | 50          | 50           |
| ColorPlus Pcs/Pallet | 50          | 50           |
| Pcs/Sq               | 3.2         | 2.5          |

### **SELECT CEDARMILL®**











### **SIERRA 8**

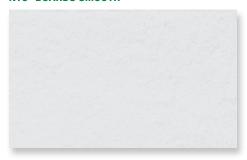


| Size                  | 4 ft x 8 ft  | 4 ft x 10 ft |
|-----------------------|--------------|--------------|
| STATEMENT COLLECTION™ |              |              |
| DREAM COLLECTION™     |              |              |
| PRIME                 | $\checkmark$ | $\checkmark$ |

### **Hardie**Trim<sup>®</sup>

Length 12 ft boards

### NT3® BOARDS SMOOTH



### 4/4 SM00TH

Thickness .75 in

Width 3.5 in 5.5 in ColorPlus Pcs/Pallet 312

7.25 in 9.25 in 11.25 in 208 156 104 104

**STATEMENT COLLECTION™ DREAM**  $\textbf{COLLECTION}^{\text{\tiny{M}}}$ **PRIME** 

### 5/4 SM00TH

Thickness 1 in

Width 3.5 in

4.5 in 5.5 in 7.25 in 9.25 in 11.25 in ColorPlus Pcs/Pallet 240 200 160 120 80 80

**STATEMENT**  $\textbf{COLLECTION}^{\text{\tiny{TM}}}$ **DREAM**  $\textbf{COLLECTION}^{\text{\tiny{TM}}}$ **PRIME** 

### **BATTEN BOARDS**



### **RUSTIC GRAIN®**

### **SMOOTH & RUSTIC GRAIN®**

Thickness .75 in Width 2.5 in Prime 190 **Pcs/Pallet** 

ColorPlus 437 Pcs/Pallet

**STATEMENT**  $\textbf{COLLECTION}^{\text{\tiny{TM}}}$ 

**DREAM**  $\textbf{COLLECTION}^{\text{\tiny{TM}}}$ 

PRIME









# THE PERFECT BALANCE OF BEAUTY AND STRENGTH

Balancing beautiful design with superior strength, the Marvin Elevate collection delivers style in any climate. Elevate features warm wood interiors that can blend in or stand out, with Ultrex® fiberglass exteriors for lasting durability. The collection offers a range of carefully selected features and options, making it as versatile as it is elegant.

# Casement windows with Simulated Checkrails and Grills-between-the Glass in Designer Black with Matte Black hardware

MARVIN ELEVATE® COLLECTION

### **About Us**

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.

### WHY MATERIALS MATTER

# THE MARVIN MATERIALS DIFFERENCE: ULTREX® FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex, an innovative fiberglass material pioneered by Marvin over 20 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

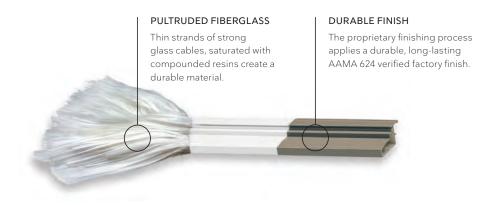
Some companies use materials with fundamentally different properties and performance values to produce a composite material. But Ultrex is different. High density woven fibers bound by a thermally-set resin makes Ultrex more resistant to pressure and temperature than vinyl-based composites. With such different materials grouped in the composites category, it becomes important to know what sets them apart.

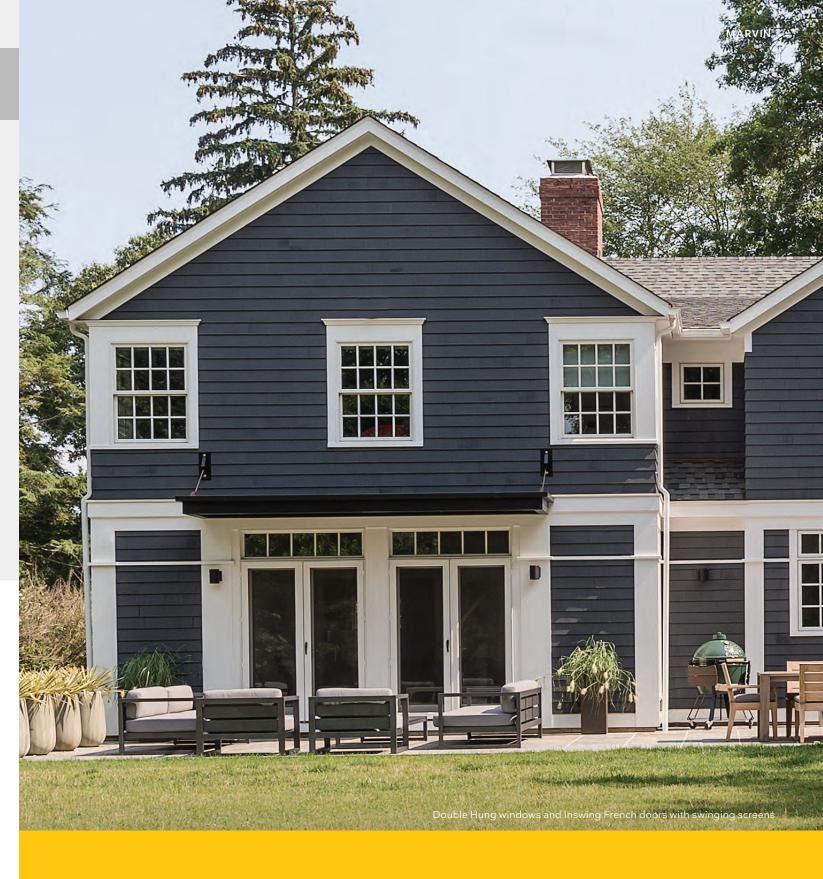


### STRENGTH AND STABILITY OF ULTREX

Ultrex pultruded fiberglass has a tensile strength 8x stronger than vinyl and 3x stronger than non-fiberglass vinyl/wood composites. Windows and doors made with Ultrex bend and flex less, resist cracking and separating, and stand up better to everyday wear and tear.

The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true, year after year.





ULTREX FIBERGLASS: QUITE POSSIBLY THE PERFECT BUILDING MATERIAL®

MARVIN ELEVATE® COLLECTION

### WHY MATERIALS MATTER

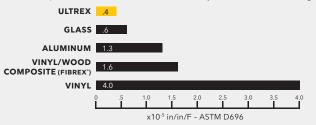
### TEMPERATURES MAY FLUCTUATE, BUT ULTREX® FIBERGLASS WON'T

Ultrex expands and contracts at virtually the same rate as glass so it works with glass rather than against it. This means seals aren't as prone to leaking, and windows aren't subjected to sagging issues like other composites.

This is especially true when compared to vinyl, which can distort in extreme heat and crack in fluctuating temperatures. Ultrex resists distortion even at temperatures up to 285°F. Rapid temperature change doesn't faze Ultrex. From -30°F to 70°F, a 6 foot stile changes less than 1/32 inch in length.

### **EXPANSION MEASUREMENT**

Ultrex expands and contracts at virtually the same rate as glass.



### INDUSTRY'S BEST FIBERGLASS FINISH FOR LASTING BEAUTY

Ultrex is the first and only fiberglass finish to be verified to AAMA's 624 voluntary finish specifications for fiber reinforced thermoset profiles (fiberglass).

Windows and doors made with Ultrex resist scratches, dings, and marring more than vinyl. Our proprietary, mechanically bonded acrylic finish is up to three times thicker than painted competitive finishes, and it resists UV degradation up to five times longer than vinyl-even on dark colors.

### ACRYLIC CAP











MARVIN®

# COOLER IN SUMMER, WARMER IN WINTER

### TOP RATED ENERGY EFFICIENCY

The National Fenestration Rating Council (NFRC) defines energy performance ratings for the entire window and door industry. It rates:

- U-factor: How well a window keeps heat inside a building.
- Solar heat gain: A window's ability to block warming caused by sunlight.
- Visible light transmittance: How much light gets through a product.
- Air leakage: Heat loss and gain by air infiltration through cracks in the window assembly.

Ultrex® fiberglass is 500 times less conductive than roll-form aluminum and is similar to wood and PVC. It provides an insulated barrier against extreme weather temperatures, keeping homes comfortable, and reducing heating and cooling costs.

### **ENERGY COST SAVINGS**

Marvin was the first major window and door manufacturer to offer energy-efficient Low E2 glass and ENERGY STAR® certified performance on all of our standard windows and doors. Compared to noncertified products, ENERGY STAR certified windows and doors cut heating and cooling costs by 12%.\*

The Elevate collection offers Triple-pane, Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas, which has thermal conductivity 30% lower than that of air. It adds improved solar and thermal protection by distinguishing between visible light, damaging UV, and near-infrared rays to offer the ultimate glass performance. And provides a selection of energy-efficient solutions depending on your climate and needs.

### LOW E GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.





# A MORE COMFORTABLE INTERIOR, REGARDLESS OF THE SEASON

Keep heat inside during cooler weather and block the sun's rays during warmer weather with dual-pane windows and Low E coating.

12 MARVIN ELEVATE® COLLECTION \* ENERGY STAR® at energystar.gov

# **OUTSWING FRENCH DOOR**





### OUTSWING FRENCH DOOR

- Low-maintenance fiberglass exteriors and rich pine interiors with a variety of finish options.
- Secure and stable stainless steel multi-point locking system.
- Precision built in 1/64 inch increments.
- Tempered, insulated glass with argon gas.

- Available in 1-, 2-, or 3-panel configuration.\*
- Multiple configurations up to 6 feet wide by 8 feet high.
- Bronze or Beige sill available.
- PG50 performance rating standard.







DOOR HINGE SHOWN IN SATIN NICKEL

### **DESIGN OPTIONS**

### INTERIOR AND EXTERIOR FINISHES

Elevate windows and doors features rich pine interiors and a durable, strong, and fully paintable Ultrex® fiberglass exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics. Elevate Round Tops include the extruded aluminum exterior finished in commercial-grade paint for superior resistance to fading and chalking.

### **WOOD INTERIOR FINISHES**

| BARE PINE Wood comes bare and ready to be painted or stained |  |
|--|--|
| CLEAR COAT Wood is finished in the factory with a clear coat |  |
| PREFINISHED WHITE Factory painted                            |  |
| <b>DESIGNER BLACK</b> Factory painted                        |  |

### FIBERGLASS EXTERIOR COLORS

| STONE WHITE |  |
|-------------|--|
| CASHMERE    |  |
| PEBBLE GRAY |  |
| EVERGREEN   |  |
| BRONZE      |  |
| EBONY       |  |

### **DIVIDED LITES**

### **GRILLES-BETWEEN-THE-GLASS (GBG)**

Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Evergreen, Bronze, or Ebony exterior.\*

### SIMULATED DIVIDED LITE (SDL)

Bars permanently adhered to both sides of the glass for a more authentic look. Available with or without spacer bar and in several lite cut options.



GRILLES-BETWEEN-THE-GLASS



SIMULATED DIVIDED LITE

### **GLASS OPTIONS**

Glass is available with Standard Dual Pane or optional Triple Pane on select products. Available with Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas.\* Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones. Laminated glass is also offered in products designed specifically for hurricane zones.

### **DECORATIVE GLASS**



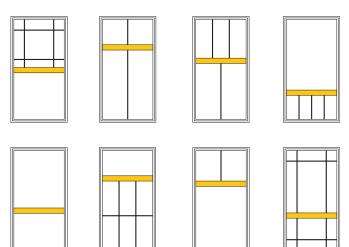


### SIMULATED CHECKRAIL

Simulated Checkrail is the perfect solution when aesthetics call for the beauty of a double hung, but operation, egress, or performance demand another solution.

You specify placement of the horizontal simulated checkrail bar and the lite cut patterns above and below.

These illustrations offer a sampling of 1/8" Simulated Divided Lite (SDL) patterns that can be selected in combination with the 2 11/32" Simulated Checkrail on Casement, Awning, Glider, Direct Glaze Rectangle, Picture windows, and all Elevate doors.

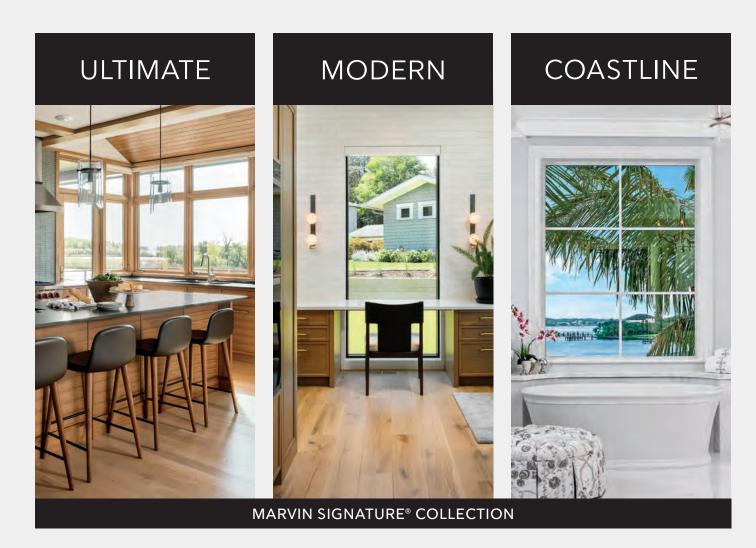






### THE MARVIN PORTFOLIO

Inspired by how people live, the Marvin portfolio is organized into three product collections-defined by the degree of design detail and customization opportunities. Our thoughtful solutions provide exceptional performance, energy efficiency, low maintenance, and quality you can see, feel, and touch, to help bring your vision to life.



Featuring the Ultimate, Modern, and Coastline product lines, the Marvin Signature collection offers the broadest range of product types, sizes, configurations, and design options. Every detail is considered, delivering the highest level of architectural correctness and unrivaled appeal.



The Elevate collection is thoughtfully designed to offer specifically-chosen features and options to help make your vision a reality. Warm wood interiors with strong, durable, Ultrex\* fiberglass exteriors, provide the ideal combination of beauty and strength.

# **ESSENTIAL**



MARVIN ESSENTIAL™ COLLECTION

The Essential collection makes it easy to achieve design and quality with clean lines, streamlined options, and powerful performance. Strong, durable, Ultrex fiberglass interiors and exteriors mean windows and doors that are virtually maintenance free.

MARVIN ESSENTIAL™ COLLECTION

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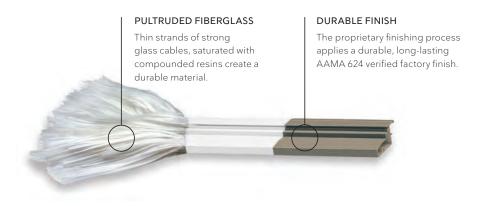
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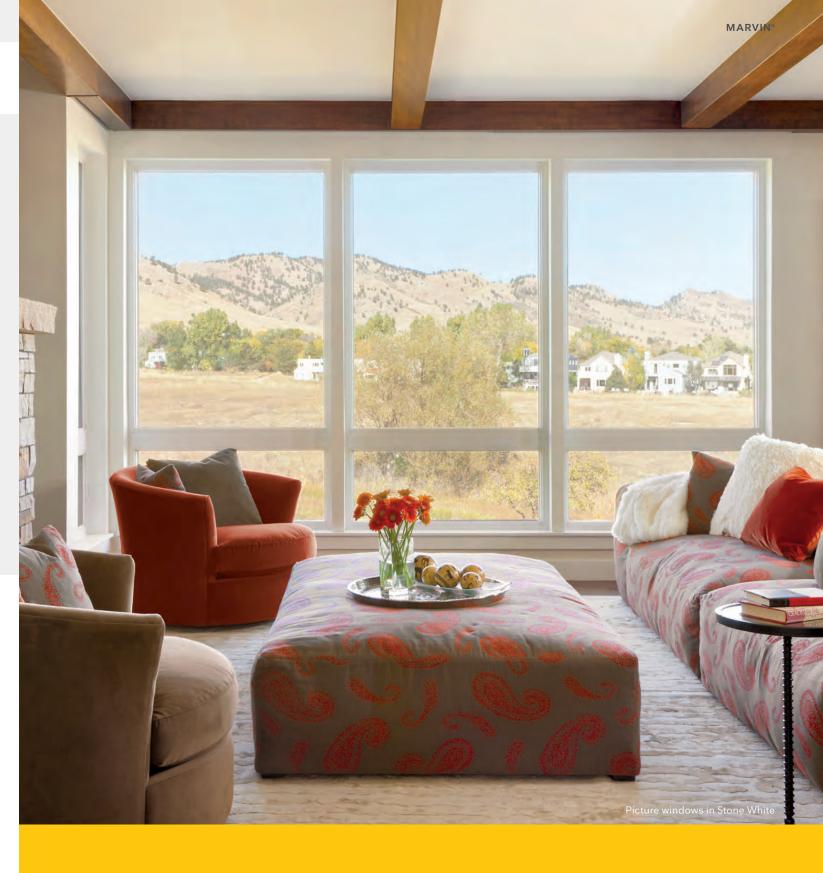


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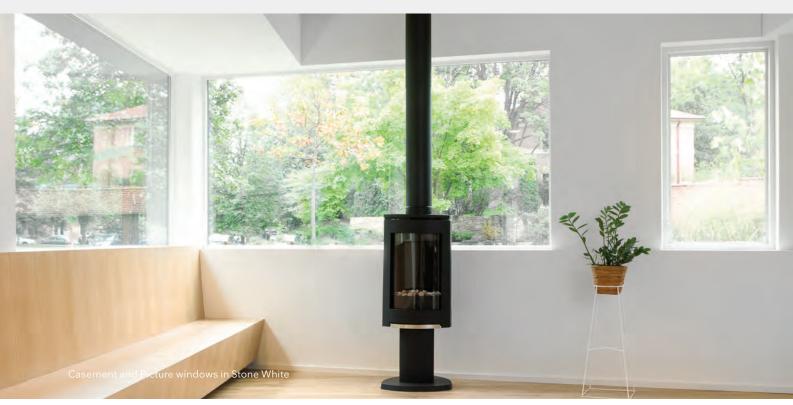
### ACRYLIC CAP







COMPOSITES





# COOLER IN SUMMER, WARMER IN WINTER

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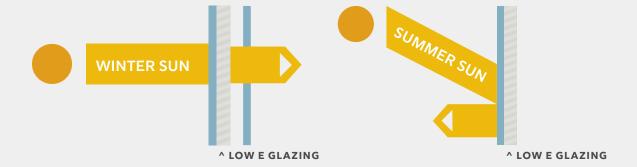
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### LOW F.GLASS COATING

The Low E coating is specially designed to take advantage of the angle of the winter and summer sun. Winter sun is absorbed and conducted indoors. Summer sun is filtered and reflected back outdoors.





# A MORE COMFORTABLE INTERIOR, REGARDLESS OF THE SEASON

Keep heat inside during cooler weather and block the sun's rays during warmer weather with dual-pane windows and Low E coating.

12 MARVIN ESSENTIAL™ COLLECTION \*ENERGY STAR® at energystar.gov

# CASEMENT + AWNING





### CASEMENT + AWNING

- Multi-point sequential locking system provides superior PG40 performance rating with single lever operation.
- Stationary, operating, transom, and picture units available.
- Folding handle provides easy operation and neatly stows out of the way of window treatments and blinds.
- Casement available in standard and special sizes up to 3 feet wide by 6 feet high.
- Awning available in standard and special sizes up to 4 feet wide by 3 feet high.
- Coordinating Picture and Transom windows available up to 6 feet wide by 6 feet high.
- Features an easy to remove screen with concealed fasteners.
- Crank out operation.







AWNING EXTERIOR



FOLDING HANDLE SHOWN IN BRONZE

# **PICTURE**





### PICTURE

- Fixed window available in either in-sash or direct glaze to meet various design needs.
- Direct glaze:
- Glass meets the frame directly without a sash for a simple, clean profile with more glass area.
- Available in sizes up to 9 ½ feet wide by 9 ½ feet high, not to exceed 49 square feet.
- In-sash:
- Designed to match profiles of operable windows in the Essential collection.
- Casement Picture windows available in sizes up to 6 feet wide by 6 feet high.
- Double Hung Picture windows available in sizes up to 5 feet wide by 6 feet high.





INTERIOR WINDOW PROFILE SHOWN IN STONE WHITE

### **DESIGN OPTIONS**

### INTERIOR AND EXTERIOR FINISHES

Essential windows and doors have a durable, strong, and fully paintable Ultrex® fiberglass interior and exterior, featuring our AAMA-verified acrylic finish for low-maintenance and superior aesthetics.

### FIBERGLASS INTERIOR COLORS

# **STONE WHITE** Available with your choice of exterior finish colors BRONZE Available when paired with Bronze exterior finish

### FIBERGLASS EXTERIOR COLORS





# FROST **BRONZE TINT GRAY TINT GREEN TINT**

### **DIVIDED LITES**

Available when paired with Ebony exterior finish

**EBONY** 

### **GRILLES-BETWEEN-THE-GLASS (GBG)**

Available in several popular lite cut options for a classic divided lite look and easy glass cleaning. Available in Stone White, Bronze, and Ebony interior and Stone White, Cashmere, Pebble Gray, Evergreen, Bronze, or Ebony exterior.\*



GRILLES-BETWEEN-THE-GLASS SHOWN IN STONE WHITE

### **ACCESSIBILITY OPTIONS**

### WINDOW OPENING CONTROL DEVICE

GLASS OPTIONS

**DECORATIVE GLASS** 

OBSCURE

GLUE CHIP

Available with dual-pane in Low E1, Low E2, Low E3, and Low E3/ERS insulated glass with argon gas.\*

Options include glazing for sound abatement (STC/OITC), high altitudes, and California fire zones.

Limits opening to 4", while providing for full egress. ASTM F2090 compliant. Available on Casement, Double Hung, Single Hung, and Glider windows.

### **SLIM HANDLE**

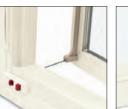
Provides a 32" net clear opening on Sliding Patio doors on a 6 foot wide, 2-panel configuration. Compatible with Northfield and Cambridge handles.

### **SASH LIMITER**

Permanently limits sash movement for safety and security.

### **NON-OPERABLE LOCK**

Renders sash inoperable when security is a paramount concern.



CASEMENT OPENING CONTROL DEVICE



DOUBLE/SINGLE HUNG OPENING CONTROL DEVICE



SLIM HANDLE



DOUBLE/SINGLE HUNG SASH LIMITER



AWNING SASH LIMITER



NON-OPERABLE LOCK

# Calvan Fearey Residence

# Phase II

# 99 Bracebridge Lane Irvington, NY

Submission for Planning Board Approval **June 27, 2018** 

Resubmission for Planning Board Approval August 22, 2018 REVISION A

Resubmission for Planning Board Approval **September 19, 2018 REVISION** (2)

Submission for Zonning Board of Appeal Approval October 8, 2018 REVISION (A)

Resubmission for Planning Board Approval

October 24, 2018 REVISION (A)

Submission to Architectural Review Board for Approval - Phase II

**April 15, 2019 REVISION (A)** 

Resubmission for Planning Board Approval **June 19, 2019 REVISION** 

Resubmission for Planning Board Approval August 21, 2019 REVISION

Submission for Additional Site Work Permit September 23, 2019 REVISION &

Resubmission for Building Permit

September 28, 2020 REVISION

VE Revisions for ARB Approval

December 7, 2020 REVISION

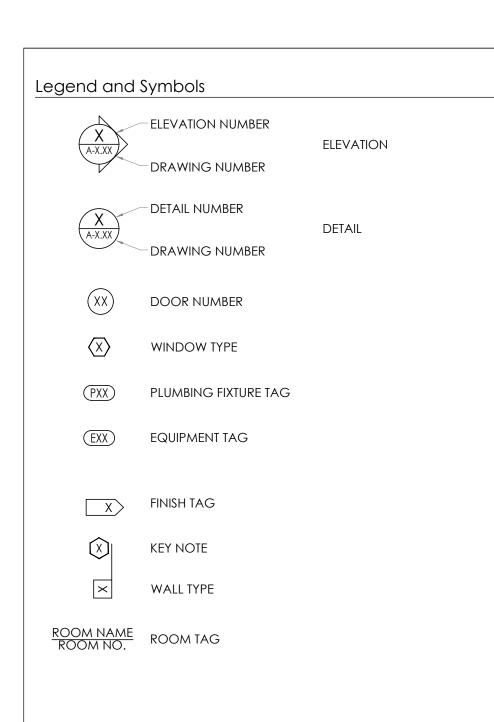
Foundation Revisions

Revisions for ARB Approval

May 2, 2022 REVISION 🛆

PROJECT NO.: 1724

FERGUSON MALONE ARCHITECTURE



### Construction Requirements

All work shall be in accordance with the 2020 New York State Building Code and the November 2019 addition, and all applicable local jurisdiction and fire department regulations.

Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days

prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.

All work, including plumbing and electrical work, shall be performed by licensed contractors.

The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel. Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work. Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified. The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction. Construction work shall be done on regular work hours except as directed by owner. all local ordinances regarding noise and nuisance shall be respected. Contractor shall exercise strict control over safety and security of the site.

The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous

materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow dep, ny state dol icr 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose. Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.

### Construction Requirements Continued

The entire areas and the job site shall be maintained in neat and orderly condition and kept free from waste rubbish during the entire construction period. Remove materials or trash from the site at the end of each work day.

All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other

Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use be permitted.

Contractor will be responsible for repairing any damage replacing any items destroyed in the process of the wo Contractor will be responsible for property and materia any kind on the premises, and shall provide all necess protection

for the work until turned over to the owner. Concrete:

Soil bearing value assumed to be min. 2 tons per squar foot subject to field verification. concrete work shall conform to aci 318-63. in cases of conflict the state bui code shall govern.

Concrete slabs on grade at sidewalks, concrete fill and pads shall be average concrete. Average concrete sh have a mix proportion and a water cement ratio which been shown by previous cbe to produce satisfactory concrete of 2,500 psi at a slump of 5" +/- 1". All reinforcing bars shall be new billet deformed steel conforming to astm 615 grade 60. Slabs-on-grade reinforcement shall be 6" x 6" - 10/10 gauge welded will

Provide clearances from faces of concrete to reinforcement as follows:

3/4" Slabs 1-1/2" Beams 3-0" Footings Walls: exterior face 1-1/2" interior face 3/4"

At concrete surfaces to be exposed to weather: #4 and smaller 1-1/2" #5 and larger 2-0"

|                     |                         |              | Climate c              | and Geograp               | hic Design Crit                           | eria (Effecti          | ve 10/3/20          | 016)                 |                 |                                     |  |                       |                        |
|---------------------|-------------------------|--------------|------------------------|---------------------------|---|------------------------|---------------------|----------------------|-----------------|-------------------------------------|--|-----------------------|------------------------|
| Location: Vil       | llage of Irvingtor      | <b>1</b>     |                        |                           |   |                        |                     |                      |                 |                                     |  | Zip (                 | Code: 10533            |
| Wind Design         |                         |              |                        |                           |   | Subject to Damage From |                     |                      |                 |                                     |  |                       |                        |
| Ground<br>Snow Load | Speed (mph)             | Topo Effects | Special Wind<br>Region | Wind-borne<br>Debris Zone | Seismic Design<br>Category<br>(RCNY Only) | Weathering             | Frost Line<br>Depth | Termite              | Climate<br>Zone | Ice Barrier<br>Underlayment<br>Reqd | Flood Hazards  | Air Freezing<br>Index | Mean<br>Annual<br>Temp |
| 30                  | *Special Wind<br>Region | No           | Yes                    | No                        | С   | Severe                 | 42"                 | Moderate to<br>Heavy | 4A              | Yes                                 | **Firm Community - Panel<br>Map # 36119C0261F<br>Effective Date, 9-28-2007 | 2000                  | 51.6                   |

\*115 MPH to 120 MPH. The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Womd Speeds higher than the derived values takes from Section 1609 of to IBC and Figure R301.2(4) A of the IRC are likely to occur and should be considered in the design.

\*\*State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verigy with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

| Insulation and Fenestration Requirements by Component |   |                      |                                |                    |                                  |                         |                  |                             |                            |                             |
|---|---|----------------------|--------------------------------|--------------------|----------------------------------|-------------------------|------------------|-----------------------------|----------------------------|-----------------------------|
| Climate Zone  | Fenestration<br>U-Factor  | Skylight<br>U-Factor | Glazed<br>Fenestration<br>SHGC | Ceiling<br>R-Value | Wood<br>Frame<br>Wall<br>R-Value | Mass<br>Wall<br>R-Value | Floor<br>R-Value | Basement<br>Wall<br>R-Value | Slab<br>R-Value &<br>Depth | Crawl Space Wall<br>R-Value |
|   | Table R402.1.2 Insultation and Fenestration Requirements by Component |                      |                                |                    |                                  |                         |                  |                             |                            |                             |
| 4A  | 0.32  | 0.55                 | 0.4                            | 49                 | 20 or 13 + 5                     | 8/13                    | 19               | 10/13                       | 10,2 FT                    | 10/13                       |
| Table R402.1.4 Equivalent U-Factors                   |   |                      |                                |                    |                                  |                         |                  |                             |                            |                             |
| 4A  | 0.32  | 0.55                 |                                | 0.026              | 0.06                             | 0.098                   | 0.047            | 0.047                       | 0.059                      | 0.065                       |

- \* Plans have been designed in accordance with the prescriptive energy requirements of the 2020 Energy Conservation Construction Code of New York State.
  \* Plans have been designed in accordance with the National Electrical code NFPA 70 2014 Edition.
- \* All wall insulation to be installed per manufacturer's instructions.
- \* All ceiling insulation to be installed per manufacturer's instructions. Blown insulation marked every 300 sq/ft. \* Air barrier and thermal barrier to be installed per manufacturer's instructions.
- \* Blower door test @50 Pa. <=5 ach in Climate Zones 1-2, and <=3 ach in Climate Zones 3-8.
- \* Existing and proposed building construction to be Type 5 B: Wood-Framed, combustible.
- \* Existing and proposed occupancy is: 1 Family

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| ^                     |                                       | 1                       |                                       |                   | RAWINGS<br>TITLE                                       | PEVISION    | DATE          |
|-----------------------|---------------------------------------|-------------------------|---------------------------------------|-------------------|--|-------------|---------------|
| A/C                   | AIR CONDITIONING                      | J<br>JAN.               | JANITOR                               | SHEET NO.  G-0.00 | General Notes and List of Drawings                     | REVISION 12 | 05/02/2022    |
| ACOUS.<br>ACOUS.T     | ACOUSTICAL<br>ACOUSTICAL TILE (OR     | JT.                     | JOINT                                 | G-1.00            | Zoning Analysis  | /9          | 09/28/2020    |
| AC.T.)<br>ADD'N(L).   | ADDITION(AL)                          | <u>L</u><br>            | ANGLE                                 | A-0.11            | Site Demolition and Tree Protection Plan               | <u>/</u> 9  | 09/28/2020    |
| ADJ.<br>ALUM.         | ADJUSTABLE<br>ALUMINUM                | _<br>Lam.<br>lb. (OR #) | LAMINATE<br>POUND                     | A-0.12            | Proposed Architectural Site & Planting Plan            | 9           | 09/28/2020    |
| ALT.<br>ANOD.         | ALTERNATE<br>ANODIZED                 | L.H.<br>LAV.            | LEFT HAND<br>LAVATORY                 | A-0.12.1          | Site Details (Not included on ZBA Subm.)               | 9           | 09/28/2020    |
| APPVD.<br>APPROX.     | APPROVED APPROXIMATE                  | М                       |                                       | A-0.13            | Property Analysis (Not included on ARB Submission nor  | 4           | 10/24/18      |
| ARCH.                 | ARCHITECT or<br>ARCHITECTURAL         | MAINT.<br>MAX.          | MAINTENANCE<br>MAXIMUM                |                   | Resubmission for Building Permit)                      |             |               |
| AUTO.<br>AVG.         | AUTOMATIC<br>AVERAGE                  | MECH.<br>M.C.           | MECHANICAL<br>MAIL CHUTE              |                   |  |             |               |
| &<br>A.F.F.           | AND<br>ABOVE FINISH                   | M.C.<br>MTL.<br>MEZZ.   | METAL<br>MEZZANINE                    | C-1               | Stormwater Management Plan (Not included on ZBA Subm.) | 9           | 09/28/2020    |
| ABV.                  | FLOOR<br>ABOVE                        | MGR.<br>MIN.            | MANAGER<br>MINIMUM                    | C-2               | Details (Not included on ZBA Subm.)                    | 9           | 09/28/2020    |
| В                     |                                       | MISC.<br>MTD.           | MISCELLANEOUS<br>MOUNTED              |                   |  |             |               |
| BD.<br>BLDG.          | BOARD<br>BUILDING                     | MUL.<br>M.TH.           | MULLION<br>METAL THRESHOLD            | A-0.20            | Window Schedule  | 10          | 12/07/2020    |
| BLKG.<br>Brkt.        | BLOCKING<br>BRACKET                   | MW.                     | MICROWAVE                             | A-0.20.1          | Window Schedule  | 12          | 05/02/2022    |
| BRZ.<br>BSMT.         | BRONZE<br>BASEMENT                    | N                       | NODTH                                 | A-0.21            | Window Schedule  | 12          | 05/02/2022    |
| С                     |                                       | (N)<br>N.               | NORTH<br>NEW                          | A-0.22            | Door Schedule  | 12          | 05/02/2022    |
| CAB.<br>C.C.          | CABINET<br>CENTER TO CENTER           | NEG.<br>N.I.C.          | NEGATIVE<br>NOT IN                    | A-0.30            | Plumbing & Accessories Schedule                        | <u>/</u> 9  | 09/28/2020    |
| C.C.<br>CER.<br>CLKG. | CERAMIC<br>CALKING                    | CONTRACT<br>NO.(OR #)   | NUMBER                                | A-0.40            | Finish Schedule - Not Used                             | <u>/</u> 9  | 10/23/2019    |
| CLRG.                 | CENTER LINE<br>CEILING                | N.T.S.<br><u>O</u>      | NOT TO SCALE                          |                   |  |             |               |
| (OR CEIL.)            |                                       | O.A.<br>O.C.            | OVERALL<br>ON CENTER                  | A-1.00            | Demolition Floor Plans                                 | <u>/</u> 9  | 09/28/2020    |
| CLOS.<br>CLR.         | CLOSET<br>CLEAR                       | O.D.                    | OUTSIDE DIAMETER OFF. OFFICE          | A-1.10            | Existing Exterior Elevations                           | <u>/</u> 9  | 09/28/2020    |
| CLR. OPG.<br>COL.     | CLEAR OPENING<br>COLUMN               | O.H.                    | OPPOSITE HAND OPNG.<br>OPENING        |                   |  |             |               |
| CONC.<br>CONN.        | CONCRETE<br>CONNECT OR                | OPP.<br>ORIG.           | OPPOSITE<br>ORIGINAL                  | A-2.00            | Proposed Basement Plan                                 | 10          | 12/07/2020    |
| CONST.                | CONNECTION<br>CONSTRUCTION            | P                       | ONGINAL                               | A-2.01            | Proposed First Floor Plan                              | 12          | 05/02/2022    |
| CONT.<br>COR.         | CONTINUOUS<br>CORNER                  | PART. BD.               | PARTICLE BOARD                        | A-2.02            | Proposed Second Floor Plan                             | 12          | 05/02/2022    |
| CORR.<br>C.T.         | CORRIDOR<br>COUNTERTOP                | P.LAM.                  | PLASTIC LAMINATE PLAS.<br>PLASTER     | A-2.03            | Proposed Roof Plan                                     | 10          | 12/07/2020    |
| CTR.<br>C.W.          | CENTER<br>COLD WATER                  | PLYWD.<br>PNL.          | PLYWOOD<br>PANEL                      | A-2.10            | Proposed Reflected Ceiling Plan - Basement             | 10          | 12/07/2020    |
| CM.                   | CARBON MONOXIDE                       | PR.<br>PREFAB.          | PAIR<br>PREFABRICATED PROJ.           | A-2.11            | Proposed Reflected Ceiling Plan - First Floor          | 10          | 12/07/2020    |
| <u>D</u><br>D.A.      | DOUBLE-ACTING DBL.                    | PTN.                    | PROJECT<br>PARTITION                  | A-2.12            | Proposed Reflected Ceiling Plan - Second Floor         | 10          | 12/07/2020    |
| DEPT.                 | DOUBLE<br>DEPARTMENT                  | PTD.<br>PWG.            | PAINTED<br>PAINTED WOOD &             | A-2.20            | Proposed Power & Data Plan                             | 10          | 12/07/2020    |
| DET.<br>D.F.          | DETAIL<br>DRINKING                    |                         | GLASS                                 | A-2.21            | Proposed Power & Data Plan                             | 10          | 12/07/2020    |
| DIA.                  | FOUNTAIN<br>DIAMETER                  | Q<br>QUAL.              | QUALITY                               | A-2.22            | Proposed Power & Data Plan                             | 10          | 12/07/2020    |
| DIM.<br>DIV.          | DIMENSION<br>DIVISION                 | QUAL.<br>QUAN.          | QUANTITY                              | A-2.30            | Proposed Finish Plan                                   | 9           | 09/28/2020    |
| DN.<br>DR.            | DOWN<br>DOOR                          | R                       |                                       | A-2.31            | Proposed Finish Plan                                   | 9           | 09/28/2020    |
| DWG.<br>DRW.          | DRAWING<br>DRAWER                     | R/A<br>RAD.             | return Air<br>Radius                  | A-2.32            | Proposed Finish Plan                                   | 9           | 09/28/2020    |
|                       | DRAWER                                | RECEP.<br>REF.          | RECEPTACLE<br>REFERENCE               |                   |  |             |               |
| <u>E</u><br>(E.)      | EAST                                  | REFL.<br>REINF.         | REFLECTED<br>REINFORCED               | A-3.00            | Proposed Exterior Elevations                           | /12         | 05/02/2022    |
| ELEC.<br>EL.          | ELECTRIC<br>ELEVATION                 | RESIL.<br>REQ'D.        | RESILIENT<br>REQUIRED                 | A-3.10            | Proposed Interior Elevations                           | 9           | 09/28/2020    |
| ELEVR.<br>ENGR.       | ELEVATOR<br>ENGINEER                  | R.H.<br>RM.             | RIGHT HAND<br>ROOM                    |                   |  |             | 31,725,252    |
| EQ.<br>EQUIP.         | EQUAL<br>EQUIPMENT                    | RND.<br>R.O.            | ROUND<br>ROUGH OPENING REV.           | A-4.00            | Proposed Building Sections                             | <u>/</u> 9  | 09/28/2020    |
| EXH.<br>E, EXIST.     | EXHAUST<br>EXISTING                   |                         | REVISION                              | A-4.01            | Proposed Building Sections                             | <u>/9</u>   | 09/28/2020    |
| EXPAN.                | EXPANSION EXPOS.<br>EXPOSED           | <u>S</u>                | COLUTIA                               | A-4.10            | Wall Details   | <u>/9</u>   | 09/28/2020    |
| EXT.<br>ELECT.        | EXTERIOR<br>ELECTRICAL                | (S)<br>SCHED.           | SOUTH<br>SCHEDULE                     | A-4.11            | Wall Details   | <u> </u>    | 09/28/2020    |
| F                     |                                       | SECT.<br>SIM.           | SECTION<br>SIMILAR                    | A-4.12            | Wall Details   | <u>/9</u>   | 09/28/2020    |
| F.ALM.                | FIRE ALARM                            | SQ.<br>S.F.             | SQUARE<br>SQUARE FEET                 | A-4.13            | Wall Details   | <u>/9</u>   | 09/28/2020    |
| FABR.<br>F.E.         | FABRICATE FIRE EXTINGUISHER           | STL.<br>S.S.            | STEEL<br>STAINLESS STEEL              | A-4.14            | Wall Details   | 9           | 09/28/2020    |
| F.E.C.                | FIRE EXTINGUISHER CABINET             | STD.                    | STANDARD STRUCT.<br>STRUCTURAL        |                   | Trail Boralls  |             | 07/20/2020    |
| FIN. FL.<br>F.H.C.    | FINISH FLOOR FIRE HOSE CABINET        | SUSP.                   | SUSPEND(ED) SYMM.<br>SYMMETRICAL      | S-1.00            | Proposed Framing Plan                                  | 9           | 09/28/2020    |
| FIN.<br>FLR.          | FINISH(ED)<br>FLOOR                   | SYS.<br>SPL.            | SYSTEM<br>SPLASH                      | S-1.01            | Proposed Framing Plan                                  | <u>/9</u>   | 09/28/2020    |
| FLUOR.<br>F.O.C.      | FLUORESCENT<br>FACE OF CONCRETE       | S.D.<br>STOR.           | SMOKE DETECTOR<br>STORAGE             | S-1.02            | Proposed Framing Plan                                  | <u>/9</u>   | 09/28/2020    |
| F.O.F.<br>F.O.G.      | FACE OF FINISH FACE OF GYP.BD.        | <u>T</u>                |                                       | S-1.03            | Proposed Framing Plan                                  | 9           | 09/28/2020    |
| F.O.S.<br>F.O.W.      | FACE OF STUD<br>FACE OF WALL          | TECH.<br>TEL.           | TECHNICAL<br>TELEPHONE                |                   | ,  |             | - 1, 20, 2020 |
| FR.<br>F.S.           | FRAME<br>FULL SIZE                    | TEMPD.<br>TEMP. GL.     | TEMPERED TEMPERED GLASS THK.          | M-1.00            | Proposed Mechanical Plan                               | <u>/9</u>   | 09/28/2020    |
| FT.<br>F.A.R.         | FOOT OR FEET<br>FLOOR AREA RATIO      | TYP.                    | THICK(NESS)<br>TYPICAL                | M-1.01            | Proposed Mechanical Plan                               | 9           | 09/28/2020    |
| F-F                   | FACE TO FACE FURR.<br>FURRING         | T.M.E.                  | TO MATCH EXISTING                     | M-1.02            | Proposed Mechanical Plan                               | <u>/</u> 9  | 09/28/2020    |
| FIXT.                 | FIXTURE                               | U                       |                                       | M-1.03            | Proposed Mechanical Details                            | <u>/</u> 9  | 09/28/2020    |
| G<br>GA.              | GAUGE                                 | U.L.                    | underwriters<br>Laboratory            |                   | Troposed Mechanical Berails                            |             | 07/20/2020    |
| GEN.<br>GL.           | GENERAL<br>GLASS OR GLAZED            | UTIL.<br>U.O.N.         | UTILITY<br>UNLESS OTHERWISE           | P-1.00            | Proposed Plumbing Plan                                 | 9           | 09/28/2020    |
| GYP.<br>GWB           | GYPSUM<br>GYPSUM WALL                 |                         | NOTED                                 | P-1.01            | Proposed Plumbing Plan                                 | <u>/9</u>   | 09/28/2020    |
|                       | BOARD                                 | V<br>VERT.              | VERTICAL                              | P-1.02            | Proposed Plumbing Plan                                 | <u> </u>    | 09/28/2020    |
| H                     | LIA DOWA DE                           | VEST.<br>V.I.F.         | VESTIBULE<br>VERIFY IN FIELD VOL.     |                   |  | <u>/</u> 9  |               |
| HDWR.<br>HDWD.        | HARDWARE<br>HARDWOOD                  | · •••• •                | VOLUME                                | P-1.03            | Proposed Riser Diagram                                 | / 7 \       | 09/28/2020    |
| HGT.<br>H.M.          | HEIGHT<br>HOLLOW METAL                | W                       |                                       |                   |  |             |               |
| HORIZ.<br>HVAC        | HORIZONTAL<br>HEATING,                | (W)<br>W/               | WEST<br>WITH                          |                   |  |             |               |
|                       | VENTILATING AND AIR CONDITIONING      | W.C.<br>WD              | WITH WATER CLOSET WOOD                |                   |  |             |               |
| H.W.                  | HOT WATER                             | WD<br>WIN.<br>W.H.      | WOOD<br>WINDOW<br>WATER HEATER        |                   |  |             |               |
| <u>l</u><br>I.D.      | INSIDE DIAMETER                       | W.H.<br>W/O<br>W.S.     | WATER HEATER WITHOUT WEATHERSTRIPPING |                   |  |             |               |
| INCL.<br>INFO.        | INCLUDE(D)(ING)<br>INFORMATION INCAN. | W.S.<br>WV.             | WEATHERSTRIPPING<br>WOOD VENEER       |                   |  |             |               |
| INT.                  | INCANDESCENT<br>INTERIOR              | Υ                       |                                       |                   |  |             |               |
|                       |                                       | YD.                     | YARD                                  |                   |  |             |               |
|                       |                                       |                         |                                       |                   |  |             |               |
|                       |                                       |                         |                                       |                   |  |             |               |

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY

| ISSUE/REVISION                   |
|----------------------------------|
| Client Meeting                   |
| IPB Submission                   |
| IPB Resubmission                 |
| IPB Resubmission                 |
| ZBA Submission                   |
| IPB Resubmission                 |
| ARB Submission                   |
| IPB Resubmission                 |
| IPB Resubmission                 |
| Subm. for Add. Site Work Permit  |
| Resubmission for Building Permit |
| VE Revisions for ARB Approval    |
| Foundation Revision              |
| Revisions for ARB Approval       |
|                                  |
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|                                  |

In developing the plans and specifications for the applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy



### FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET IRVINGTON NY 10533 T 914 591 5066 F 914 591 5031

HUDSON ENGINEERING & CONSULTING, P.C.

THE CARE OF TREES 57 Valley Avenue - Elmsford, New York 10523 T: 914-345-8733

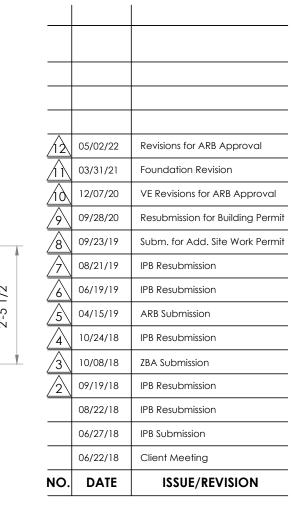
General Notes & List of Drawings

**SCALE:** As Noted **DATE:** 06/27/18

**JOB:** 1724

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY



In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



# FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER
HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Elmsford, New York 10523
T: 914-909-0420

ARBORIST
THE CARE OF TREES
57 Valley Avenue - Elmsford, New York 10523
T: 914-345-8733

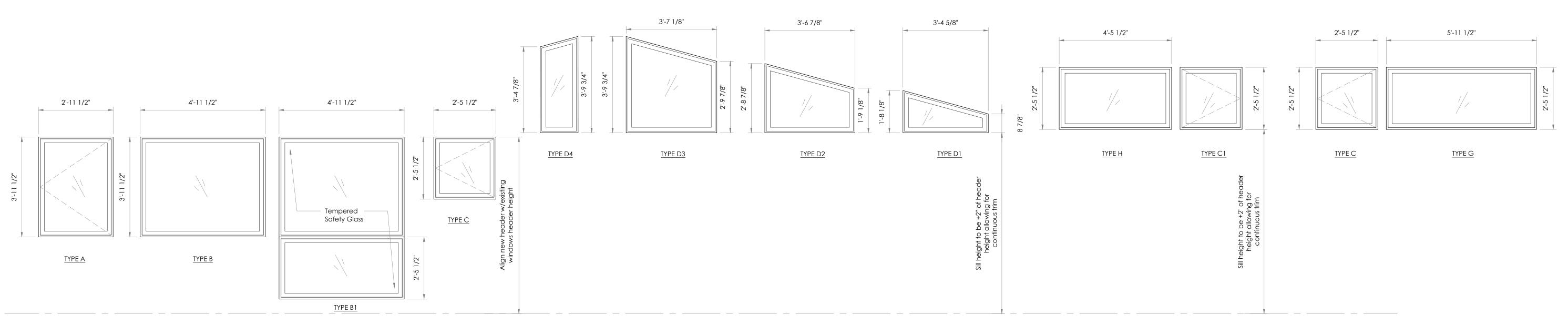
| Window   |  |
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| Schedule |  |

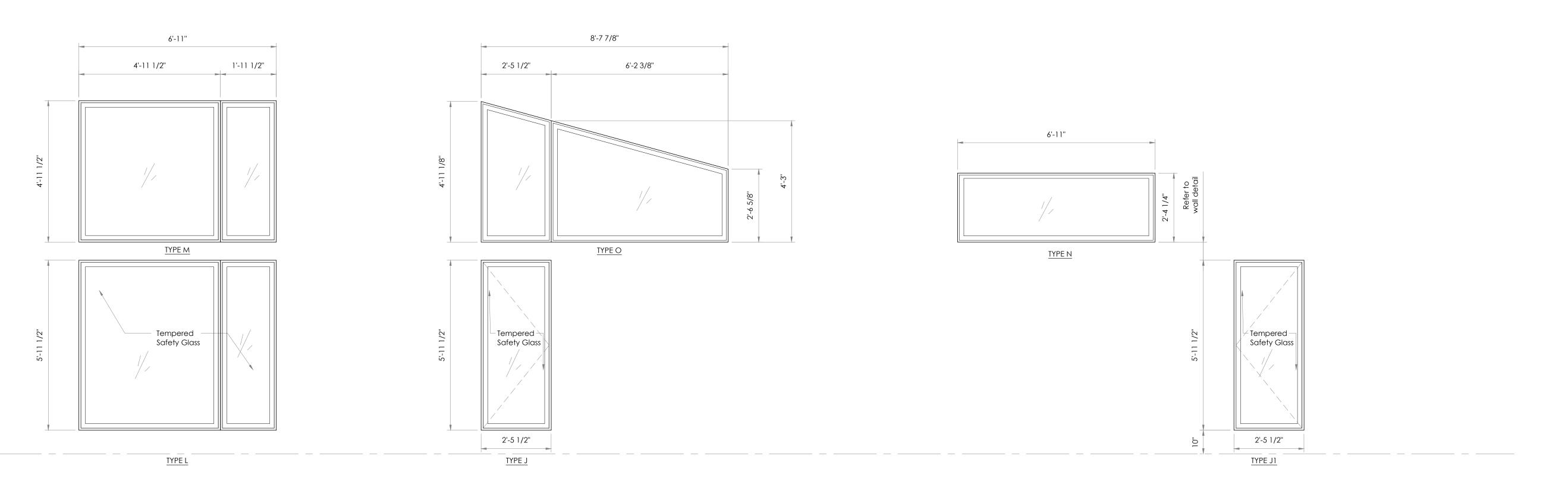
SCALE: As Noted

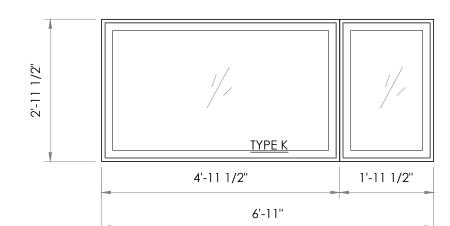
**DATE:** 06/27/18

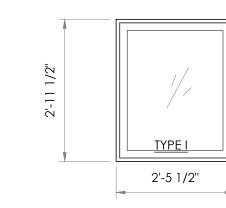
**JOB:** 1724

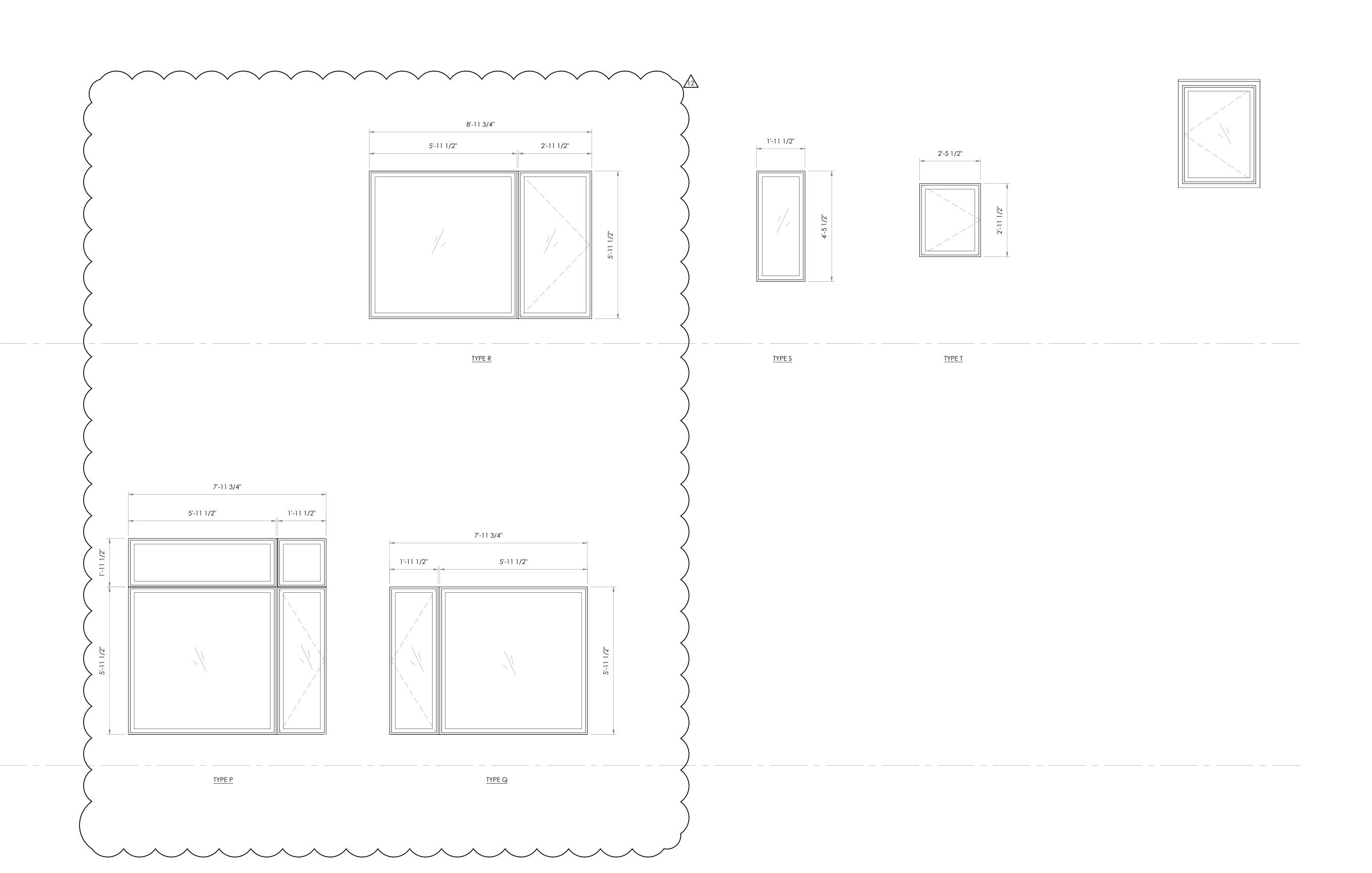
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# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY

| 04/15/19<br>10/24/18<br>10/08/18<br>09/19/18<br>08/22/18<br>06/27/18 | ARB Submission  IPB Resubmission  ZBA Submission  IPB Resubmission  IPB Resubmission  IPB Submission  Client Meeting |
|--|--|
| 04/15/19<br>10/24/18<br>10/08/18<br>09/19/18<br>08/22/18             | ARB Submission  IPB Resubmission  ZBA Submission  IPB Resubmission  IPB Resubmission                                 |
| 04/15/19<br>10/24/18<br>10/08/18<br>09/19/18                         | ARB Submission  IPB Resubmission  ZBA Submission  IPB Resubmission   |
| 04/15/19<br>10/24/18<br>10/08/18                                     | ARB Submission  IPB Resubmission  ZBA Submission   |
| 04/15/19   | ARB Submission  IPB Resubmission   |
| 04/15/19   | ARB Submission   |
|  |  |
|  |  |
| 06/19/19   | IPB Resubmission   |
| 08/21/19   | IPB Resubmission   |
| 09/23/19   | Subm. for Add. Site Work Perm  |
| 09/28/20   | Resubmission for Building Perm   |
| 12/07/20   | VE Revisions for ARB Approval  |
| 03/31/21   | Foundation Revision  |
| 05/02/22   | Revisions for ARB Approval   |
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|  | 03/31/21<br>12/07/20<br>09/28/20<br>09/23/19   |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



### FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET

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ARBORIST
THE CARE OF TREES
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# Window Schedule

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724

A- 0.20.

| Windo | ow Schedule             |   |                       |   |                        |  |
|-------|-------------------------|---|-----------------------|---|------------------------|--|
| Tag   | Description             | Manufacturer/Style                              | Product Name / Number | Finish/Color  | Frame Dimensions       | Remark   |
| Α     | Casement                | Marvin Windows - Essential Casement             | ESCA3040              | Ultrex acrylic finish, stone white interior, Bronze exterior - Egress                             | See elevations         | LH operable w/screen. Egress   |
| В     | Picture                 | Marvin Windows - Essential Picture              | ESCAP5040             | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         |  |
| В1    | Picture Assembly        | Marvin Windows - Essential Picture              | ESCAP5040/ESCAP5026   | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Windows adjacent to doors #109 & #110 to have tempered safety glass. Mulled together |
| С     | Casement                | Marvin Windows - Essential Casement             | ESCA3040              | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | LH operable w/screen   |
| C1    | Casement                | Marvin Windows - Essential Casement             | ESCA3040              | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | RH operable w/screen   |
| D1    | Picture                 | Marvin Windows - Essential Direct Glaze         | ESDGP4-5 - CUSTOM     | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevation - V.I.F. | D1, D2 & D3 Mulled together  |
| D2    | Picture                 | Marvin Windows - Essential Direct Glaze         | ESDGP4-5 - CUSTOM     | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevation - V.I.F. | D1, D2 & D3 Mulled together  |
| D3    | Picture                 | Marvin Windows - Essential Direct Glaze         | ESDGP4-5 - CUSTOM     | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevation - V.I.F. | D1, D2 & D3 Mulled together  |
| D4    | Picture                 | Marvin Windows - Essential Direct Glaze         | ESDGP4-5 - CUSTOM     | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevation - V.I.F. |  |
| F     | Casement                | Marvin Windows - Essential Casement             | ICA3331               |   | 2'-8" x 2'-7 1/8"      | RH operable w/screen   |
| F1    | Casement                | Marvin Windows - Integrity Wood-Ultrex Casement | ICA3331               |   | 2'-8" x 2'-7 1/8"      | LH operable w/screen   |
| G     | Picture                 | Marvin Windows - Essential Picture              | ESCAP2660 T           | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         |  |
| Н     | Picture                 | Marvin Windows - Essential Picture              | ESCAP2646             | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         |  |
| I     | Picture                 | Marvin Windows - Essential Picture              | ESCAP2630             | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         |  |
| J     | Casement                | Marvin Windows - Essential Casement             | ESCA2660 T            | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | LH operable w/screen   |
| J1    | Casement                | Marvin Windows - Essential Casement             | ESCA2660 T            | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | RH operable w/screen   |
| K     | Picture Window Assembly | Marvin Windows - Essential Casement             | ESCAP5030/ESCAP2030 * | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Mulled together  |
| L     | Picture Window Assembly | Marvin Windows - Essential Picture              | ESCAP5060/ESCAP2060 * | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Mulled together  |
| М     | Picture Window Assembly | Marvin Windows - Essential Picture              | ESCAP5050/ESCAP2050   | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Mulled together  |
| Ν     | Picture                 | Marvin Windows - Essential Direct Glaze         | ESDGP4-5 - CUSTOM     | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevation - V.I.F. |  |
| 9     | Ricture Window Assembly | Marvin Windows - Essential Direct Glaze         | ESDGR4-5 - CUSTOM     | Ultrex a <del>erylic</del> finish, st <del>one</del> white i <del>nterio</del> r, Bronze exterior | See elevation V.I.F.   | Mulled together  |
| P     | Window Assembly         | Marvin Windows - Essential Casement & Awning    | ESAP6020/ESCAP2020    | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Mulled together  |
|       |                         |   | ESCAP6060/ESCA2060    |   |                        | LH operable w/screen   |
| Q     | Window Assembly         | Marvin Windows - Essential Casement & Picture   | ESCA2060/ESCAP6060    | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Mulled together  |
|       |                         |   |                       |   |                        | RH operable w/screen   |
| R     | Window Assembly         | Marvin Windows - Essential Casement & Picture   | ESCA6060/ESCAP3060    | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | Mulled together  |
|       |                         |   |                       |   |                        | LH operable w/screen - RH operable w/screen  |
| _8^   | Picture                 | Marvin Windows Essential Pierure                | ESGAP2046             | Ultrex acrylic finish, stone white interior, Brenze exterior                                      | See elevations         |  |
| T     | Casement                | Marvin Windows - Essential Picture              | ESCA2630              | Ultrex acrylic finish, stone white interior, Bronze exterior                                      | See elevations         | RH operable w/screen   |

### Window Notes

All new windows to meet the requirements of Residential Code of New York and are to have a U-factor of 0.55 or less and SHGC of 0.7 or less.

Operable windows hardware to be selected by homeowner.

Verify rough opening and wall thickness for window jam dimensions in

\* Standard size - operator, stationary - tempered recommended or required

Submit window and hardware specifications and shop drawings for architects approval.

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY

| NO.            | DATE     | ISSUE/REVISION                 |
|----------------|----------|--------------------------------|
|                | 06/22/18 | Client Meeting                 |
|                | 06/27/18 | IPB Submission                 |
|                | 08/22/18 | IPB Resubmission               |
| 2              | 09/19/18 | IPB Resubmission               |
| 3              | 10/08/18 | ZBA Submission                 |
| 4              | 10/24/18 | IPB Resubmission               |
| 5              | 04/15/19 | ARB Submission                 |
| 6              | 06/19/19 | IPB Resubmission               |
| 7              | 08/21/19 | IPB Resubmission               |
| 8              | 09/23/19 | Subm. for Add. Site Work Perm  |
| 9              | 09/28/20 | Resubmission for Building Perm |
| 10             | 12/07/20 | VE Revisions for ARB Approval  |
| $\overline{M}$ | 03/31/21 | Foundation Revision            |
| 12             | 05/02/22 | Revisions for ARB Approval     |
|                |          |                                |
|                |          |                                |
|                |          |                                |
|                |          |                                |
| $\overline{}$  |          |                                |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



### FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET

IRVINGTON NY 10533

T 914 591 5066 F 914 591 5031

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HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road, Elmsford, New York 10523
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ARBORIST
THE CARE OF TREES
57 Valley Avenue - Elmsford, New York 10523
T: 914-345-8733

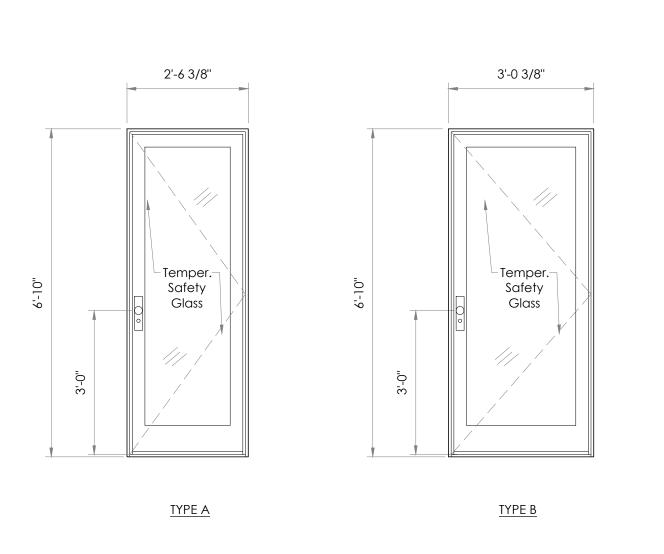
# Window Schedule

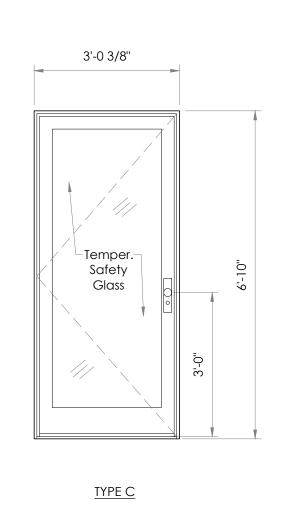
SCALE: As Noted

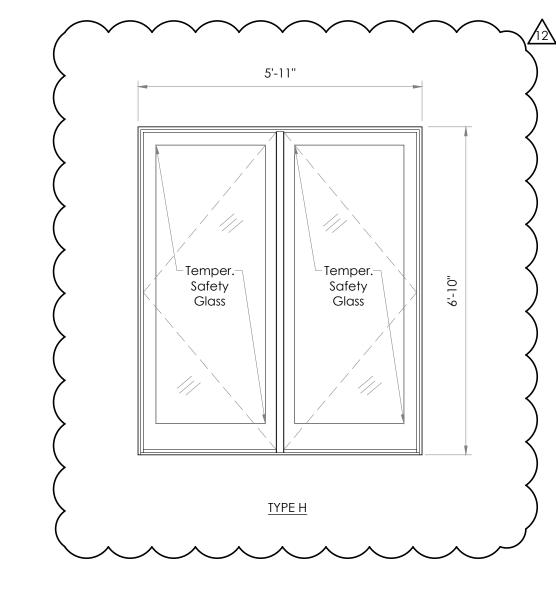
**DATE:** 06/27/18

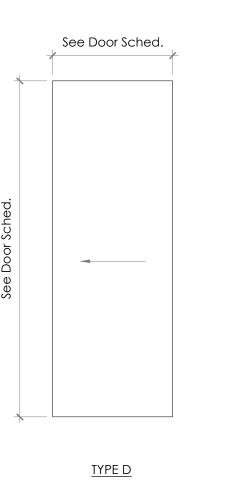
JOB: 1724

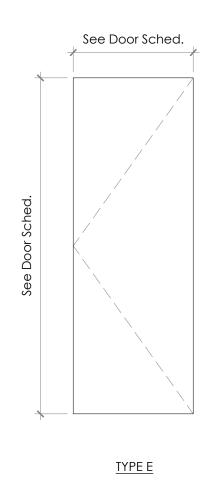
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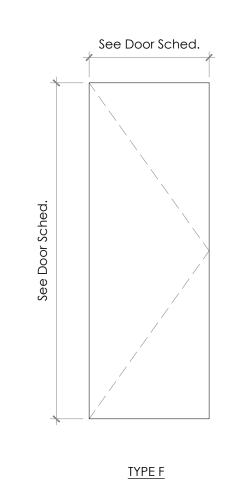


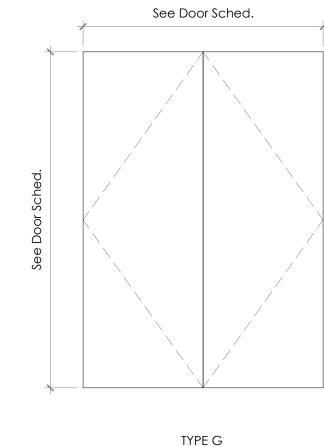












|        |                                     | 99 Brad<br>Irvingto                                      | cebridge Lane<br>on, NY   |
|--------|-------------------------------------|--|---|
|        |                                     |  |   |
|        |                                     | 05/02/22<br>03/31/21<br>12/07/20<br>09/28/20<br>09/23/19 | Revisions for ARB Approval  Foundation Revision  VE Revisions for ARB Approval  Resubmission for Building Permit  Subm. for Add. Site Work Permit |
| TYPE G | \( \frac{\lambda}{\sqrt{\gamma}} \) | 08/21/19<br>06/19/19<br>04/15/19<br>10/24/18<br>10/08/18 | IPB Resubmission  IPB Resubmission  ARB Submission  IPB Resubmission  ZBA Submission  |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy

NO. DATE ISSUE/REVISION

2 09/19/18 IPB Resubmission 08/22/18 IPB Resubmission 06/27/18 IPB Submission 06/22/18 Client Meeting

Calvan/Fearey

Residence



### FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET IRVINGTON NY 10533 T 914 591 5066 F 914 591 5031

CIVIL ENGINEER HUDSON ENGINEERING & CONSULTING, P.C. 45 Knollwood Road, Elmsford, New York 10523 T: 914-909-0420

ARBORIST THE CARE OF TREES 57 Valley Avenue - Elmsford, New York 10523 T: 914-345-8733

| Туре | Description                   | Manufacturer                          | Product No. | Width  | Material                          | Finish  | Remark    |
|------|-------------------------------|---------------------------------------|-------------|--------|-----------------------------------|---------|-----------|
| Α    | Exterior Inswing Door         | Marvin Integrity - Wood-Ultrex Series | IIFD2668XR  | 1-3/4" | Ultrex-Wood (pine)                | Painted |           |
| В    | Exterior Inswing Door         | Marvin Integrity - Wood-Ultrex Series | IIFD3068XR  | 1-3/4" | Ultrex-Wood (pine)                | Painted |           |
| С    | Exterior Inswing Door         | Marvin Integrity - Wood-Ultrex Series | IIFD3068XL  | 1-3/4" | Ultrex-Wood (pine)                | Painted |           |
| D    | Interior Pocket Door          | T.b.d.                                | T.b.d.      | T.b.d. | T.b.d.                            | Painted |           |
| Е    | Interior Swing Door           | T.b.d.                                | T.b.d.      | T.b.d. | T.b.d.                            | Painted |           |
| F    | Interior Swing Door           | T.b.d.                                | T.b.d.      | T.b.d. | T.b.d.                            | Painted |           |
| G    | Interior Swing Double Door    | T.b.d.                                | T.b.d.      | T.b.d. | T.b.d.                            | Painted |           |
| Н    | Exterior Swinging French Door | Marvin Elevate                        | CN 6068 XX  | T.b.d. | Fiberglass exterior/wood interior | Painted | V V V V V |

| Exterior | Door Sc    | hedule                  |           |          |          |          |        |      |        |        |
|----------|------------|-------------------------|-----------|----------|----------|----------|--------|------|--------|--------|
|          | Door Frame |                         |           |          |          | Hardware | Saddle |      |        |        |
| Number   | Туре       | Size                    | Function  | Туре     | Material | Finish   | Width  | Туре | Туре   | Remark |
| 101      | Α          | See door type elevation | RH        | Exterior | Poplar   | Painted  | 6 5/8" | 1    | T.b.d. |        |
| 109      | С          | See door type elevation | LH        | Exterior | Poplar   | Painted  | 6 5/8" | 1    | T.b.d. |        |
| 110      | В          | See door type elevation | RH        | Exterior | Poplar   | Painted  | 6 5/8" | 1    | T.b.d. |        |
| 201      | C          | See door type elevation | Щ         | Exterior | Poplar   | Painted  | 6 5/8" | 1    | I.b.d. |        |
| 117      | Н          | See door type elevation | Swing out | Exterior | Poplar   | Painted  | 6 5/8" |      | T.b.d. |        |

|        | Door |               |          | Frame |          |        | Hardware | Saddle           | Saddle   |  |  |
|--------|------|---------------|----------|-------|----------|--------|----------|------------------|--|--|--|
| lumber | Туре | Size          | Function | Туре  | Material | Finish | Туре     | Туре             | Remark   |  |  |
| 102    | F    | 3'-0" x 6'-8" | RH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood and tile floors.          |  |  |
| 103    | Е    | 3'-0" x 6'-8" | LHR      | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 104    | Е    | 3'-0" x 6'-8" | LHR      | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 105    | D    | 2'-6" x 6'-8" | LHR      | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 106    | F    | 2'-6" x 6'-8" | RH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 107    | E    | 2'-6" x 6'-8" | LH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floors.                   |  |  |
| 108    | G    | 4'-0" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 111    | Е    | 2'-6" x 6'-8" | LHR      | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 112    | G    | 4'-8" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 116    | Е    | 2'-0" x 6'-8" | LHR      | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 202    | G    | 4'-0" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 203    | E    | 2'-6" x 6'-8" | LH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floors.                   |  |  |
| 204    | D    | 2'-6" x 6'-8" | Pocket   | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent tile floor.                    |  |  |
| 205    | G    | 4'-0" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 206    | G    | 4'-0" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 207    | F    | 2'-6" x 6'-8" | RHR      | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 208    | Е    | 2'-6" x 6'-8" | LH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent tile floor.                    |  |  |
| 209    | Е    | 2'-6" x 6'-8" | LH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 210    | F    | 2'-6" x 6'-8" | RHR      | Wood  | Wood     | TBD    | TBD      | N/A              | Wood floor to be continuous through closet.                          |  |  |
| 211    | Е    | 2'-6" x 6'-8" | LH       | Wood  | Wood     | TBD    | TBD      | Wood             | Wood saddle to be flush with adjacent wood floor.                    |  |  |
| 212    | F    | 2'-0" x 6'-8" | RHR      | Wood  | Wood     | TBD    | TBD      | Wood             | Reuse existing door. Wood saddle to be flush with adjacent wood floo |  |  |
| 213    | G    | 6'-0" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | Exist. to remain | Reuse existing doors.  |  |  |
| 214    | Е    | 2'-6" x 6'-8" | LH       | Wood  | Wood     | TBD    | TBD      | Exist. to remain | Reuse existing door.   |  |  |
| 215    | G    | 4'-8" x 6'-8" | LHR/RHR  | Wood  | Wood     | TBD    | TBD      | Exist. to remain | Reuse existing doors.  |  |  |

### Product Number Finish Remarks Category Type Description Manufacturer Satin Nickle (US 15) Emtek-Square corner hinge 95013 Brisbane Mortise - 3311 Mortise entry set Satin Nickle (US 15) Round Knob Satin Nickle (US 15) 4" Dutch Bolt - 8516 Satin Nickle (US 15) Hinges Privacy Lever Passage Track Pocket Edge pull Door Bolt Hinges Closet Hinges Closet (Double) Hinges Barn Door Lever Hinges Garage Doors

### Door Hardware Notes

Door Notes

GC to verify in field dimensions for existing R.O. prior to ordering.

See door details for casing information.

Submit door and hardware specifications and shop drawings for architect's approval.

Door Hardware

Submit door and hardware specifications and shop drawings for architects approval.

Finish hardware shall be premium grade Baldwin or as indicated in hardware schedule.

Functional and finish hardware shall be provided by and installed by contractor and shall be installed as per manufacturer's specifications.

Verify backset distance and door thickness and coordinate with selected door hardware.

FRONT DOOR ASSEMBLY <u>CUSTOM</u>

5'-0''

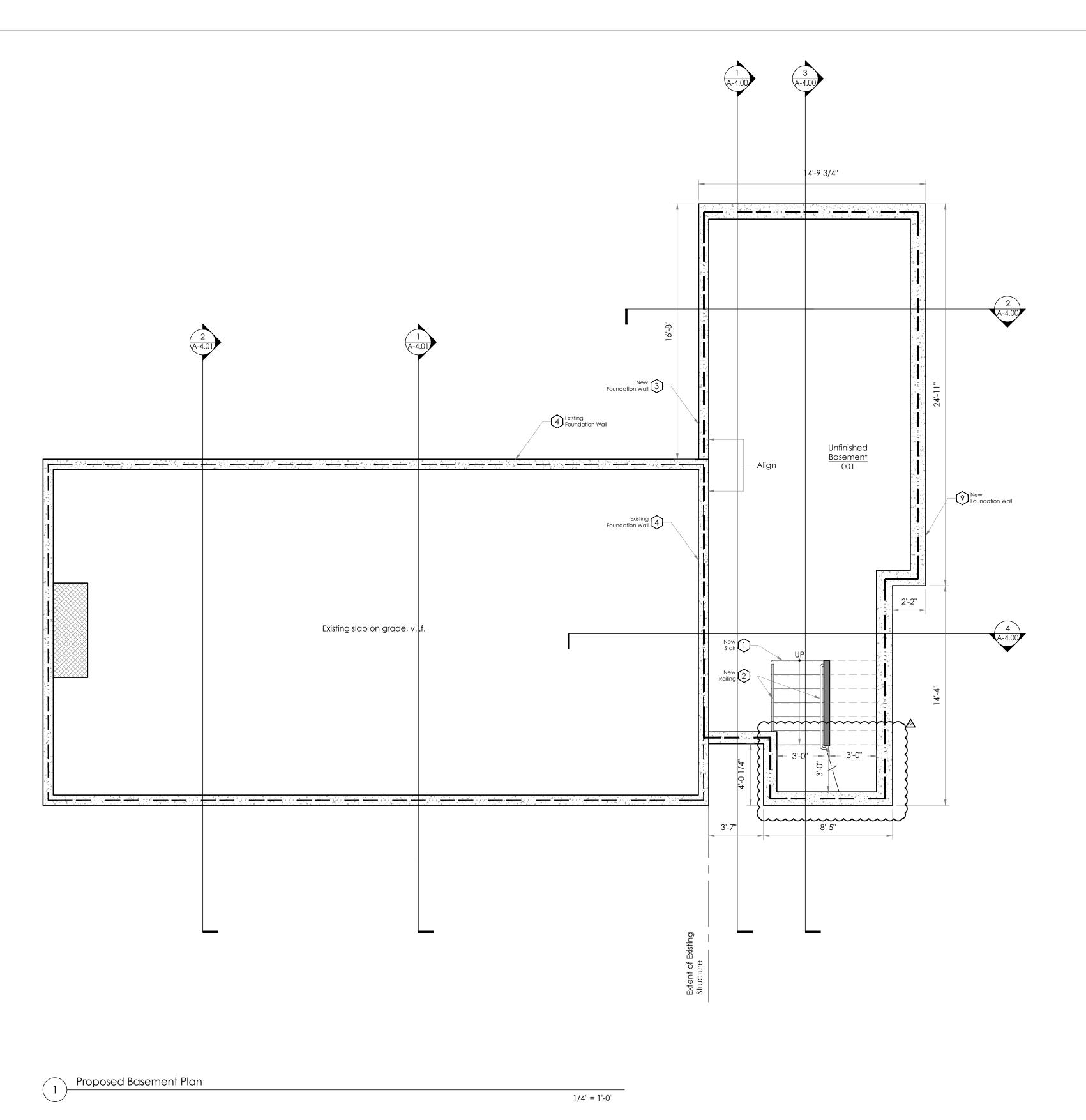
3'-0''

5'-0''

# Door Schedule

SCALE: As Noted **DATE:** 06/27/18

**JOB:** 1724



Furred Concrete Wall

One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.

62 Full Height Partition

One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

Moisture Resistant Partition

One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.

04 Fire Rated Full Height Partition

One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

Key Notes

1 New Stair

New railing - New wood stair railing.

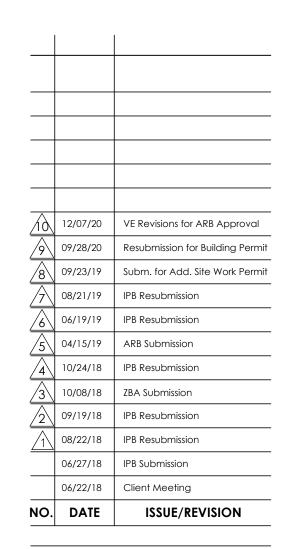
Key

Existing thermal envelope

Proposed thermal envelope

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY



In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



# FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
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ARBORIST
THE CARE OF TREES
57 Valley Avenue - Elmsford, New York 10523
T: 914-345-8733

T: 914-909-0420

Proposed
Basement
Plan

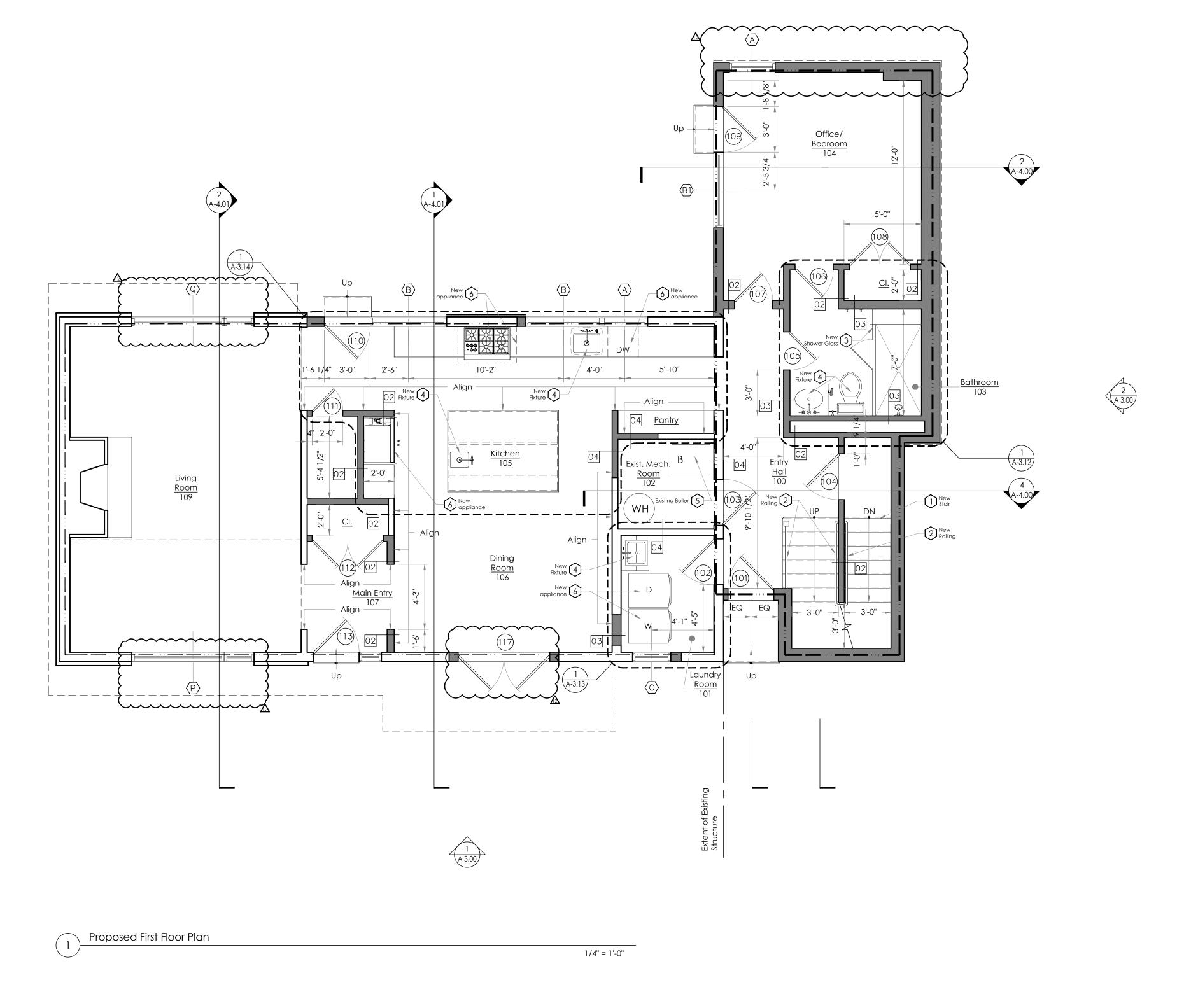
SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724

A-2.00





# Furred Concrete Wall

One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.

### 02 Full Height Partition

One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

### 03 Moisture Resistant Partition

One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.

# 04 Fire Rated Full Height Partition

One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

### Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047,C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State

Use moisture resistance GWB at all wet areas including bathrooms.

### Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

# Key Notes

1 New Stair

2 New railing - New wood stair railing.

New shower glass - Proposed shower glass and door within a "Hazardous Locations" ie: bathtubs, showers, whirlpools etc. to be tempered safety glass

# New fixture - New plumbing fixture. See enlarged plan and plumbing fixture schedule.

Relocated boiler vent flue - Vent flue to be relocated. Provide misc. frame & chase base for new boiler flue. New location to be field coordinated with architect. See mechanical plans for more information

(6) New appliance - See mechanical plans for specifications

# Key

— Existing thermal envelope

Proposed thermal envelope

# Residence

Calvan/Fearey

99 Bracebridge Lane Irvington, NY

| NO.        | DATE     | ISSUE/REVISION                 |
|------------|----------|--------------------------------|
|            | 06/22/18 | Client Meeting                 |
|            | 06/27/18 | IPB Submission                 |
| 1          | 08/22/18 | IPB Resubmission               |
| $\sqrt{2}$ | 09/19/18 | IPB Resubmission               |
| 3          | 10/08/18 | ZBA Submission                 |
| 4          | 10/24/18 | IPB Resubmission               |
| 5          | 04/15/19 | ARB Submission                 |
| 6          | 06/19/19 | IPB Resubmission               |
| 7          | 08/21/19 | IPB Resubmission               |
| 8          | 09/23/19 | Subm. for Add. Site Work Pern  |
| 9          | 09/28/20 | Resubmission for Building Pern |
| 19         | 12/07/20 | VE Revisions for ARB Approval  |
| 11         | 03/31/21 | Foundation Revision            |
| 12         | 05/02/22 | Revisions for ARB Approval     |
|            |          |                                |
|            |          |                                |
|            |          |                                |
|            |          |                                |
|            |          |                                |
|            | l        | I                              |

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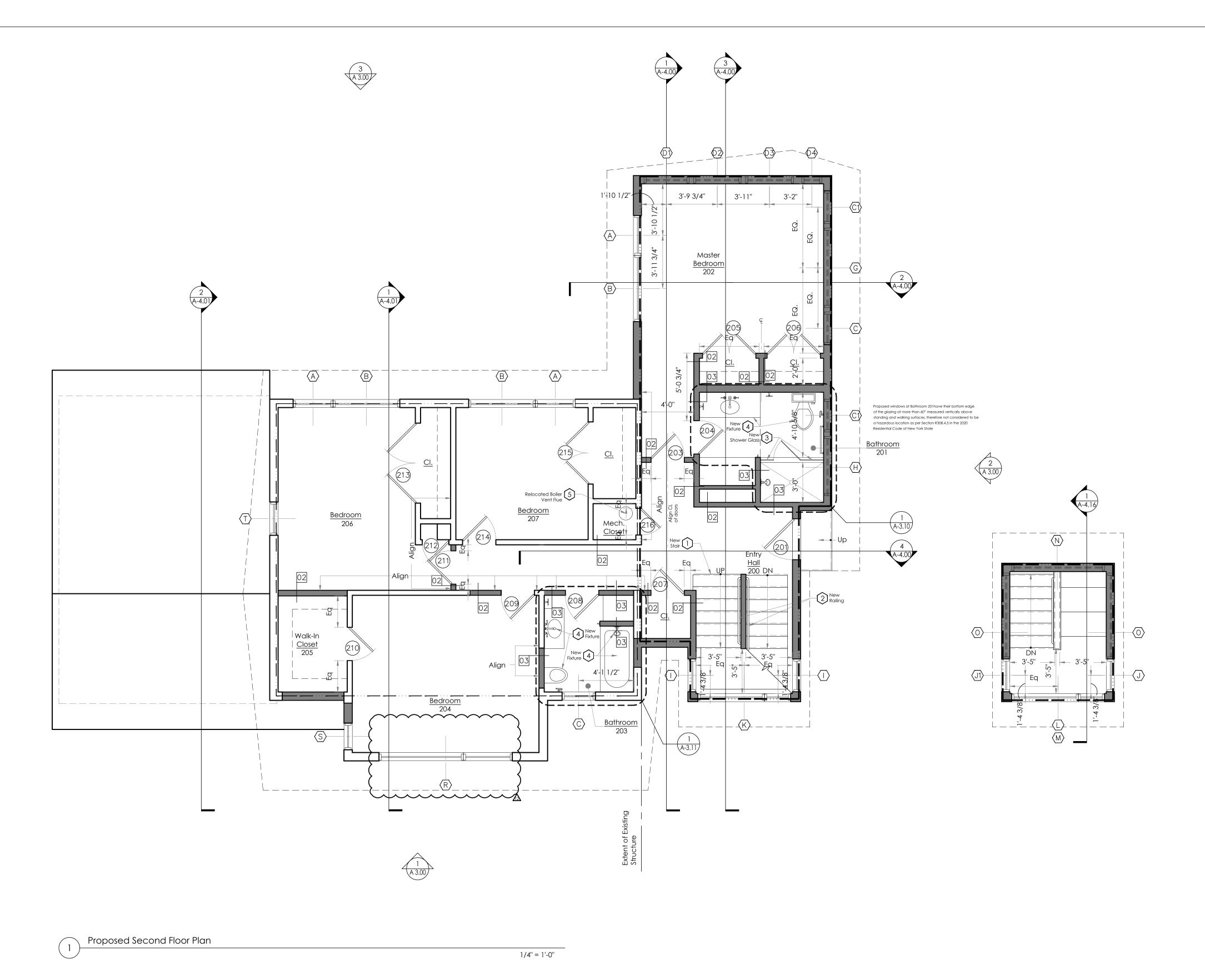
# Proposed First Floor Plan

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724

A-2 0



01 Furred Concrete Wall

One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.

O2 Full Height Partition
One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

Moisture Resistant Partition
One layer of 5/8" moisture resistant GWB on side facing wet area and

one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.

4 Fire Rated Full Height Partition

One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

### Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

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New shower glass - Proposed shower glass and door within a "Hazardous Locations" ie: bathtubs, showers, whirlpools etc. to be tempered safety glass

New fixture - New plumbing fixture.
See enlarged plan and plumbing fixture schedule.

Relocated boiler vent flue - Vent flue to be relocated. Provide misc. frame & chase base for new boiler flue. New location to be field coordinated with architect. See mechanical plans for more information

(6) New appliance - See mechanical plans for specifications

# Key

Existing thermal envelope

Proposed thermal envelope

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99 Bracebridge Lane Irvington, NY

| NO.         | DATE     | ISSUE/REVISION                  |
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| 6           | 06/19/19 | IPB Resubmission                |
| <u>/</u>    | 08/21/19 | IPB Resubmission                |
| /8\         | 09/23/19 | Subm. for Add. Site Work Permi  |
| 9           | 09/28/20 | Resubmission for Building Permi |
| 19          | 12/07/20 | VE Revisions for ARB Approval   |
| <u>/1\</u>  | 03/31/21 | Foundation Revision             |
| <u>/12</u>  | 05/02/22 | Revisions for ARB Approval      |
|             |          |                                 |
|             |          |                                 |
|             |          |                                 |
|             |          |                                 |
|             |          |                                 |
|             |          |                                 |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



### FERGUSON MALONE ARCHITECTURE

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57 Valley Avenue - Elmsford, New York 10523
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T: 914-909-0420

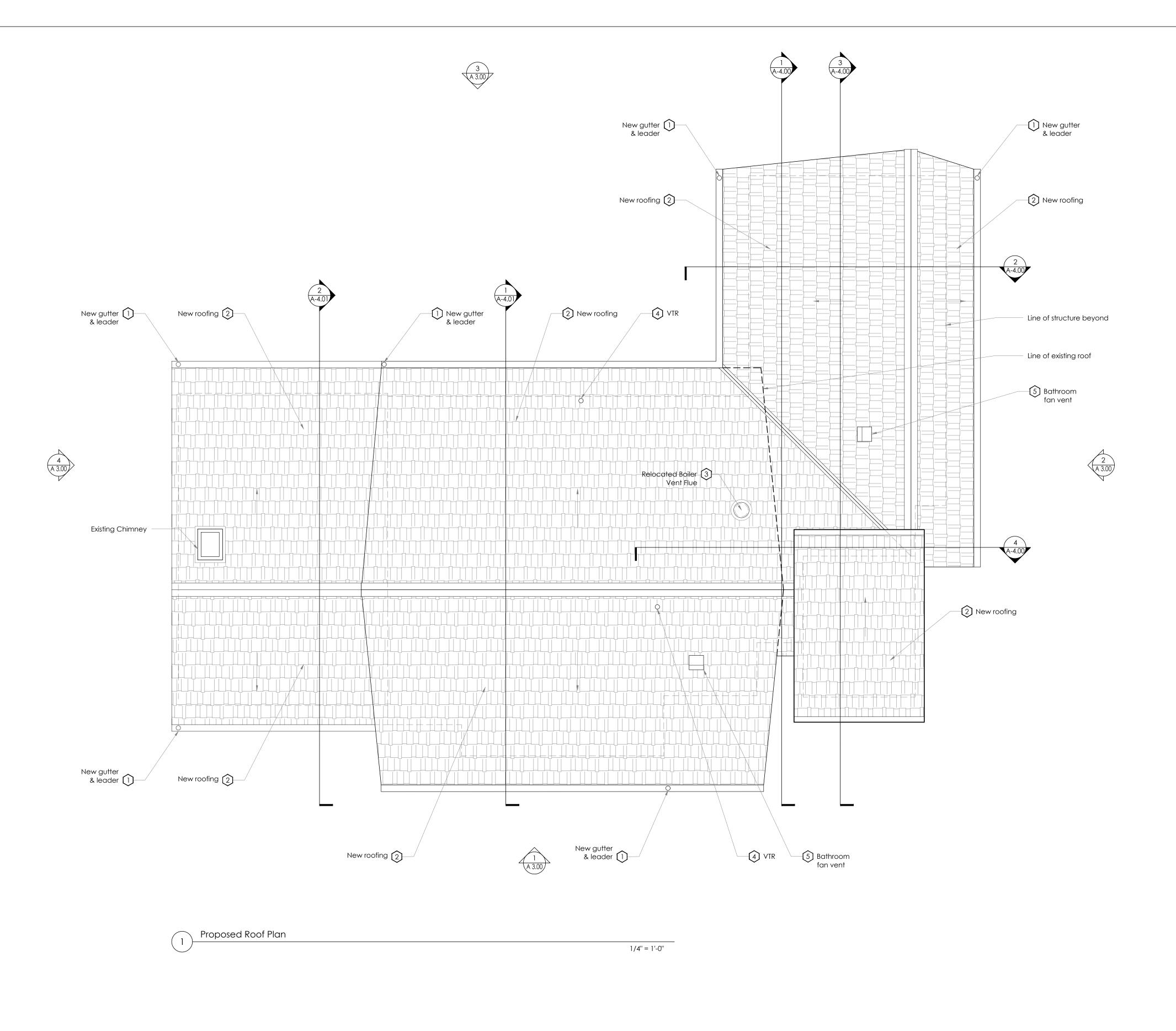
Proposed Second Floor Plan

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724

A-202



01 Furred Concrete Wall

One layer 5/8" moisture resistant GWB w/ 2" rigid insulation from floor to ceiling on interior side of concrete wall.

02 Full Height Partition

One layer of 5/8" GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

03 Moisture Resistant Partition

One layer of 5/8" moisture resistant GWB on side facing wet area and one 5/8" GWB on side facing dry area, 2x wood studs @ 16" o.c., from floor to ceiling.

04 Fire Rated Full Height Partition

One layer of 5/8" X type GWB each side, 2x wood studs & 16" o.c., from floor to ceiling, w/ 3 1/2" thick sound attenuation batt insulation.

### Partition Notes

All gypsum board materials and accessories shall conform to ASTM C36, C79, C475, C514, C630, C931, C960, C1002, C1047, C1177, C1178, C1278, C1395 OR C1396. And shall be installed in accordance w/ The 2010 Residential Code of New York State.

Use moisture resistance GWB at all wet areas including bathrooms.

Use cement board as substrate for tile in all showers.

Dimensions are from finish to finish unless otherwise noted.

Contractor shall use corner beads at all exposed corners at soffits and ends in drywall partitions u.o.n. Partitions shall be anchored firmly as per U.S. gypsum specifications and building code requirements.

All mechanical, plumbing and electrical lines are to be concealed unless otherwise specified. Where such are to be sealed, partitions or ceilings shall not be closed-in until the lines have been tested.

# Key Notes

New gutter & leader - North, West and East leaders to be connected to stormwater system. South leaders to splash blocks

New roofing - New Asphalt roof shingles-GAF Timberline NS Shingles.

Relocated Boiler Vent Flue - New location to be field coordinated with architect. Provide waterproof roof penetration as per roof

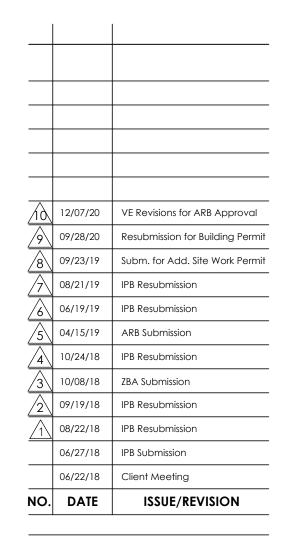
manufacturer's standard detail

VTR - Provide waterproof roof penetration as per roof manufacturer's standard detail

Bathroom fan vent - Provide roof cap & waterproof roof penetration as per roof manufacturer's standard detail.

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY



In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



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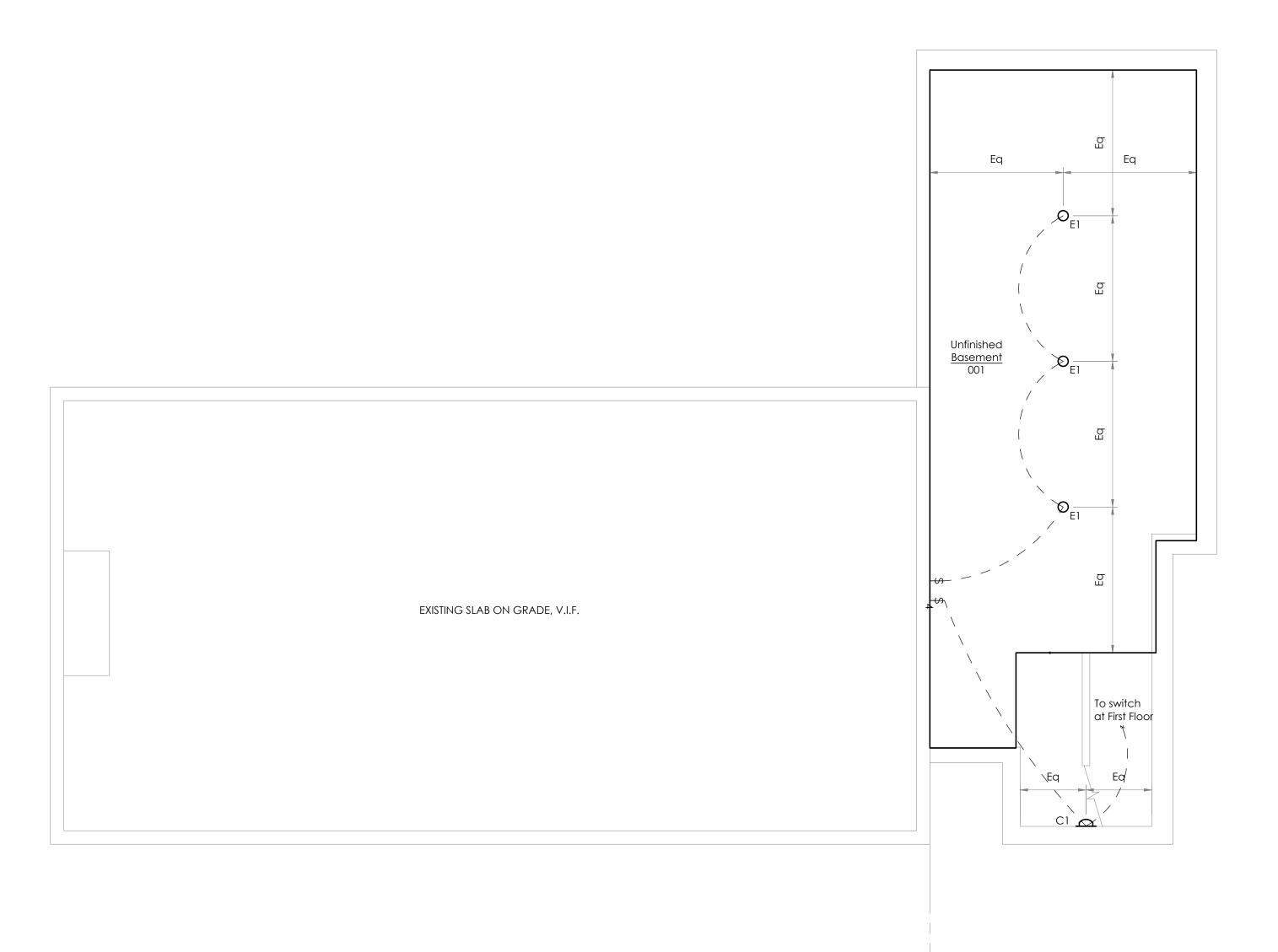
# Proposed Roof Plan

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724

A-203



Reflected Ceiling Plan - Basement

# Key of Devices

New single pole switch New smoke / carbon monoxide SA/CO detector/alarm New switch with dimming capability New switch with 3-way capability

New switch with 4-way capability

New smoke / carbon monoxide detector/alarm New speaker

# Key of Ceiling Finishes

Existing Gyp. Bd. or Plaster Ceiling - To be patched, prepped and painted.



New  $\frac{1}{2}$ " Gypsum Ceiling - To be finished and painted

# Lighting Notes

New lighting fixtures shall be provided as indicated on the fixture schedule. Install all accessories, wiring and conduit as required.

1/4" = 1'-0"

All IC Rated recessed lighting fixtures are to be sealed at housing finish and be labeled to indicate  $\leq$  2.0 cfm leakages at 75 Pa.

The existing electrical service is to be upgraded as needed as per licensed sub

evaluation, see power distribution plan for additional information. Contractor to provide detailed shop drawings indicating all lighting control components and connections. Dimming function for fixture is indicated as

Dimming system is to be coordinated with specified fixture.

switching with dimming capability.

Contractor is to confirm compatibility of all specified fixture with the lighting control system.

Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Light switches to be mounted at 3'-6" to centerline above finish floor.

Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and Household Fire Warning Equipment Provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms.

| Lighting Fi            | xture Schedule                             |              |                                    |        |              |       |   |
|------------------------|--|--------------|------------------------------------|--------|--------------|-------|---|
| Symbols                | Description                                | Manufacturer | Product                            | Finish | Watt / Lamps | Volt  | Remarks   |
|                        | Remote Fan Intake                          | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Refer to mechanical plans for location and specifications.    |
| O <sub>A1</sub>        | New Recessed Fixture                       | WAC LIGHTING | Loto Downlight 3000k               | White  | T.B.D        | T.B.D | Contractor supplied fixture                                   |
| O <sub>A2</sub>        | New Recessed Moisture Resistant<br>Fixture | WAC LIGHTING | Loto Downlight 3000k               | White  | T.B.D        | T.B.D | Contractor supplied fixture                                   |
| O <sub>A3</sub>        | New Recessed Directional Fixture           | WAC LIGHTING | Loto Adjustable Downlight<br>3000k | White  | T.B.D        | T.B.D | Contractor supplied fixture                                   |
| <b>O</b> B1            | New Ceiling Hung Fixture                   | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b>               | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B3</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| ● <sub>B4</sub>        | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B5</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B6</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B7</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>⊚</b> <sub>B8</sub> | New Ceiling Hung Fixture                   | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>þ</b>               | New Wall Mounted Fixture                   | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| þ <sub>C2</sub>        | New Exterior Wall Mounted Fixture          | Lamp Plus    | Possini Euro Ellis                 | Satin  | 120 max.     | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>p</b> C3            | New Exterior Wall Mounted Fixture          | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| D <sub>C4</sub>        | New Wall Mounted Fixture                   | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| )<br>C5                | New Exterior Wall Mounted Fixture          | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| O <sub>E1</sub>        | New Lamp Holder Fixture                    | T.B.D.       | Porcelain                          | T.B.D. | 9 W max.     | 120V  | Contractor supplied fixture. Provide high efficiency LED lamp |
| D1                     | New Linear Closet LED Fixture              | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| D2                     | New Linear Suspended LED Fixture           | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| D3                     | New Linear Suspended LED Fixture           | T.B.D.       | T.B.D.                             | T.B.D. | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
|                        |  |              |                                    |        |              |       |   |

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY

| DATE     | ISSUE/REVISION   |
|----------|--|
| 06/22/18 | Client Meeting   |
| 06/27/18 | IPB Submission   |
| 08/22/18 | IPB Resubmission   |
| 09/19/18 | IPB Resubmission   |
| 10/08/18 | ZBA Submission   |
| 10/24/18 | IPB Resubmission   |
| 04/15/19 | ARB Submission   |
| 06/19/19 | IPB Resubmission   |
| 08/21/19 | IPB Resubmission   |
| 09/23/19 | Subm. for Add. Site Work Permit  |
| 09/28/20 | Resubmission for Building Permit   |
| 12/07/20 | VE Revisions for ARB Approval  |
|          |  |
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|          |  |
|          | 09/28/20<br>09/23/19<br>08/21/19<br>06/19/19<br>04/15/19<br>10/24/18<br>10/08/18<br>09/19/18<br>08/22/18<br>06/27/18 |

In developing the plans and specifications for the applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy



# FERGUSON MALONE ARCHITECTUR

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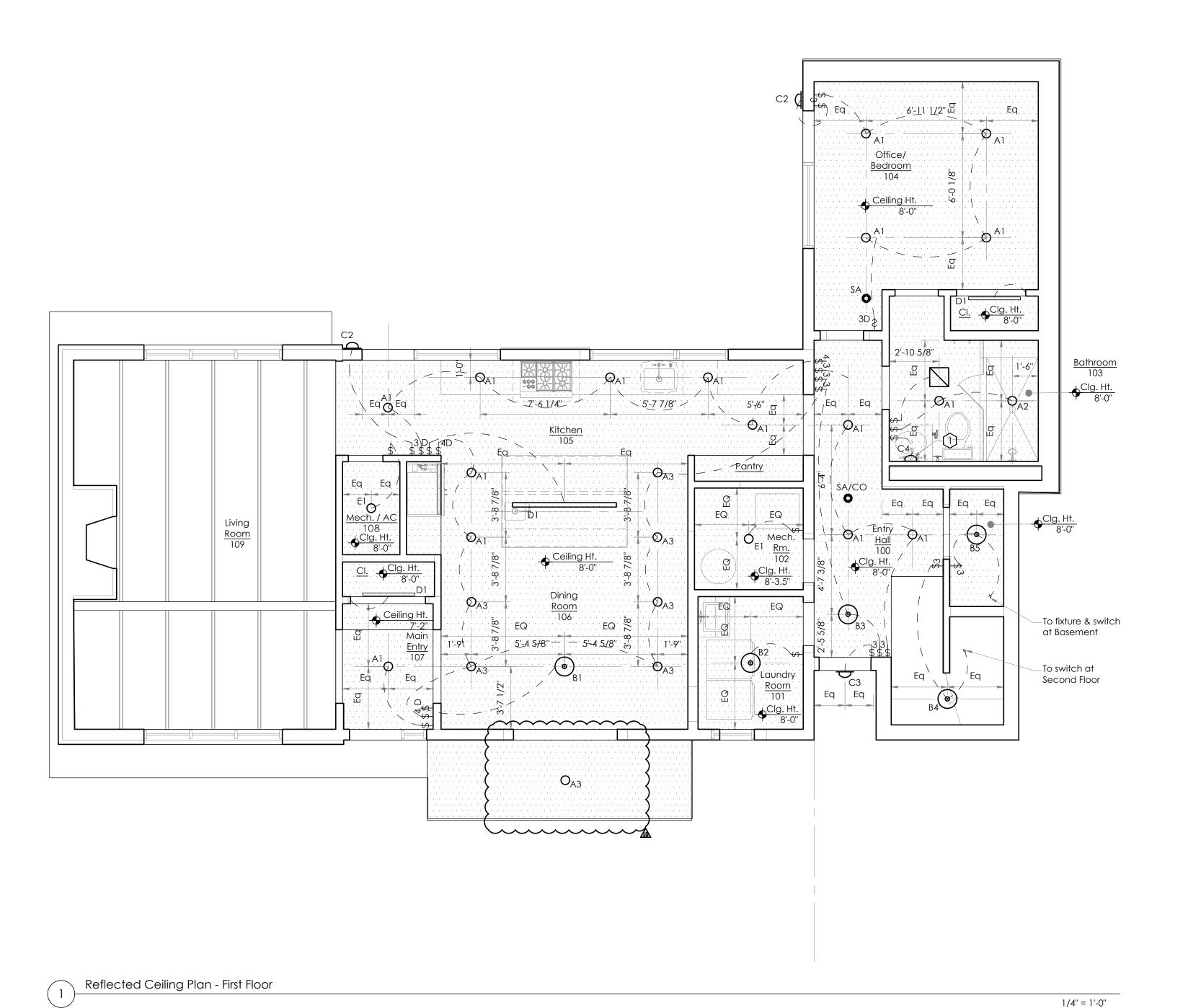
ARBORIST THE CARE OF TREES 57 Valley Avenue - Elmsford, New York 10523 T: 914-345-8733

Proposed Reflected Ceiling Plan

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724



| Symbols                | Description                                | Manufacturer | Product                            | Finish   | Watt / Lamps | Volt  | Remarks   |
|------------------------|--|--------------|------------------------------------|----------|--------------|-------|---|
| <u></u>                | Description                                | Manufacturer | FIOGUCI                            | FILIIZLI | wan / Lamps  | VOII  | Kemaks  |
|                        | Remote Fan Intake                          | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Refer to mechanical plans for location and specifications.    |
| O <sub>A1</sub>        | New Recessed Fixture                       | WAC LIGHTING | Loto Downlight 3000k               | White    | T.B.D        | T.B.D | Contractor supplied fixture                                   |
| O <sub>A2</sub>        | New Recessed Moisture Resistant<br>Fixture | WAC LIGHTING | Loto Downlight 3000k               | White    | T.B.D        | T.B.D | Contractor supplied fixture                                   |
| O <sub>A3</sub>        | New Recessed Directional Fixture           | WAC LIGHTING | Loto Adjustable Downlight<br>3000k | White    | T.B.D        | T.B.D | Contractor supplied fixture                                   |
| <b>©</b> <sub>B1</sub> | New Ceiling Hung Fixture                   | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B2</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>©</b> <sub>B3</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| ⊚ <sub>B4</sub>        | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B5</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>o</b> <sub>B6</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>©</b> <sub>B7</sub> | New Ceiling Mounted Fixture                | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| © <sub>B8</sub>        | New Ceiling Hung Fixture                   | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>þ</b>               | New Wall Mounted Fixture                   | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| þ <sub>C2</sub>        | New Exterior Wall Mounted Fixture          | Lamp Plus    | Possini Euro Ellis                 | Satin    | 120 max.     | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| <b>)</b>               | New Exterior Wall Mounted Fixture          | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| )<br>C4                | New Wall Mounted Fixture                   | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| )<br>C5                | New Exterior Wall Mounted Fixture          | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| O <sub>E1</sub>        | New Lamp Holder Fixture                    | T.B.D.       | Porcelain                          | T.B.D.   | 9 W max.     | 120V  | Contractor supplied fixture. Provide high efficiency LED lamp |
| D1                     | New Linear Closet LED Fixture              | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| D2                     | New Linear Suspended LED Fixture           | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
| D3                     | New Linear Suspended LED Fixture           | T.B.D.       | T.B.D.                             | T.B.D.   | T.B.D        | T.B.D | Owner supplied fixture. Fixture to be high efficiency LED.    |
|                        |  |              |                                    |          |              | l     |   |

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY

| 08/22/18<br>06/27/18 | IPB Resubmission   |
|----------------------|--|
| 09/19/18             | IPB Resubmission   |
| 10/08/18             | ZBA Submission   |
| 10/24/18             | IPB Resubmission   |
| 04/15/19             | ARB Submission   |
| 06/19/19             | IPB Resubmission   |
| 08/21/19             | IPB Resubmission   |
| 09/23/19             | Subm. for Add. Site Work Perm  |
| 09/28/20             | Resubmission for Building Perm   |
| 12/07/20             | VE Revisions for ARB Approval  |
|                      |  |
|                      |  |
|                      |  |
|                      |  |
|                      |  |
|                      |  |
|                      | 09/28/20<br>09/23/19<br>08/21/19<br>06/19/19<br>04/15/19<br>10/24/18<br>10/08/18<br>09/19/18 |

In developing the plans and specifications for the applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy



### FERGUSON MALONE ARCHITECTURE

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ARBORIST THE CARE OF TREES 57 Valley Avenue - Elmsford, New York 10523 T: 914-345-8733

T: 914-909-0420

### Key of Devices

- New single pole switch New smoke / carbon monoxide SA/CO detector /alarm New switch with dimming capability New smoke / carbon monoxide New switch with 3-way capability detector /alarm New speaker
- Key of Ceiling Finishes

Existing Gyp. Bd. or Plaster Ceiling - To be patched, prepped and painted.

New switch with 4-way capability

New  $\frac{1}{2}$ " Gypsum Ceiling - To be finished and painted

# Lighting Notes

New lighting fixtures shall be provided as indicated on the fixture schedule. Install all accessories, wiring and conduit as required.

All IC Rated recessed lighting fixtures are to be sealed at housing finish and be labeled to indicate  $\leq$  2.0 cfm leakages at 75 Pa.

The existing electrical service is to be upgraded as needed as per licensed sub evaluation, see power distribution plan for additional information.

Contractor to provide detailed shop drawings indicating all lighting control components and connections. Dimming function for fixture is indicated as switching with dimming capability.

Dimming system is to be coordinated with specified fixture.

Contractor is to confirm compatibility of all specified fixture with the lighting control system.

Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Light switches to be mounted at 3'-6" to centerline above finish floor.

Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and Household Fire Warning Equipment Provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms.

# Key Notes

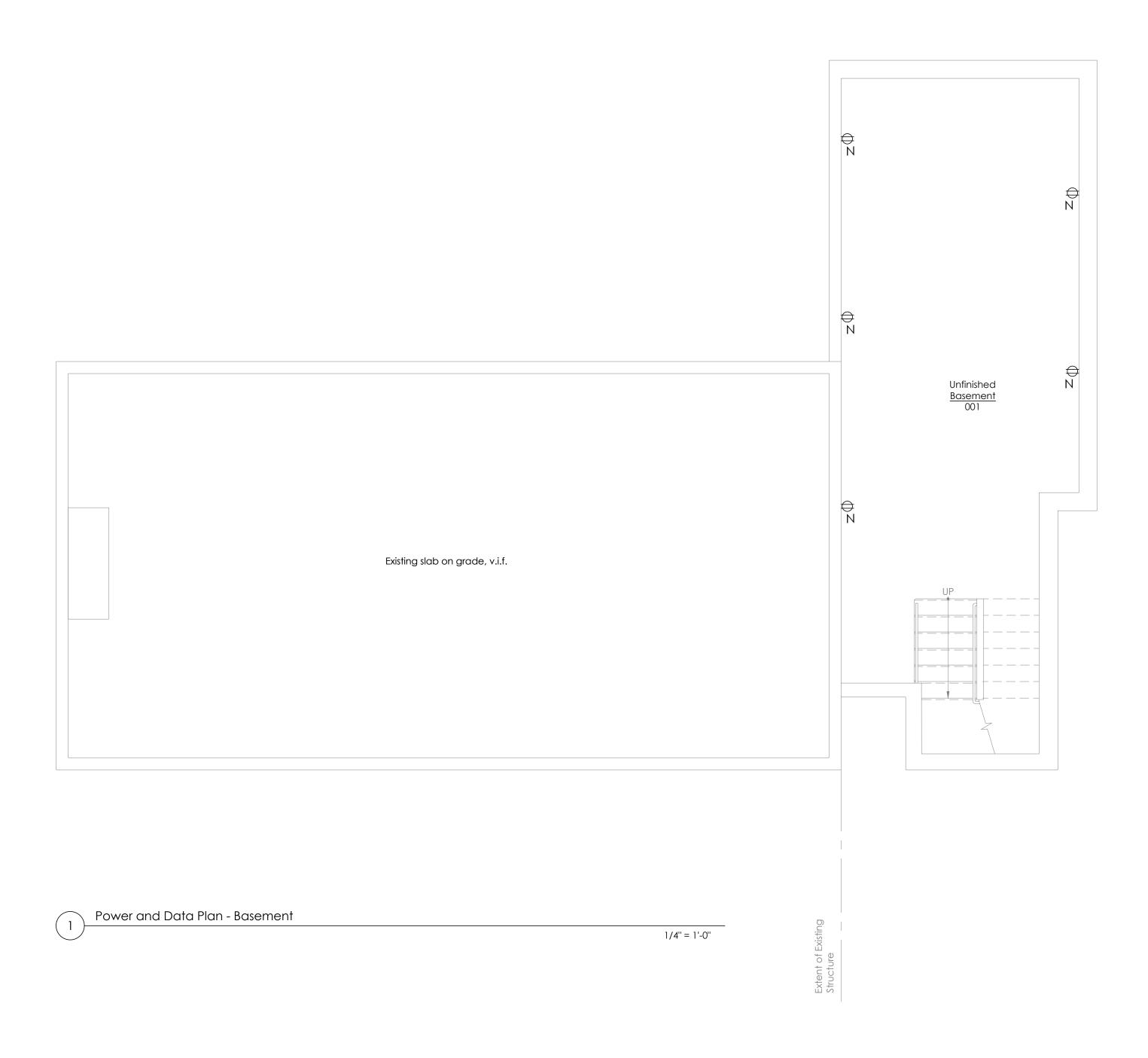
- Center fixture over sink
- 2 Center fixture in tub/shower area
- 3 Line of soffit
- Existing fixtures to remain

Proposed Reflected Ceiling Plan

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724



# Key of Devices

New wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.

New switched wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.

OFI

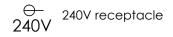
New wall mounted duplex electrical receptacle

(a) 42" a.f.f. (typ) u.o.n. ground-fault circuit interrupter.

New wall mounted receptacle w/ usb charger @ 15"

USB New wait moonled receptacle wy osb charge





New switched flush mounted floor box w/ duplex electrical receptacle - exact location to be confirmed w/ architect.

New telecommunication and data wall outlet @ 15" a.f.f. (typ.) u.o.n.

New cable outlet

New thermostat

# Electrical Distribution Notes

coverplate.

All work shall be performed by licensed personnel, and shall comply with N.Y. State Uniform Fire Prevention and Building Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association and all federal, state, and municipal authorities having jurisdiction over the work. All work shall comply with the National Electrical Code NFPA 20 Edition 2020.

New service will be grounded as per section E3608.14 of the NYS IRC, by grounding a rod or pipe electrode. Rod and pipe electrodes shall be installed as per section E3608.1.4.1 of the NYS IRC such that at least 8' of length is in contact with the soil. They shall be driven to a depth of not less than 8'.

Contractor shall obtain exact requirements before proceeding with the work.

# Install wiring and conduit as required by code.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices are to be white.

Adjacent switches and receptacles are to be installed in ganged with single

Exact locations of outlets & switches shall be verified. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

### Data Notes

All data cabling to be CAT 6.

Cables are to be homeruns data termination point in electrical room-coordinate work w/ owner's it vendor.

All telecom cabling is to be CAT 5E.

Cables are to be homeruns to main telecom panel in telecom closet. Closet location to be field coordinated - GC to coordinate work with owners' telecom vendor.

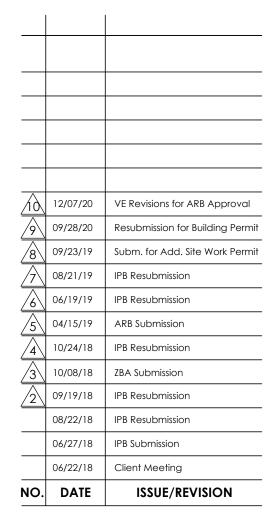
Electrician is to supply telecom, data and cable wires.

### Key Notes

Existing power & data to remain - No additional electrical work on this area

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY



In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.



### FERGUSON MALONE ARCHITECTUR

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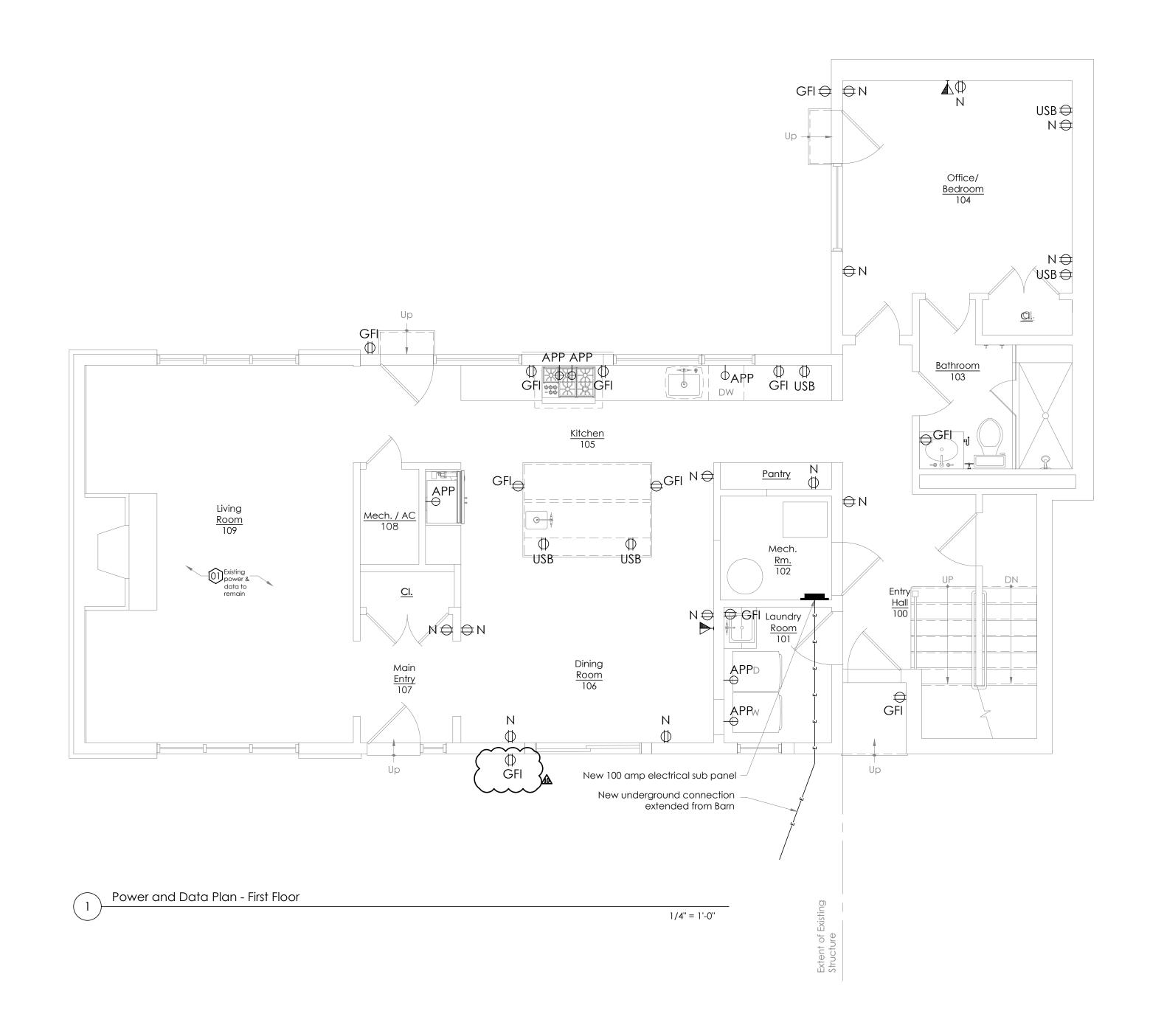
Proposed Power & Data Plan

SCALE: As Noted

**DATE:** 06/27/18

**JOB:** 1724

A-2.20



# Key of Devices

New wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.

New switched wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) U.o.n.

New wall mounted duplex electrical receptacle @ 42" a.f.f. (typ) u.o.n. ground-fault circuit interrupter.

New wall mounted receptacle w/ usb charger @ 15"

APP Appliance connection

240V receptacle

New switched flush mounted floor box w/ duplex electrical receptacle exact location to be confirmed w/ architect.

New telecommunication and data wall outlet @ 15" a.f.f. (typ.) u.o.n.

New cable outlet

New thermostat

### Electrical Distribution Notes

All work shall be performed by licensed personnel, and shall comply with N.Y. State Uniform Fire Prevention and Building Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association and all federal, state, and municipal authorities having jurisdiction over the work. All work shall comply with the National Electrical Code NFPA 20 Edition 2020.

New service will be grounded as per section E3608.14 of the NYS IRC, by grounding a rod or pipe electrode. Rod and pipe electrodes shall be installed as per section E3608.1.4.1 of the NYS IRC such that at least 8' of length is in contact with the soil. They shall be driven to a depth of not less than 8'.

Contractor shall obtain exact requirements before proceeding with the work.

Install wiring and conduit as required by code.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices are to be white.

Adjacent switches and receptacles are to be installed in ganged with single coverplate.

Exact locations of outlets & switches shall be verified. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

# Data Notes

All data cabling to be CAT 6.

Cables are to be homeruns data termination point in electrical room coordinate work w/ owner's it vendor.

All telecom cabling is to be CAT 5E.

Cables are to be homeruns to main telecom panel in telecom closet. Closet location to be field coordinated - GC to coordinate work with owners' telecom

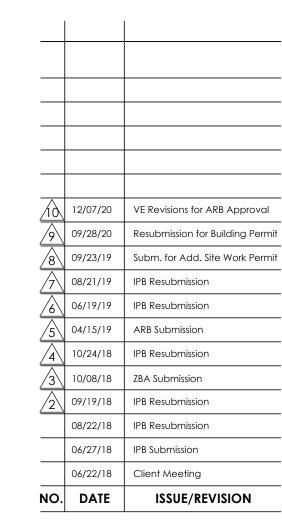
Electrician is to supply telecom, data and cable wires.

### Key Notes

©1) Existing power & data to remain - No additional electrical work on this area

# Calvan/Fearey Residence

99 Bracebridge Lane Irvington, NY



In developing the plans and specifications for the applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy



### FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET IRVINGTON NY 10533 T 914 591 <u>5066 F 914 591 5031</u>

CIVIL ENGINEER HUDSON ENGINEERING & CONSULTING, P.C. 45 Knollwood Road, Elmsford, New York 10523

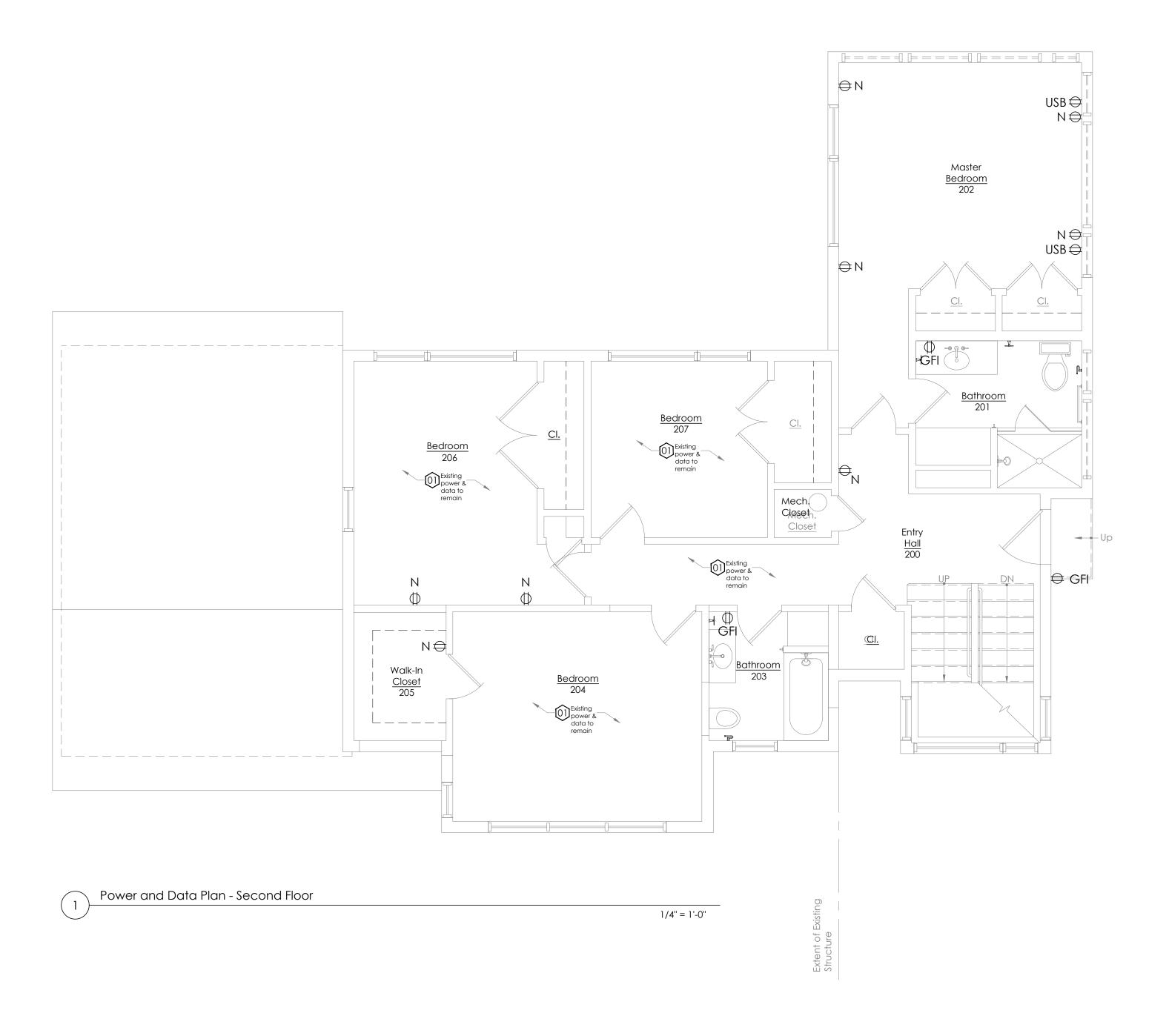
ARBORIST THE CARE OF TREES 57 Valley Avenue - Elmsford, New York 10523 T: 914-345-8733

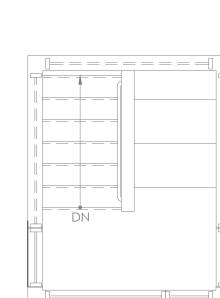
T: 914-909-0420

Proposed Power & Data

SCALE: As Noted

**DATE:** 06/27/18





# Key of Devices

New wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) u.o.n.

New switched wall mounted duplex electrical receptacle @ 15" a.f.f. (typ) U.o.n.

New wall mounted duplex electrical receptacle @ 42" a.f.f. (typ) u.o.n. ground-fault circuit interrupter.

New wall mounted receptacle w/ usb charger @ 15"

APP Appliance connection

240V receptacle

New switched flush mounted floor box w/ duplex electrical receptacle - exact location to be confirmed w/ architect.

New telecommunication and data wall outlet @ 15" a.f.f. (typ.) u.o.n.

New cable outlet

New thermostat

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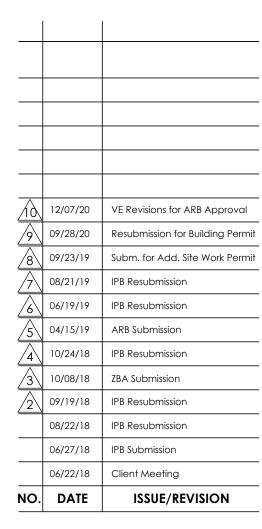
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