

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	359	Date:	04/12/2022
Job Location:	44 N BROOK LN	Parcel ID:	2.140-90-5
Property Owner:	Richard Lebuhn	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Mickey Walker	Mickey Walker
Neave Group	Neave Group
80 Airport Drive Wappingers Falls NY 12590	80 Airport Drive Wappingers Falls NY 12590
8453802365	8453802365

Description of Work

Type of Work:	New Construction	Applicant is:	Contractor
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	133570.00	Property Class:	1 FAMILY RES

Description of Work

Demolition of existing patio of 550 SF, installation of patio 522 SF in the same spot that will have a roof covering

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.



neavegroup
outdoor solutions

LEBUHN RESIDENCE NEIGHBOR HOUSE PHOTOS 4/13/22



Richard Lebuhn - 44 NorthBrook Lane



Kenneth Bernstein - 45 NorthBrook Lane



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Benjamin Ufer - 31 North Brook Lane



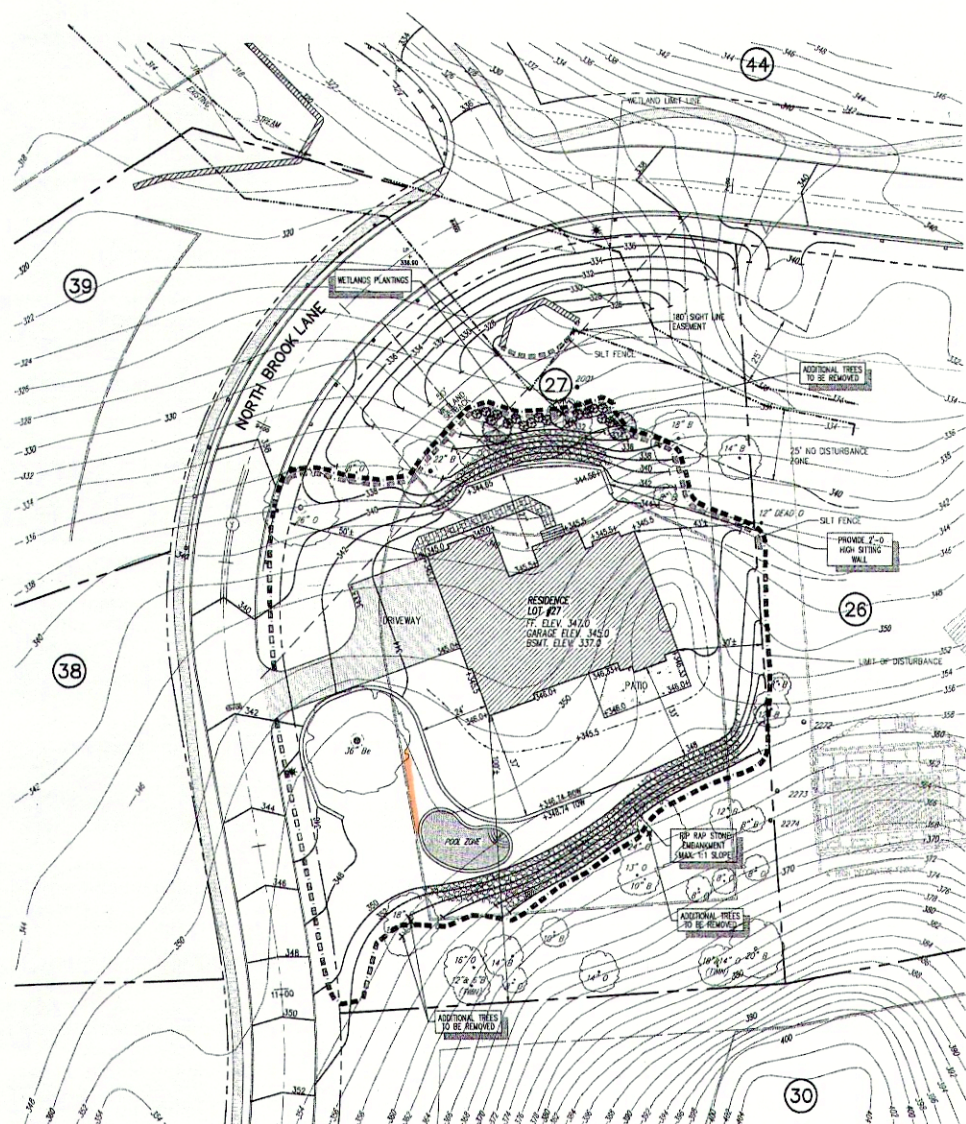
Scott Rosenthal - 32 North Brook Lane



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Jonathan Brown - 33 NorthBrook Lane



EXISTING TREE LEGEND

A	ASH
B	BIRCH
BH	BEECH
H	HICKORY
M	MAPLE
O	OAK
Sp	SPRUCE
Tu	TULIP

SITE PLAN LEGEND

---	PROPERTY LINE
---	EASEMENT LINE
---	ROADWAY CENTER LINE
---	PROPOSED BUILDING LINE
---	PROPOSED CONCRETE CURB
---	WETLAND LIMIT LINE
---	PROPOSED WOOD DECK
---	PROPOSED WALKWAY
---	EASEMENT LINE
---	EXISTING GRADE
---	EXISTING SPOT GRADE
---	PROPOSED FINISHED GRADE
---	PROPOSED SPOT GRADE
---	SANITARY/STORM MANHOLE
---	DRAIN INLET
---	PROPOSED TREE WELL
---	FIRE HYDRANT
---	PROPOSED STORM LINE AND SIZE
---	SANITARY SEWER LINE & SIZE
---	WATER LINE & SIZE
---	PROPOSED WATER VALVE
---	CON ED SERVICE TRENCH
---	PROPOSED GAS, ELECTRIC AND TELEPHONE SERVICE
---	EXISTING TREE AND DESIGNATION
---	EXISTING TREE TO BE REMOVED
---	SILT FENCE
---	LIMIT OF DISTURBANCE LINE
---	TREE PROTECTION
---	EXISTING TREE AND TYPE

VILLAGE OF IRVINGTON ENGINEERING CONSULTANT

Recommended for approval by: _____

VILLAGE OF IRVINGTON PLANNING BOARD

IN WITNESS WHEREOF, the foregoing plans were approved for First Site Development by the Planning Board on this 1st day of January, 1995 by:

Robert E. Burt Robert E. Burt
William E. Burt William E. Burt

VILLAGE OF IRVINGTON BUILDING DEPARTMENT

Approved by: _____

Title: _____

NO.	REVISION	DATE
1	GENERAL REVISIONS	10/25/95

RR IRVINGTON ASSOCIATES
145 HUGENOT STREET
NEW ROCHELLE, N.Y. 10801

JOHN MEYER CONSULTING
125 BEDFORD ROAD ARBONK, N.Y. 10804

LANDSCAPE PLAN
BRACEBRIDGE
CROSS FIELD ROAD

2652130

L-1

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LEGEND/KEY

- STREET CATCH BASIN
- DRAINAGE MANHOLE
- SEWER MAIN DIRECTION
- TYP. MANHOLE
- GUTTER INTO STORM CISTERN
- GUTTER STREET BASIN STORM WATER CONNECTION POINT

- GENERAL CONSTRUCTION NOTES:
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT.
 - BASE MAP USED FOR THESE PLANS IS TAKEN FROM A SURVEY ENTITLED LANDSCAPE PLAN PREPARED BY JOHN METER CONSULTING, 10/18/95
 - THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE UTILITIES AT LEAST 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION. ALL UTILITIES HAVE BEEN IDENTIFIED BASED ON THE BEST AVAILABLE INFORMATION AND LISTED ON THESE PLANS IN ACCORDANCE WITH ACT 187 REQUIREMENTS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES AND ALL EFFORTS SHALL BE UNDERTAKEN TO PROTECT EXISTING UTILITIES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE TO UTILITIES BY THE CONTRACTOR SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE. RESTORATION OF ALL EXISTING SURFACE IMPROVEMENTS DAMAGED OR ALTERED DURING CONSTRUCTION, INCLUDING LANDSCAPING, SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THE CONTRACTOR SHALL MAKE PROVISIONS FOR MAINTAINING THE SAFE FLOW OF TRAFFIC DURING CONSTRUCTION WITHIN THE SITE AND THE EXISTING ROAD RIGHTS-OF-WAY WHILE ENTERING AND LEAVING THE SITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY PERMITS RELATIVE TO THE CONSTRUCTION PROPOSED ON THIS PLAN.
 - THERE SHALL BE NO CHANGES OR DEVIATION FROM THESE PLANS UNLESS APPROVED BY THE ENGINEER. SUCH PLAN CHANGES, SHOULD THEY BECOME NECESSARY, ARE SUBJECT TO APPROVAL BY THE VILLAGE ENGINEER.
 - THE CONTRACTOR SHALL INSPECT EXISTING SITE/PROJECT AREA CONDITIONS AND VERIFY ALL QUANTITIES AND MATERIALS PRIOR TO THE START OF CONSTRUCTION.
 - ALL SITE IMPROVEMENTS AND BUILDINGS SHELL WILL BE CONSTRUCTED IN ONE PHASE.
 - THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
 - NO SIGNIFICANT EARTHWORK IS PROPOSED AND NO CUT/FILL MATERIAL WILL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE
 - NO STORM WATER DRAINAGE PLANS EXIST ON FILE WITH THE TOWN - UNABLE TO LOCATE DRAINAGE WITHOUT PLANS OR DISTURBING AREAS
 - AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY
 - NO INVASIVE PLANTING OR LANDSCAPING WILL BE ADDED
 - NO TRESS WILL BE REMOVED DURING CONSTRUCTION
 - NO PROTECTIVE TREES EXIST WITHIN THE LIMITATIONS OF DISTURBANCE AND CONSTRUCTION AREA = 3092 SF.

- EROSION AND SEDIMENT CONTROL MEASURES:**
- ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE IN STRICT COMPLIANCE WITH "NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", NOVEMBER 2016.
 - DAMAGE TO SURFACE WATERS RESULTING FROM EROSION AND SEDIMENTATION SHALL BE MINIMIZED BY STABILIZING DISTURBED AREAS AND BY REMOVING SEDIMENT FROM CONSTRUCTION SITE DISCHARGES.
 - AS MUCH AS IS PRACTICAL, EXISTING VEGETATION SHALL BE PRESERVED. FOLLOWING THE COMPLETION OF CONSTRUCTION ACTIVITIES IN ANY PORTION OF THE SITE, PERMANENT VEGETATION SHALL BE ESTABLISHED ON ALL EXPOSED SOILS.
 - SITE PREPARATION ACTIVITIES SHALL BE PLANNED TO MINIMIZE THE SCOPE AND DURATION OF SOIL DISRUPTION.
 - PERMANENT TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED AT ALL POINTS OF ENTRY ONTO THE PROJECT SITE.
 - SEEDED AREAS TO BE MULCHED WITH STRAW OR HAY MULCH IN ACCORDANCE WITH VEGETATIVE COVER SPECIFICATIONS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL MEASURES THROUGHOUT THE COURSE OF CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONTROLLING DUST BY SPRINKLING EXPOSED SOIL AREAS PERIODICALLY WITH WATER AS REQUIRED. THE CONTRACTOR IS TO SUPPLY ALL EQUIPMENT AND WATER.
 - WHEN ALL DISTURBED AREAS ARE STABLE, ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED.
- MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES:**
- PERMANENT AND TEMPORARY VEGETATION:**
INSPECT ALL AREAS THAT HAVE RECEIVED VEGETATION EVERY SEVEN DAYS. ALL AREAS DAMAGED BY EROSION OR WHERE SEED HAS NOT ESTABLISHED SHALL BE REPAIRED AND RE-STABILIZED IMMEDIATELY.
- STABILIZED CONSTRUCTION ENTRANCE:**
INSPECT THE ENTRANCE PAD EVERY SEVEN DAYS. CHECK FOR MUD, SEDIMENT BUILD-UP AND PAD INTEGRITY. MAKE DAILY INSPECTIONS DURING WET WEATHER. RESHAPE PAD AS NEEDED FOR DRAINAGE AND RUNOFF CONTROL. WASH AND REPLACE STONE AS NEEDED. THE STONE IN THE ENTRANCE SHOULD BE WASHED OR REPLACED WHENEVER THE ENTRANCE FAILS TO REDUCE MUD BEING CARRIED OFF-SITE BY VEHICLES. IMMEDIATELY REMOVE MUD AND SEDIMENT TRACKED OR WASHED ONTO PUBLIC ROADS BY BRUSHING OR SWEEPING. REMOVE TEMPORARY CONSTRUCTION ENTRANCE AS SOON AS THEY ARE NO LONGER NEEDED TO PROVIDE ACCESS TO THE SITE.
- SILT FENCE:**
INSPECT FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE FENCE BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE FENCE. IF FENCE FABRIC TEARS, BEGINS TO DECOMPOSE, OR IN ANY WAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF FENCE IMMEDIATELY.
- SOIL STOCKPILE:**
INSPECT SEDIMENT CONTROL BARRIERS (SILT FENCE OR HAY BALE) AND VEGETATION FOR DAMAGE EVERY SEVEN DAYS. MAKE ALL REPAIRS IMMEDIATELY. REMOVE SEDIMENT FROM THE UP-SLOPE FACE OF THE SEDIMENT CONTROL BARRIER BEFORE IT ACCUMULATES TO A HEIGHT EQUAL TO 1/3 THE HEIGHT OF THE SEDIMENT CONTROL BARRIER. IF SEDIMENT CONTROL BARRIER TEARS, BEGINS TO DECOMPOSE, OR IN ANYWAY BECOMES INEFFECTIVE, REPLACE THE AFFECTED SECTION OF SEDIMENT CONTROL BARRIER IMMEDIATELY. REVEGETATE DISTURBED AREA TO STABILIZE SOIL STOCK PILE. REMOVE THE SEDIMENT CONTROL BARRIER WHEN THE SOIL STOCKPILE HAS BEEN REMOVED.

- CONSTRUCTION SEQUENCE:
- INSTALL EROSION CONTROLS AS NOTED ON PLAN.
 - INSTALL FENCE FOR LIMIT OF DISTURBANCE IN AREAS AS NEEDED.
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE
 - DEMOLISH AND REMOVE EXISTING PATIO AND OUTDOOR KITCHEN.
 - INSTALL FOOTINGS FOR NEW ROOF STRUCTURE
 - INSTALL BASE AND CONCRETE PAD FOR NEW BLUESTONE PATIOS
 - INSTALL OUTDOOR KITCHEN WALLS AND VENEER.
 - CONSTRUCT FIRE PIT.
 - INSTALL BLUESTONE FOR MAIN PATIO AND FIRE PIT PATIO.
 - CONSTRUCT NEW ROOF STRUCTURE
 - INSTALL ALL MECHANICALS FOR ROOF STRUCTURE AND OUTDOOR KITCHEN.
 - INSTALL NEW ORNAMENTAL PLANTINGS AS PER PLAN.
 - INSTALL OUTDOOR LIGHTING PATH LIGHTS.
 - REPAIR AND MODIFY IRRIGATION SYSTEM.
 - INSTALL TOPSOIL AND LAWN.
 - REMOVE EROSION CONTROLS AND STABILIZED CONSTRUCTION ENTRANCE.
 - INSTALL LAWN IN AREA OF CONSTRUCTION ENTRANCE.

Zoning District Bulk Table					
Item	Required		Existing	Acres	Proposed
Minimum Lot Area	40,000	SF	40,075.00	SF	40,075
Minimum Lot Width (FT)	150	FT	158.00	FT	158.00
Minimum Lot Front Yard (FT)	50	FT	50.10	FT	50.1
Minimum Lot Rear Yard (FT)	40	FT	98.70	FT	96.7
Minimum Lot Side Yard (FT)	25	FT	31.90	FT	29.3
Minimum Both Side Yards (FT)	50	FT	31.9	FT	29.3
Maximum Building Height (FT)	30	FT	<35	FT	15 (Patio Roof)
Maximum Lot Surface Coverage (%)	12	%	11.7	%	11.9
Floor Area Ratio (F.A.R.)			0.1		0.1

Lot Surface Coverage Breakdown		
Lot Area =	40075	SF
Maximum Allowable Lot Coverage =	12%	4,803
Existing Lot Coverage		
Existing Building Area	3275	SQ FT
Existing Building Overhangs		
Total Existing Building Coverage		
Existing Asphalt Driveway		SQ FT
Existing Walkway / Lawn	32	SQ FT
Existing Walkway / Entry	418	SQ FT
Existing Patio & Wall	550	SQ FT
Existing Equipment Pads	16	SQ FT
Existing Steps & Stairs	76	SQ FT
Existing Stone Masonry Wall	235	SQ FT
Existing Playset	100	SQ FT
Total Existing Impervious Coverage	4,702	SQ FT
Total Lot Cover = Building + Impervious + Detached		
Total Existing Lot Coverage =	11.70%	

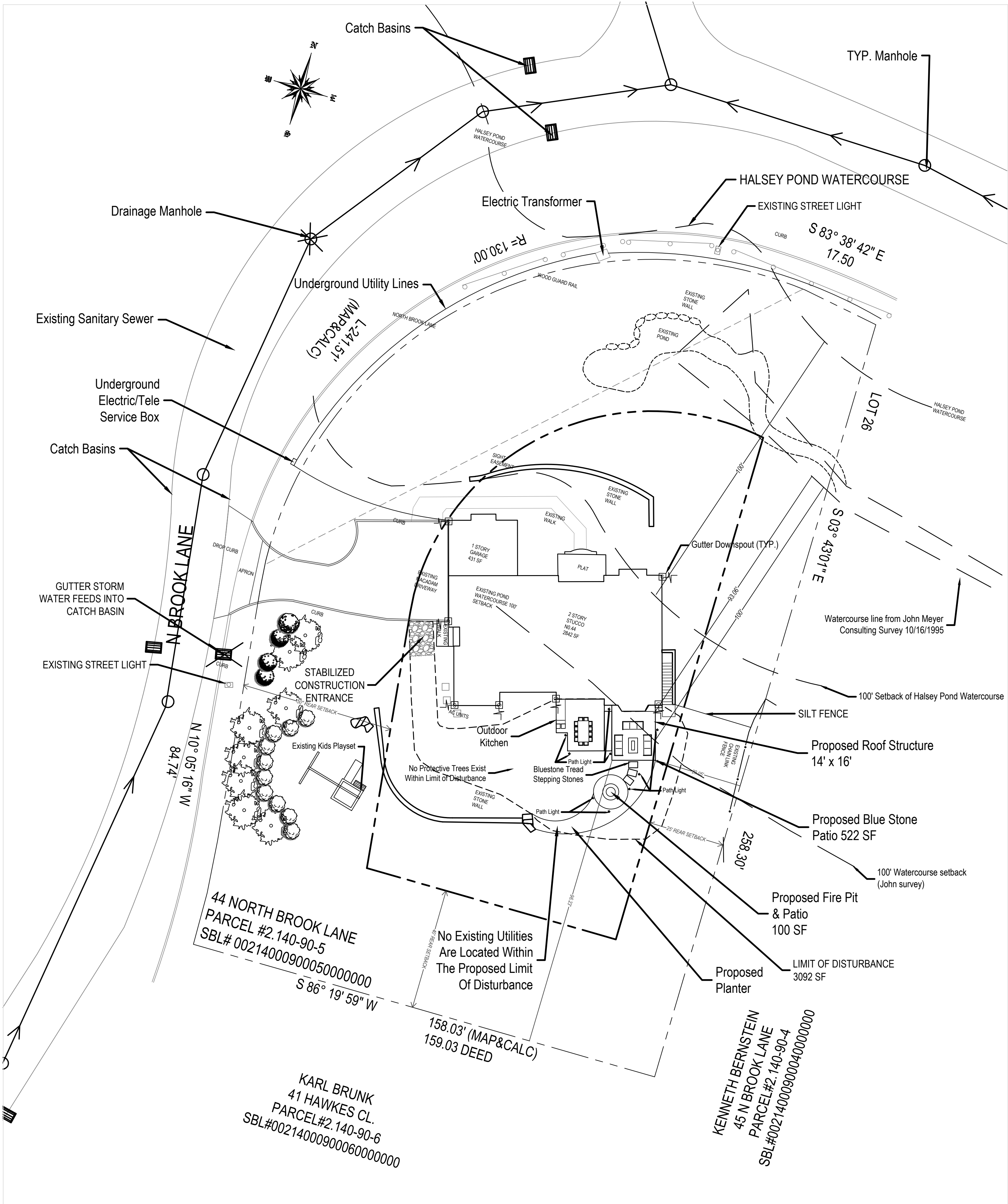
Proposed Built Coverage SF	SQ FT
Existing House Coverage	3275
Existing Walkway / Entry	450
Existing Playset	100
Existing Steps & Stairs	76
Existing Patio	550
Existing Patio (TO DEMOLISH)	-550
Existing Stone Masonry Wall	235
Existing Equipment Pads	16
Proposed Fire Pit	100
Proposed Patio - Permeable	522

Existing Building +	
Proposed Detached Structures	SQ FT
Proposed Impervious	4774
Total Proposed Lot Coverage (SF)	4774
Total Remaining Allowable Lot Coverage	29

Gound Snow Load	Wind Design				Seismic Design Category	Required				Winter Design Temp	Ice Barrier Underlayment Required	Flood Hazards	Air Freezing Index	Mean Annual Temp
	Speed (MPH)	Topographic Effects	Special Wind Region	Wind-Borne Debris Zone		Weathering	Frost Line Depth	Termite	Wind-Borne Debris Zone					
30 PSI	115	No	No	No	B	Severe	42"	Moderate To Heavy	No	15 Day	Yes	4/24/1984 Rev	1500	48.5'

Table 301.2 (1) - Climatic & Geographic Design Criteria

Feb. 15, 2022



SBL #:2.140-90-5 ZONE: R-1F-40

As per educational law 7209 article 145, professional engineering and land surveying 7209 (2), and/or commissioner's regulations part 79-1.4, landscape architecture or part 69, architecture, 69.5b: it is a violation of this article for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way, if an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his or her seal and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.



Lebuhn

44 North Brook Lane
Irvington, NY



LAND OF ELITE
SPACES FOR LIVING - BEYOND EXPECTATION

Phone: (845) 463 - 0592
Address: 80 Airport Drive Wappingers Falls, NY

Revision:		by	Date	REVISIONS PER PLANNING BOARD COMMENTS											
				Description											
		MJW	3/22/22	1											

PERMIT SITE PLAN

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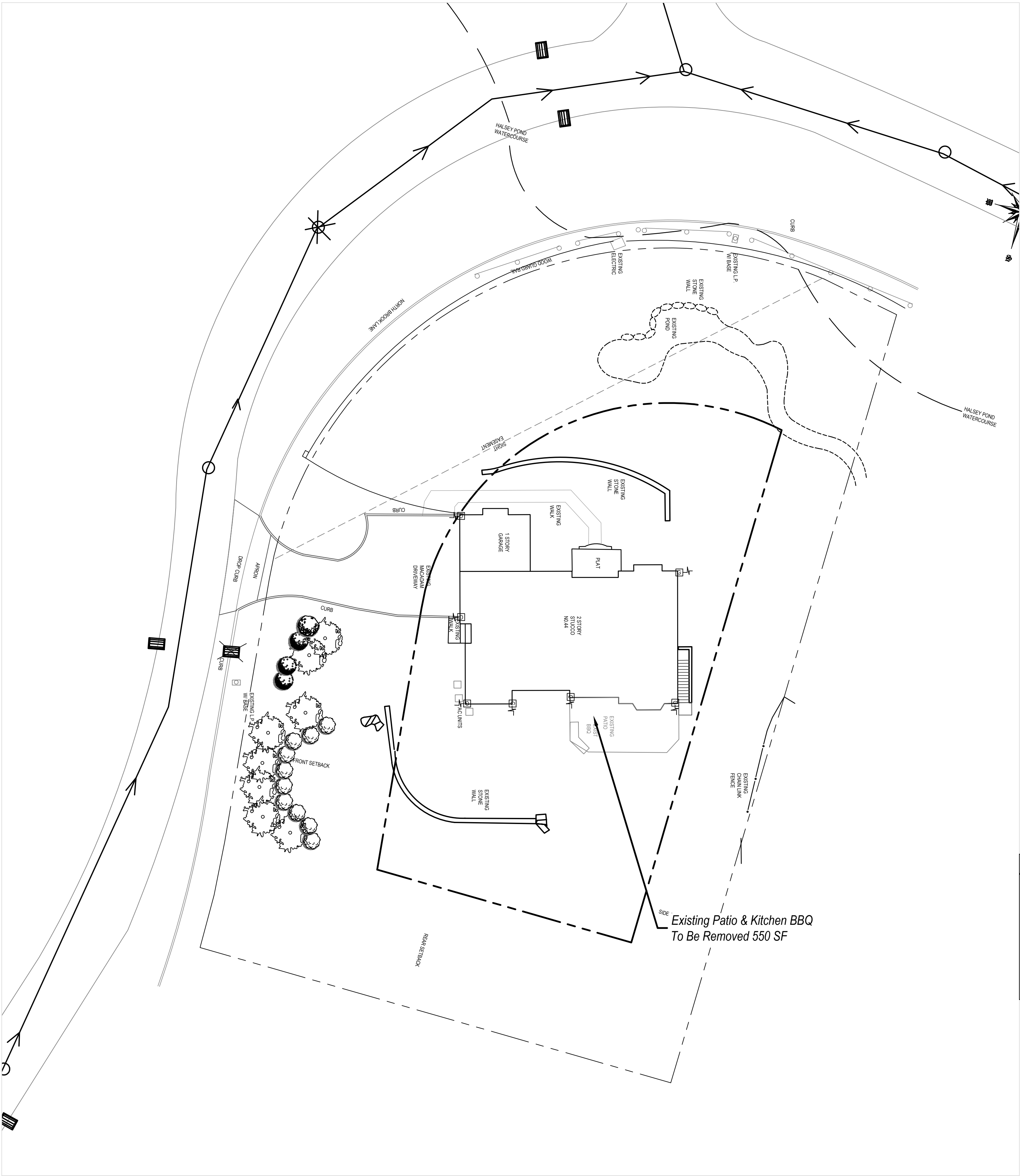
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Designed By:	K. Schmitt
Drawn By:	C.A. Moschillo
Checked By:	K. Schmitt
Scale:	AS SHOWN







Sheet No.:

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LEGEND/KEY

	STREET CATCH BASIN
	DRAINAGE MANHOLE
	SEWER MAIN DIRECTION
	TYP. MANHOLE
	GUTTER INTO STORM CISTERN
	GUTTER STREET BASIN STORM WATER CONNECTION POINT



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Irvington, NY



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LAND OF ELITE
SPACES FOR LIVING - BEYOND EXPECTATION

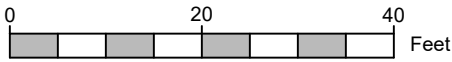
Phone: (845) 463 - 0592

Address: 80 Airport Drive Wappingers Falls, NY

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EXISTING & DEMO PLAN

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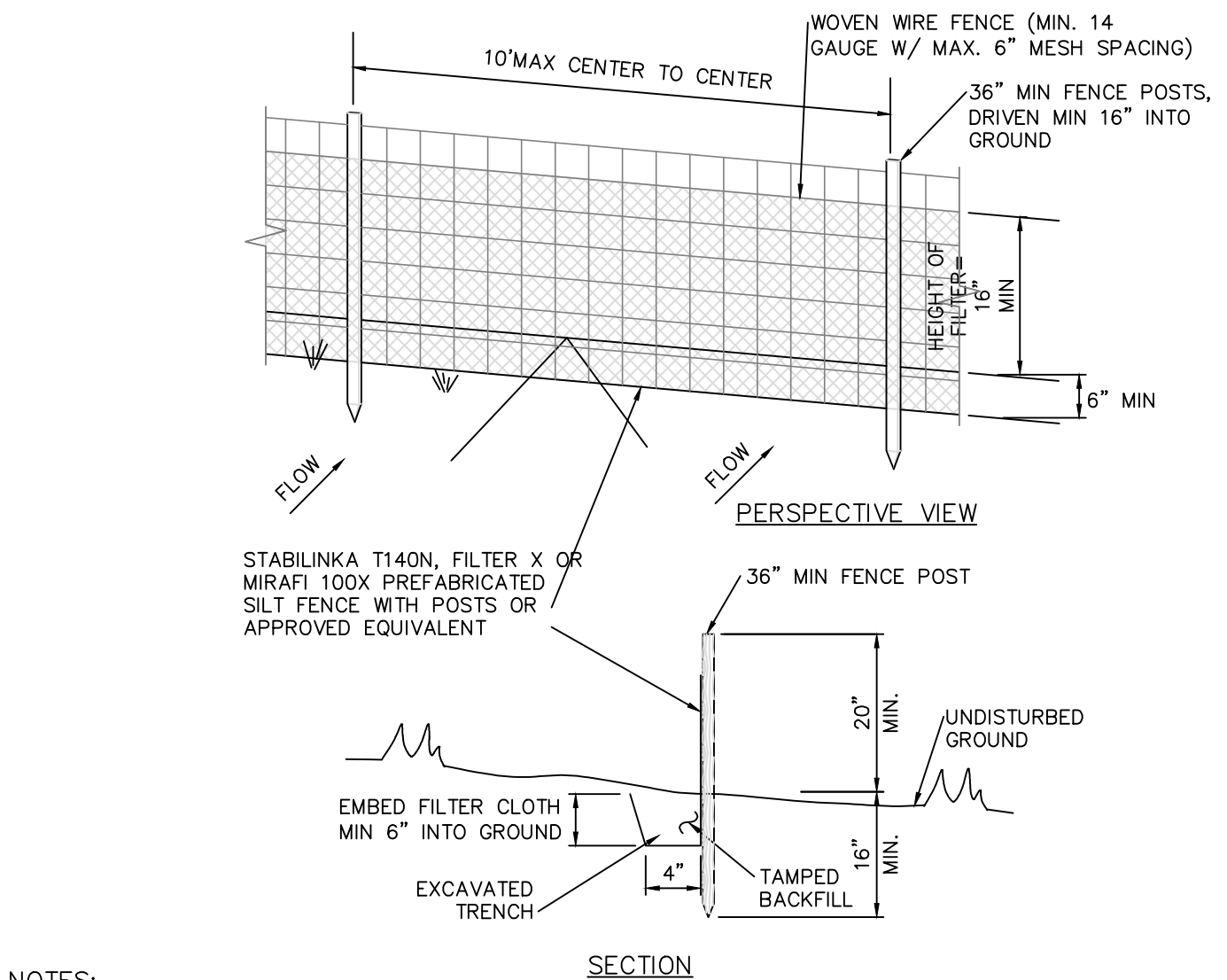


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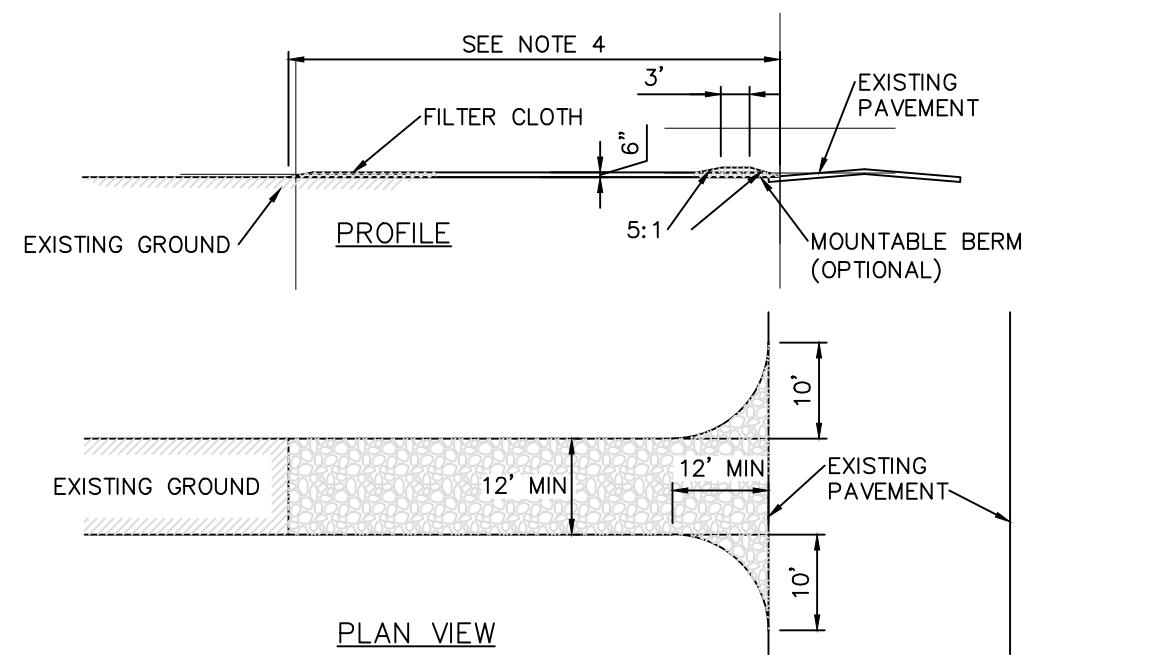
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2 of 4

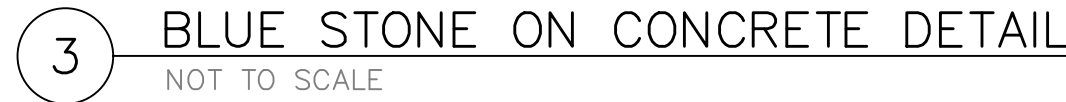
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- # 1 SILT FENCE INSTALLATION



- 2 STABILIZED CONSTRUCTION ENTRANCE
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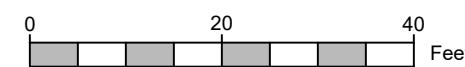


- 6 CMU KITCHEN WALL CAP DETAIL
NOT TO SCALE

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DETAILS SHEET

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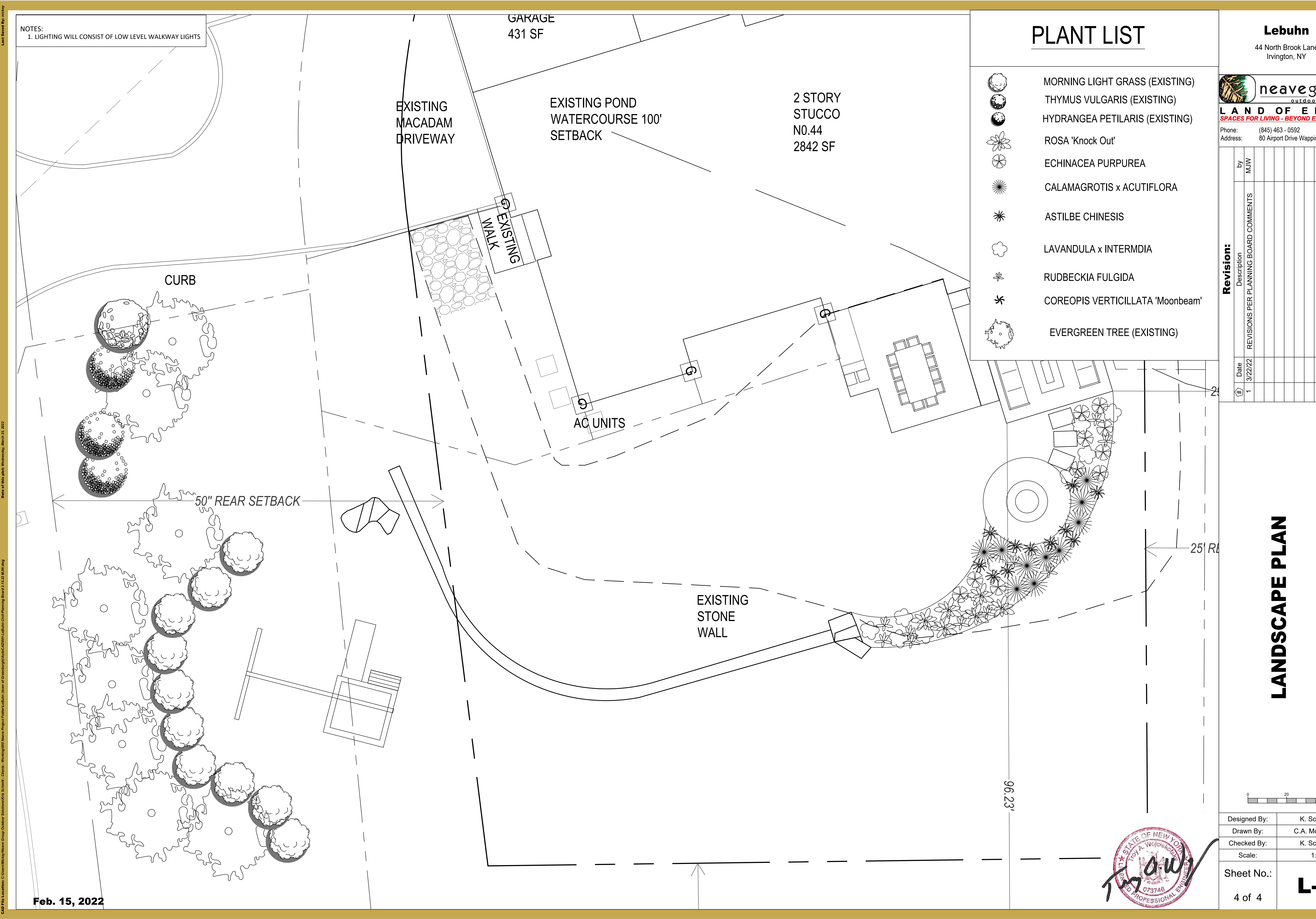


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Sheet No.:

3 of 4

L-3



NOTES:
1. LIGHTING WILL CONSIST OF LOW LEVEL WALKWAY LIGHTS

PLANT LIST

- MORNING LIGHT GRASS (EXISTING)
- THYMUS VULGARIS (EXISTING)
- HYDRANGEA PETILARIS (EXISTING)
- ROSA 'Knock Out'
- ECHINACEA PURPUREA
- CALAMAGROTIS x ACUTIFLORA
- ASTILBE CHINESIS
- LAVANDULA x INTERMDIA
- RUDBECKIA FULGIDA
- COREOPIS VERTICILLATA 'Moonbeam'
- EVERGREEN TREE (EXISTING)

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Revision:		Description	by	Date	#	REVISIONS PER PLANNING BOARD COMMENTS									
						REVISIONS PER PLANNING BOARD COMMENTS									
1	3/22/22		MJW												

LANDSCAPE PLAN

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4 of 4

