

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

| | | | |
|---------------------|------------------------|-----------------|--------------|
| Application Number: | 366 | Date: | 04/14/2022 |
| Job Location: | 5 HILLSIDE TER | Parcel ID: | 2.90-45-43 |
| Property Owner: | Jessica & Paul Orielly | Property Class: | 1 FAMILY RES |
| Occupancy: | One/ Two Family | Zoning: | |
| Common Name: | | | |

| Applicant | Contractor |
|-----------------------------------|------------------------------------|
| Jessica & Paul Orielly | Kris Plaga |
| Owner | Plaga Wood Works |
| 5 Hillside TerrIrvington NY 10533 | 36 Kirkman Place Stamford CT 06906 |
| 917-546-6446 | 203-559-4585 |

Description of Work

| | | | |
|----------------------|------------------------|----------------------|--------------|
| Type of Work: | Ext. Elevation Changes | Applicant is: | Owner |
| Work Requested by: | The Owner | In association with: | |
| Cost of Work (Est.): | 28000.00 | Property Class: | 1 FAMILY RES |

Description of Work

Proposed front dormers

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.



GENERAL NOTES:

- MINIMUM FROST DEPTH OF ALL FOOTINGS - 3' 6".
- MINIMUM SOIL BEARING CAPACITY - 2 TONS/S.F.
- ALL LEADERS AND DRAINS TO DRAIN INTO DRY WELLS OR STORM DRAINS.
- MINIMUM SLOPE OF 1/4" PER FOOT TO BE PROVIDED ON DRIVEWAYS FROM PROPERTY LINE TO CURB.
- MAXIMUM SLOPE OF 1 VERTICAL, 1 1/2 HORIZONTAL ON ALL GRADES. SUCH SLOPES TO HAVE ADEQUATE GROUND COVER AND EROSION CONTROL DEVICES.
- ALL SLOPES TO SLOPE AWAY FROM BUILDING, WHERE GRADE SLOPES INTO BUILDING - A SWALE CAPABLE OF HANDLING ESTIMATED RUNOFF IS TO BE PROVIDED.
- WHERE DRIVEWAY SLOPES TOWARD THE GARAGE, A TROUGH DRAIN IS TO BE PROVIDED.
- WOOD PLATES ON CONCRETE SLABS OR MASONRY TO BE PRESSURE-TREATED LUMBER.
- PROVIDE 2 ANCHOR BOLTS AT EACH CORNER OF FOUNDATION. ANCHOR BOLTS TO BE MINIMUM 1/2" DIAMETER BY 12" LONG.
- ALL CONCRETE TO BE MINIMUM 4,000 P.S.I. (CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS).
- ALL MASONRY VENEERS TO BE TIED MINIMUM 1' - 0" O.C. WITH GALVANIZED WALL TIES TO FRAME OR DURO-WALL TO BLOCK BACKING.
- DOUBLE FLOOR JOISTS TO BE PROVIDED UNDER ALL PARTITIONS OR FLOOR OPENINGS.
- PROVIDE 4 X 4 (OR 4 X 6) POSTS UNDER ALL WALL OPENINGS 5' - 0" AND OVER.
- PROVIDE 2 - 2 X 8 HEADERS OVER ALL WALL OPENINGS UNLESS OTHERWISE INDICATED ON PLAN.
- WOOD COLUMNS SHALL BEAR ON CONCRETE OR SOLID MASONRY PIERS IN BASEMENTS, PORCHES OR GARAGES.
- PROVIDE 1/2" AIR SPACE AROUND WOOD GIRDERS FRAMING INTO MASONRY WALLS.
- MINIMUM DISTANCE FROM GRADE TO WOOD IS 8".
- ENGINEER IS NOT RESPONSIBLE FOR ANY RETAINING WALLS NOT SHOWN ON PLAN.
- VERIFY ALL CONDITIONS AND DIMENSIONS ON THE JOB SITE.
- WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND ARE NOMINAL.
- ANY VARIATIONS FROM CONDITIONS AS SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. WORK SHALL NOT PROCEED UNTIL CLARIFICATION HAS BEEN RECEIVED.
- ALL WORK SHALL CONFORM TO ALL CODES HAVING JURISDICTION, WHERE CONFLICTS OF OR BETWEEN CODES OCCUR, THE MORE STRINGENT CODE SHALL SUPERSEDE ALL OTHERS.
- USE ONLY NEW MATERIALS WITHOUT DEFECTS.
- EACH CONTRACTOR AND/OR SUB-CONTRACTOR SHALL COORDINATE HIS OWN WORK WITH OTHER TRADES.
- DISCREPANCIES AND OMISSIONS ON DRAWINGS AND SPECIFICATIONS SHALL BE REPORTED TO THE ENGINEER IN WRITING FOR CLARIFICATION.
- ALL CONTRACTORS AND/OR SUB-CONTRACTORS ARE TO PLAN THE APPROVED STANDARDS: A.I.S.C., FEDERAL, U.S. ETC., AND SHALL BE PERFORMED TO THESE STANDARDS.
- SET ALL WORK STRAIGHT, PLUMB AND LEVEL OR WITH INDICATED SLOPE.
- ENGINEER NOT RESPONSIBLE FOR SUPERVISION OF CONSTRUCTION AND/OR OBSERVATION OF WORK IN PROGRESS.
- NO WORK TO COMMENCE UNTIL APPROVAL IS OBTAINED FROM THE BUILDING DEPARTMENT- AND ALL NECESSARY PERMITS HAVE BEEN SECURED.
- ANY PLUMBING AND/OR ELECTRICAL WORK, TO BE DONE UNDER SEPERATE APPLICATIONS.
- ENGINEER TO BE NOTIFIED OF ANY CHANGES TO THE PLAN AND APPROVED BY HIM.
- ALL NEW YORK STATE ENERGY CONSERVATIONS CONSTRUCTION CODES TO BE OBEYED.
- ALL LUMBER TO BE MINIMUM 850 P.S.I. CONSTRUCTION GRADE LUMBER, DOUGLAS FIR HD 2.
- ALL STRUCTURAL STEEL TO BE A-36 ("STEEL YIELD STRENGTH OF 36,000 P.S.I.).
- TYPICAL STAIR: MAXIMUM STAIR RISER - 7"; MINIMUM THREAD - 1 1/4".
- MINIMUM AIR CHANGE CAPACITY FOR INTERIOR TOILET FANS TO BE 75 C.F.M. FANS, TO BE EXHAUST TYPE, REMOVING FOUL AIR AND REPLACING IT WITH FRESH AIR.
- ALL THERMAL INSULATION IS TO MEET THE PUBLIC SERVICE COMMISSION SPECIFICATIONS AND STANDARDS.
- ALL PLUMBING AND ELECTRICAL WORK SHALL BE FILED FOR BY LICENSED CONTRACTORS WHO SHALL PERFORM THE WORK IN CONFORMANCE WITH THE CODE HAVING THE JURISDICTION. THE CONTRACTORS SHALL OBTAIN A FINAL CERTIFICATE OF OCCUPANCY OR COMPLIANCE UPON COMPLETION OF HIS WORK.
- ALL LOCAL CODES AND REGULATIONS TO BE OBEYED.
- WHERE EXISTING WORK IS TO BE CUT, CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, WEDGING AND DRY-PACKING AND SHALL BE RESPONSIBLE FOR THE SAFETY OF THE STRUCTURE DURING THIS OPERATION.
- THESE DRAWINGS AND SPECIFICATIONS ARE VALID ONLY IF THEY BEAR THE IMPRESSED SEAL AND ORIGINAL SIGNATURE OF THE ENGINEER WHOSE NAME APPEARS HEREON.
- ANY UNAUTHORIZED ALTERATIONS OF OR ADDITIONS TO THESE DRAWINGS IS A VIOLATION OF SECTION 7209 (2) OF THE NEW YORK STATE EDUCATION LAW. SUCH AUTHORIZATION SHALL ONLY BE IN WRITING, SIGNED AND SEALED BY THE ENGINEER.
- ALL GLASS IS TO BE INSULATED GLASS.
- ENGINEER TO BE GIVEN AT LEAST 24 HOURS NOTICE PRIOR TO ANY SITE VISITS).
- ALL SMOKE/HEAT DETECTORS TO BE HARDWIRED WITH BATTERY BACK-UP.
- ALL EXTERIOR LUMBER TO BE PRESSURE-TREATED LUMBER.
- THE CONTRACTOR SHALL BE REQUIRED TO REPAIR AND PATCH ANY AREAS THAT ARE ALTERED OR DAMAGED DURING THE PROCESS OF ALTERATIONS.
- THE CONTRACTOR IS CAUTIONED TO MAKE CONTINUOUS OBSERVATIONS OF THE EXISTING STRUCTURE DURING THE PERFORMANCE OF HIS WORK AND SHOULD BECOME AWARE OF ANY SITUATION THAT MAY REQUIRE FURTHER INVESTIGATION OR STUDY (SUCH AS CRACKS IN MASONARY AND PARTITIONS, ADDITIONAL DEFLECTIONS, ETC.). HE SHALL NOTIFY THE ENGINEER.
- THE ENGINEER SHALL BE THE SOLE JUDGE AS THE ADEQUACY OF THE WORK PERFORMED AS RELATED TO APPROVAL OF WORK FOR PAYMENT BY THE OWNER. THE ENGINEER SHALL HAVE THE RIGHT TO ORDER THE REMOVAL OF DEFECTIVE WORK AND MATERIAL AND HAVE SUCH AREAS CORRECTED AT NO ADDITIONAL COST TO THE OWNER. THE GOVERNMENTAL INSPECTORS SHALL ALSO JUDGE THE WORK FOR MINIMUM COMPLIANCE WITH CODES. APPROVAL BY SUCH INSPECTORS DOES NOT PRECLUDE DECISIONS BY THE ENGINEER. THE GENERAL CONTRACTOR SHALL MAKE ALL NECESSARY FIELD ADJUSTMENTS AS DICTATED BY JOB CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- FIRESTOPPING SHALL BE PROVIDED AT WALLS AND CEILINGS WHERE REQUIRED BY CODE AND SHALL NOT EXCEED 8 FEET VERTICALLY OR 10 FEET HORIZONTALLY.
- ALL NEW CEILING, FLOOR OR ROOF JOISTS SHALL HAVE A MINIMUM OF 4" BEARING.
- ALL DAMAGED STRUCTURAL MEMBERS SHALL BE REPLACED.
- ALL WORK SHALL COMPLY WITH THE RESIDENTIAL BUILDING CODE OF NEW YORK (2020 EDITION), ALTERATIONS - LEVEL 2 AND THE IRVINGTON ZONING CODE.
- ALL WORK SHALL BE TYPE 5B CONSTRUCTION.

CERTIFICATION

I, STEVEN A. COSTA, P.E., CERTIFY THAT THESE PLANS AND SPECIFICATIONS, TO THE BEST OF MY KNOWLEDGE AND BELIEF COMPLY WITH THE APPLICABLE SECTIONS OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE. (2020) CHAPTER E402 - ZONE 4.

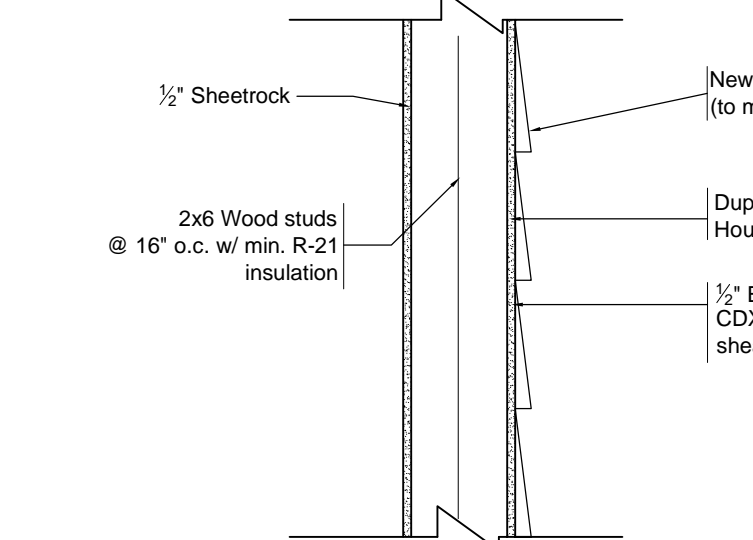
GENERAL NOTES:

- Verify all conditions and dimensions on the job site.
- Written dimensions on these drawings shall have precedence over scaled dimensions and are nominal.
- Engineer not responsible for supervision of construction or observation of work in progress.
- Engineer to be notified of any change to plan and approved by him.
- All work shall conform to all codes having jurisdiction, where conflicts of or between codes occur, the more stringent code shall supersede all others.
- All contractors and/or sub-contractors are to plan the approved standards: A.I.S.C., Federal, U.S. etc., and the highest standards of their trade. All construction shall be performed to these standards.
- Any plumbing or electrical work, to be done under separate applications.
- All lumber to be minimum 850 p.s.i. construction grade lumber.
- All concrete to be minimum 4,000 P.S.I. (concrete compressive strength at 28 days).
- All structural steel to be A-36 ("steel yield strength of 36,000 P.S.I.).
- No work to commence until approval is obtained from the Village of Irvington Building Department- and all necessary permits have been secured.
- All smoke/heat detectors to be hardwired with battery back-up.
- Use only new materials without defects.
- Set all work straight, plumb and level or with indicated slope.
- Any variations from conditions as shown on these drawing shall be brought to the attention of the Engineer. Work Shall not proceed until clarification has been received. Discrepancies and omissions on drawings and specifications shall be reported to the engineer in writing for clarification.
- Drawings are not to be scaled - use dimensions only. contractor and/or Sub-Contractor must check all conditions at the job site.
- All new interior stud partitions are to be carried up and secured tight against ceiling, roof deck or structural steel unless otherwise noted on plan.
- All gypsum board walls and ceilings to be 1/2" firecode sheetrock.
- All plumbing and electrical work shall be filed for by licensed Contractors who shall perform the work in conformance with the code having jurisdiction. The Contractors shall obtain a final certificate of Occupancy or Compliance upon completion of his work.
- The contractor shall be required to repair and patch any areas that are altered or damaged during the process of alterations.
- The contractor is cautioned to make continuous observations of the existing structure during the performance of his work and should become aware of any situation that may require further investigation or study (such as cracks in masonry and partitions, additional deflections, etc.). He then shall notify the engineer.
- The engineer shall be sole judge as the adequacy of the work performed as related to approval of work for payment by the owner. The engineer shall have the right to order the removal of defective work and material and have such areas corrected at no additional cost to the owner. The governmental inspectors shall also judge the work for minimum compliance with codes. Approval by such inspectors does not preclude decisions by the engineer. The general contractor shall make all necessary field adjustments as dictated by job conditions at no additional cost to the owner.
- Any deviation from this plans shall cause the work to cease in the affected area until the change has been approved by the Engineer.
- These drawings and specifications are valid only if they bear the impressed seal and original signature of the Engineer whose name appears hereon.
- Any unauthorized alterations of or additions to these drawings is a violations of section 7209 (2) of the New York State Education Law. Such authorization shall only be in writing, signed and sealed by the Engineer.
- All work shall comply with the 2020 Residential Code of NYS.
- All work shall be Type 5B Construction.

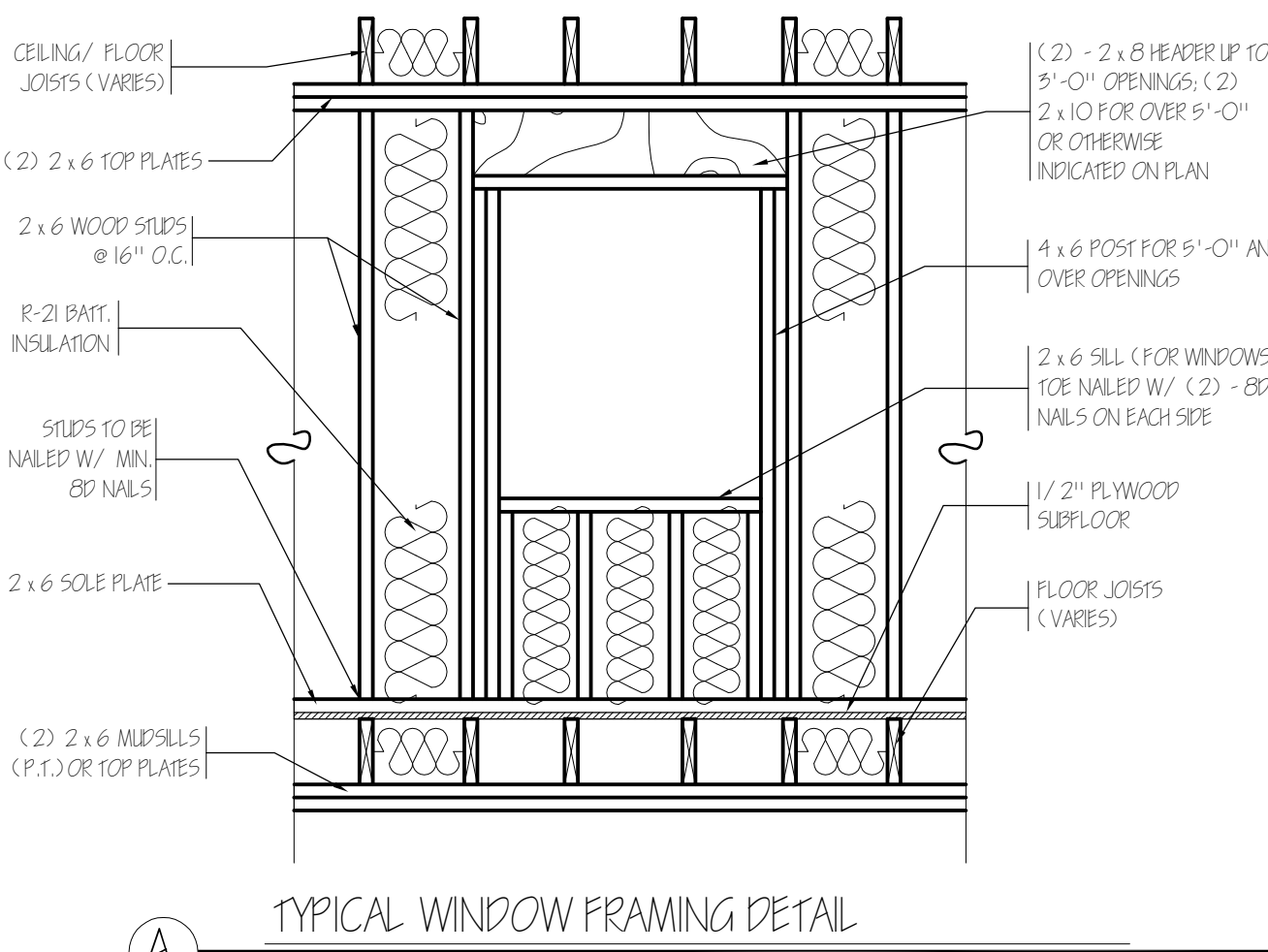
ALTERATIONS AND EXISTING CONDITIONS NOTES:

- Verify all dimensions and elevations at the job site.
 - All cutting and patching to be done by hand.
 - Where existing work is to be cut, Contractor shall provide all shoring, bracing, wedging and dry-packing and shall be responsible for the safety of the structure during this operation.
 - The Contractor shall be required to repair and patch any areas that are altered or damaged during the process of alterations.
 - The Contractor is cautioned to make continuous observations of the existing structure during the performance of his work and should become aware of any situations that require further investigation or study (such as cracks in masonry and partitions, additional deflections, etc.), he shall notify the Engineer.
- SMOKE ALARMS**
R314.3 LOCATION
Smoke alarms shall be installed in the following locations:
- In each sleeping room.
 - Outside each separate sleeping area in the immediate vicinity of the bedrooms.
 - On each additional story of the dwelling including basements and habitable attics and not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - Smoke alarms shall be installed not less than 3 feet (914 mm) horizontally from the door opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by Section R314.3.

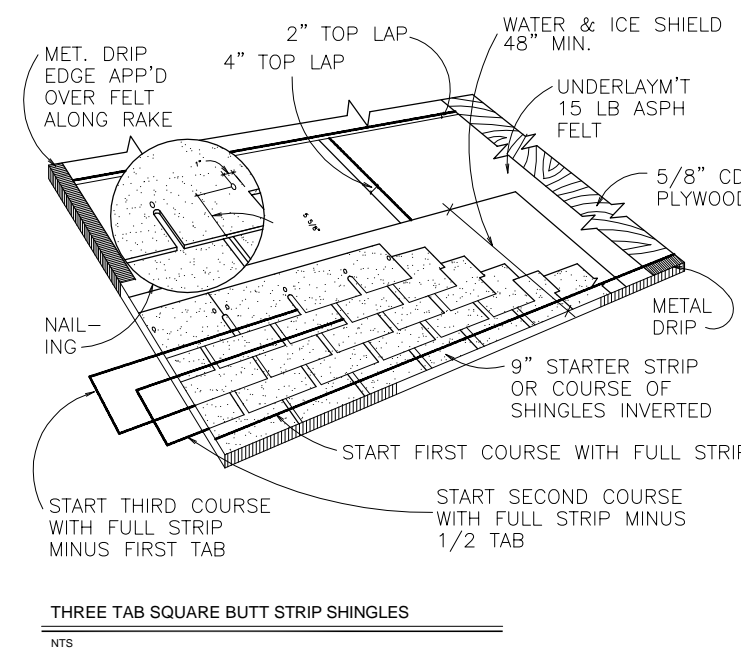
- R314.6 POWER SOURCE**
Smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and, where primary power is interrupted, shall receive power from a battery. Wiring shall be permanent and without a disconnecting switch other than those required for overcurrent protection.
- Exceptions:
- Smoke alarms shall be permitted to be battery operated where installed in buildings without commercial power.
 - Smoke alarms installed in accordance with Section R314.2.2 shall be permitted to be battery powered.



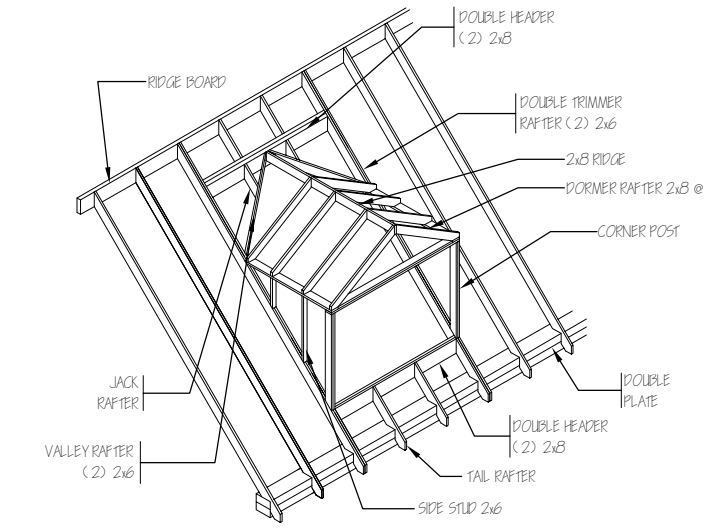
TYPICAL EXTERIOR WALL
Scale: 1" = 1'-0"



TYPICAL WINDOW FRAMING DETAIL

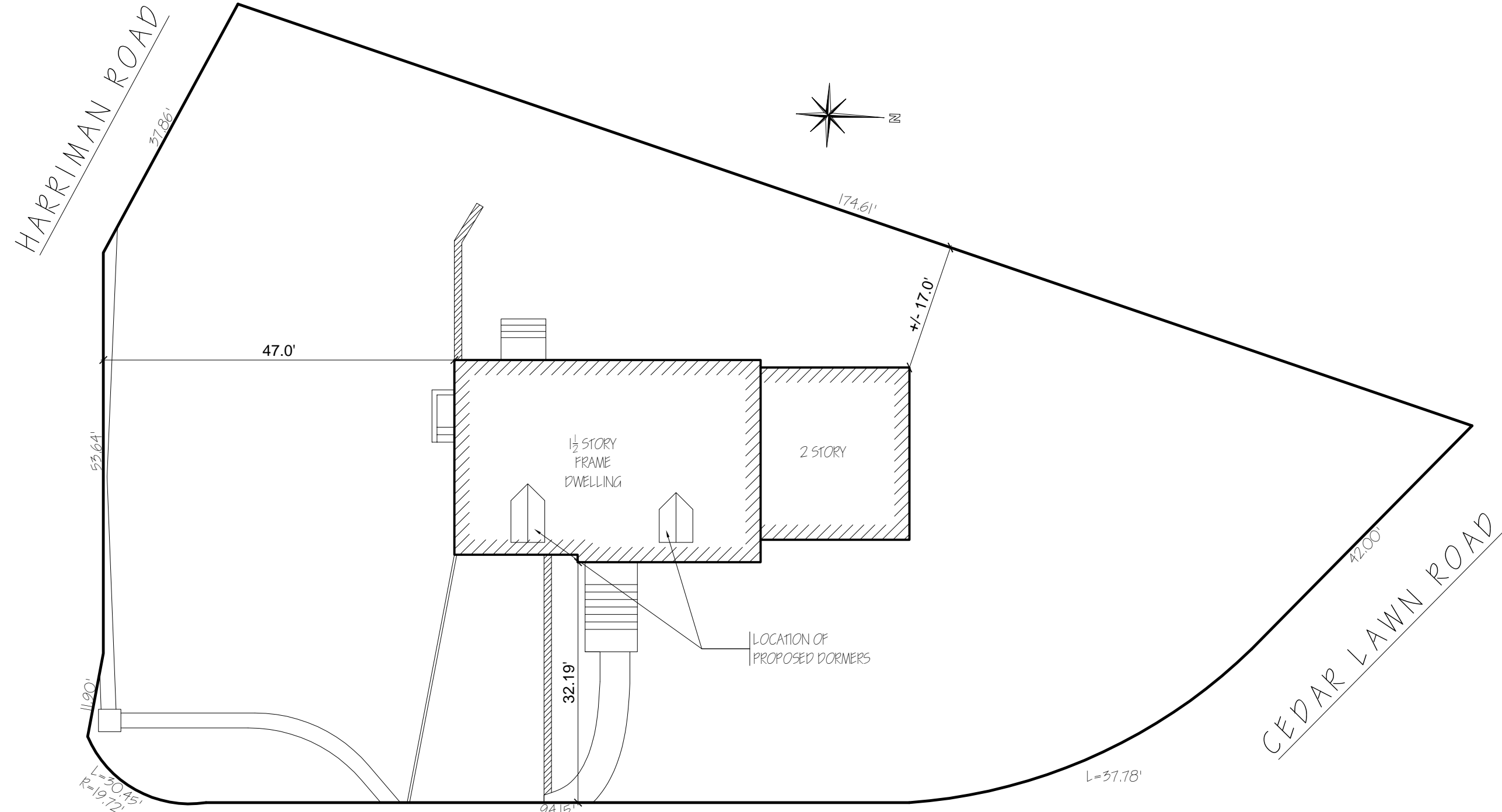


THREE TAB SQUARE BUTT STRIP SHINGLES



DORMER DETAIL

ALL WINDOWS & DOORS
SHALL BE ANDERSEN 400
SERIES OR EQUAL



SITE PLAN

SCALE: 1" = 15'

SITE PLAN INFORMATION
AS TAKEN FROM SURVEY
PREPARED BY:
EDWARD G. MIHALCZO L.L.C.
04/ 27/1985

| CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA | | | | | | | | | | | | | |
|---|--------------------------|-------------------------------------|-------------------------------------|--|--|-------------------------|----------------------------------|-------------------------|--|--|--|---------------------------------------|--------------------------------------|
| Ground Snow Load | Wind | | | | Seismic Design Category ^f | Subject to Damaged From | | | Winter Design Temp. ^e | Ice Barrier Underlayment Required ^h | Flood Hazards ^g | Air Freezing Index ⁱ | Mean Annual Temp. ^j |
| | Speed (mph) ^d | Topographic effects ^k | Special wind region ^l | Wind-borne debris zone ^m | | Weathering ^a | Front Line Depth ^b | Termite ^c | | | | | |
| | | | | | | | | | | | | | |
| 30 psf | *Special Wind Region | NO | YES | NO | C | Severe | 42" ¹¹ | Moderate to Heavy | 7 deg. F | Yes | **FIRM COMMUNITY - PANEL MAP # 5619C020P EFFECTIVE DATE, 9-28-2007 | 1500 or less | 91.6 deg. F |

* 115 MPH to 120 MPH. The special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind speeds higher than the derived values taken from Section 16-09.
** State if applicable. For Flood Hazards the Design Professionals shall state if they are applicable, Y/N. Verify with FIRM Maps. Maps are available on the village website (www.irvingtonny.gov)

| INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT | | | | | | | | | | | |
|---|-------------------------|----------------------|-------------------------------|--------------------|-------------------------------|-------------------------|------------------|-----------------------------|----------------------------|-----------------------------------|--|
| CLIMATE ZONE | PENETRATION U-FACTOR | SKYLIGHT U-FACTOR | GLAZED PENETRATION SHGC | CEILING R-VALUE | WOOD FRAME WALL R-VALUE | MASS WALL R-VALUE | FLOOR R-VALUE | BASEMENT WALL R-VALUE | SLAB R-VALUE & DEPTH | CRAWL SPACE WALL R-VALUE | |
| TABLE R402.1.2 INSULATION AND PENETRATION REQUIREMENTS BY COMPONENT | | | | | | | | | | | |
| 4A | 0.02 | 0.05 | 0.4 | 49 | 20 OR 15 + 5 | 8/ 15 | 19 | 10/ 13 | 10, 2 FT | 10/ 13 | |
| TABLE R402.1.4 EQUIVALENT U-FACTORS | | | | | | | | | | | |
| 4A STRETCH CODE | 0.27 | 0.5 | 0.4 | 49 | 20 + 5 or 15 + 10 | 15/ 20 | 30 | 15/ 19 | 10, 4 FT | 15/ 19 | |

HILLSIDE TERRACE



| | | |
|-----------|--|--------------------|
| Block: 45 | Proposed Front Dormers @ 5 Hillside Terrace Irvington, New York | Scale: as noted |
| Lot: 43 | | Date: 04/14/22 |
| Set: 2.90 | | Drawn by: J.M.A.S. |
| Sheet. | Steven A. Costa, P.E. Consulting Engineer 756 Palisade Avenue Yonkers, NY 10703 (914) 968 - 5422 | Check'd by: S.A.C |
| | | Sheet No. |
| | | 1 of: 2 |

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FRONT ELEVATION

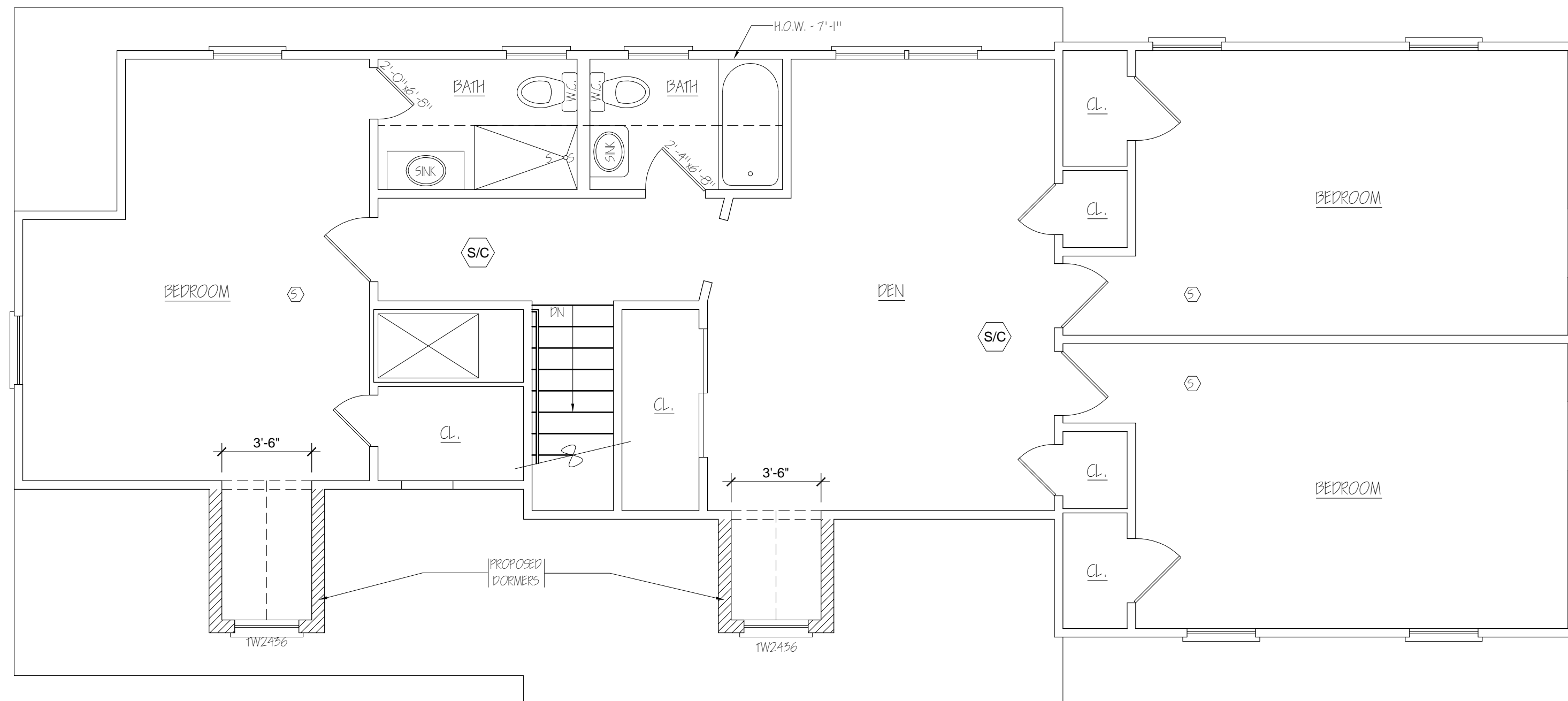
SCALE: $\frac{3}{4}" = 1'-0"$



LEFT ELEVATION

SCALE: $\frac{3}{4}" = 1'-0"$

NOTE
ALL SIDING, ROOFING, TRIM,
WINDOWS & COLORS TO
MATCH EXISTING



SECOND FLOOR PLAN

SCALE: $\frac{3}{4}" = 1'-0"$

C.L.G. H.T. 8'-0"

LEGEND

- HARDWIRED SMOKE/HEAT DETECTOR INTERCONNECTED WITH BATTERY BACK-UP
- CARBON MONOXIDE DETECTOR WITH DIGITAL DISPLAY
- EXHAUST FAN TO EXTERIOR (50 CFM)
- SMOKE/HEAT DETECTOR & CARBON MONOXIDE DETECTOR COMBINATION
- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL 2x6 @ 16" O.C. W/ $\frac{1}{2}"$ SHEETROCK, SEE DETAIL B

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| | | |
|------------|--|--------------------|
| Block: 45 | Proposed Front Dormers @ 5 Hillside Terrace Irvington, New York | Scale: as noted |
| Lot: 43 | | Date: 04/14/22 |
| Sect: 2.90 | | Drawn by: J.M.A.S. |
| Sheet: | | Check'd by: S.A.C |
| | Steven A. Costa, P.E. Consulting Engineer 756 Palisade Avenue Yonkers, NY 10703 (914) 968 - 5422 | Sheet No. |
| | | 2 |
| | | of: 2 |