

Matthew Behrens – Architect
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June 15, 2022

VIA HAND DELIVERY

Village of Irvington – Building Department
85 Main Street
Irvington, NY 10533

RE: **Building Permit / ARB Application**
Munits Residence
Legalize Existing Open Wood Deck
2 Deep Hollow Close
Irvington, NY
Application # 481
Parcel No. 2.170-77-8

To Whom It May Concern,

Attached please find the following as it pertains to the above referenced building permit and ARB Application:

- Signed Application form
- Application Fee
- (3) sets of Architectural Plans, Elevations and Details
- (3) sets of photographs
- Thumb drive containing all attached files

Please review the attached and advise any additional comments or questions.

Sincerely,

Matthew Behrens

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	481	Date:	06/01/2022
Job Location:	2 DEEP HOLLOW CLOSE	Parcel ID:	2.170-77-8
Property Owner:	Nathan and Meg Munits	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	1F-40
Common Name:	Munits Residence		

Applicant	Contractor
NATHAN AND MEG MUNITS	
megmunits@gmail.com	
2 DEEP HOLLOW CLOSE IRVINGTON 10533	
718 757-1035	

Description of Work

Type of Work:	Deck	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	10000.00	Property Class:	1 FAMILY RES

Description of Work

Legalize an Existing Open Wood Deck previously constructed to the rear of the existing residence

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

MUNITS RESIDENCE
2 DEEP HOLLOW CLOSE
IRVINGTON, NY

EXISTING CONDITIONS



MUNITS RESIDENCE
2 DEEP HOLLOW CLOSE
IRVINGTON, NY

ADJACENT PROPERTIES



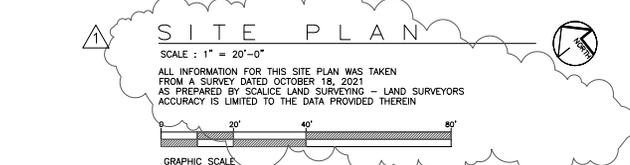
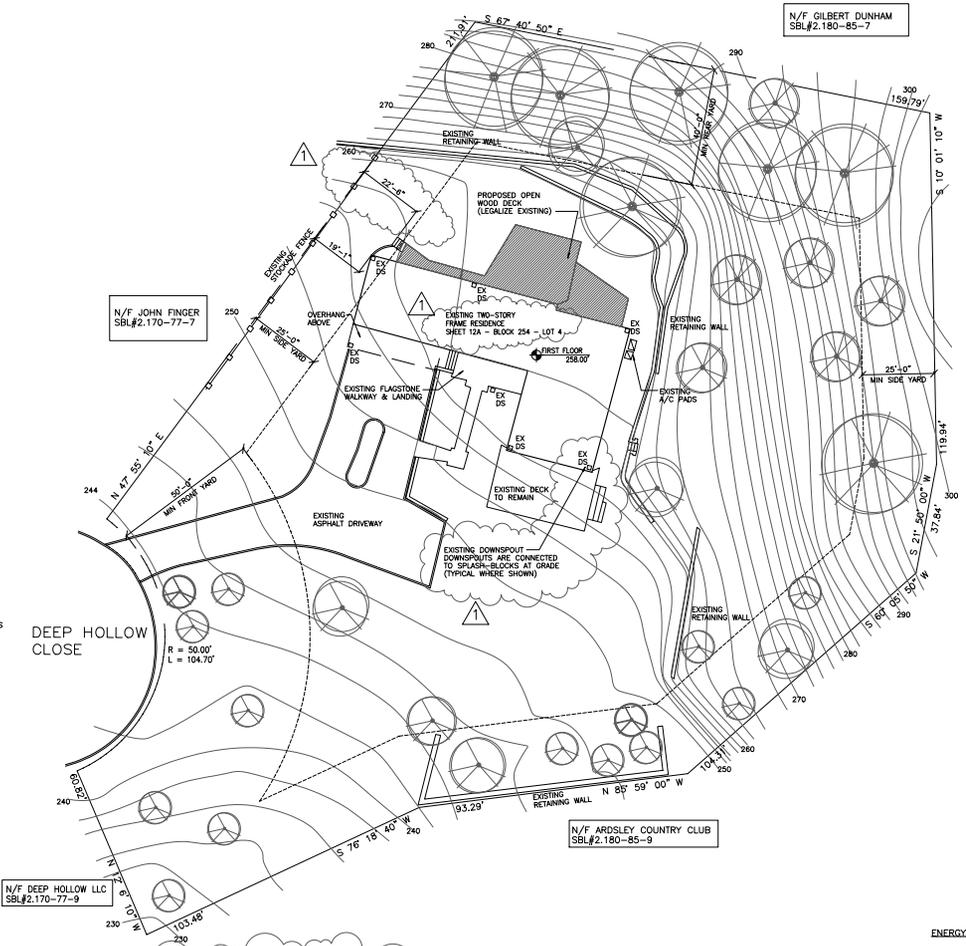
GENERAL REQUIREMENTS

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES & ALL AUTHORITIES HAVING JURISDICTION. IN THE ABSENCE OF OTHER STANDARDS, THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE SHALL GOVERN.
- B. VERIFY ALL DIMENSIONS & CONDITIONS ON THE SITE & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. CLAIMS FOR EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL NOT BE ALLOWED.
- C. CONTR. AND SUB-CONTR'S SHALL MAINTAIN WORKMEN'S COMPENSATION AND LIABILITY INSURANCE IN ADEQUATE AMOUNTS TO RENDER THE OWNER & HIS AGENTS HARMLESS IN CASE OF ACCIDENTS TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. PROVIDE CERTIFICATES OF SAME TO OWNER.
- D. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING & TEMPORARY SHORING AS REQUIRED. PROVIDE TEMPORARY PROTECTIVE DUST, FROM SECURITY & WEATHER - TIGHT ENCLOSURES WHEN & WHERE REQUIRED.
- E. THE WORK INCLUDES ALL CUTTING & PATCHING & RESTORATION OF AREAS & SURFACES DISTURBED DUE TO THE EXECUTION OF THIS CONTRACT INCLUDING OF KIND, COLOR, QUALITY, TEXTURE, & INSTALLED IN MATCHING PATTERN & COURSING WHERE APPLICABLE.
- F. THE CONTRACTOR SHALL SECURE & PAY FOR ALL PERMITS, AND INSPECTIONS OF LOCAL AUTHORITIES & OBTAIN FINAL APPROVALS OF, AND/OR CERTIFICATES OF COMPLIANCE FOR ALL WORK UPON COMPLETION AND/OR DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS & EQUIPMENT TO COMPLETE ALL WORK. ALL LABOR MATERIALS & ASSEMBLIES SHALL BE OF GOOD WORKMANSHIP QUALITY, & SHALL CONFORM TO NATIONAL & LOCAL INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO MFG.'S SPECIFICATIONS. THE CONTRACTOR SHALL CONVEY TO THE OWNER ALL APPLICABLE MFG.'S. WARRANTIES AND/OR WARRANTIES ON MATERIALS & EQUIPMENT INSTALLED.
- G. THE BUILDING & GROUNDS SHALL BE KEPT CLEAN & SAFE AT ALL TIMES AND PLACE ALL DEBRIS INTO A RECEPTACLE AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL, IN STRICT ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS. IF OWNER IS TO OCCUPY THE EXISTING RESIDENCE DURING CONSTRUCTION, MAINTAIN CLEAR ACCESS TO THE SITE AT ALL TIMES.
- J. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AFTER ACCEPTANCE BY THE OWNER OF SPECIFIC DESIGNATED EQUIPMENT OR PORTIONS OF THE WORK. THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK OR DESIGN PORTION THEREOF SHALL BE THE DATE AGREED UPON BY THE OWNER & THE CONTRACTOR WHEN COMPLETION OF THE WORK OR PORTION THEREOF ACCORDS WITH THE CONTRACT DOCUMENTS, THAT THE OWNER CAN OCCUPY OR UTILIZE WORK, OR DESIGNATED PORTION OF THE WORK FOR THE USE FOR WHICH IT IS INTENDED. WRITE'S GUARANTEE/WARRANTY SHALL BE CONVEYED IN ACCORDANCE WITH 1.F ABOVE. IF ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS DURING THE GUARANTEE/WARRANTY PERIOD, THE CONTRACTOR SHALL PROMPTLY CORRECT SAME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER TO DO SO UNLESS THE OWNER HAS PREVIOUSLY GIVEN THE CONTRACTOR WRITTEN ACCEPTANCE OF SUCH CONDITION. THE OWNER SHALL GIVE SUCH NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITION.

- CONCRETE**
1. ALL CONCRETE FOR FOOTINGS, WALLS, SLABS, ETC., SHALL BE AIR-ENTRAINED STONE CONCRETE AT 4000 PSI TEST AT 28 DAYS, CONFORM TO ASTM C-260 SPECIFICATIONS FOR AIR-ENTRAINED ADMIXTURES FOR CONCRETE FOR AIR ENTRAINMENT MIXTURES; READY-MIXED CONCRETE SHALL CONFORM TO ASTM C-39 SPECIFICATIONS FOR READY-MIXED CONCRETE QUALITY, CONVEYING AND DEPOSITING OF CONCRETE SHALL CONFORM TO ACI 613 RECOMMENDED PRACTICE FOR SELECTING PROPORTIONS FOR CONCRETE AND ACI 614 RECOMMENDED PRACTICE FOR MEASURING, MIXING & PLACING CONCRETE.

- CARPENTRY**
1. FRAMING LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER F#-850 MINIMUM (SINGLE), F#-850 PSI MINIMUM (PREPARED), 19% MAXIMUM MOISTURE CONTENT AS STRESS-GRADED BY WEST COAST LUMBER INSPECTION BUREAU (WCLB) & WESTERN WOOD PRODUCTS ASSOCIATION (WWPA).
 2. SHEATHING, EXTERIOR WALLS: 1/2" DOUGLAS FIR PLYWOOD CDX EXTERIOR - APA PLYWOOD.
 3. ROOF SHEATHING: 3/4" DOUGLAS FIR PLYWOOD, CDX EXTERIOR APA (DIMENSION AS NOTED ON DWGS).
 4. SUB FLOOR: 3/4" DOUGLAS FIR PLYWOOD, C-D INTERIOR UNDERLAYERING, 5/8" PLYWOOD UNDERLAYERING GRADE.
 5. FLOORING, BRIDGING, NAILERS, AND FINISHING: #1 COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK. BRIDGES TO BE 1 1/4" x 3" OR APPROX EQUAL AT 4' O.C. MAXIMUM. LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS TIGHTLY.
 6. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING.
 7. ALL WOOD SILLS SET ON CONCRETE SHALL BE PROTECTED & TREATED ("WOLMANIZED", "SOMOSE K-33", OR EQUAL).
 8. 2" X 12'S OVER ALL OPENINGS UNLESS SHOWN OTHERWISE.
 9. PROVIDE SOLID BLOCKING FOR BEARING POINTS OF ALL BEAMS AND COLUMNS. USE SHIMS OF SLATE OR STEEL FOR LEVELING WOOD MEMBERS ON CONCRETE OR MASONRY. BEARING FOR ALL BEAMS SHALL BE FULL WIDTH OF THE BEAM.
 10. SOFFITS: 1/2" MEDIUM DENSITY OVERLAP PLYWOOD EXTERIOR GLUE WITH CONTINUOUS ALUMINUM SPOON VENT.
 11. NAILING: ALL NAILING TO BE COMPLETED IN ACCORDANCE WITH NEW YORK STATE RESIDENTIAL CODE.
 12. GANG-LAM LVL: GANG-LAM LVL'S SHALL BE AS MANUFACTURED BY PERI COMPONENTS OR APPROVED EQUAL. MEMBERS SHALL BE 2800 PSI MINIMUM IN BENDING, -2.0E GRADE.
 14. NOTICING AND HOLES IN JOISTS AND BEAMS: NOTICING AND BORED HOLES IN JOISTS AND BEAMS FOR PLUMBING PIPING, HEATING PIPING, ELECTRICAL CONDUITS, ETC. ARE PERMITTED PROVIDED THAT THEY COMPLY WITH THE NEW YORK STATE BUILDING CODE MANUAL - PART 3, PAGE 91. VERIFY SIZES AND LOCATIONS OF EXCESSIVE NOTICING AND BORED HOLES THAT MAY BE REQUIRED WITH ARCHITECT PRIOR TO CREATING THE PENETRATIONS.
 15. ALL MULTIPLE-MEMBER BEAMS OR JOISTS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D NAILS @ 12" ON CENTER AT TOP AND BOTTOM.
 16. ALL WINDOW & DOOR OPENINGS TO HAVE MINIMUM DBL JACK STUDS IN STRICT ACCORDANCE WITH STATE CODE PERMITS.

- FINISH CARPENTRY**
1. INTERIOR AND EXTERIOR TRIM (MOLDINGS, CASINGS, CORNICES, BASES, ETC.), OTHER THAN STAINED OR PREFINISHED, SHALL BE NO. 1 KILN DRIED WHITE PONDGROUSE PINE MATCH EXISTING PROFILES OR INSTALL NEW AS NOTED ON DWGS.
 2. SURFACES OF INTERIOR PARTITIONS AND INTERIOR OF EXTERIOR WALLS AND CEILING SHALL BE 1/2" OPSHIM BOARD TYPE X, FIRE CODE, WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY CODE SCRUBBED WITH 1 1/4" TYPE W DRYWALL. SCREENS PER MANUFACTURER'S RECOMMENDATIONS, TAPED, 3 COATS AND SANDED, READY FOR FINAL FINISH. PROVIDE METAL CORNER BEADS AND OTHER DRYWALL ACCESSORIES AS REQ'D.



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA
TABLE R301.2 (1)

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMPERATURE	ICE SHEILD OVERLAPMENT REQUIRED	FLOOD HAZARDS	
			WEATHERING	FROST DEPTH	TERMITES				DECAY
45 PSF	90 - 100 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7 F	YES	NO

ALL PROPOSED WORK IS IN COMPLIANCE WITH NEW YORK STATE RESIDENTIAL CODE 2015 AND NYS SUPPLEMENT 2017

N/F GILBERT DUNHAM SBL#2:185-85-7

ZONING COMPLIANCE SUMMARY

DESCRIPTION	REQUIRED	EXISTING	PROPOSED	TOTAL	COMMENTS
ZONING DISTRICT	1F-40				
AREA OF LOT	40,000 SF	59,885 SF	N/A	N/A	
FRONT YARD SETBACK	50'-0"	106'-8"	no change	N/A	
REAR YARD SETBACK	40'-0"	86'-6"	66'-6"	N/A	
SIDE YARD SETBACK 1	25'-0"	22'-6"	no change	N/A	SIDE YARD NON-COMFORMING VARIANCE REQUIRED
SIDE YARD SETBACK 2	25'-0"	88'-8"	N/A change	N/A	
LOT WIDTH	150'-0"	165'-6"	N/A	N/A	
LOT DEPTH	150'-0"	211'-11"	N/A	N/A	
LOT COVERAGE	12% 4,800 SF	9% 5,171 SF	1,022 SF	10% 6,193 SF	EXCEEDS ALLOWABLE COVERAGE - VARIANCE REQUIRED

COVERAGE CALCULATIONS

LOT COVERAGE
MAX ALLOWABLE = 12% OF (40,000 SF) = 4,800 + 795 BONUS = 5,595 SF

DESCRIPTION	EXISTING	PROPOSED	TOTAL
PRINCIPAL BUILDING COVERAGE	3,396 SQ FT	0 SQ FT	3,396 SQ FT
FRONT ENTRY LANDING & WALKWAY	524 SQ FT	0 SQ FT	524 SQ FT
EQUIPMENT & UTILITY PADS	12 SQ FT	0 SQ FT	12 SQ FT
RETAINING WALLS	477 SQ FT	0 SQ FT	477 SQ FT
EXISTING FRONT DECK	762 SQ FT	0 SQ FT	762 SQ FT
PROPOSED DECK	0 SQ FT	1,022 SQ FT	1,022 SQ FT
TOTAL COVERAGE	5,171 SQ FT	1,022 SQ FT	6,193 SQ FT

SITE PLAN NOTES:
 CONTIGUOUS INFORMATION WAS TAKEN FROM WESTCHESTER COUNTY GIS MAP
 NO TREES WITH A DIAMETER GREATER THAN 4" ARE LOCATED NEAR THE LIMITS OF CONSTRUCTION AND NO TREES WILL BE DISTURBED BY THE PROPOSED WORK.
 EXCAVATION IS LIMITED TO THE PROPOSED DECK FOOTINGS.
 NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK.
 THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DETERMINED APPROPRIATE BY THE VILLAGE ENGINEER. SILTATION AND EROSION OF DISTURBED SOILS.
 AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.

- DRAWING LIST**
- A-0-1 SITE PLAN AND ZONING DATA
 - A-0-2 SITE PLAN NOTES and DETAILS
 - A-0-3 SITE PLAN AND COVERAGE COMPARISONS
 - A-1 DECK PLANS AND ELEVATIONS

CODE COMPLIANCE NOTE:
 TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.
 APPLICABLE CODES AND PROVISIONS:
 • 2020 NEW YORK STATE BUILDING CODE AND NOVEMBER 2019 ADDITION
 • 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE
 • NATIONAL ELECTRICAL CODE NFPA 70: 2014 EDITION
 • NEW YORK STATE RESIDENTIAL PLUMBING CODE
 EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a
 OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

BUILDING TYPE: SINGLE FAMILY RESIDENCE
 DESIGN DEGREE DAYS: 5,790 (WESTCHESTER COUNTY)
 CLIMATE ZONE: 4
 INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT:

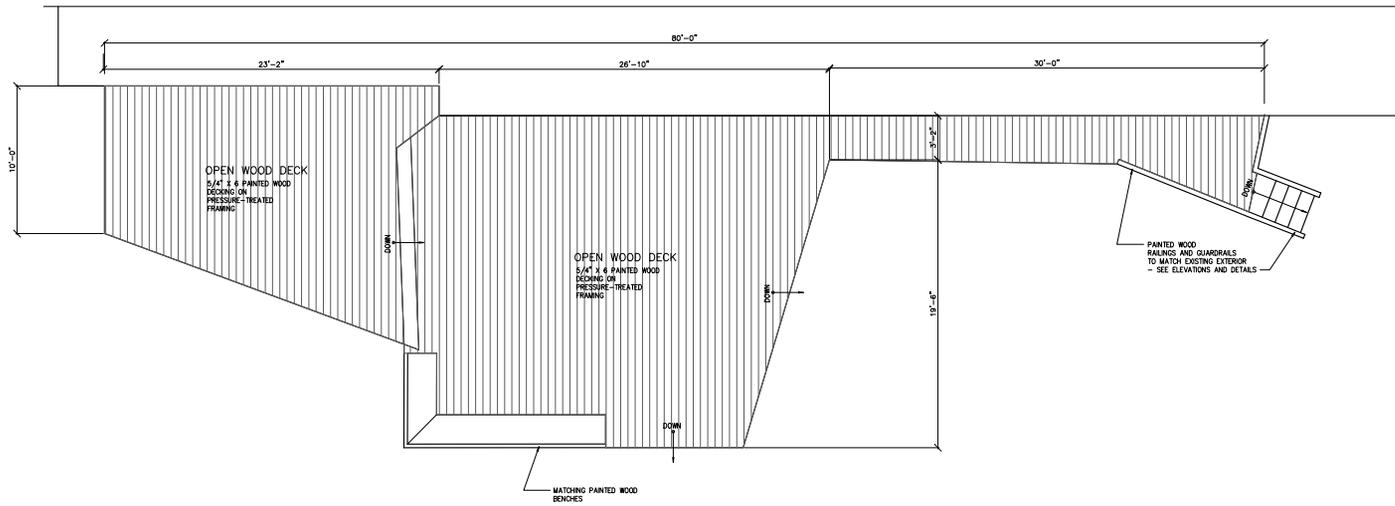
COMPONENT	MIN. R-VALUE	MAX. U-VALUE
FENESTRATION	N/A	U-0.35
SKYLIGHTS	N/A	U-0.35
CEILING	R-38	
EXTERIOR WALLS	R-19	
FLOOR	R-30	
BASEMENT WALL	R-10 / 13	
SLAB	R-12	

MINIMUM REQUIREMENTS:
 FIRST FLOOR: 40 PSF
 SECOND FLOOR: 30 PSF
 ATTIC FLOOR (WITH STORAGE): 20 PSF
 ROOF LOAD: 30 PSF
 SOIL BEARING CAPACITY: 2 TONS / SQ FT

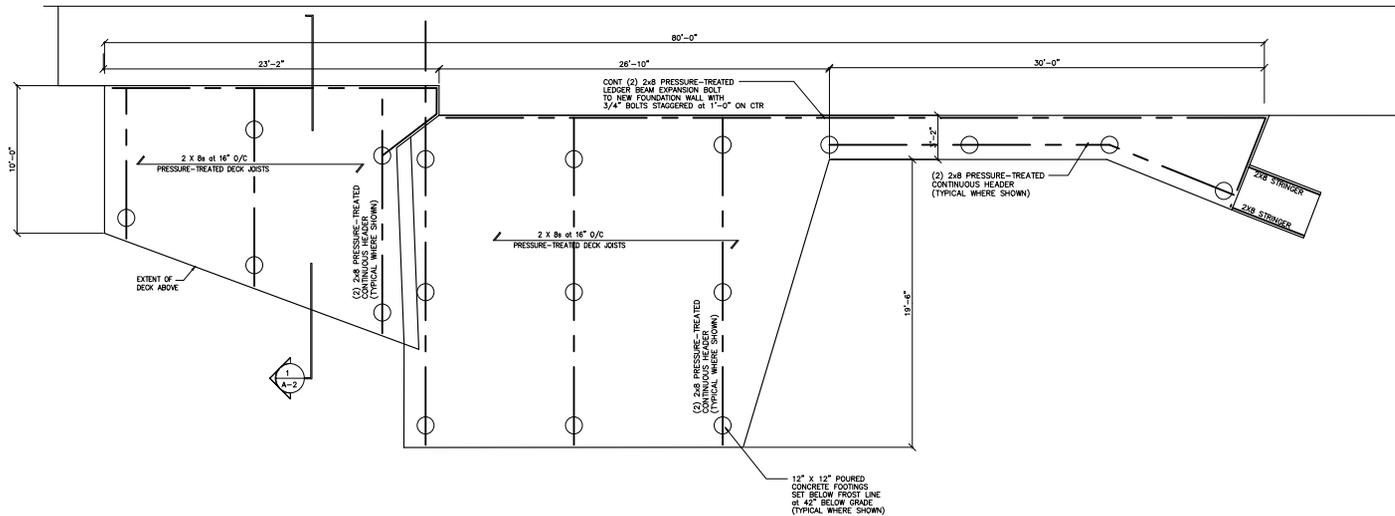
NO.	DATE	REVISIONS PER PLANNING BOARD COMMENTS
1	3/22/22	

LEGAL EXISTING DECK:
MUNITS RESIDENCE
 2 DEEP HOLLOW CLOSE IRVINGTON, NY

PROJ. NO. 414
 DATE: FEB 16, 2022
 SCALE: AS NOTED
MATTHEW BEHRENS ARCHITECT
 25 BEDFORD ROAD
 SLEEPY HOLLOW, NY 10591
 914-391-1689
A-0-1



DECK PLAN
SCALE : 1/4" = 1'-0"



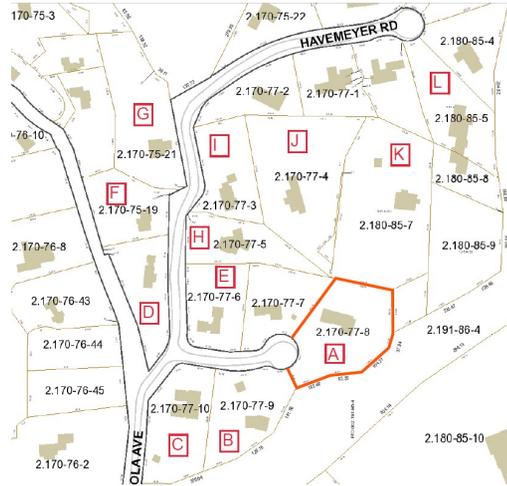
DECK FRAMING and FOUNDATION PLAN
SCALE : 1/4" = 1'-0"

NO.	DATE	REMARKS	

LEGALIZE EXISTING DECK:
MUNITS RESIDENCE
 2 DEEP HOLLOW CLOSE IRVINGTON, NY

DECK PLANS	PROJ. NO. 414
	DATE : FEB 16, 2022
	SCALE : AS NOTED

MATTHEW BEHRENS
 ARCHITECT
 25 BEDFORD ROAD
 SLEEPY HOLLOW, NY 10591
 914-391-1689



ZONING ANALYSIS OF ADJACENT PROPERTIES									
TAG	ZONING DISTRICT	PARCEL ID	LOT AREA (SQ. FT)	ADDRESS	COVERAGE				COMMENTS
					ALLOWED	EXISTING	% OF ALLOWED	% OF LOT	
A	1F-40	2.170-77-8	59,885	2 DEEP HOLLOW CLOSE	5,595	5,171	92 %	9 %	
						PROPOSED			
						6,193	111 %	10 %	
B	1F-40	2.170-77-9	50,094	1 DEEP HOLLOW CLOSE	5,204	3,762	72 %	8 %	INCLUDES 1,225 SQ FT DECK
C	1F-40	2.170-77-10	53,579	75 HAVEMEYER ROAD	5,343	8,511	159 %	16 %	NON-CONFORMING
D	1F-40	2.170-75-20	40,075	45 HAVEMEYER ROAD	4,803	3,291	69 %	8 %	
E	1F-40	2.170-77-6	40,906	4 DEEP HOLLOW CLOSE	4,836	5,731	119 %	14 %	NON-CONFORMING
F	1F-40	2.170-75-19	40,075	47 HAVEMEYER ROAD	4,803	3,651	76 %	9 %	
G	1F-40	2.170-77-5	39,640	73 HAVEMEYER ROAD	4,757	5,580	117 %	14 %	NON-CONFORMING
H	1F-40	2.170-75-21	39,640	49 HAVEMEYER ROAD	5,796	4,969	86 %	8 %	
I	1F-40	2.170-77-3	42,689	67 HAVEMEYER ROAD	4,908	4,721	96 %	11 %	
J	1F-40	2.170-77-4	89,734	69 HAVEMEYER ROAD	6,789	5,196	77 %	6 %	
K	1F-40	2.180-85-7	103,237	71 HAVEMEYER ROAD	7,329	5,150	70 %	5 %	
L	1F-40	2.180-85-5	71,003	59 HAVEMEYER ROAD	6,040	8,711	144 %	12 %	NON-CONFORMING
		2.180-85-8							
AVERAGE					5,517	5,456	99.67 %	10 %	12 PROPERTIES ANALYZED 5 PROPERTIES ARE NON-CONFORMING - 42%

NOTES and QUALIFICATIONS:
 - DATA WAS COLLECTED FROM THE TOWN OF GREENBURGH, NY GIS RECORDS
 - 25% OF TOTAL COVERAGE WAS ADDED TO ACCOUNT FOR WALKWAYS AND RETAINING WALLS

ADJACENT PROPERTY MAP

2 DEEP HOLLOW CL. ID: 2.170-77-8 (Irvington)



March 21, 2022
 This parcel data was provided for local municipality. This map is generated as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a legal instrument. The County of Westchester bears no responsibility for the use of this GIS mapping system by any person or entity. The online database is not guaranteed to be accurate and should not be used for the resolution of a deed or a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact local municipality assessor's office.



1	3/22/22	REVISED PER PLANNING BOARD COMMENTS
NO.	DATE	REMARKS



LEGALIZE EXISTING DECK:
MUNITS RESIDENCE
 2 DEEP HOLLOW CLOSE IRVINGTON, NY

SITE PLAN AND LOT COVERAGE COMPARISONS
 PROJ. NO. 414
 DATE : FEB 16, 2022
 SCALE : AS NOTED

MATTHEW BEHRENS
 ARCHITECT
 25 BEDFORD ROAD
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A-0-3