

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	338	Date:	04/04/2022
Job Location:	53 FIELD TERRACE AVE	Parcel ID:	2.170-76-16
Property Owner:	Raul Marquez	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
James Krapp	
studio PPARK	
3 Greyrock TerraceIrvington NY 10533	
5132527845	

Description of Work

Type of Work:	Deck	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	40000.00	Property Class:	1 FAMILY RES

Description of Work

Remove existing brick hardscape path, patio and wood deck to replace w/ new expanded deck. Reduction in coverage.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

SITE PLAN EXISTING



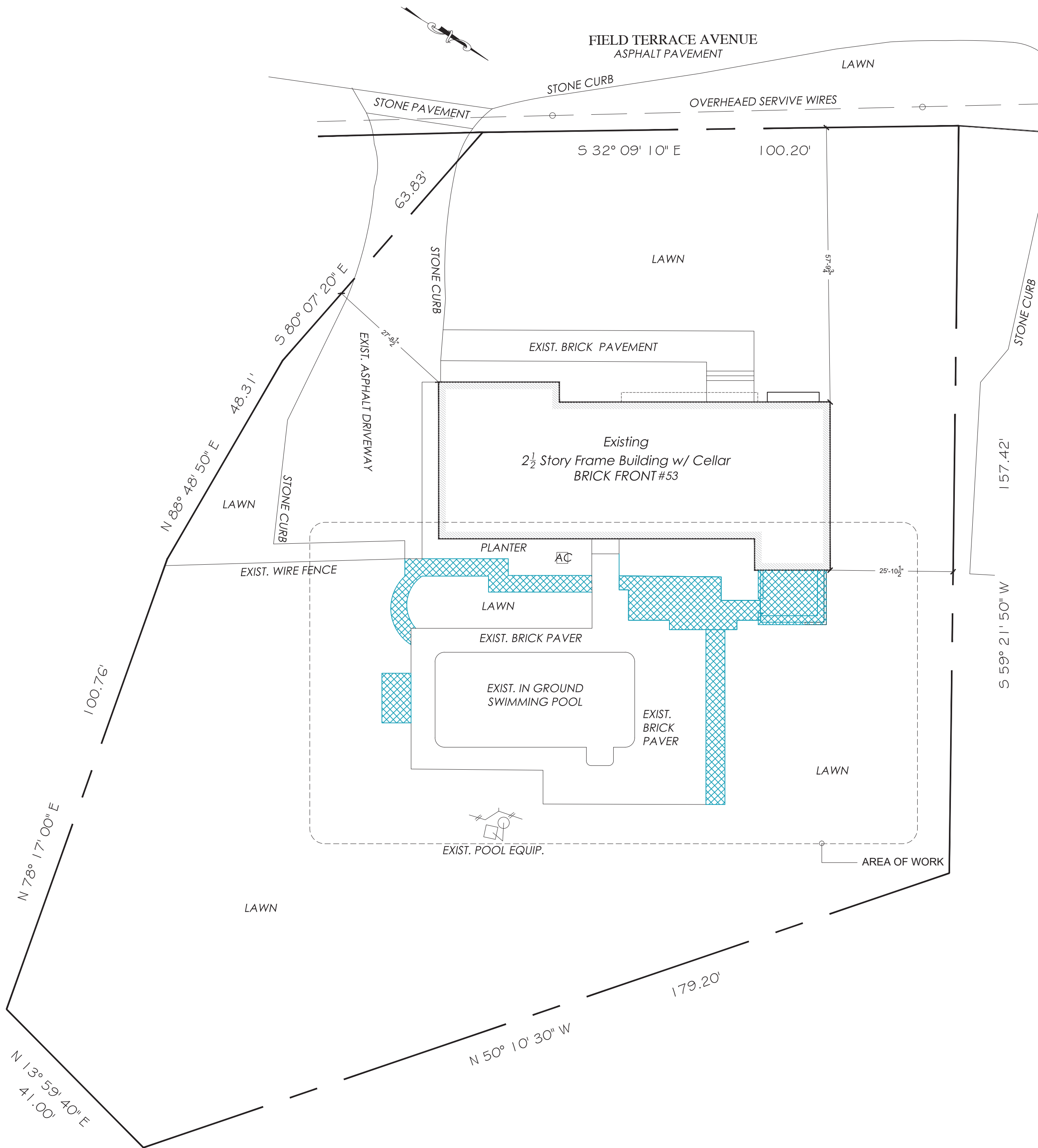
EAST ELEVATION



EAST ELEVATION



EAST ELEVATION

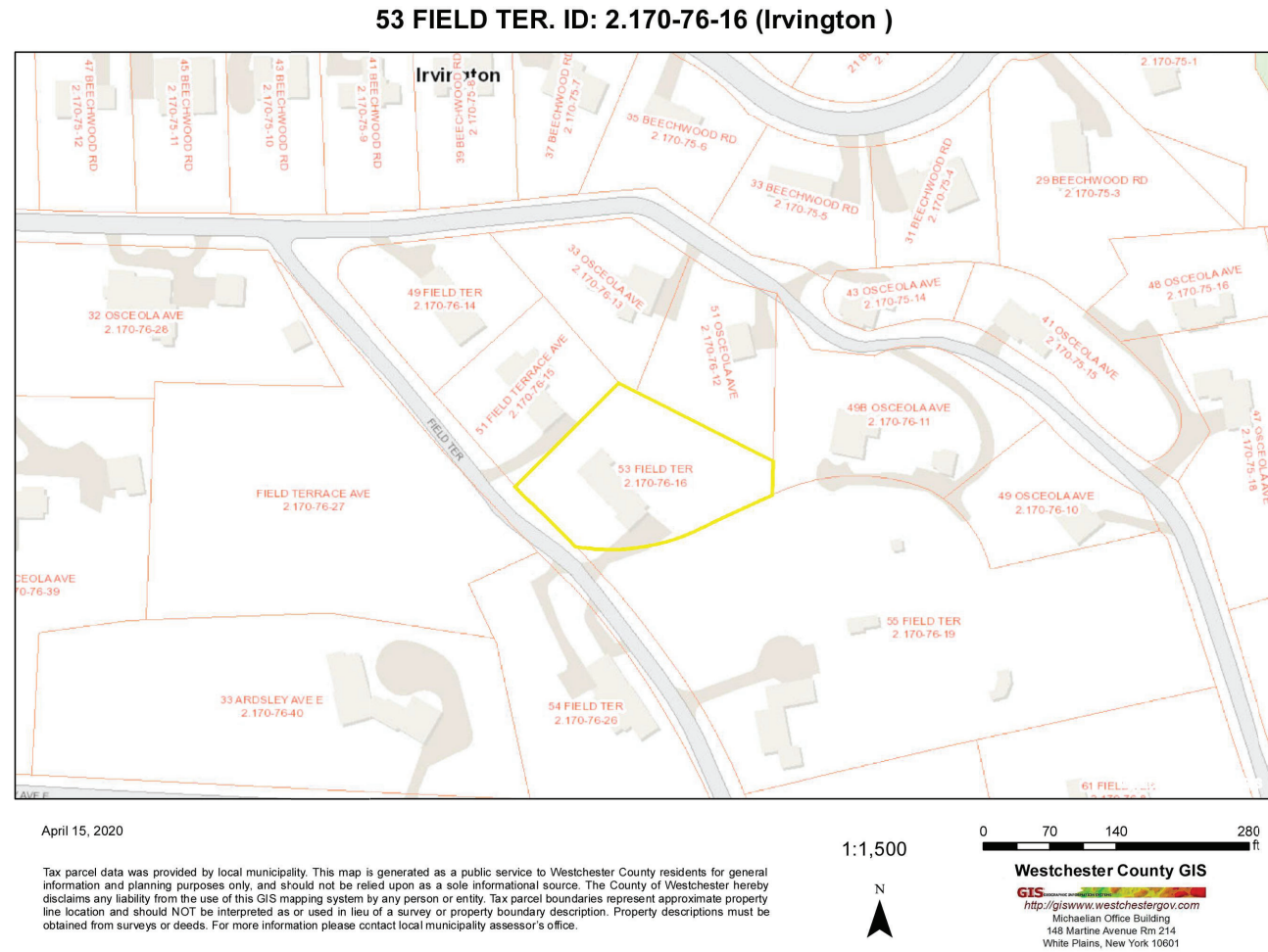


LIST OF DRAWINGS

ARCHITECTURAL

- T100 COVER SHEET
L100 SITE PLAN AND DETAILS
A101 PROPOSED REAR YARD DECK
PLAN AND ELEVATIONS

TAX MAP



USE REQUIREMENTS & CONSTRUCTION CLASSIFICATION

CATEGORY	REQUIREMENT	EXISTING	PROPOSED	ZONING	CLASS
USE	ONE FAMILY	ONE FAMILY	NO CHANGE	IF-40	UN-PROTECTED

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

R301.2 Climatic and geographic design criteria. Buildings shall be constructed in accordance with the provisions of this code as limited by the provisions of this section. Additional criteria shall be established by the local jurisdiction and set forth in Table R301.2(1).

GROUND SNOW LOAD CATEGORY	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM WEATHERING	FLOOD HAZARDS
MODERATE TO HEAVY	100-110MPH	C	SEVERE 42"	NO

Design loads:

Ground snow load: 30 PSF
Basic wind speed: 100-110 MPH
First floor: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total
Second floor: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total
Attic (with limited storage): 10 PSF (LL) + 15 PSF (DL) = 25 PSF total
Roof: 30 PSF (LL) + 15 PSF (DL) = 45 PSF total
Porches & decks: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total
Guardrails & handrails: 200 PSF
Guardrails in-fill components: 50 PSF
Concrete: walls: 3000 PSI
basement slab: 3000 PSI
garage slab: 4000 PSI
Lumber: 950 PSI
Assumed soil bearing capacity: 3000 PSF

INSPECTIONS REQUIRED (AS APPLICABLE)

§ 95-5
Work shall remain accessible and exposed until inspected and accepted by the Code Enforcement Officer or by an inspector authorized by the Code Enforcement Officer. The permit holder shall notify the Code Enforcement Officer when any element of work described in Subsection B of this section is ready for inspection.

- (1) Roofing
(2) Framing
(3) Final inspection

ENERGY CODE

I, James Krapp, To the best of my knowledge, belief and professional judgment, believe this application is in compliance with the 2020 NYS Energy Conservation Construction Code.

Per section C101.6 (Statutory limitations and exemptions) of the code this project is exempt. Should any items be found to not pertain to section C101.6 they will be made to comply as required.

ATTESTATION

I, James Krapp, To the best of my knowledge, belief and professional judgment, believe this application is in compliance with the jurisdictional codes. All construction shall be performed in accordance with the New York State Residential Code (2020 edition) the November 2019 Addition. The NYS Uniform Fire Prevention and the regulations of the Village of Irvington currently in effect. If conflicts exist between different codes, the stricter code shall always apply.

53F
MARQUEZ-BAER DECK

53 FIELD TERRACE
IRVINGTON, NY 10533

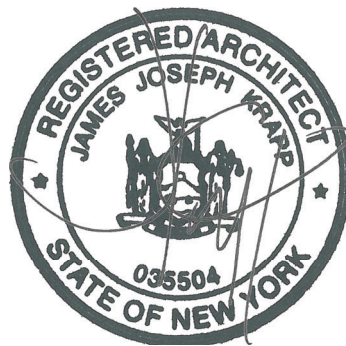
OWNER

ALYSON BAER AND RAUL MARQUEZ
53 FIELD TERRACE
IRVINGTON, NY 10533

ARCHITECT

JAMES KRAPP, R.A.
STUDIO PPARK
STUDIO@STUDIOPPARK.COM
646 481 7081

SEAL



PROJECT DATA

53 FIELD TERRACE
IRVINGTON, NY 10533
PARCEL ID - 2.170-76-16

ISSUE

22_0331 - ARB REVIEW / PERMIT SET

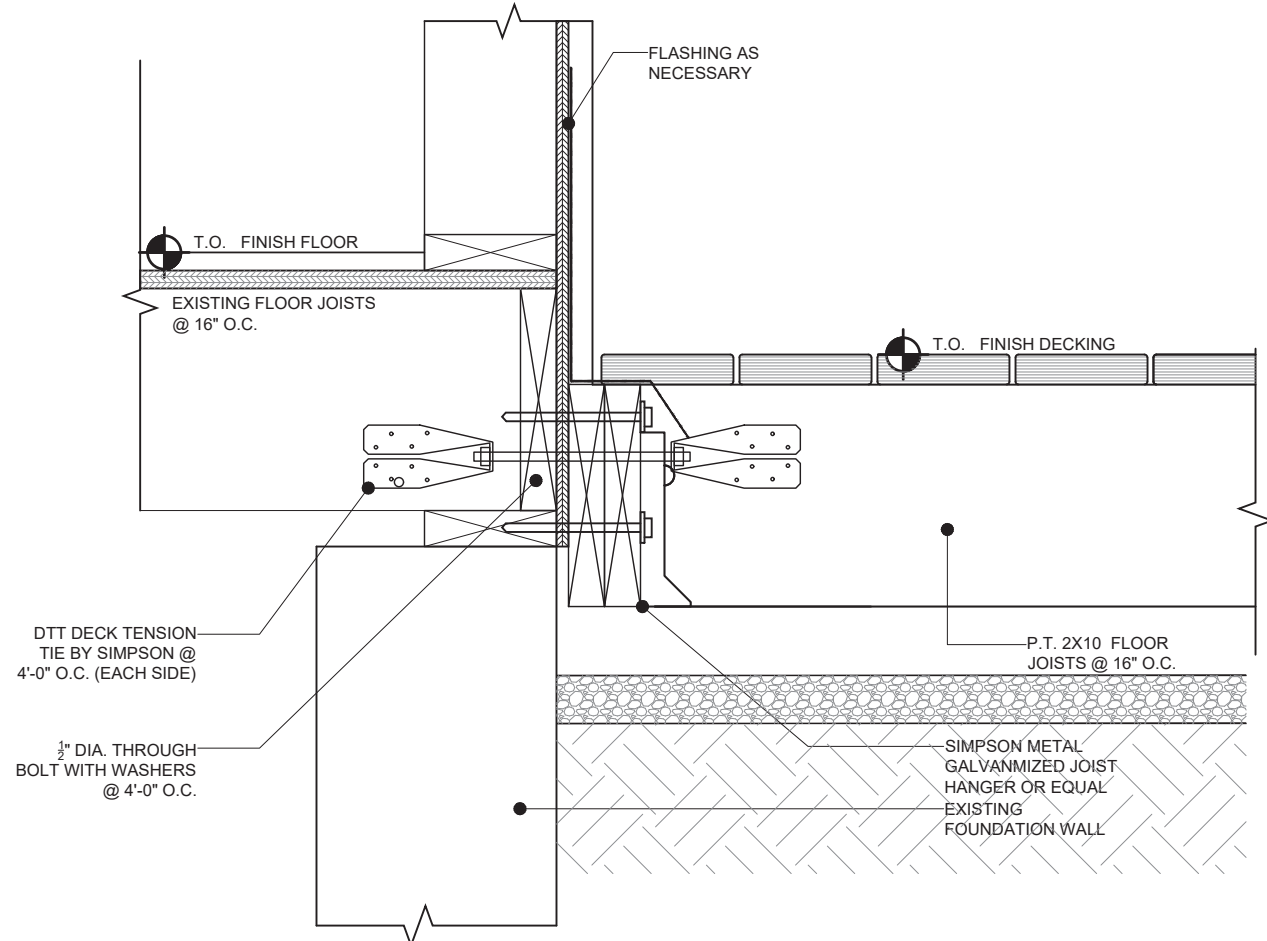
COVER SHEET

T100

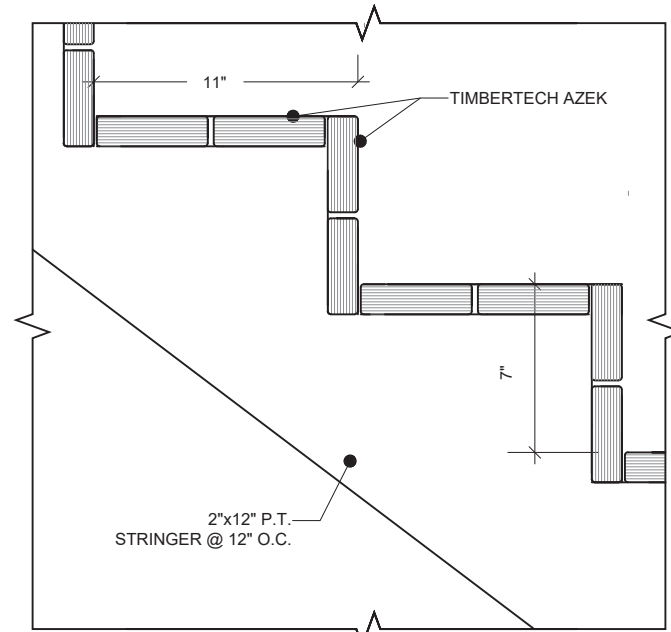
F:\DIPARK\PPARK\DRG\PROJ\DAVID GELAND\53F - 53 FIELD TERRACE\53F - DRAWINGS\53F - ACTIVE\53F.DWG - 1:100 WITH DECK

LAND COVERAGE CHART			
EXISTING REMOVED			
A.	BRICK PATIO PAVERS AT POOL	147.30	SQ.FT.
B.	BRICK PATIO PAVERS AT POOL	64	SQ.FT.
C.	EXISTING PLATFORM DECK	168	SQ.FT.
D.	PARTIAL DEMO PATIO PATH	199.80	SQ.FT.
E.	PARTIAL DEMO PATIO 2	248.80	SQ.FT.
REMOVED		827.90	SQ.FT.
PROPOSED			
F.	PROPOSED RAISED PLATFORM DECK	658	SQ.FT.
G.	PROPOSED PAVERS	52	SQ.FT.
PROPOSED		710.00	SQ.FT.

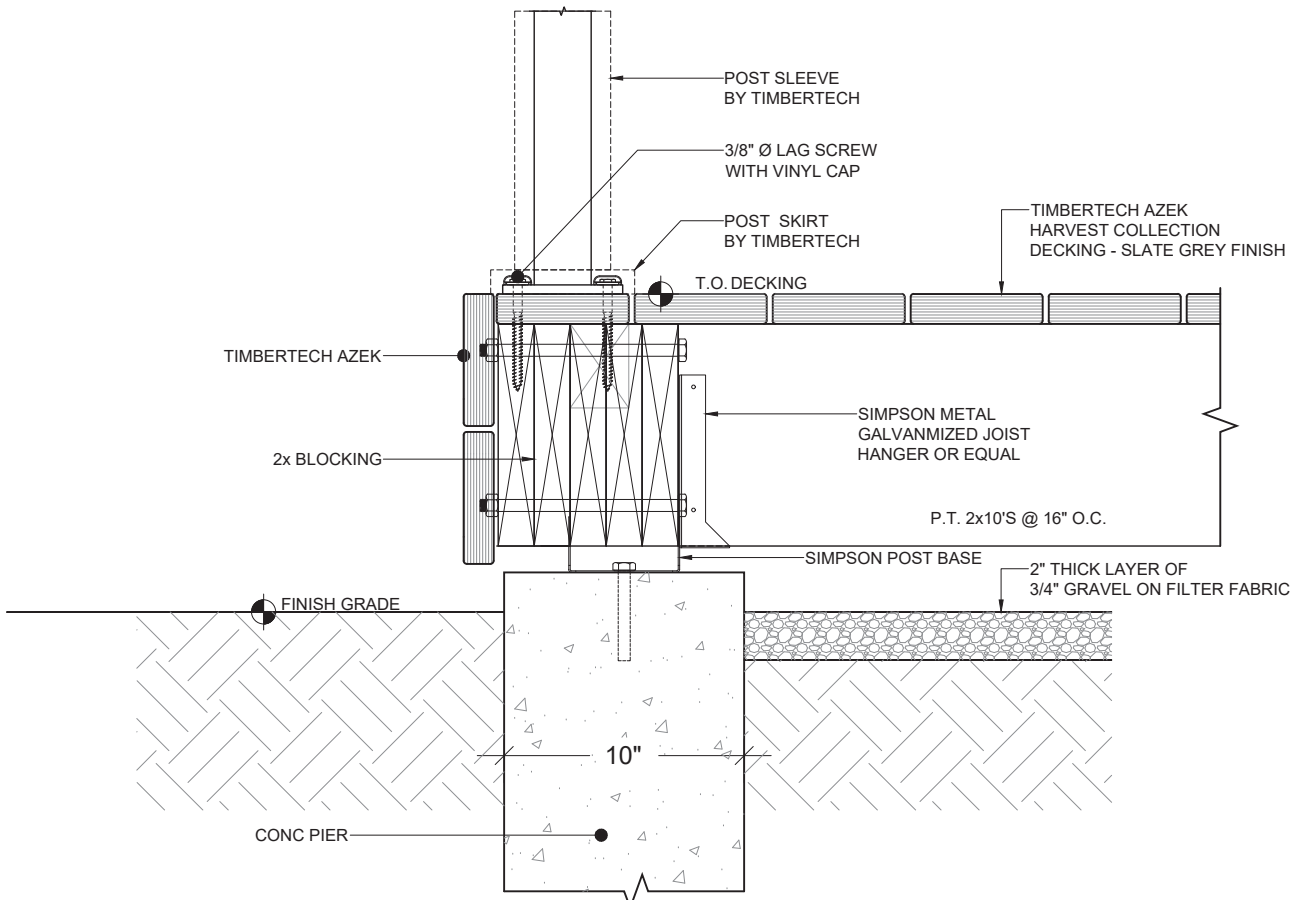
REDUCED GROUND COVERAGE



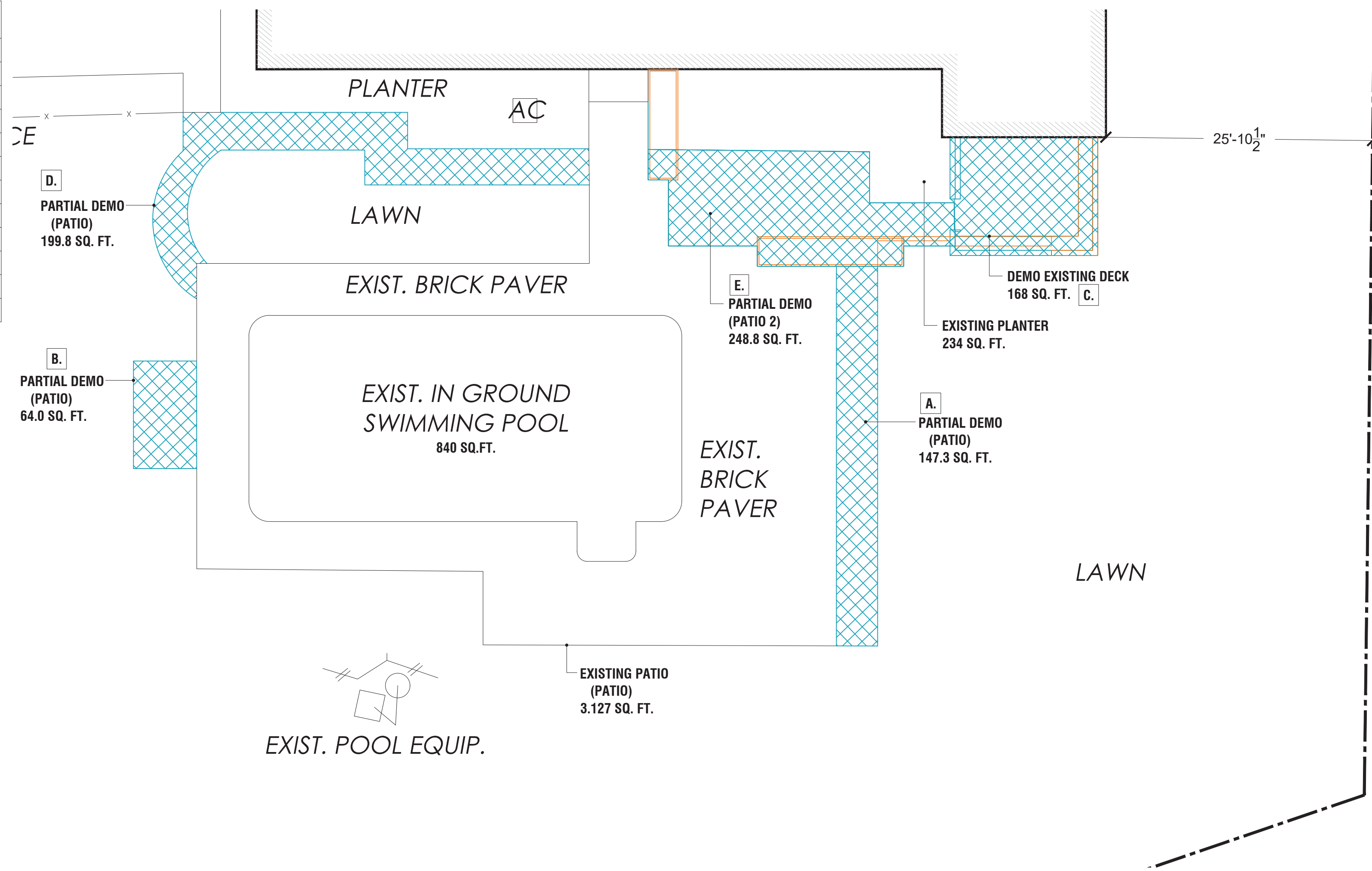
A DETAIL @ LEDGER
SCALE: 1/12" = 1'0"



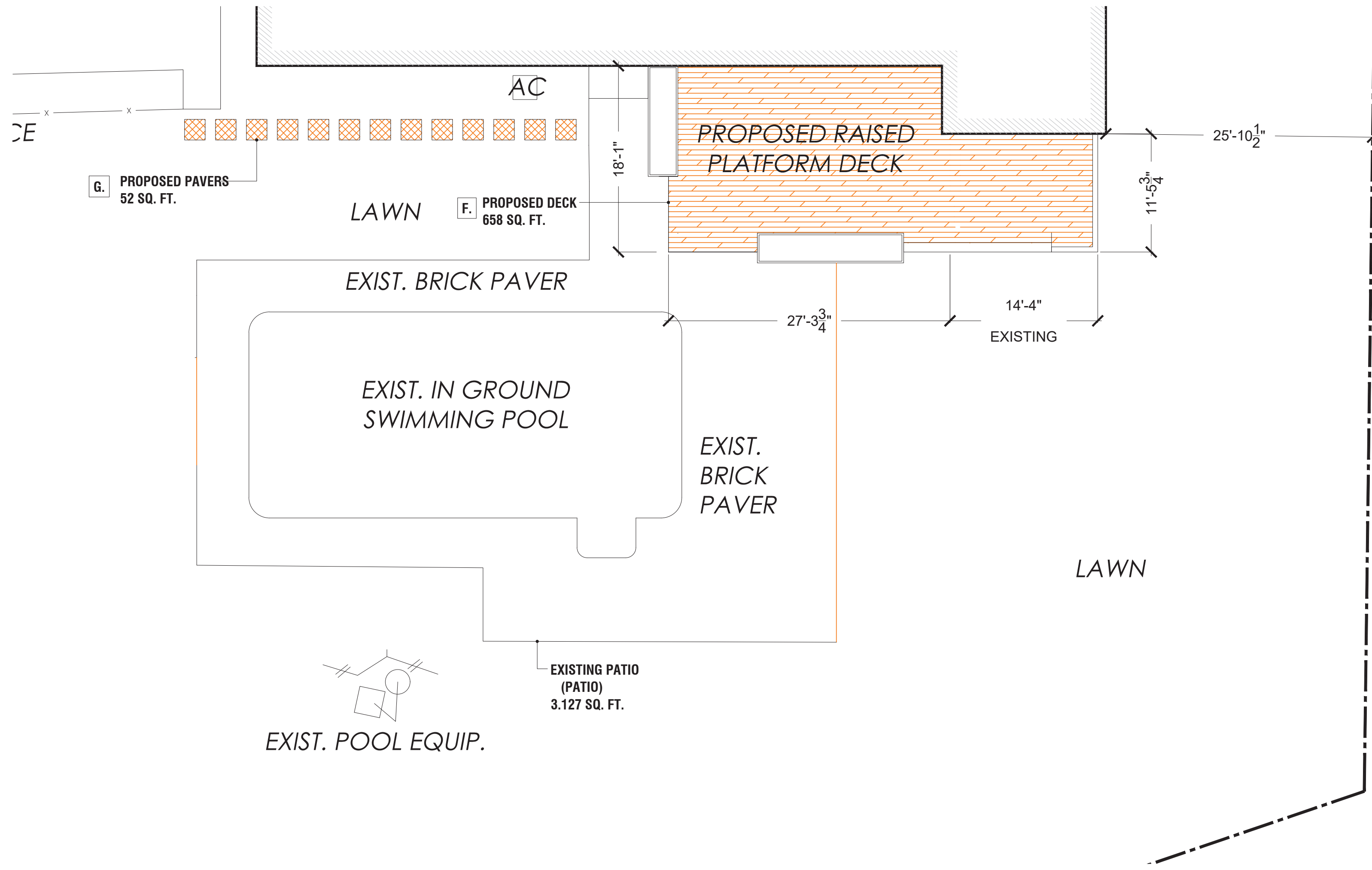
B DETAIL @ TREAD AND RISERS
SCALE: 1/12" = 1'0"



C DETAIL @ RAIL POST ANCHOR AND FOOTING
SCALE: 1/12" = 1'0"



02 EXISTING COVERAGE DIAGRAM (PROPOSED IN ORANGE, DEMO BLUE)
SCALE: 1/16" = 1'0"



01 PROPOSED SITE PLAN
SCALE: 1/16" = 1'0"

53F
MARQUEZ-BAER DECK

53 FIELD TERRACE
IRVINGTON, NY 10533

OWNER

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ARCHITECT

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SITE PLAN
AND DETAILS

L100

NO.

PAGE OF

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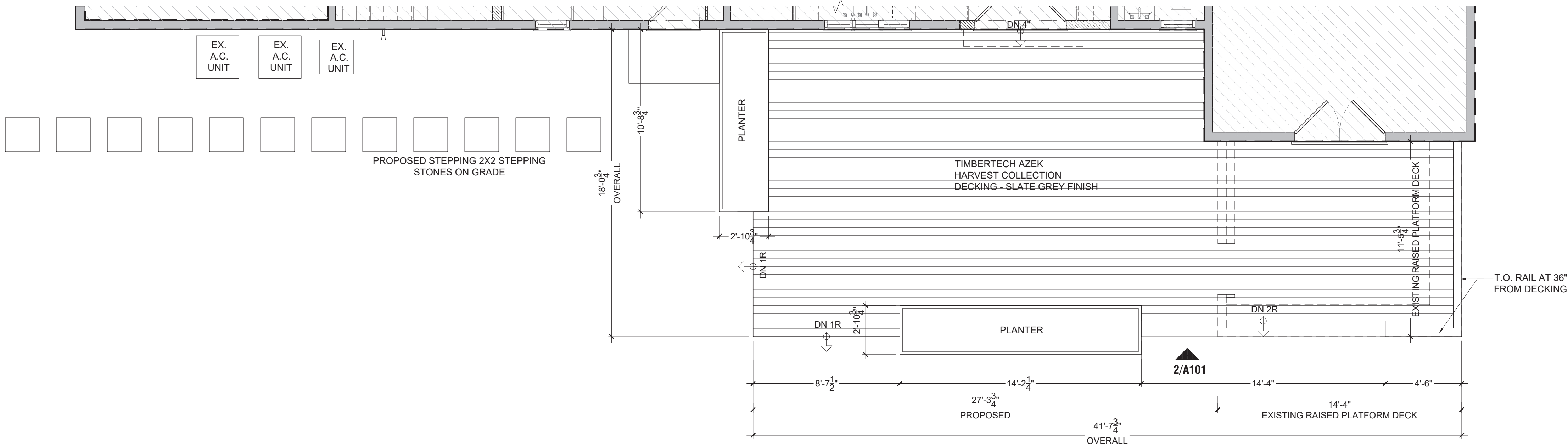
PROPOSED
FIRST FLOOR PLAN

A101

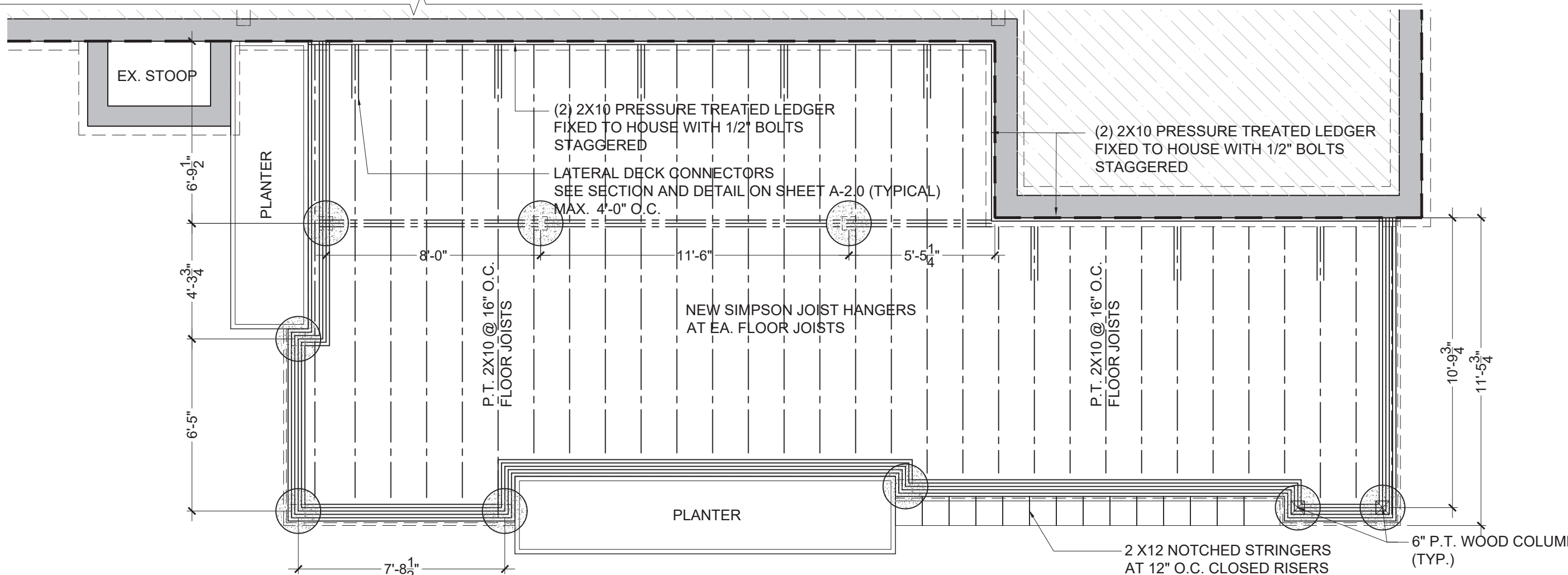


01 PARTIAL PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'0"

02 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'0"



03 PROPOSED RAISED PLATFORM DECK AT REAR YARD
SCALE: 1/4" = 1'0"



04 PROPOSED RAISED PLATFORM DECK FRAMING PLAN
SCALE: 1/4" = 1'0"