

5 July 2022

Ed Marron
Building Inspector
Village of Irvington
85 Main St.
Irvington, NY 10533

RE: Permit application No. 562
9 Strawberry Ln., Irvington, NY

Mr. Marron:

Attached please find 3 sets of drawings, filing fee check, and a thumb drive with a PDF scanned set of the drawings for the above listed property. This project has exterior work, so will need to go in front of the Architectural Review Board. We would like to be put on the agenda for the July 25th Meeting.

The proposed exterior work involves the removal of the existing Kitchen and construction of new, larger Kitchen addition, including repair to existing retaining wall.

Best,

A handwritten signature in black ink, appearing to read 'DMC', with a long horizontal stroke extending to the right.

Douglas McClure

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

| | | | |
|---------------------|--------------------------|-----------------|--------------|
| Application Number: | 562 | Date: | 06/30/2022 |
| Job Location: | 9 STRAWBERRY LN | Parcel ID: | 2.50-19-14 |
| Property Owner: | Erin and Michael Blanton | Property Class: | 1 FAMILY RES |
| Occupancy: | One/ Two Family | Zoning: | |
| Common Name: | | | |

| Applicant | Contractor |
|--|--|
| Douglas McClure | Sean Connaughton |
| McC Architecture pllc | Black Diamond Contracting Corp. |
| 25 North Dutcher St.Irvington NY 10533 | 35 High Street Hastings-on-Hudson New York 10706 |
| 917-887-0975 | 9146465807 |

Description of Work

| | | | |
|----------------------|-----------|----------------------|--------------|
| Type of Work: | Addition | Applicant is: | Architect |
| Work Requested by: | The Owner | In association with: | |
| Cost of Work (Est.): | 275000.00 | Property Class: | 1 FAMILY RES |

Description of Work

Removal of existing Kitchen and construction of new, larger Kitchen addition, including repair to existing retaining wall.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 9 STRAWBERRY LN

Parcel Id: 2.50-19-14

AFFIDAVIT OF APPLICANT

I **Douglas McClure** being duly sworn, depose and says: That s/he does business as: **McC | Architecture pllc** with offices at: **25 North Dutcher St. Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I **Erin and Michael Blanton** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- ☐ _____ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
\$4675

• Inspection Fees (as applicable)

• Insulation: \$50

• Solid Fuel: \$50

• Foundation and footing drain: \$50

• Energy Code Compliance: \$50

• Sediment and erosion control: \$50

• Footing: \$50

• Preparation for concrete slabs and walls: \$50

• Footing: \$50

• Preparation for concrete slabs and walls: \$50

• Framing: \$50

• Building systems, including underground and rough-in: \$50

• Fire resistant construction and penetrations: \$50

• Final Inspection for C.O.: \$50

• State and local laws (per re-inspection): \$50

Total Inspections \$300

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

\$275

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) **Total \$5,335**

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

NOTES:

PROJECT INFORMATION:

REV. #/DATE

| | | |
|---|------------------------|---------|
| 1 | PLANNING BOARD | 3/23/22 |
| 2 | PLANNING BD. REVISIONS | 5/17/22 |
| 3 | ZBA SUBMISSION | 6/6/22 |
| △ | PERMIT SUBMISSION | 7/1/22 |

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, I HAVE PREPARED THESE PLANS AND SPECIFICATIONS IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

DRAWING TITLE:

DRAWING INFO.

COV



Blanton Residence

9 Strawberry Ln. • Irvington, NY

INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT

FROM TABLE 402.1(2) AND R402.1.4 FROM ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE PUBLISHED JANUARY 2015 AND 2016 SUPPLEMENT - BASED ON 5,750 HEATING DEGREE DAYS IN CLIMATE ZONE 4A (NOT MARINE)

| SUB-SYSTEM | MAXIMUM U-FACTOR | MINIMUM R-VALUE |
|--------------------------|------------------|-----------------|
| FENESTRATION | Ug = .35 | R - 4 |
| SKYLITE | Ug = .55 | |
| GLAZED FENESTRATION | Ug = .40 | |
| CEILING | Ug = .026 | R - 49 |
| FRAME WALL | Ug = .060 | 20 OR 13+5 |
| MASS WALL | Ug = .098 | 8/13 |
| | | |
| FLOOR | Uf = .047 | R - 19 |
| BASEMENT WALL | Uf = .059 | R - 10/13 |
| SLAB PERIMETER and DEPTH | | R10 FOR 2' |
| CRAWL SPACE WALL | Uf = .065 | R - 10/13 |

A. R-VALUES ARE MINIMUMS U-FACTORS AND SHGC ARE MAXIMUMS WHEN INSULATION IS INSTALLED IN A CAVITY WHICH IS LESS THAN THE LABEL OR DESIGN THICKNESS OF THE INSULATION, THE INSTALLED R-VALUE OF THE INSULATION SHALL NOT BE LESS THAN THE R-VALUE SPECIFIED IN THE TABLE.

B. THE FENESTRATION U-FACTOR COLUMN EXCLUDES SKYLIGHTS THE SHGC COLUMN APPLIES TO ALL GLAZED FENESTRATION EXCEPTION: SKYLIGHTS MAY BE EXCLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30 .

C. 15/ 19" MEANS R-IS CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-21' CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. 15/19 SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME '10/13' MEANS R-10 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-13 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL

D. R-5 SHALL BE ADDED TO THE REQUIRED SLAB EDGE R-VALUES FOR HEATED SLABS INSULATION DEPTH SHALL BE THE DEPTH OF THE FOOTING OR 2 FEET, WHICHEVER IS LESS IN CLIMATE ZONES 1 THROUGH 3 FOR HEATED SLABS

E. THERE ARE NO SHGC REQUIREMENTS IN THE MARINE ZONE

F. BASEMENT WALL INSULATION IS NOT REQUIRED IN WARM-HUMID LOCATIONS AS DEFINED BY FIGURE R301 AND TABLE R301

G. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-21' MINIMUM

H. THE FIRST VALUE IS CAVITY INSULATION, THE SECOND VALUE S CONTINUOUS INSULATION, SO '13+5"' MEANS R-13 CAVITY INSULATION PLUS R-5 CONTINUOUS INSULATION.

I. THE SECOND R-VALUE APPLIES WHEN MORE THAN HALF THE INSULATION IS ON THE INTERIOR OF THE MASS WALL

ENERGY NOTES:

- I, DOUGLAS MCCLLURE, CERTIFY THAT THESE PLANS AND SPECIFICATIONS COMPLY WITH
 - 2016 International Energy Conservation Code
 - 2013 ASHRAE 90.1
 - Most recent revision to the Supplement to the New York State Energy Conservation Construction Code
- ALL INSULATION SHALL BE AT MINIMUM PAPER FACED FIBERGLASS BATTS, WITH THE PAPER FACING THE WARM SIDE OF THE ASSEMBLY.
- THE G.C. SHALL PROVIDE A PERMANENT CERTIFICATE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OF THE INSULATION INSTALLED PER SYSTEM THROUGH OUT THE RESIDENCE PER SECTION 401.3 OF THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.
- IFOR BLOWN IN INSULATION, THE SETTLED R-VALUE SHALL BE USED.
- INSULATION VALUES SHOWN IN THE CHART ABOVE ARE MINIMUM VALUES REQUIRED BY CODE AND MAY NOT REFLECT THE INSULATION VALUES CALLED OUT IN THE CONSTRUCTION DOCUMENTS. WHEN TWO DIFFERENT INSULATION VALUES ARE CALLED OUT, CONTRACTORS ARE HEREBY DIRECTED TO INSTALL THE INSULATION WITH GREATER R-VALUE PER ASSEMBLY.
- R-21 BATT INSULATION SHALL BE INSTALLED IN ALL 2X6 EXTERIOR WALLS.

R402.2.1 CEILINGS WITH ATTIC SPACES.
WHERE SECTION R402.1.2 WOULD REQUIRE R-38 INSULATION IN THE CEILING, INSTALLING R-30 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. SIMILARLY, WHERE SECTION R402.1.2 WOULD REQUIRE R-49 INSULATION IN THE CEILING, INSTALLING R-38 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT TOR R-49 INSULATION WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.4 AND THE TOTAL U-FACTOR ALTERNATIVE IN SECTION R402.1.5

R402.2.2 CEILINGS WITHOUT ATTIC SPACES.
WHERE SECTION R402.1.2 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE TOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION TOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30_ THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.2 SHALL BE LIMITED TO 500 SQUARE FEET (46 METER SQ) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402_1_4 AND THE TOTAL UA ALTERNATIVE IN SECTION

R402.2.3 EAVE BAFFLE.
FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A BATTLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BATTLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION. THE BATTLE SHALL BE PERMITTED TO BE ANY SOLID MATERIAL.

BUILDINGS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE 2015 IRC (2ND PRINTING)
CLIMATIC & GEOGRAPHIC DESIGN CRITERIA (CLIMATE ZONE 4A)

| GROUND SNOW LOAD TEMP.REGQUD | WIND SPD | SEISMIC DSGN CATEGORY INDEX | SUBJECT DAMAGE FROM | | | WINTER DESIGN | ICE BARRIER UNDERLYMNT | FLOOD HAZARDS | AIR FREEZING | MEAN ANNUAL |
|------------------------------|-------------|-----------------------------|---------------------|----------------|-------------------|--------------------|------------------------|---------------|---|-------------|
| | | | WTHRING TEMP. | FRST LINE DPTH | TERMITE | DECAY | | | | |
| 30 LBS./S.F. | 115-120 MPH | C | SEVERE | 42" DEEP | MODERATE TO HEAVY | SLIGHT TO MODERATE | 7D | YES | FIRM COMMUNITY-PANEL MAP# 36119C0261F EFFECTIVE DATE: 9/28/2007 | 51.6 |

| ZONING ANALYSIS | | | |
|---------------------------------------|-----------|----------|-----------|
| IRVINGTON, WESTCHESTER NY ACC 2555400 | | | |
| ZONE | 1F-20 | BLOCK | 0000 |
| SHEET | 10A | LOT | P23 B |
| | | | |
| ITEM | ALLOWABLE | EXISTING | PROPOSED |
| LOT DATA | | | |
| LOT SIZE | 20000 | 16389 | NO CHANGE |
| WIDTH | 100 | 177 | NO CHANGE |
| DEPTH | 150 | 124 | NO CHANGE |
| | | | |
| SETBACKS | | | |
| FRONT YARD | 35 | 0 | NO CHANGE |
| SIDE YARD | 3.8 | 7.1 | NO CHANGE |
| SIDE YARD | 15 | | NO CHANGE |
| REAR | 35 | 66.2 | NO CHANGE |
| | | | |
| MAX. HEIGHT-STORIES | 2.5 | 2.5 | NO CHANGE |
| MAX. HEIGHT- FEET | 30 | 27'-11" | NO CHANGE |
| | | | |
| COVERAGE | | | |
| MAX. BUILDING COVERAGE | 2622 | 2239 | 2215 |
| | | | |
| FLOOR AREA RATIO ((.43 x LOT AREA) | 3851 | 2212 | 2449 |
| FIRST | | 1189 | 1426 |
| SECOND | | 1023 | 1023 |
| ATTIC | | | |
| GARAGE | | | |
| TOTAL | | 2212 | 2449 |

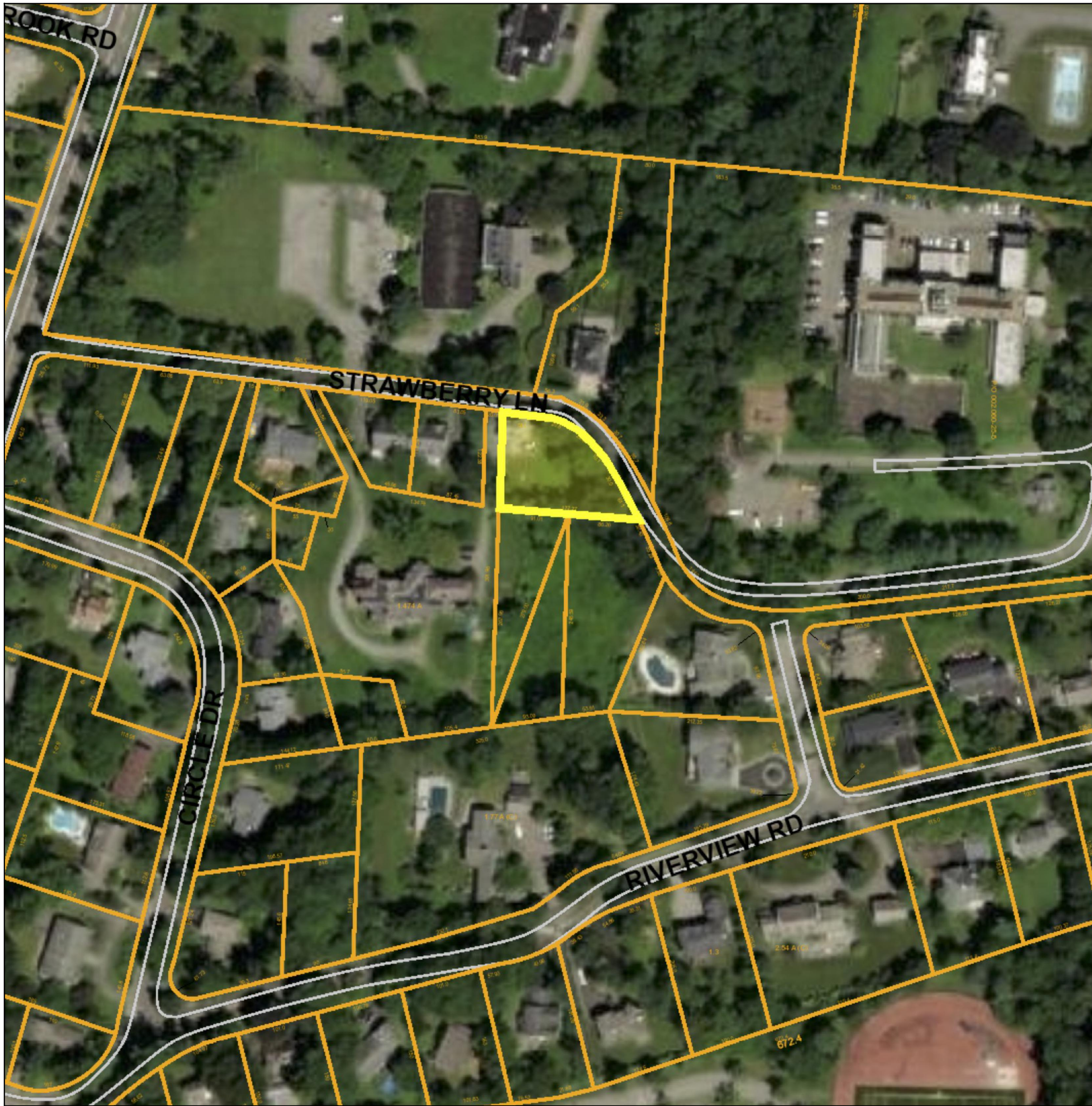
- GENERAL NOTES:
- ALL WORK SHALL COMPLY WITH THE N.Y. STATE BUILDING CODE (MOST CURRENT INTERNATIONAL RESIDENTIAL CODE [IRC],), THE VILLAGE OF IRVINGTON ZONING CODE AND ALL OTHER AGENCIES HAVING JURISDICTION.
 - THE G.C. IS TO SECURE A BUILDING PERMIT FROM THE VILLAGE OF IRVINGTON BUILDING DEPARTMENT.
 - G.C. SHALL GIVE THE OWNER A WRITTEN GUARANTEE COVERING ALL EQUIPMENT, MATERIALS AND WORKMANSHIP FOR A PERIOD OF (1) ONE YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER (CONFIRMED IN WRITINGS), AND HE SHALL, UPON NOTICE, PROMPTLY MAKE GOOD AT HIS OWN EXPENSE ALL DEFECTS IN MATERIAL AND WORKMANSHIP DURING THIS PERIOD AT NO COST TO THE OWNER.
 - THE CHARACTER AND SCOPE OF THE WORK ARE ILLUSTRATED BY THE DRAWINGS AND NOTES. FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN OVER SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. DETAILS OR CONDITIONS INDICATED FOR A PORTION OF THE WORK SHALL APPLY THROUGHOUT TO ALL SIMILAR PORTIONS EXCEPT AS OTHERWISE SPECIFICALLY NOTED. DIMENSIONS SHALL BE FIGURED RATHER THAN DETERMINED BY RULE OR SCALE.
 - UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE FINISHED DIMENSIONS.
 - THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION AGAINST DIRT AND DAMAGE.
 - THE G.C SHALL PROVIDE, ERECT & MAINTAIN TEMP. DUST BARRIERS/PARTITIONS & OTHER ITEMS REQ'D. FOR PROPER PROTECTION OF AREAS ADJACENT TO THE WORK & PROVIDE SAFE ACCESS TO THE PORTIONS THAT ARE NOT AFFECTED BY THE WORK.
 - ALL PERTINENT PRECAUTIONS FOR ACCIDENT PREVENTION RECOMMENDED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, INC., OSHA, OR BY STATE AND LOCAL LAWS AND REGULATIONS, SHALL BE CONSIDERED TO FORM A PART OF THE CONTRACT WORK.
 - CONTRACTOR SHALL KEEP A FULL SET OF COMPLETE UP-TO-DATE PLANS AVAILABLE AT THE JOB.
 - INSURANCE REQUIREMENTS:
 - THE CONTRACTOR SHALL PURCHASE & MAINTAIN INSURANCE OF A FORM & WITH COMPANIES SATISFACTORY TO THE OWNER, & THE VILLAGE OF IRVINGTON.
 - DEMOLITION - CUTTING - PROTECTION:
 - PROBE TO LOCATE UTILITIES OR STRUTURE PRIOR TO REMOVING MATERIALS. DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE AND UTILITIES; PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION, WORKMEN, OCCUPANTS AND FINISHES.
 - DO SUCH REQ'D WORK WITH CARE INCLUDING SHORING, BRACING, DUST PROTECTION, ETC. BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION & NEW WORK AS REQ'D.
 - DO NOT REMOVE ANY STRUCTURAL FRAMING WITHOUT APPROVAL BY ARCHITECT OR ENGINEER OF RECORD. EXISTING STUD FRAMING TO REMAIN UNLESS OTHERWISE INDICATED.
 - DO NOT LOAD OR PERMIT ANY PART OF ANY STRUCTURE TO BE LOADED TO SUCH AN EXTENT AS TO ENDANGER ITS SAFETY.
 - PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REGULATIONS.
 - NO STRUCTURAL PARTS OF THE EXISTING BUILDING SHALL BE DAMAGED OR REMOVED.
 - ELECTRICAL NOTES:
 - ELECTRICAL INSTALLATIONS SHALL BE IN ACCORDANCE WITH THE 2014 NATIONAL ELECTRIC CODE, NFPA 70, THE VILLAGE OF IRVINGTON BUILDING DEPARTMENT, & ANY OTHER AGENCIES HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL NECESSARY APPROVALS FROM ALL AGENCIES HAVING JURISDICTION.
 - FURNISH & INSTALL ALL LIGHTING FIXTURES & OTHER ELECTRICAL FIXTURES AS INDICATED ON PLANS.
 - SMOKE DETECTOR NOTES:
 - THE INSTALLATION OF WIRING & EQUIPMENT SHALL BE IN ACCORDANCE WITH NFPA 72.
 - SMOKE DETECTORS SHALL BE INSTALLED ACCORDING TO NYS RESIDENTIAL CODE 314 LOCATIONS IN EA SLEEPING ROOM OUTSIDE EA SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS ON EA ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS' IN DWELLINGS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS A SMOKE ALARM ON THE UPPER LEVEL SHALL SUFFICE PROVIDED THE LOWER LEVEL IS LESS THAN A FULL STORY BELOW. SMOKE ALARMS SHALL BE INSTALLED NO LESS THAN 3 FEET HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB.
 - HARDWIRED AND INTERCONNECTED, CAN BE BATTERY OPERATED IN ADDITIONS, ALTERATIONS OR REPAIRS IF NOT REMOVING INTERIOR FINISHES UNLESS ACCESS FROM ATTIC, CRAWL SPACE OR BASEMENT
 - EACH SMOKE DETECTOR SHALL HAVE AN INTEGRAL TEST MEANS TO PERMIT THE OCCUPANT TO CHECK THAT IT IS OPERATIONAL. A CONTINUOUS POWER DISPLAY INDICATOR LIGHT IS RECOMMENDED, & ALL DETECTORS ARE TO BE HARDWIRED & INTERCONNECTED.
 - SMOKE DETECTORS SHALL BE LOCATED ON OR NEAR THE CEILING & WITHIN FIFTEEN FEET OF ALL ROOMS USED FOR SLEEPING PURPOSES. IN ALL DWELLING UNITS W/MULTIPLE LEVELS, WHEN ANY LEVEL HAS ONLY ONE MEANS OF EGRESS, THE DWELLING UNIT SHALL BE PROVIDED WITH SMOKE DETECTORS AT ALL LEVELS.
 - IF CLG. MOUNTED, CLOSEST EDGE OF THE DETECTOR SHALL BE A MIN. OF 4" FROM WALL
 - IF WALL MOUNTED THE CLOSEST EDGE OF THE DETECTOR SHALL BE FOUR INCHES & A MAXIMUM OF TWELVE INCHES FROM THE CEILING.
 - SMOKE DETECTOR UNIT(S) SHALL BE APPROVED BY BSA, ACCEPTED PURSUANT TO RULES & REGULATION PROMULGATED BY THE COMMISSIONER OR LISTED BY AN ACCEPTABLE TESTING AGENCY SUCH AS UNDERWRITERS LABORATORY OR APPROVED EQUAL.
 - UNITS TO BE EITHER, IONIZATION CHAMBER OR PHOTO ELECTRIC AND TO COMPLY WITH RS 17-11.

CARBON MONOXIDE DETECTOR NOTES:

- CARBON MONOXIDE DETECTORS TO BE INSTALLED THROUGHOUT THE DWELLING IN ACCORDANCE WITH NEW YORK STATE BUILDING CODE.

STRUCTURAL NOTES:

THE INTEGRITY OF EXISTING FRAMING AND FOUNDATION MEMBERS ARE NOT KNOWN PRIOR TO DEMOLITION. AN ENGINEER MUST CERTIFY THAT LOADS ARE AS ANTICIPATED AS WELL AS CONNECTIONS TO SUPPORTING MEMBERS AT DEMOLITION.



McC | Architecture pllc

25 n. ducher st., irvington, ny 10533 | mcc-architecture.com
t: 917.887.0073 | e: dmcc@dmcc-architecture.com

NOTES:

PROJECT INFORMATION:

Blanton Residence
9 Strawberry Lane • Irvington, NY 10533

REV. #/DATE

| | | |
|---|------------------------|---------|
| 1 | PLANNING BOARD | 3/23/22 |
| 2 | PLANNING BD. REVISIONS | 5/17/22 |
| 3 | ZBA SUBMISSION | 6/6/22 |
| Δ | PERMIT SUBMISSION | 7/1/22 |

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, I HAVE REVIEWED THE PLANS AND SPECIFICATIONS PERTINENT TO THESE DRAWINGS AND I AM NOT PROVIDING ANY GUARANTEE OR WARRANTY OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

DRAWING TITLE:
CONTEXT
ZONING CALCS
ENERGY CODE NOTES

DRAWING INFO.

SP1
NOTED

NOTES:

PROJECT INFORMATION:

Blanton Residence

9 Strawberry Ln. • Irvington, NY

REV. #/DATE

| | | |
|---|------------------------|---------|
| 1 | PLANNING BOARD | 3/23/22 |
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| ⚠ | PERMIT SUBMISSION | 7/1/22 |

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED THE PLANS AND SPECIFICATIONS PERTINENT ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

DRAWING TITLE:
EXISTING &
PROPOSED
SITE PLANS

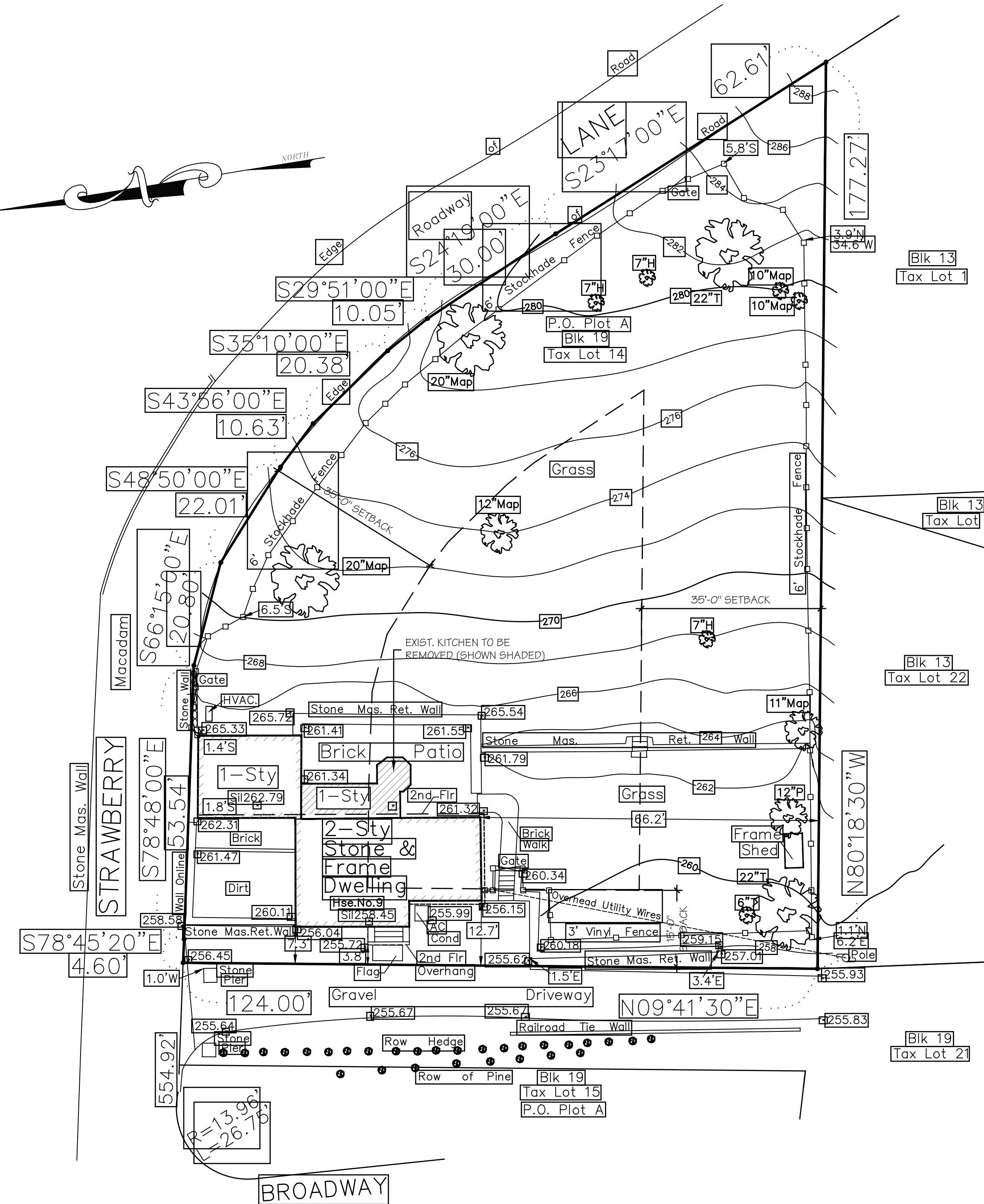
DRAWING INFO.

SP1A

NOTED

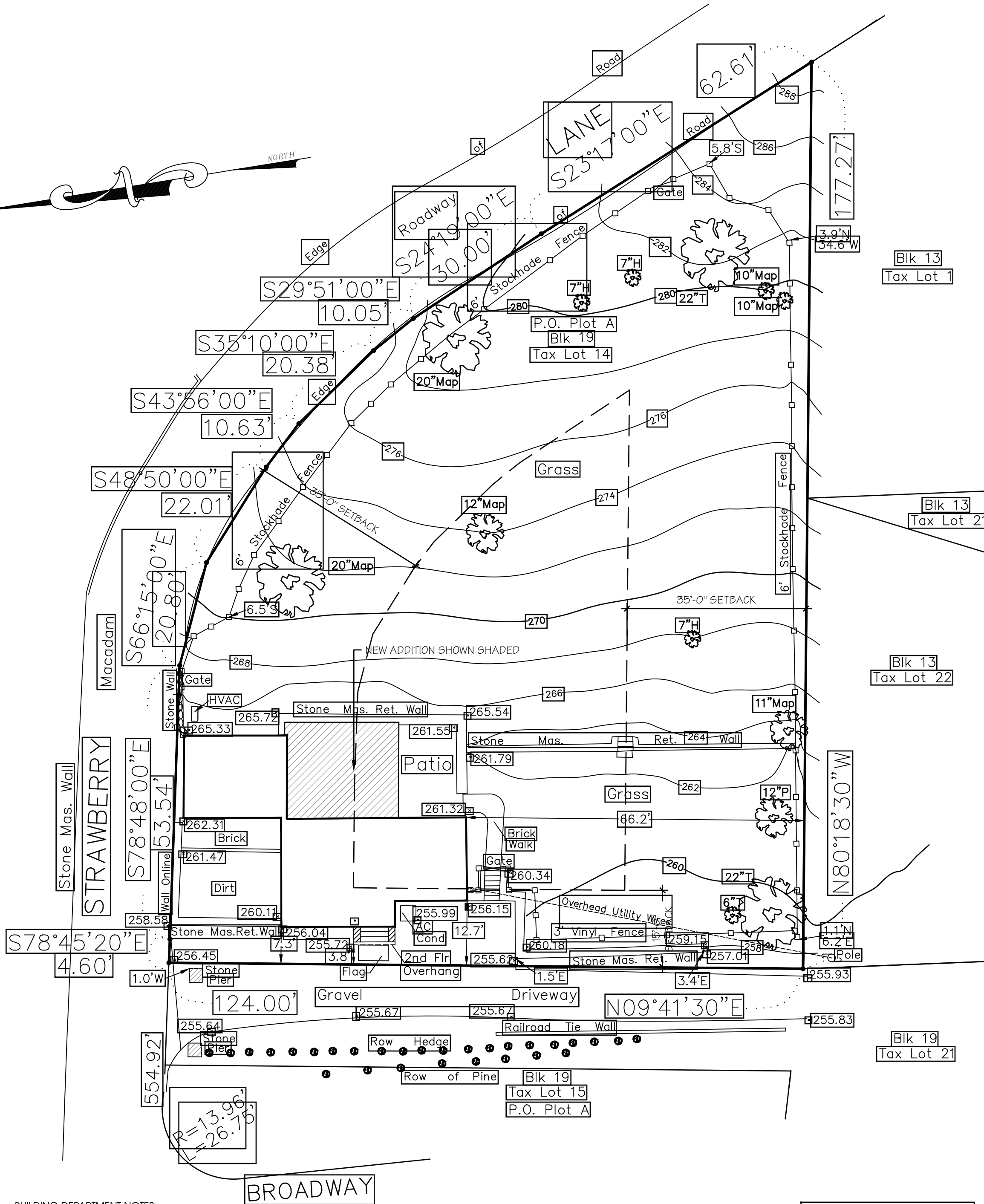
17 September 2018

1617
1617-KRIM-PLANS.dwg



SITE PLAN PREPARED FROM SURVEY BY:
RAMSAY LAND SURVEYING, PC
3024 RADCLIFF AVE.
PH.: (718) 882-1496
SURVEYED: 20 DECEMBER 2020

1 EXISTING SITE PLAN
scale 1/16"=1'



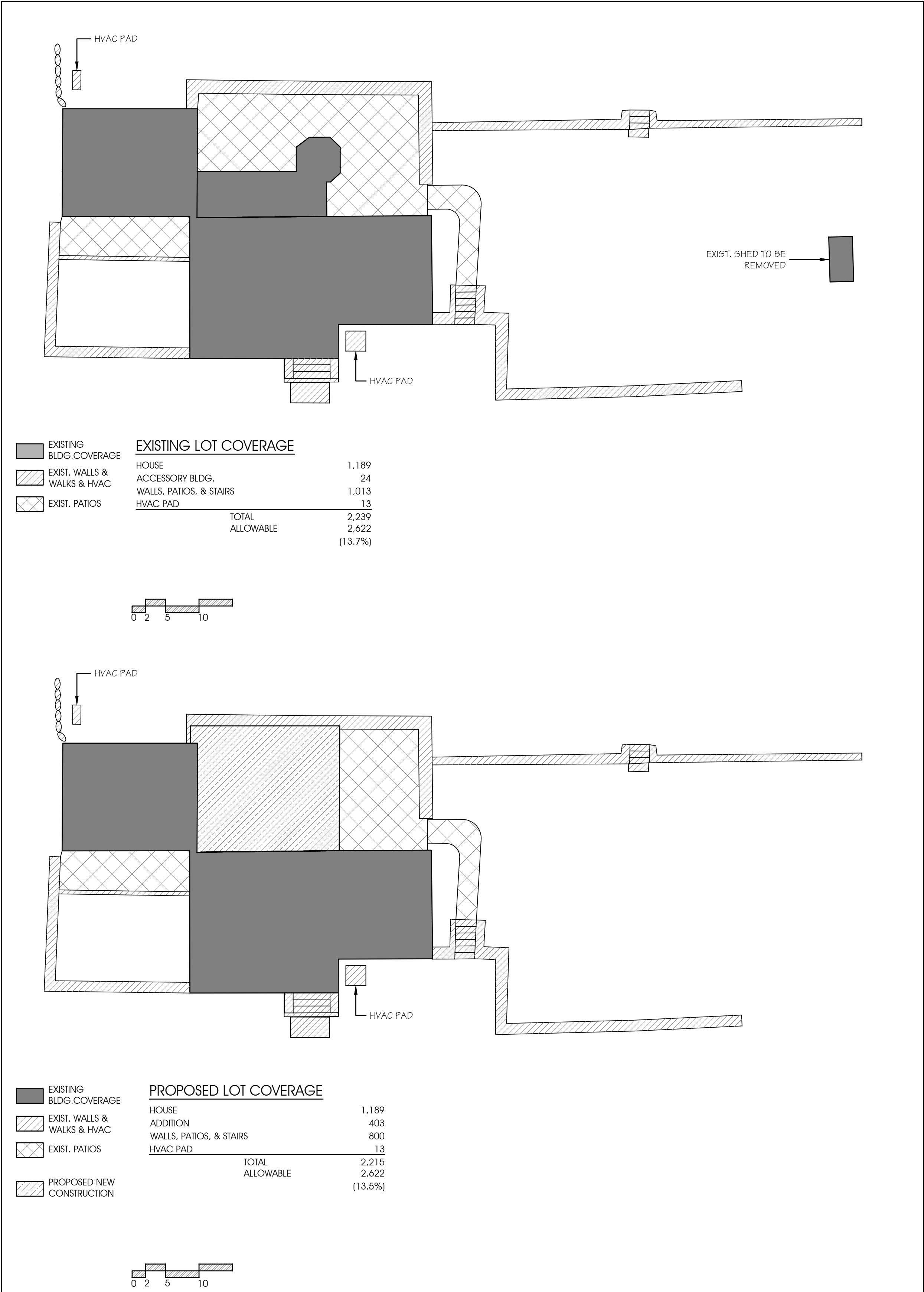
BUILDING DEPARTMENT NOTES:

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SITUATIONS AND EROSION OF DISTURBED SOILS.
2. *AS-BUILT* DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.

NOTES:

- NO UTILITIES WILL BE DISTURBED BY PROPOSED WORK.
- CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM THE SITE

2 PROPOSED SITE PLAN
scale 1/16"=1'



NOTES:

PROJECT INFORMATION:

Blanton Residence
9 Strawberry Ln. • Irvington, NY 10533

REV. #/DATE

| | | |
|---|------------------------|---------|
| 1 | PLANNING BOARD | 3/23/22 |
| 2 | PLANNING BD. REVISIONS | 5/17/22 |
| 3 | ZBA SUBMISSION | 6/6/22 |
| Δ | PERMIT SUBMISSION | 7/1/22 |

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS AND SPECIFICATIONS PERTINENT TO THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE CURRENTLY IN EFFECT.

DRAWING TITLE:
COVERAGE
AND F.A.R.

DRAWING INFO.

SP2
NOTED

17 September 2018
1617
1617-KRIM-PLANS.dwg

NOTES:

PROJECT INFORMATION:

Blanton Residence
9 Strawberry Ln. • Irvington, NY 10533

REV. #/DATE

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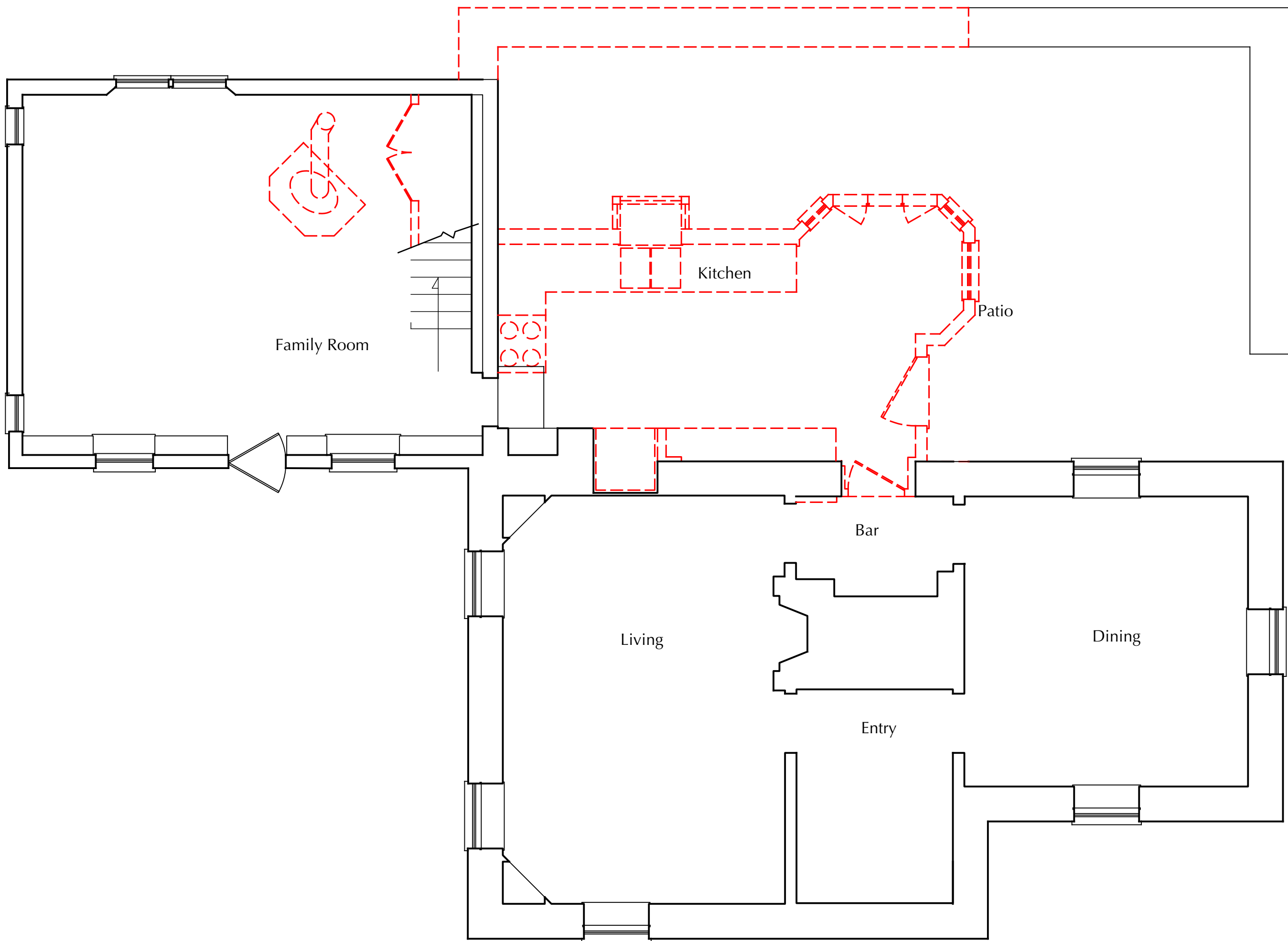
DRAWING TITLE:

DEMOLITION
PLANS

DRAWING INFO.

A1.0

1/4"=1'-0"



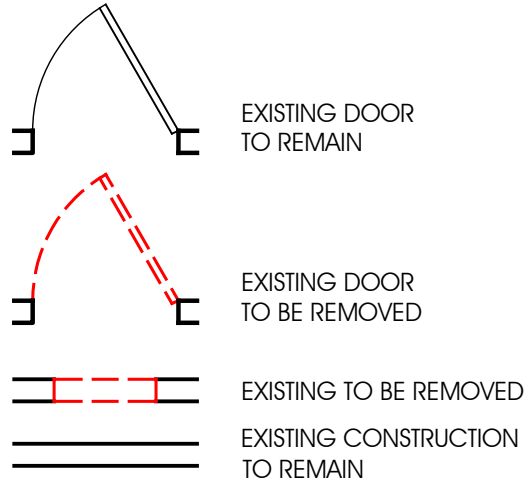
1 DEMOLITION PLAN

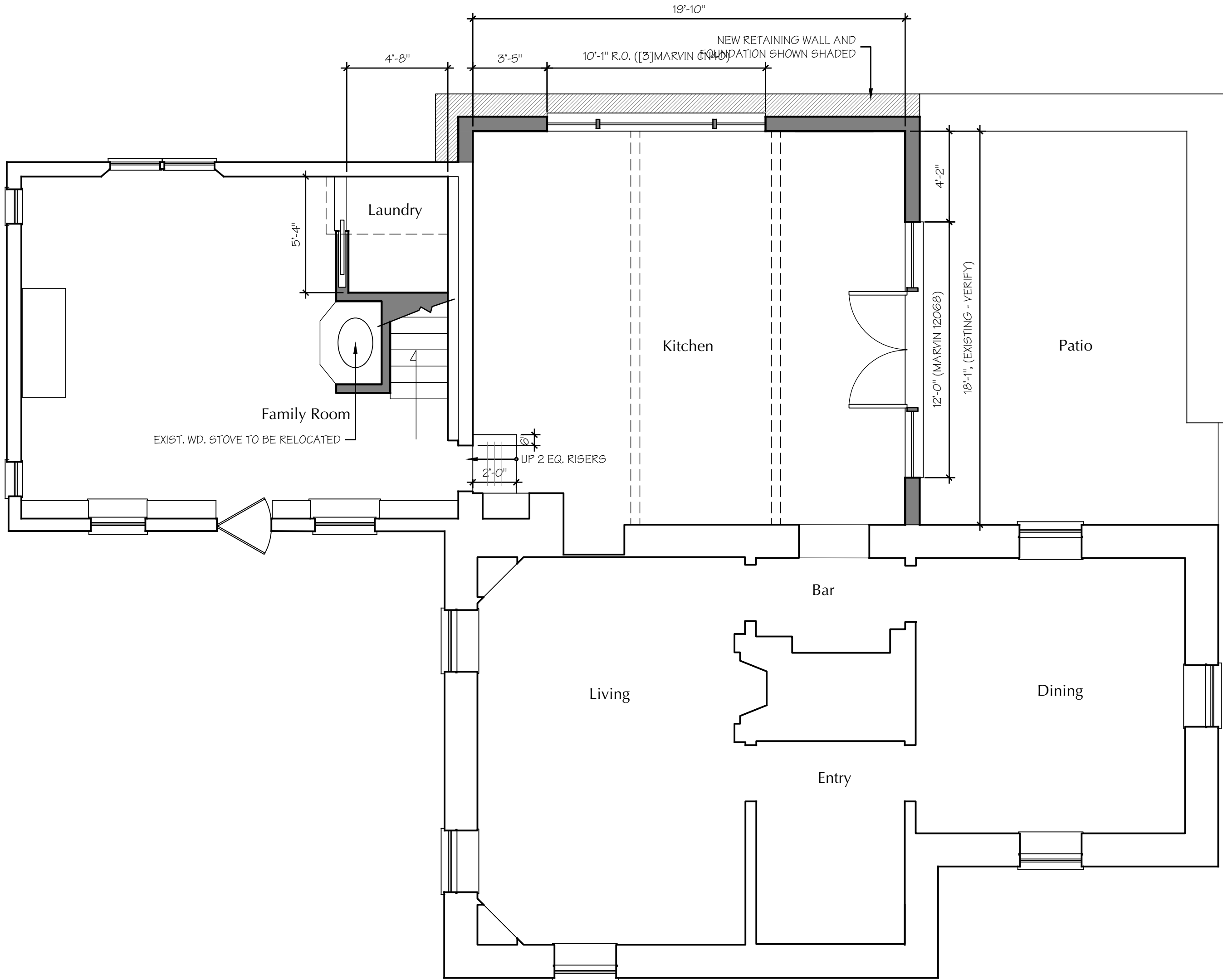
1/4"=1'-0"

XI. DEMOLITION - CUTTING - PROTECTION:

- PROBE TO LOCATE UTILITIES OR STRUCTURE PRIOR TO REMOVING MATERIALS. DO ALL WORK SO AS NOT TO ENDANGER BUILDING STRUCTURE AND UTILITIES. PROVIDE TEMPORARY BRACES AND OTHER SUPPORTS AS MAY BE REQUIRED TO ASSURE THE SAFETY OF THE EXISTING CONSTRUCTION, WORKMEN, OCCUPANTS AND FINISHES.
- DO SUCH REQ'D WORK WITH CARE INCLUDING SHORING, BRACING, DUST PROTECTION, ETC. BE RESPONSIBLE FOR ANY DAMAGE WHICH MAY BE CAUSED BY SUCH WORK TO ANY PART OR PARTS OF EXISTING STRUCTURES OR ITEMS DESIGNATED FOR REUSE. PERFORM PATCHING, RESTORATION & NEW WORK AS REQ'D.
- DO NOT REMOVE ANY STRUCTURAL FRAMING WITHOUT APPROVAL BY ARCHITECT OR ENGINEER OF RECORD. EXISTING STUD FRAMING TO REMAIN UNLESS OTHERWISE INDICATED.
- DO NOT LOAD OR PERMIT ANY PART OF ANY STRUCTURE TO BE LOADED TO SUCH AN EXTENT AS TO ENDANGER ITS SAFETY.
- PROVIDE ADEQUATE FIRE PROTECTION IN ACCORDANCE WITH LOCAL FIRE DEPARTMENT REGULATIONS.
- NO STRUCTURAL PARTS OF THE EXISTING BUILDING SHALL BE DAMAGED OR REMOVED.

LEGEND





1 CONSTRUCTION PLAN
1/4"=1'-0"

LEGEND

EXISTING DOOR

NEW OR SALVAGED DOOR

EXISTING CONSTRUCTION TO REMAIN

NEW PARTITION, 2x WOOD STUDS @ 16" O.C. W/ (1) LAYER 5/8" G.W.B. BOTH SIDES OR (1) LAYER 5/8" 'DENSHEILD' AT ALL WET LOCATIONS.

NOTES:

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Blanton Residence
9 Strawberry Ln. • Irvington, NY 10533

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| △ | PERMIT SUBMISSION 7/1/22 |

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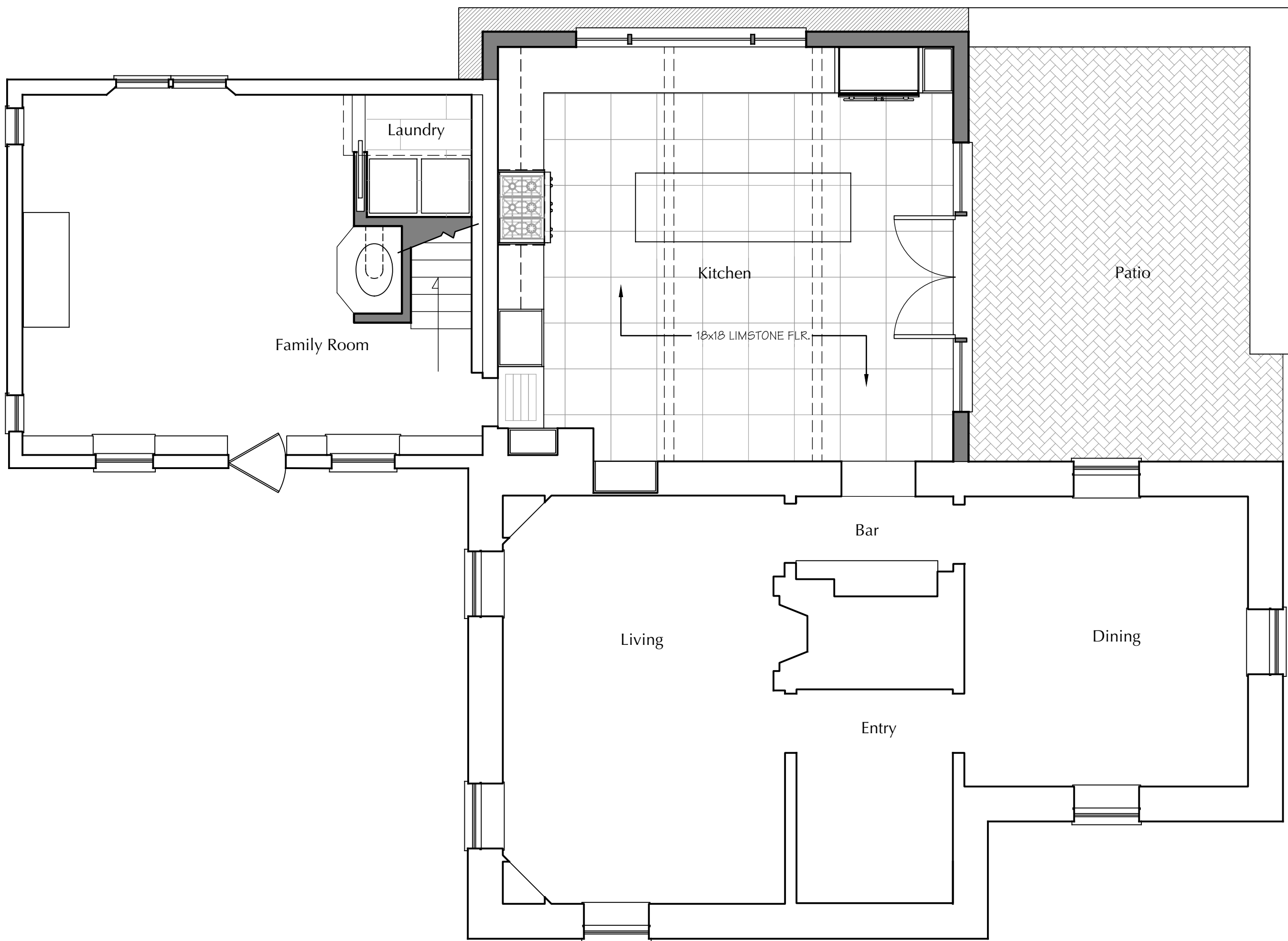
DRAWING TITLE:

CONSTRUCTION
PLAN

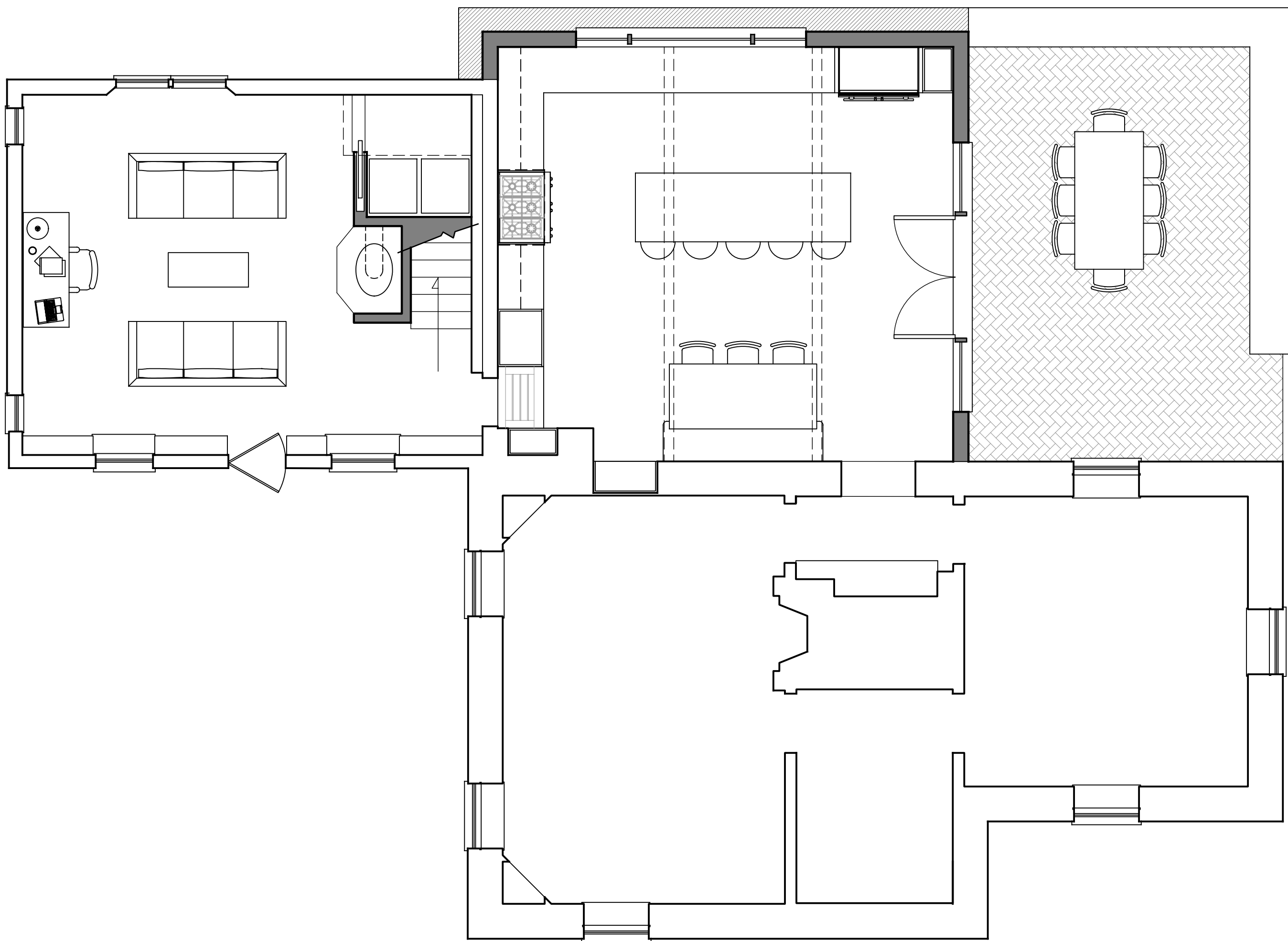
DRAWING INFO.

A1.1

1/4"=1'-0"



1 FLOOR FINISH PLAN
1/4"=1'-0"



2 FURNITURE PLAN
1/4"=1'-0"

NOTES:

PROJECT INFORMATION:

Blanton Residence
9 Strawberry Ln. • Irvington, NY 10533

| REV. | #/DATE |
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| 3 | ZBA SUBMISSION 6/6/22 |
| △ | PERMIT SUBMISSION 7/1/22 |

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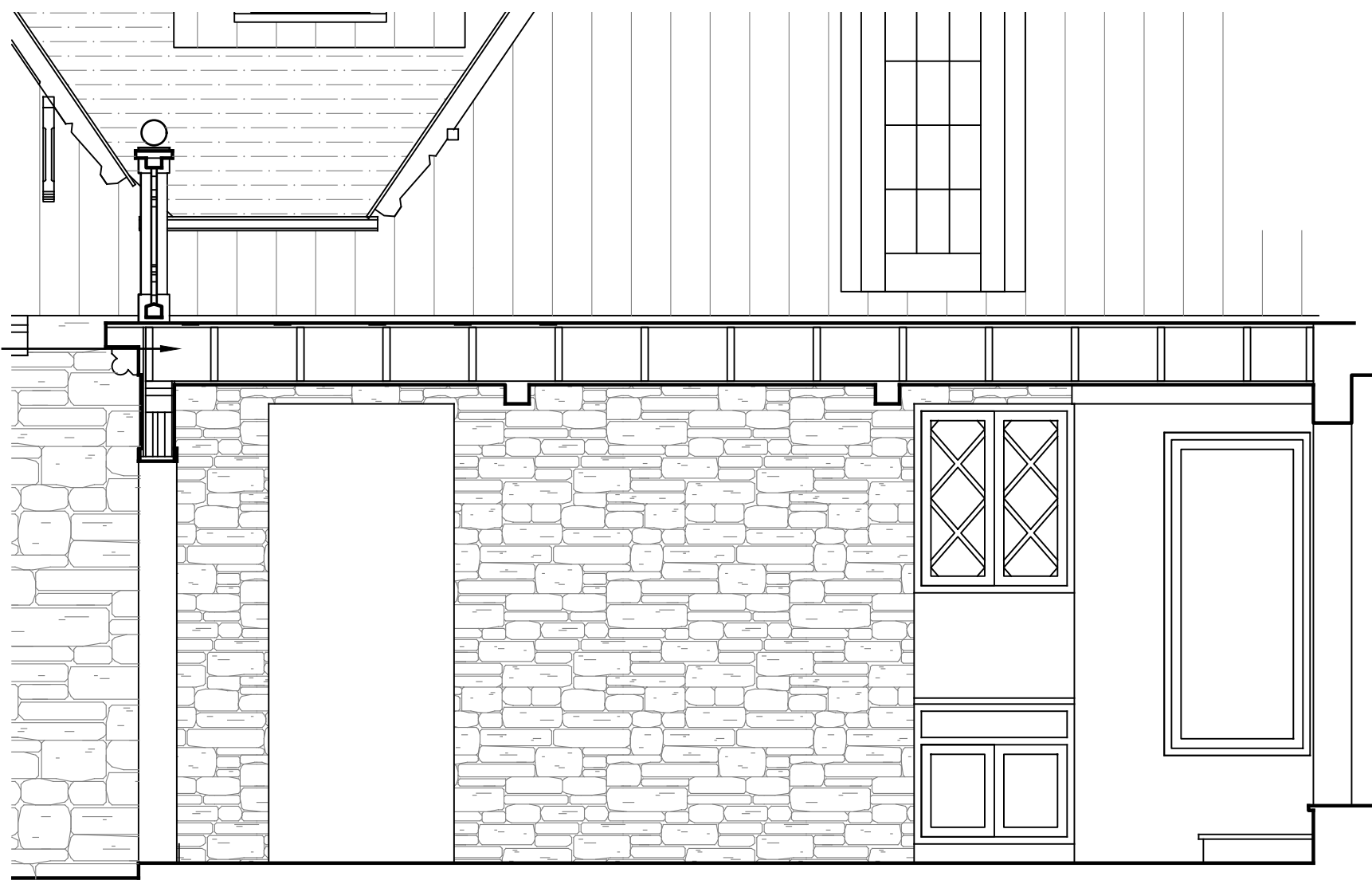
DRAWING TITLE:
FLOORING &
FURNITURE
PLANS

DRAWING INFO.

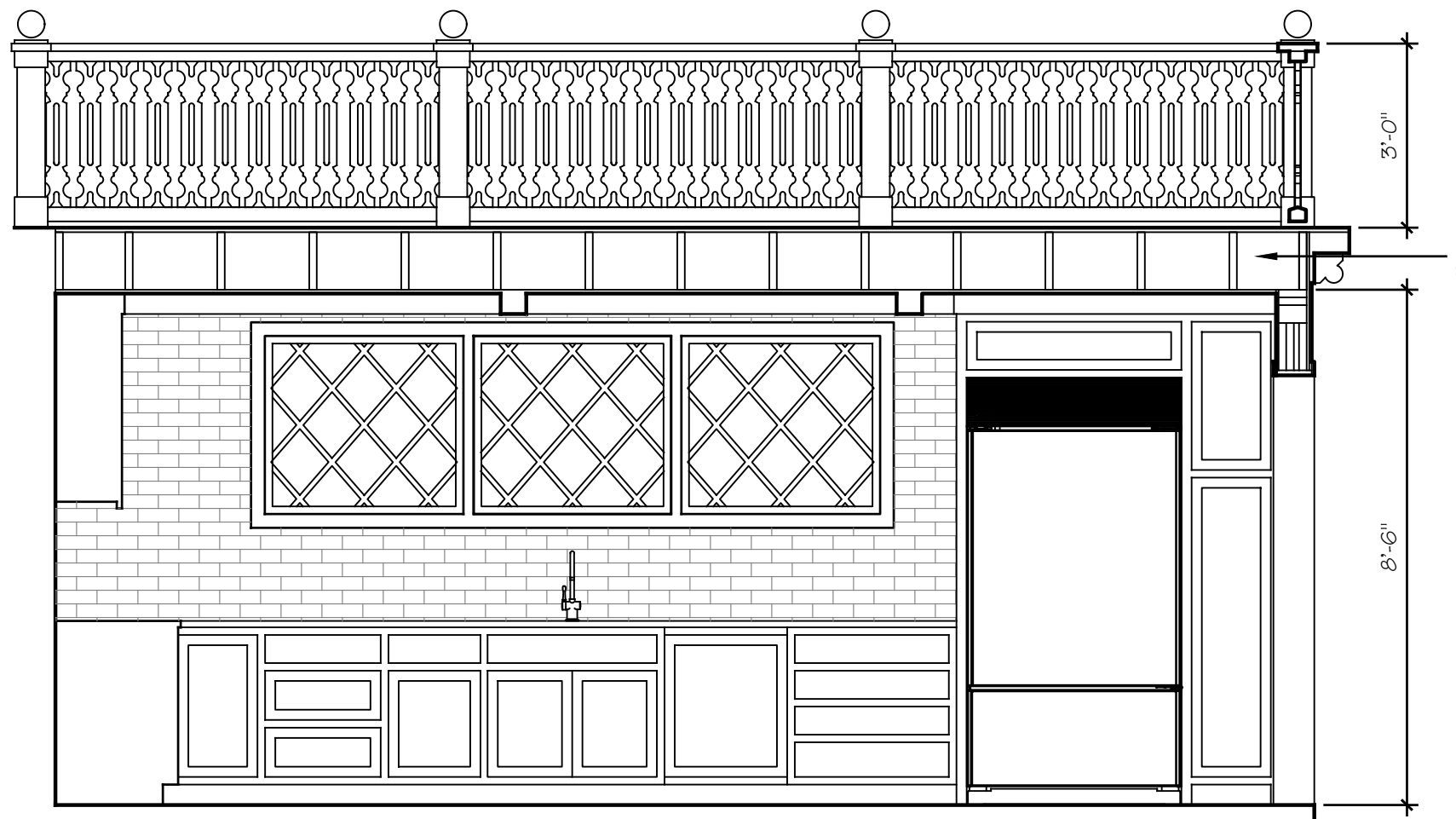
A1.2
1/4"=1'-0"



1 KITCHEN ELEVATION - NORTH
3/8"=1'-0"



2 KITCHEN ELEVATION - WEST
3/8"=1'-0"



3 KITCHEN ELEVATION - EAST
3/8"=1'-0"



1 SOUTH ELEVATION
1/4"=1'-0"



2 EAST ELEVATION
1/4"=1'-0"

McC | Architecture pllc

25 n. ducher st., irvington, ny 10533 | mcc-architecture.com
t: 917.887.2073 | e: dmcc@dmcc-architecture.com

NOTES:

PROJECT INFORMATION:

Blanton Residence
9 Strawberry Ln. • Irvington, NY 10533

REV. #/DATE

| | | |
|---|------------------------|---------|
| 1 | PLANNING BOARD | 3/23/22 |
| 2 | PLANNING BD. REVISIONS | 5/17/22 |
| 3 | ZBA SUBMISSION | 6/6/22 |
| △ | PERMIT SUBMISSION | 7/1/22 |

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DRAWING TITLE:

SOUTH & EAST
ELEVATIONS

DRAWING INFO.

A2.1

1/4"=1'-0"

2111
2111-Plan.dwg

NOTES:

PROJECT INFORMATION:

Blanton Residence
9 Strawberry Ln. • Irvington, NY 10533

REV. #/DATE

| | | |
|---|------------------------|---------|
| 1 | PLANNING BOARD | 3/23/22 |
| 2 | PLANNING RD. REVISIONS | 5/17/22 |
| 3 | ZDA SUBMISSION | 6/6/22 |
| △ | PERMIT SUBMISSION | 7/1/22 |

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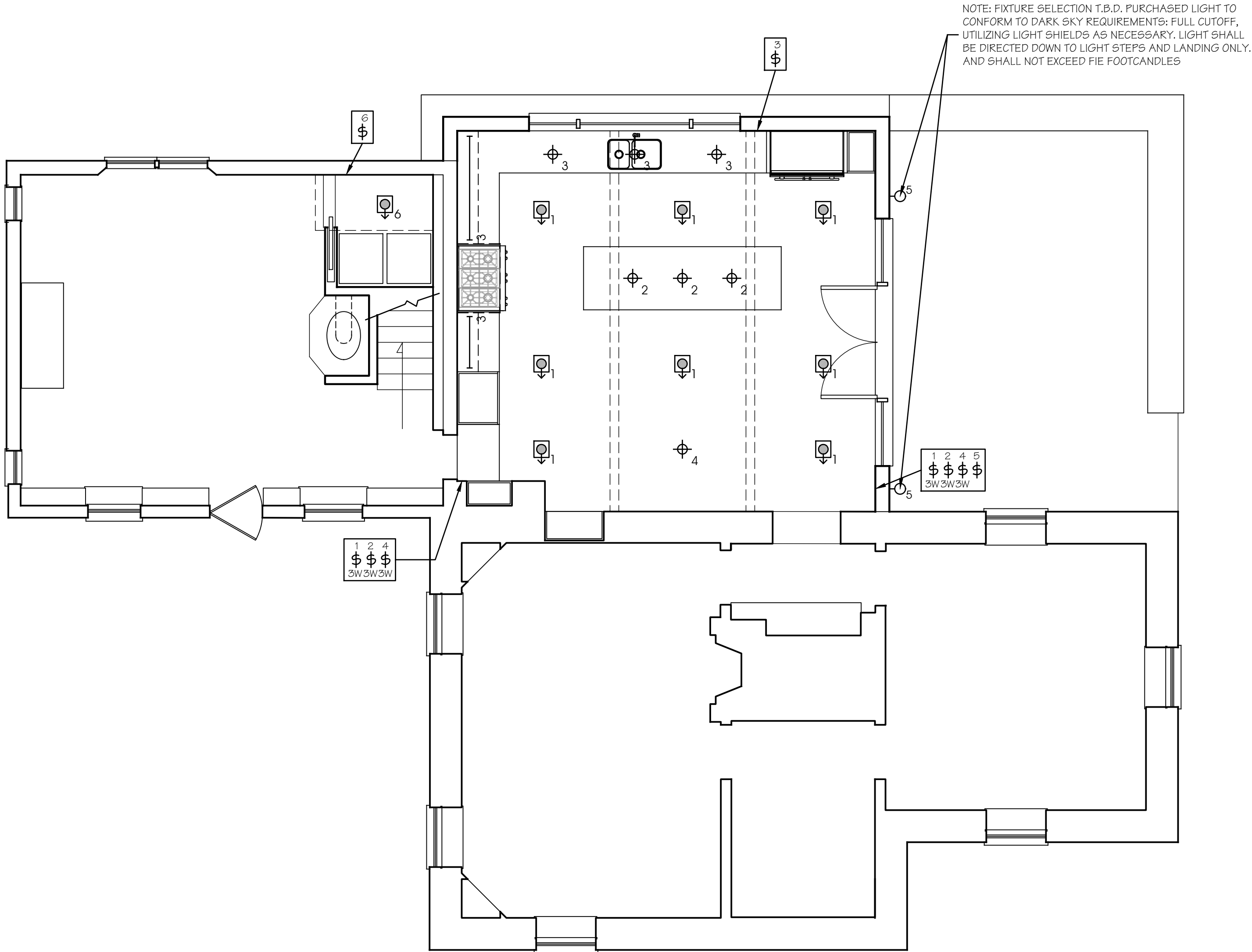
DRAWING TITLE:

POWER & LIGHTING
PLANS

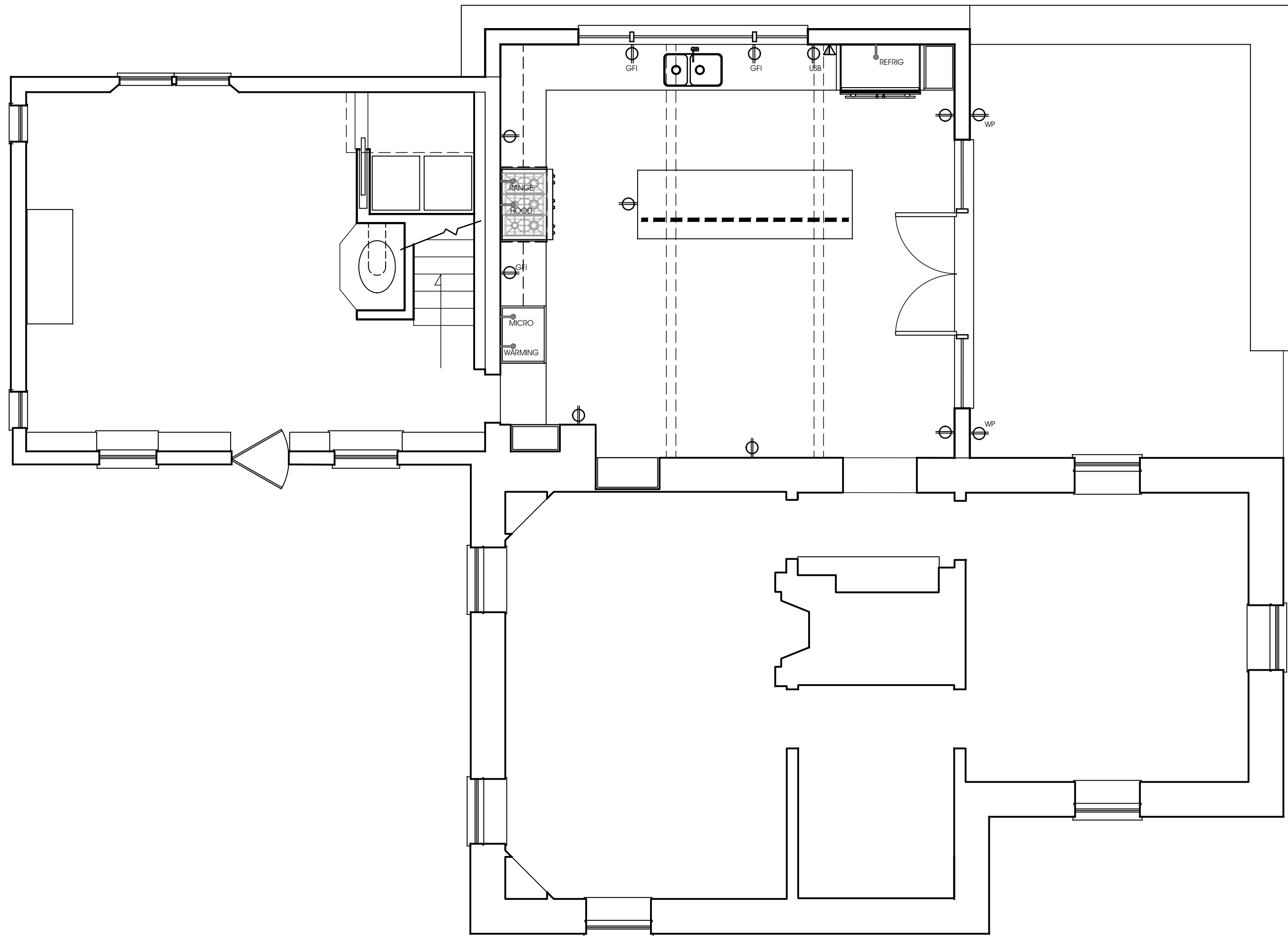
DRAWING INFO.

E1.0

1/4"=1'-0"



1 LIGHTING PLAN
1/4"=1'-0"

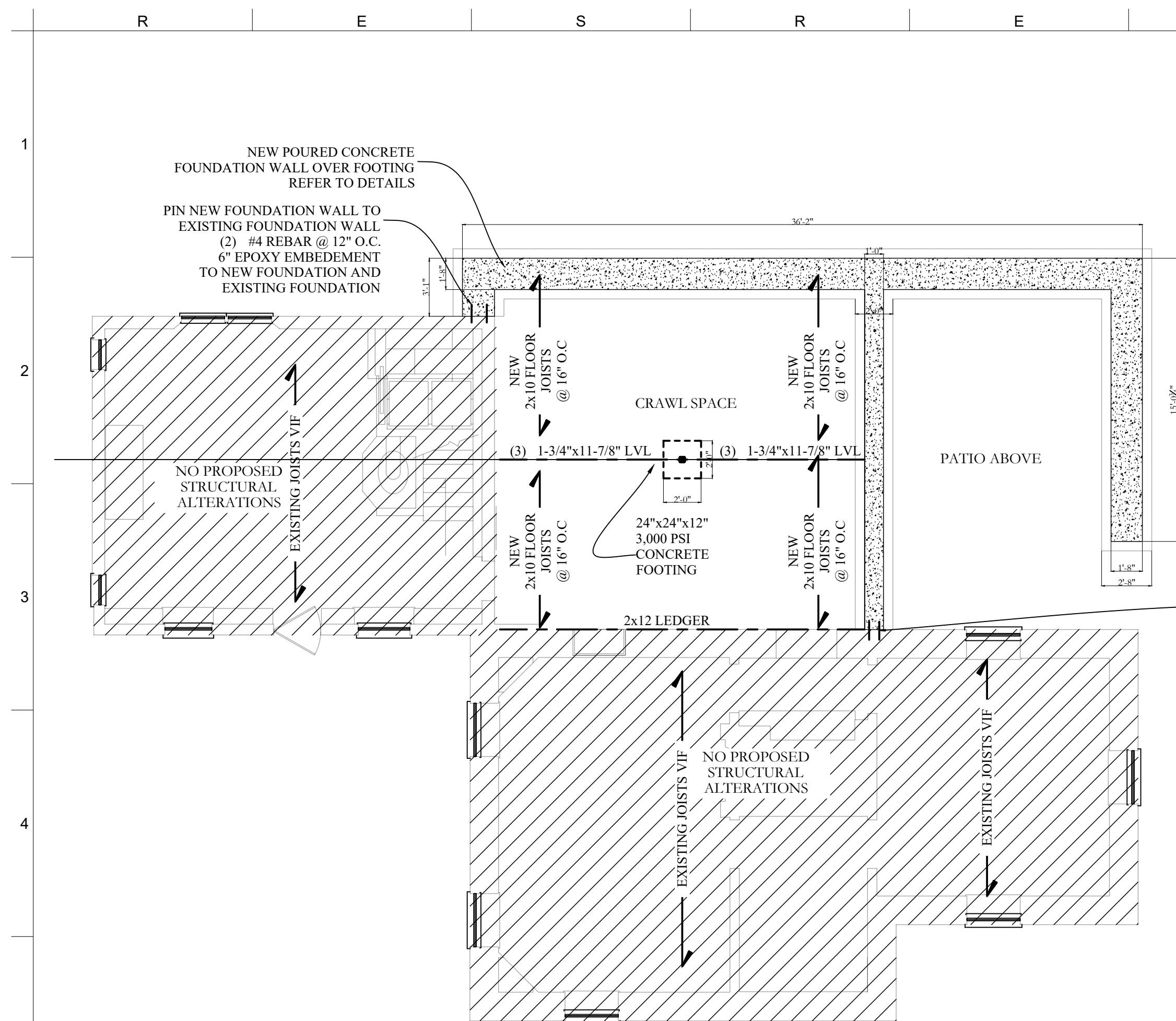


2 POWER PLAN
1/4"=1'-0"

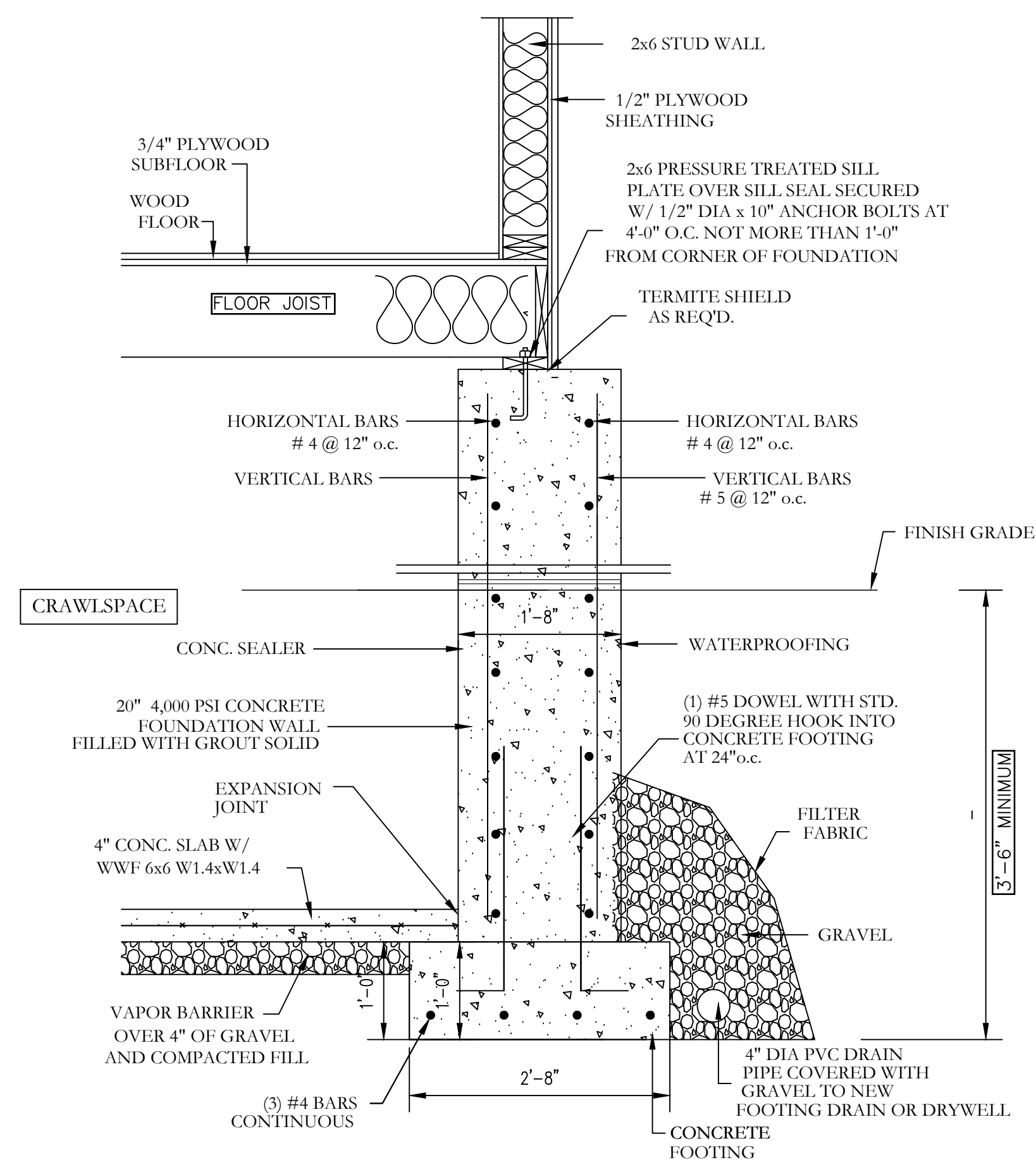
| LIGHTING LEGEND: | |
|------------------|--|
| | DIMMER SWITCH |
| | FIXTURE SYMBOL |
| | DIMMER SWITCH SINGLE LOCATION LUTRON CASETA, COLOR: WHITE |
| | 3 OR 4 WAY DIMMER SWITCH LUTRON "LYNEO" COLOR TO FOLLOW |
| | RECESSED ADJUSTABLE DOWN LIGHT MANUF: JUNO HOUSING: IC1RLED124 REMODEL HOUSING TRIM: 4RLA G2 06LM 30K 90CRI WFL 120 FRPC WH SIZE: 4" ROUND GIMBAL TRIM FINISH: WHITE LAMP: DIMMABLE LED, 600 LM, 3000K, WIDE FLOOD |
| | SURFACE MOUNTED DECORATIVE WALL SCONCE INCANDESCENT FIXTURE - SUPPLIED BY OWNER - 100 WATTS SET MOUNTING HEIGHT IN FIELD WITH ARCHITECT. |
| | SURFACE MOUNTED STRIP LIGHTING MOUNTED TO THE UNDERSIDE OF THE CABINETS MANUF: W.A.C. LIGHTING LED STRIP LIGHT OR EQUAL COLOR: 2700K |
| | SURFACE MOUNTED DECORATIVE CEILING INCANDESCENT FIXTURE ON JUNCTION BOX - SUPPLIED BY OWNER - 100 WATTS |

| POWER LEGEND: | |
|---|--|
| NOTE: ONLY NEW OUTLETS AND OTHER ELECTRICAL DEVICES ARE SHOWN. EXISTING OUTLETS TO BE RECIRCUITED, REPLACED, OR ABANDONED AS DIRECTED BY OWNER AND AS PER EXIST. NEW YORK STATE ELECTRICAL CODE | |
| | DUPLEX ELECTRIC OUTLET MOUNTED @ 15" A.F.F. UNLESS OTHERWISE NOTED. |
| | G.F.I. OUTLET MOUNTED @ 42" A.F.F. UNLESS OTHERWISE NOTED. |
| | DUPLEX ELECTRIC OUTLET WITH INTEGRATED USB "A" & "C" PORTS, MOUNTED @ 42" A.F.F. UNLESS OTHERWISE NOTED. BRYANT USB815ACS OR EQUAL |
| | WATERPROOF OUTLET |
| | APPLIANCE HOOK UP - VERIFY CONNECTION W/MANUFACTURE'S CUT |
| | PLUG-MOLD W/ALTERNATING OUTLET-USB |
| | TELEPHONE/DATA OUTLET MOUNTED HORIZONTALLY - PROVIDE 2 CAT 5E CABLES AT EACH LOCATION |

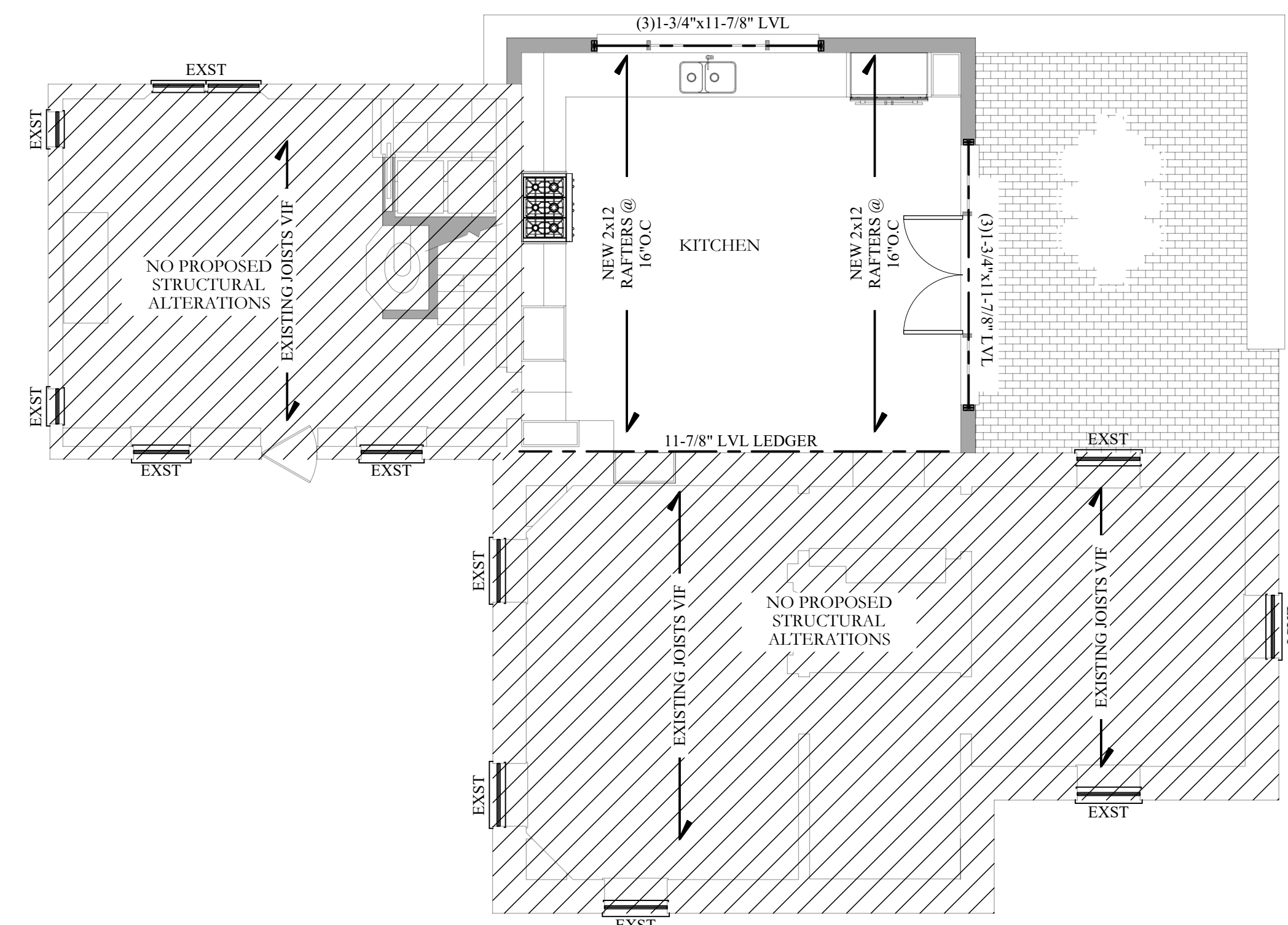
3 EXTERIOR LIGHT EXAMPLE
N.T.S.



STRUCTURAL BASEMENT PLAN
SCALE: 3/16" = 1'-0"



FOUNDATION PLAN
SCALE: N.T.S.



1 STRUCTURAL 1ST FLOOR PLAN
SCALE: 3/16" = 1'-0"



www.ResReal.com
(914)-330-7712

361 Route 202 - Suite #7
Somers, NY 10589

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 9 STRAWBERRY LANE
PROJECT VILLAGE: IRVINGTON
BUILDING DEPARTMENT: IRVINGTON
PROPERTY IDENTIFICATION: 2.50-10-14
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: 1F-40

| | | | | |
|--------|------------|-----|----------|-----------|
| ISSUE: | DATE: | BY: | CHECKED: | APPROVED: |
| 0 | 07/28/2021 | JMS | JMS | JMS |

SEAL &
SIGNATURE:

JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON
UNLESS DIRECTED BY A REGISTERED ARCHITECT
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM
IN ANY WAY.

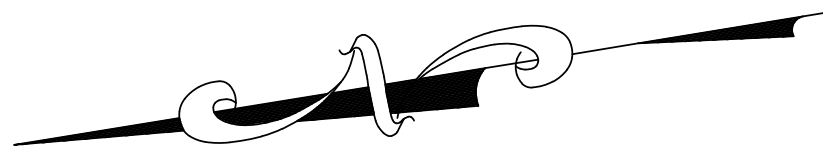
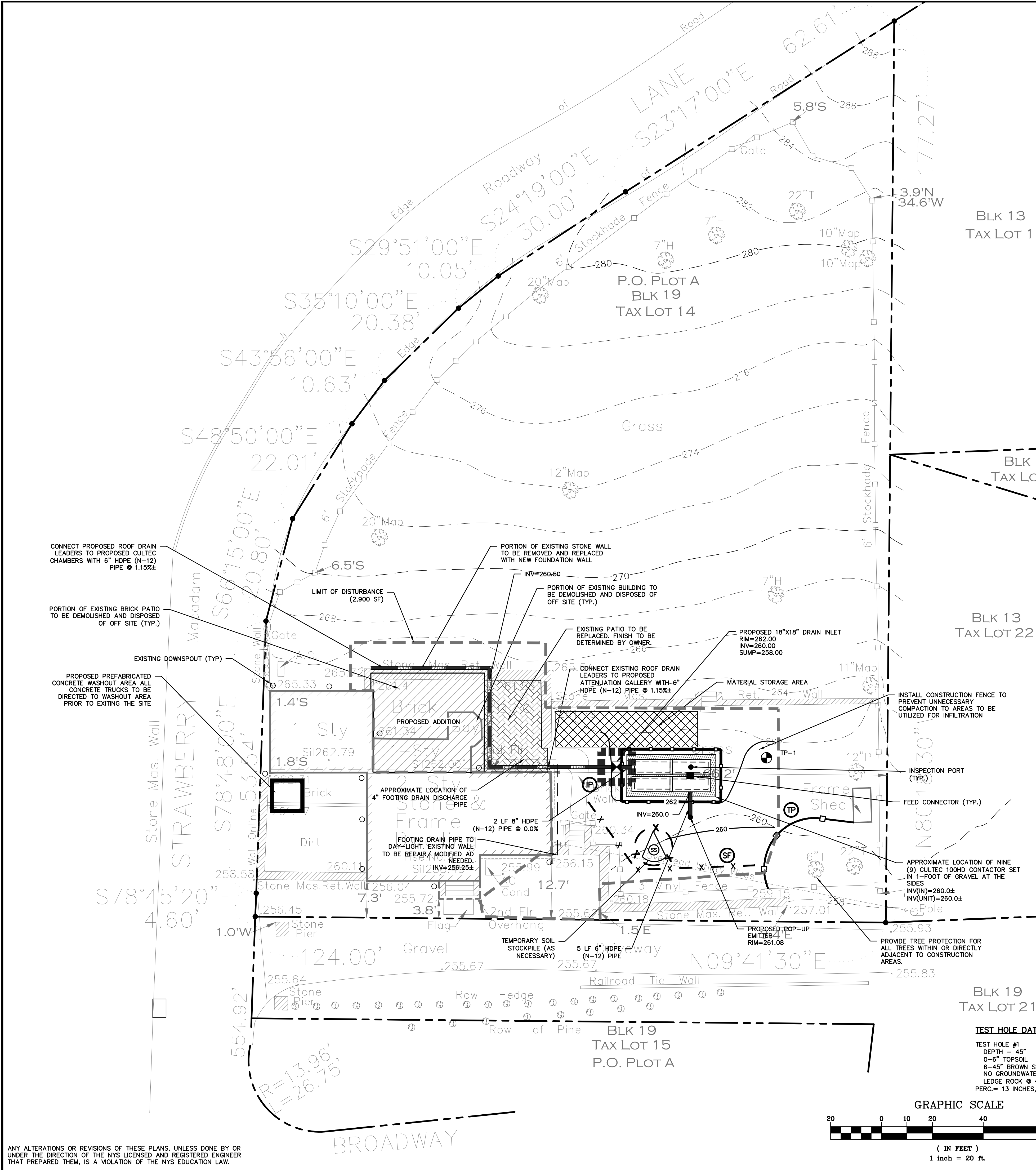
PROJECT:

9 Strawberry Lane
Irvington, NY 10533

DRAWING TITLE:
STRUCTURAL
SHEET 2

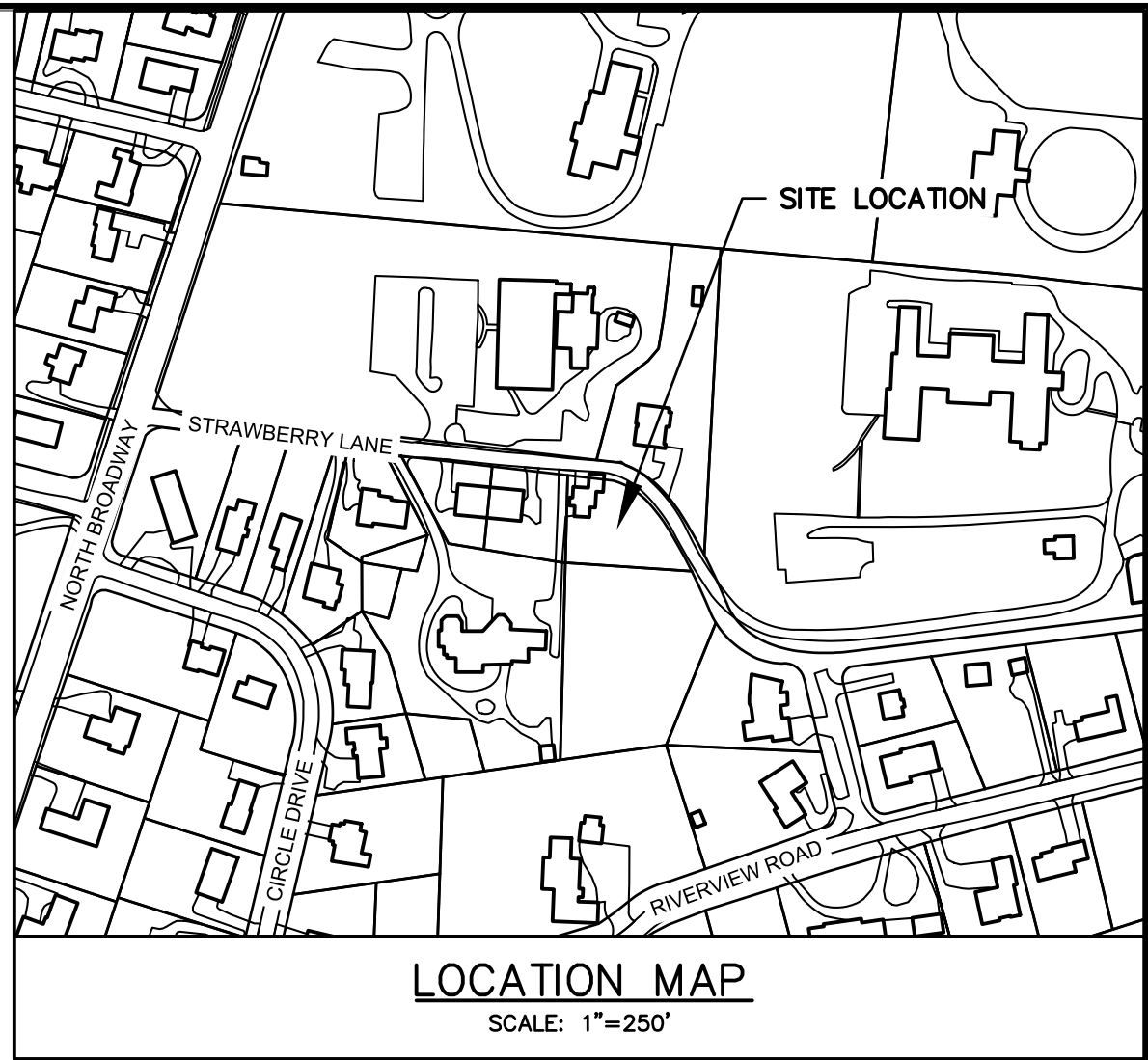
S-102

NOTES:



LEGEND

- PROPERTY LINE
- PROPOSED STORM PIPE
- PROPOSED DRAIN INLET
- TEMPORARY INLET PROTECTION
- TEMPORARY SILT FENCE
- TEMPORARY SOIL STOCKPILE AREA
- TEST PIT LOCATION
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED TREE PROTECTION



GENERAL NOTES:

1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO, ALSO, ZONING, AND THE NEW YORK STATE BUILDING CODE.
4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. REMOVING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
14. INDUSTRIAL CODE RULE 753. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)
AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY - FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - LANDSCAPING
SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEED. HAND RAKE LEVEL.
BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTERGROW" MIX OR EQUAL OVER AREA TO BE SEED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL LANDSCAPING
GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY - FINAL INSPECTION
ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

APPLICATION NOTES:

1. NO FILL IS PROPOSED TO BE IMPORTED TO THE SITE
2. NO TREES ARE PROPOSED TO BE REMOVED AS PART OF THIS APPLICATION.

VILLAGE NOTES:

1. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
2. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
3. INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT".
4. THE DRAINAGE SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
5. ALL EXISTING TREES SHALL BE PROTECTED WITH A MINIMUM OF 6-INCHES OF WOOD CHIPS OR MULCH IN AREAS PRONE TO COMPACTION DUE TO CONSTRUCTION ACTIVITIES.
6. WHEN TREE ROOTS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL NEVER BE PULLED WITH MACHINERY. WHERE NECESSARY, CUT ROOTS CLEANLY AND BRIDGE WHEN POSSIBLE.
7. WORK WITHIN DRIP LINE OF TREES SHALL BE COMPLETED BY HAND.
8. THE RESTORATION WORK FOR THE ROADWAY AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND HIGHWAY SUPERINTENDENT.

CONSTRUCTION SEQUENCING:

1. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
2. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
3. DEMOLISH SITE FEATURES AND/OR STRUCTURES NOTED AS BEING REMOVED ON THE CONSTRUCTION DOCUMENTS AND DISPOSE OF OFF-SITE.
4. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARP(AUL(S) NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE.
5. EXCAVATE AND INSTALL STORMWATER SYSTEMS PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
6. EXCAVATE AND CONSTRUCT FOUNDATIONS FOR BUILDING.
7. CONSTRUCT BUILDING ADDITIONS.
8. INSTALL DRAINAGE WORK TRIBUTARY TO STORMWATER SYSTEMS FROM PROPOSED WORK.
9. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

*SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY 1/2" OR GREATER RAINFALL EVENT.

STORMWATER MANAGEMENT FACILITIES MAINTENANCE PROGRAM

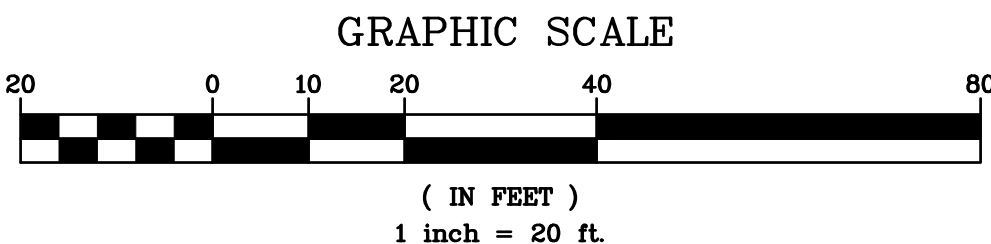
THE FOLLOWING MAINTENANCE PLAN HAS BEEN DEVELOPED TO MAINTAIN THE PROPER FUNCTION OF DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES:

- MINIMIZE THE USE OF ROAD SALT FOR MAINTENANCE OF DRIVEWAY AREAS.
- DRAINAGE INLETS SHALL BE VACUUM SWEEPED TWICE A YEAR, AT THE CONCLUSION OF THE LANDSCAPE SEASON IN THE FALL AND AT THE CONCLUSION OF THE SAND AND DE-ICING SEASON IN THE SPRING. INSPECT EXFILTRATION/ATTENUATION GALLERY FOR SEDIMENT AND REMOVE SAME IF FOUND.

THE PERMANENT MAINTENANCE PROGRAM WILL BE MANAGED BY THE FUTURE HOMEOWNERS UPON COMPLETION OF CONSTRUCTION AND ACCEPTANCE OF THE IMPROVEMENTS.

EXISTING INFORMATION SHOWN HEREON PROVIDED BY RAMSAY LAND SURVEYING, DATED DECEMBER 20, 2020

CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). ALL CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND VISIBLE AT TIME OF INSPECTION. SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.



ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

2

1

NO.

REVISED PER MILWAUKEE CONSULTANTS COMMENTS

2

1

NO.

REVISED PER MILWAUKEE CONSULTANTS COMMENTS

Revisions

2

1

NO.

REVISED PER MILWAUKEE CONSULTANTS COMMENTS

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

PROPOSED ADDITION
9 STRAWBERRY LANE
VILLAGE OF IRVINGTON
WESTCHESTER COUNTY – NEW YORK

STORMWATER MANAGEMENT PLAN

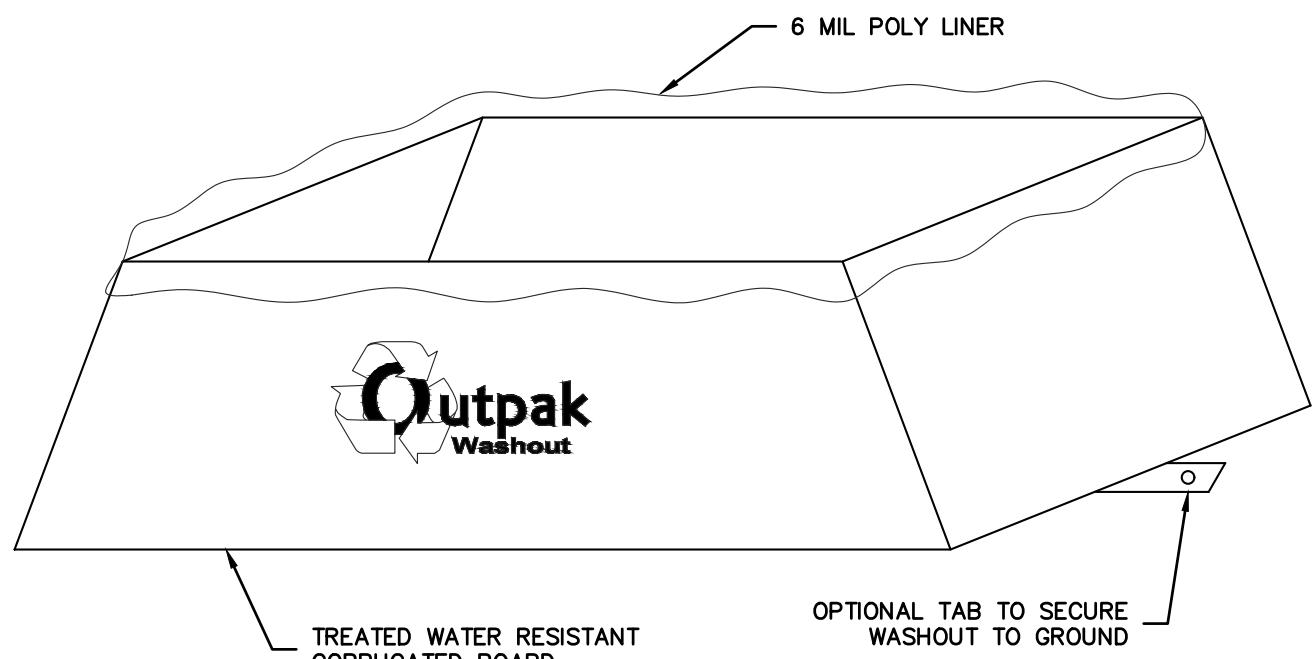
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STATE OF NEW YORK
MICHAEL J. STERN
LICENSED PROFESSIONAL ENGINEER
No. 60857

Date: 01/05/22 Sheet: 1
Scale: 1" = 10'
Designed By: T.K.
Checked By: M.S.
Sheet No. 2

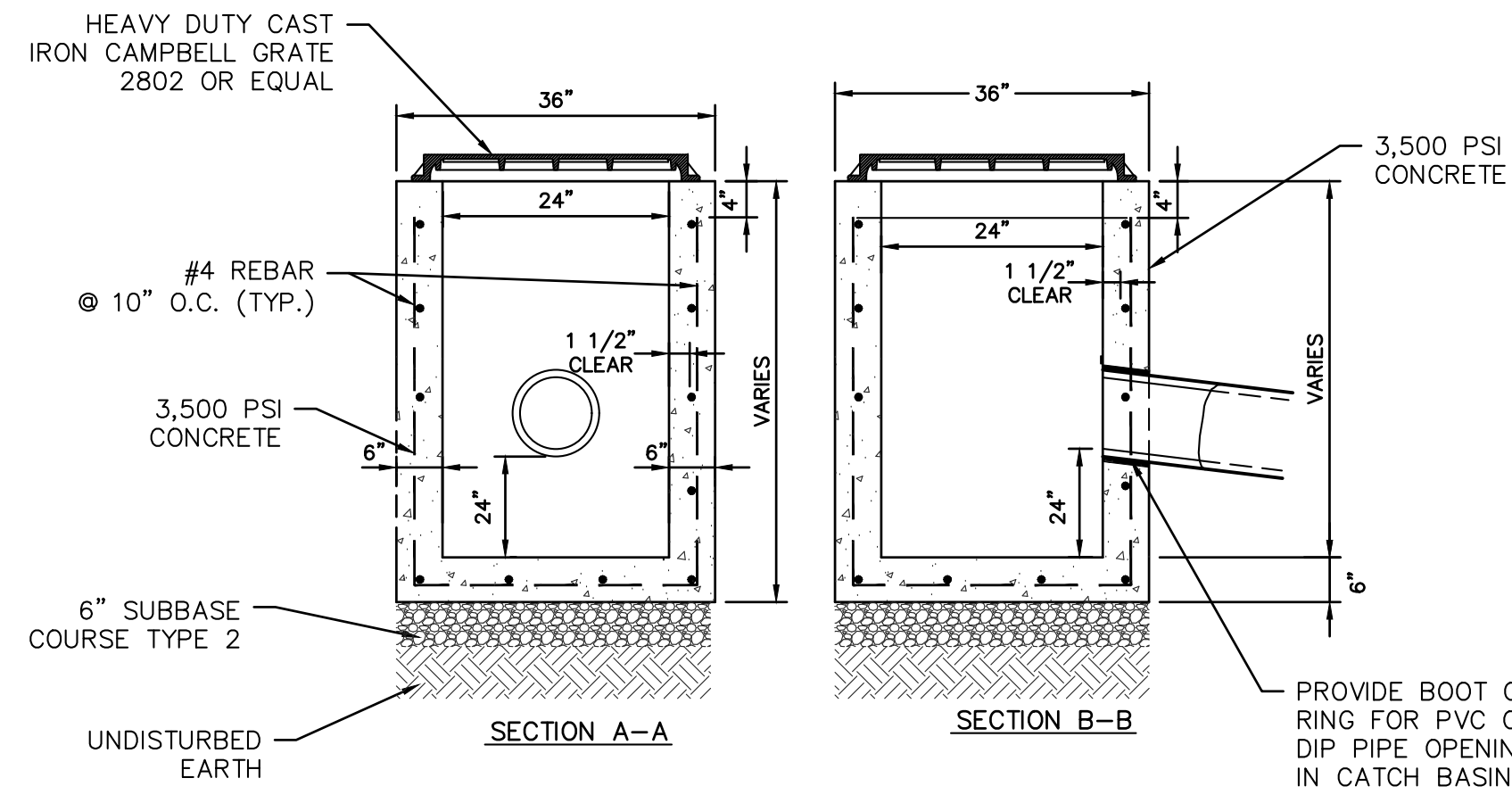
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NOTES:

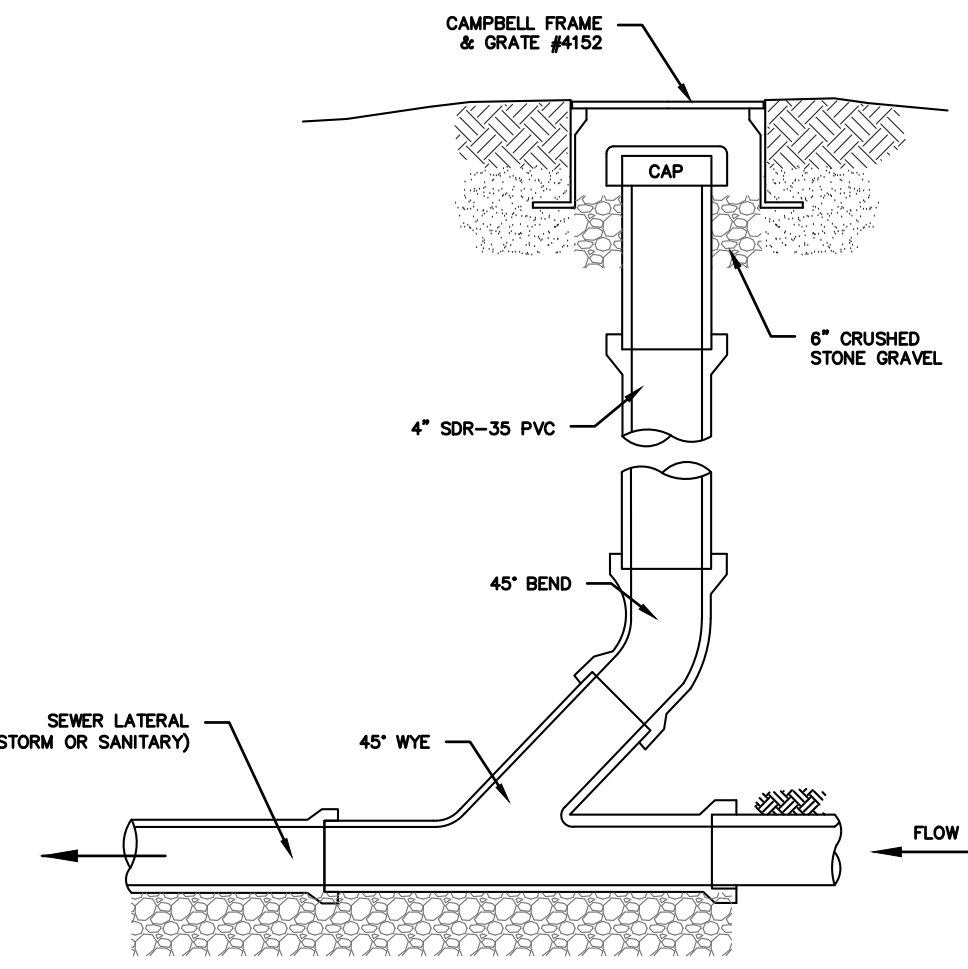
1. THE WASHOUT SHALL BE INSTALLED PRIOR TO USING MATERIALS THAT REQUIRE WASHOUT ON THIS PROJECT.
2. AS NECESSARY, SIGNS SHALL BE PLACED THROUGHOUT THE SITE TO INDICATE THE LOCATION OF THE WASHOUT.
3. THE WASHOUT AREA WILL BE REPLACED AS NECESSARY TO MAINTAIN CAPACITY FOR LIQUID WASTE.
4. WASHOUT RESIDUE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED WASTE FACILITY.
5. DO NOT WASHOUT INTO STORM DRAINS, OPEN DITCHES, STREETS, OR STREAMS.
6. AVOID DUMPING EXCESS CONCRETE IN NON-DESIGNATED DUMPING AREAS.
7. LOCATE WASHOUT AT LEAST 50' (15 METERS) FROM STORM DRAIN, OPEN DITCHES, OR WATER BODIES.
8. THE WASHOUT SHALL BE USED ONLY FOR NON-HAZARDOUS WASTES.

CORRUGATED CONCRETE WASHOUT



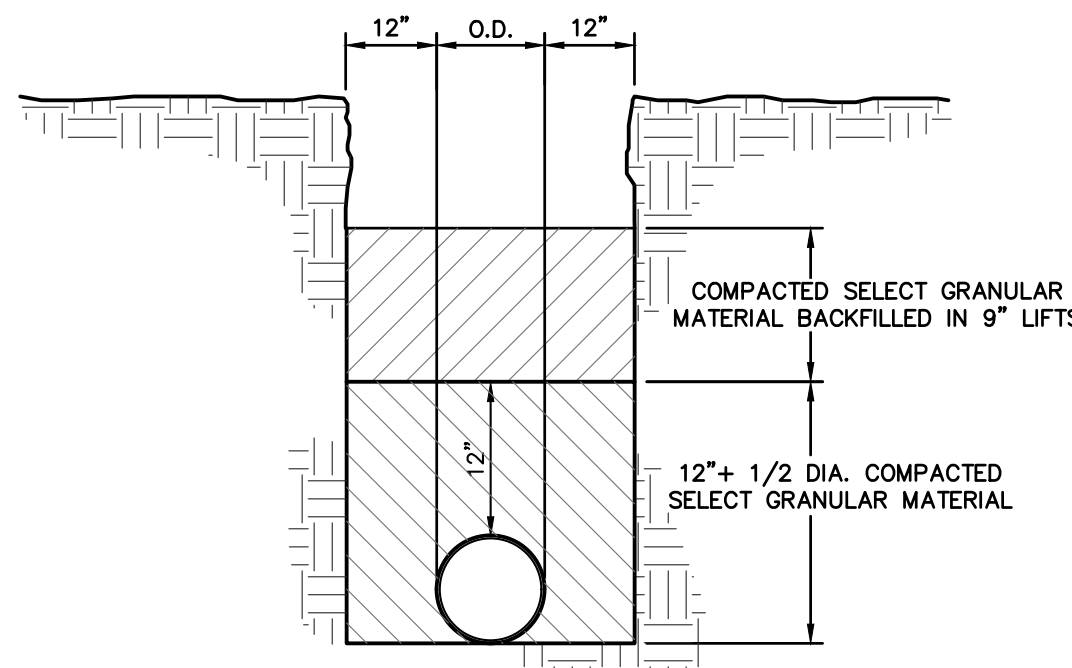
PRECAST DRAIN INLET

- NOTES:
1. CONCRETE - 3,500 PSI MINIMUM STRENGTH @ 28 DAYS
 2. STEEL REINFORCEMENT - ASTM A-615, # 4 REBAR, GRADE 60
 3. COVER TO STEEL - 1 3/4" MINIMUM
 4. DESIGN LOADING - AASHTO HS20-44
 5. EARTH COVER - 0 TO 5 FEET
 6. CONSTRUCTION JOINT - LAPPED

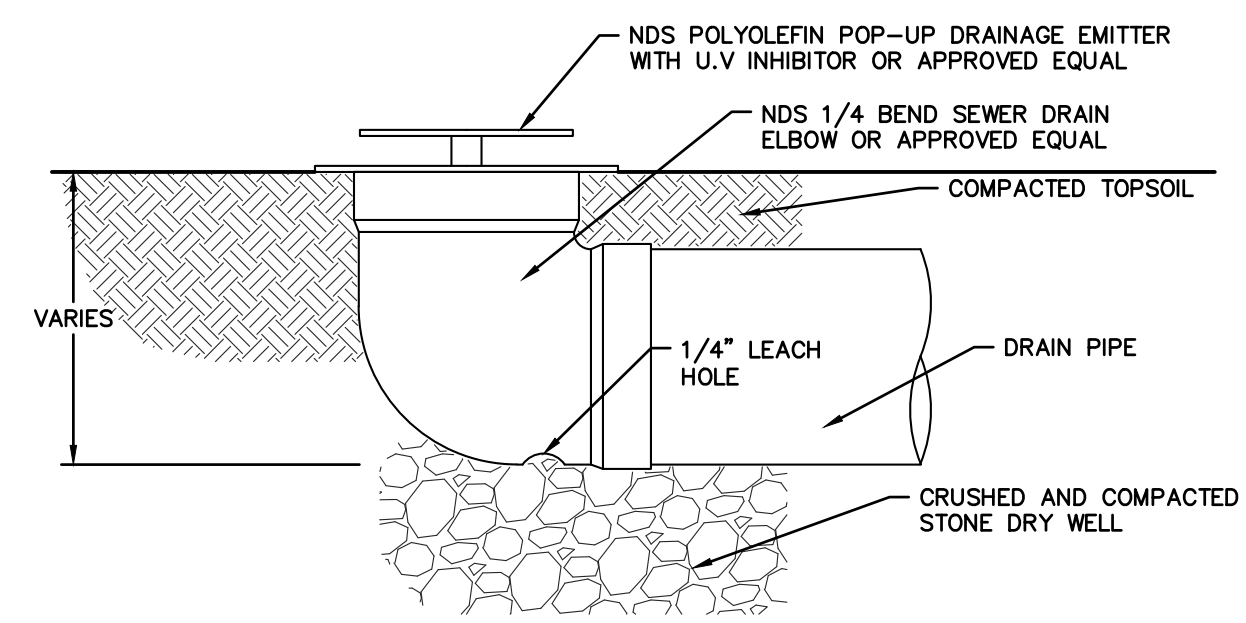


- NOTES (SANITARY SEWER SERVICES):
1. ALL SANITARY SEWER SERVICES TO BE 4" SCH. 40 @ 1.0% MINIMUM.
 2. IN ACCORDANCE WITH THE NYS RESIDENTIAL BUILDING CODE, THE FOLLOWING REQUIREMENTS APPLY:
 - A. CLEANOUTS SHALL BE INSTALLED NOT MORE THAN 100 FEET APART IN HORIZONTAL DRAINAGE LINES (P3005.2.2).
 - B. CLEANOUTS SHALL BE INSTALLED AT EACH CHANGE OF DIRECTION OF THE DRAINAGE SYSTEM GREATER THAN 45 DEGREES.
 - C. CLEANOUTS SHALL BE INSTALLED SO THAT THE CLEANOUT OPENS TO ALLOW CLEANING IN THE DIRECTION OF THE FLOW OF THE DRAINAGE LINE (P3005.2.8).
- NOTES (STORM SEWER):
1. REFER TO PLAN FOR SPECIFIC PIPE SIZING AND SLOPE SPECIFICATIONS; HOWEVER, IN GENERAL, ALL STORM SEWER SERVICES TO BE 6" SCH. 40 @ 1.0% MINIMUM.
 2. CLEANOUTS SHALL BE PLACED BEFORE SIGNIFICANT PIPE BEND LOCATIONS (I.E., JUNCTIONS, 90-DEGREE BENDS, ETC.) UNLESS A ROOF LEADER DOWNSPOUT CONNECTION IS PROPOSED.

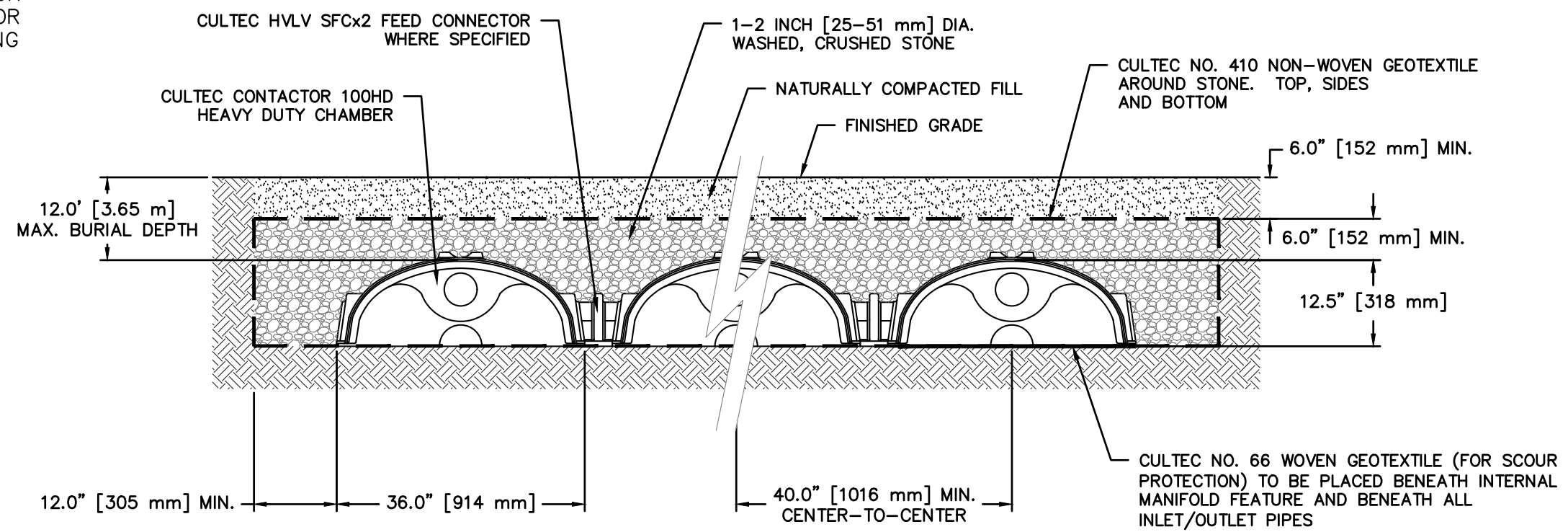
SEWER CLEANOUT DETAIL (GRAVITY)
(STORM OR SANITARY)



TRENCH BEDDING

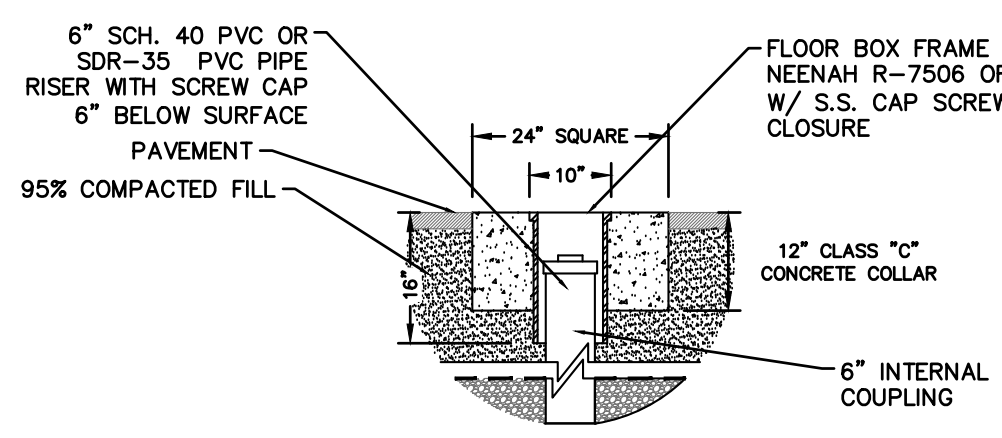


NDS POP-UP DRAINAGE EMITTER



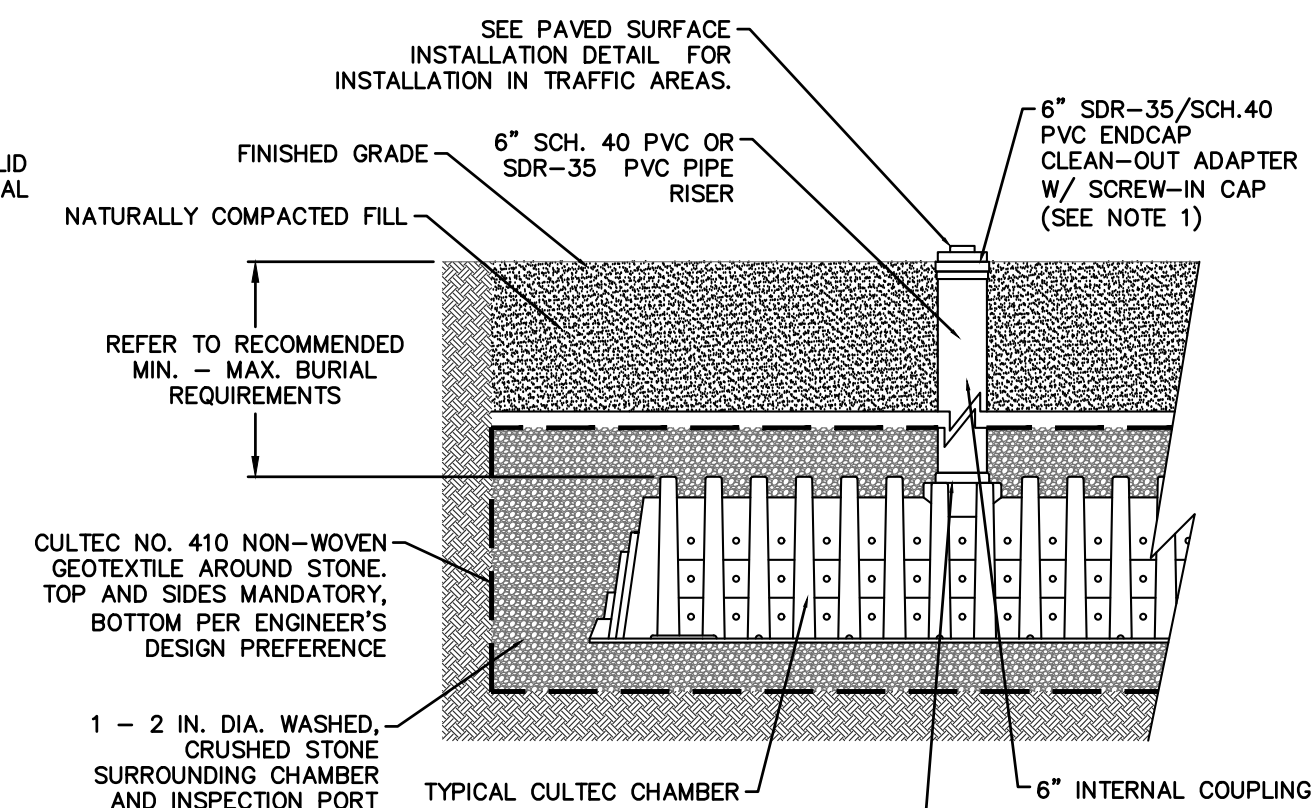
- GENERAL NOTES
- CONTACTOR 100HD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 3.84 CF/FT [0.82 M³/3] PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
MAXIMUM ALLOWED COVER ON TOP OF UNIT SHALL BE 12.0' [3.66 m] THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS
- WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS, ALL CONTACTOR 100HD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER. ALL CONTACTOR 100 CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

CULTEC CONTACTOR 100HD



PAVED SURFACE INSTALLATION DETAIL

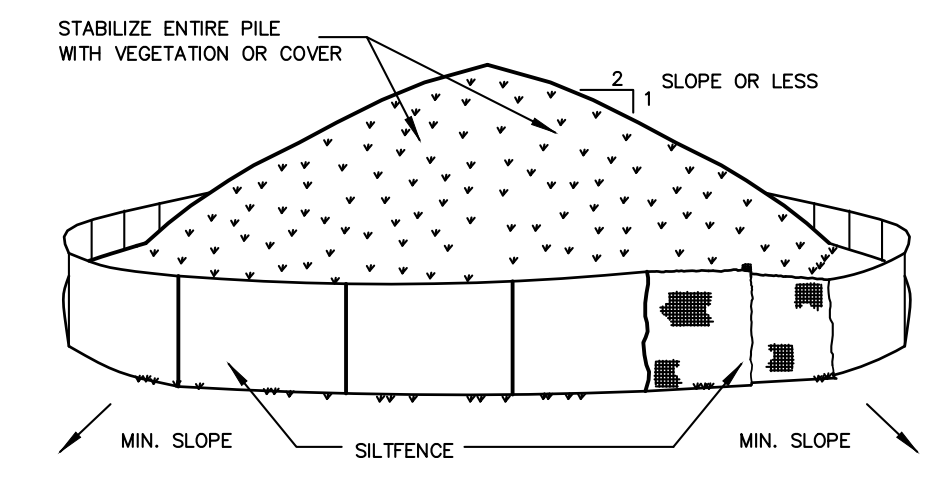
- NOTES:
1. WHEN ACCESS PORT IS UTILIZED AS SYSTEM OVERFLOW, INSTALL NDS MODEL 50 GRATE. GRATE TO BE SET 1/2 inch ABOVE ADJACENT GRADE. ADJACENT GRADE TO PITCH AWAY FROM ACCESS PORT IN ALL DIRECTION.
 2. INSPECTION PORT NOT TO SERVE AS OVERFLOW WHEN INSTALLED IN PAVED/TRAFFIC AREAS.



INSTALLATION DETAIL

CULTEC INSPECTION PORT

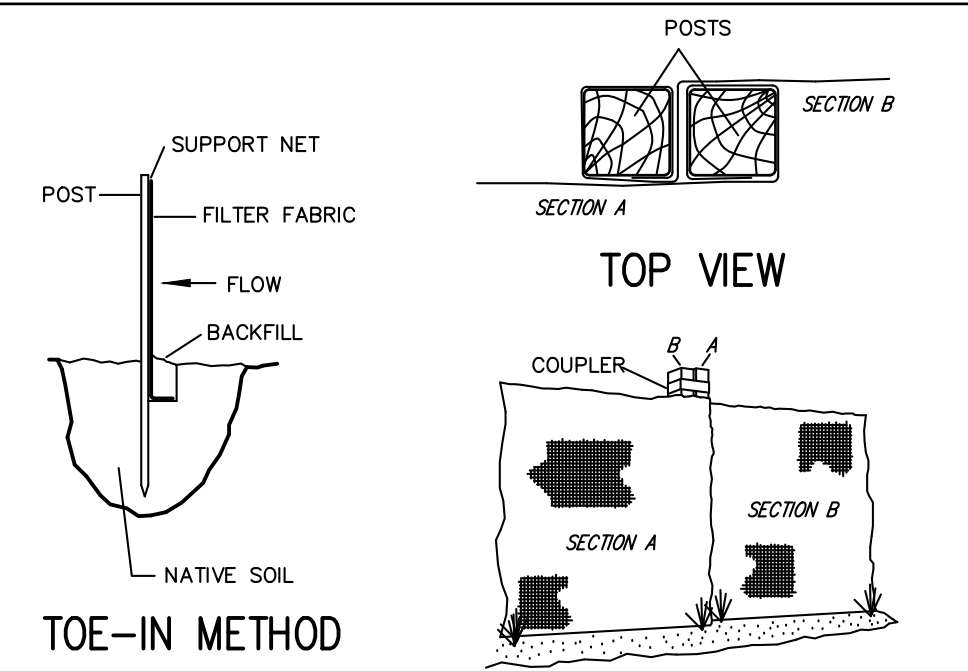
SOIL STOCKPILING



INSTALLATION NOTES

- INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
 3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
 4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
 5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
 6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

SILT FENCE

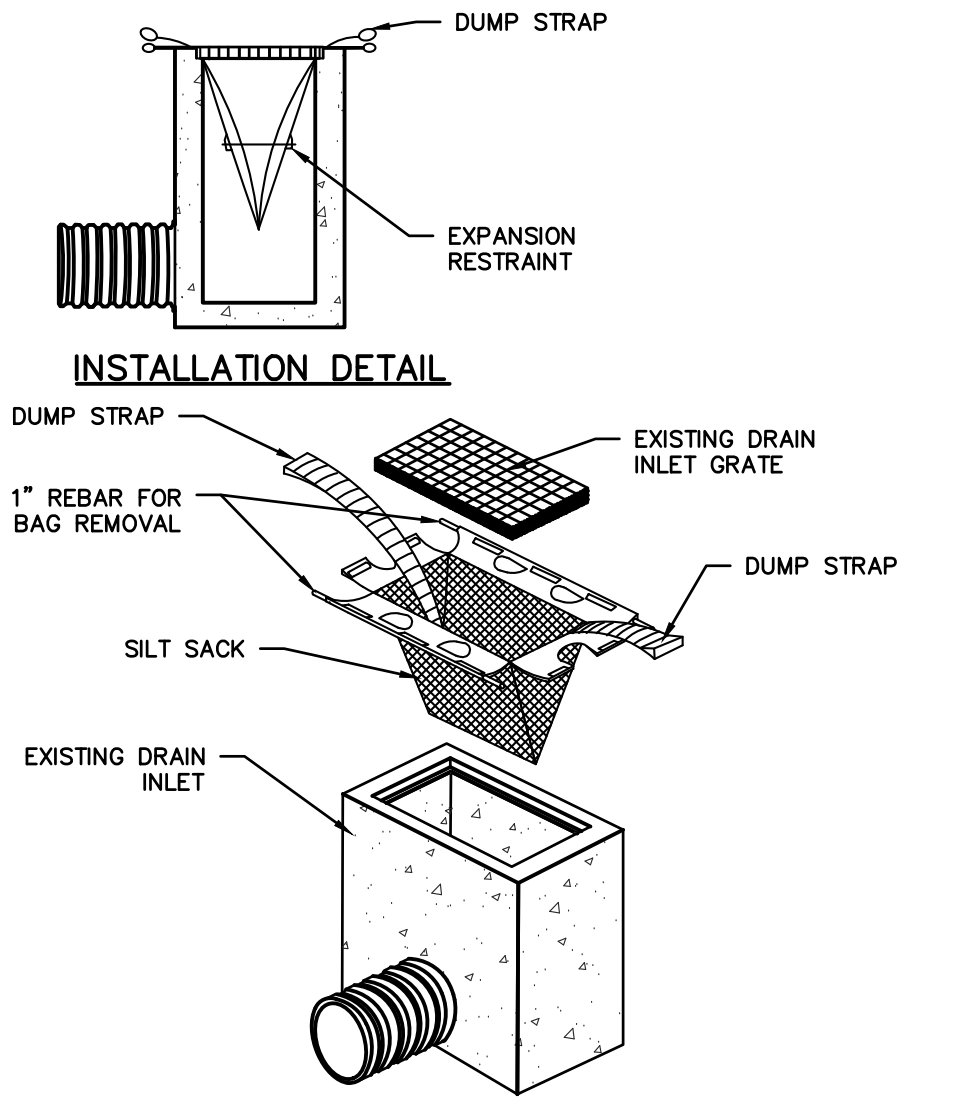


TOE-IN METHOD

JOINING SECTIONS OF FENCING

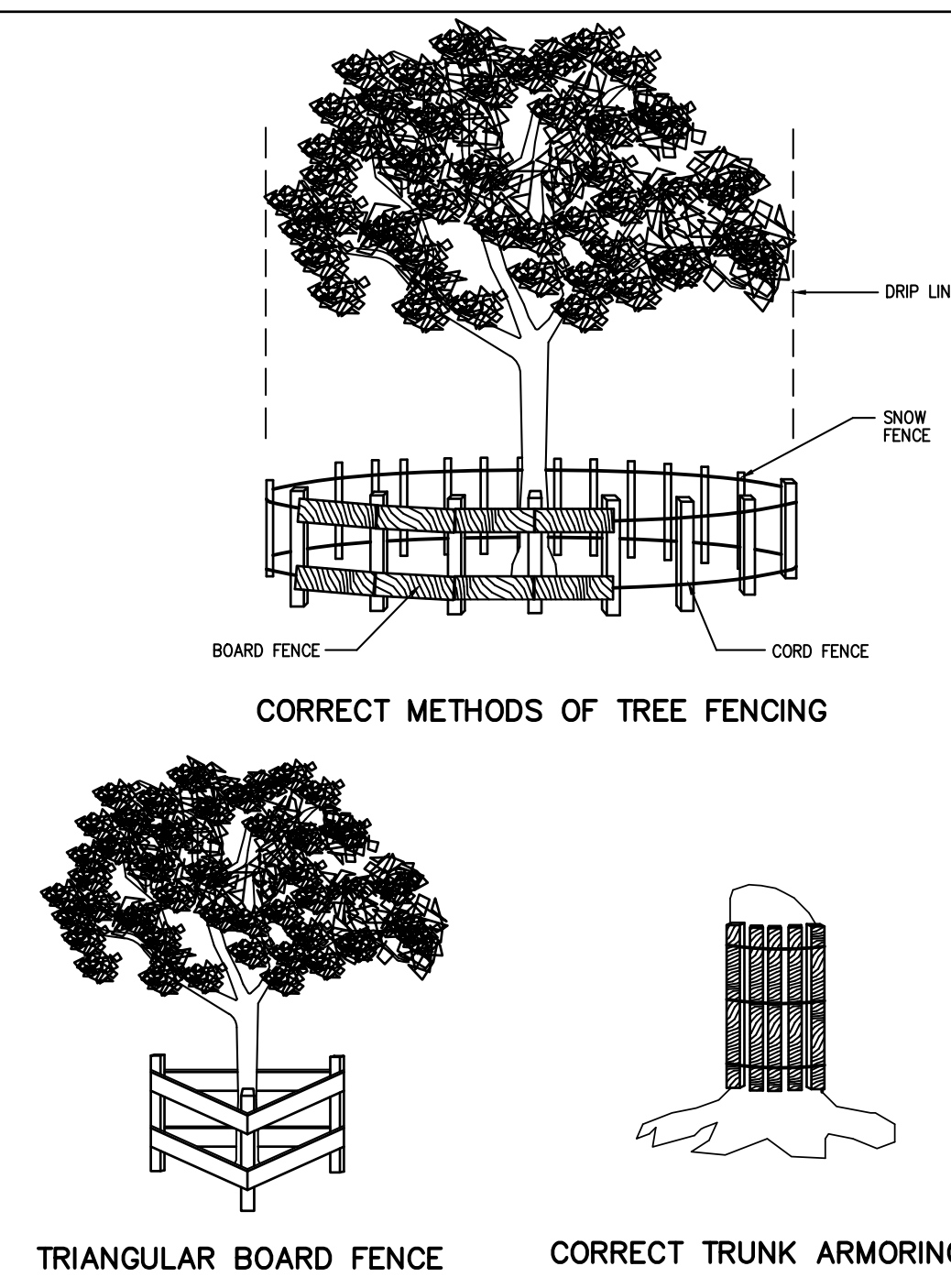
- INSTALLATION NOTES:
1. EXCAVATE A 4 INCH * 4 INCH TRENCH ALONG THE LOWER PERIMETER OF THE SITE.
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM DIRECTION OF FLOW).
 3. DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS APPROXIMATELY 2 INCHES FROM THE TRENCH BOTTOM.
 4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. STEEPER SLOPES REQUIRE AN INTERCEPT TRENCH.
 5. JOIN SECTIONS AS SHOWN ABOVE.

Siltsack Inlet Protection



- NOTE:
1. EACH SILTSACK SHALL BE PROPERLY SIZED FOR EACH INLET.
 2. ALL CURB INLETS SHALL UTILIZE SILTSACK MODELS WITH BUILT IN CURB DEFLECTOR.
 3. SILTSACKS SHOULD ONLY BE UTILIZED ON DRAIN INLETS OUTSIDE OF THE DISTURBED AREAS TO PREVENT CONTAMINATION OF DOWN STREAM STORMWATER STRUCTURES.
 4. SEDIMENT SHALL BE REMOVED FROM EACH SILTSACK WHEN SILT DEPTH EXCEEDS 6-INCHES.
 5. SILTSACKS SHOULD BE INSPECTED REGULARLY FOR DAMAGE. ANY DAMAGED SILTSACKS SHOULD BE REPLACED.

FENCING AND ARMORING



CORRECT METHODS OF TREE FENCING

TRIANGULAR BOARD FENCE CORRECT TRUNK ARMORING

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|--|--|----------|------|
| 1 | REVISED PER VILLAGE CONSULTANTS COMMENTS | 01/25/22 | Date |
| Revisions | | | |
| THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE | | | |
| PROJECT: | | | |
| PROPOSED ADDITION 9 STRAWBERRY LANE VILLAGE OF IRVINGTON WESTCHESTER COUNTY - NEW YORK | | | |
| STORMWATER MANAGEMENT PLAN | | | |
| HUDSON ENGINEERING CONSULTING, P.C. 45 Knollwood Road, Suite 201 Elmsford, New York 10523 T: 914-909-0420 F: 914-560-2086 ©2022 | | | |
| Date: 01/25/22 Sheet: 2 Scale: N.T.S. Designed By: J.K. Checked By: M.S. Sheet No. | | | |
| C-2 | | | |