APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	566	Date:	06/30/2022
Job Location:	23 DEARMAN CLOSE	Parcel ID:	2.111-59-47.11
Property Owner:	Rajesh Nakum	Property Class:	RES LND INCL. SM. IM
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	**Contractor**
Mitchell Koch	Bob Marinkovic
Mitchell Koch Architects	Marinkovic Home Improvement
76 MAIN STREETIrvington NY 10533	3 Park Lane Darien CT 06820
914-623-0230	203-504-8373

Description of Work

Type of Work:	Addition	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	1100000.00	Property Class:	RES LND INCL. SM. IM

Description of Work

2400sf addition, new garage, and miscellaneous site work.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL LAWS, RULES, AND REGULATIONS, INCLUDING REFERENCES STANDARDS, OF THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE, FIRE PREVENTION CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES. ALL MATERIALS AND EQUIPMENT USED IN THE PROJECT SHALL CONFORM TO, AND HAVE APPROVALS IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, ALL REFERENCE SUBCODES, AND WITH ANY OTHER PUBLIC AUTHORITIES OR AGENCIES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.
2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS NECESSARY TO OBTAIN ALL PERMITS REQUIRED BY GOVERNING NEW YORK AGENCIES.
3. THE CONTRACTOR SHALL BE LICENSED WITHIN THE COUNTY OF WORK.
4. THE CONTRACTOR SHALL PROVIDE WORKMEN'S COMPENSATION, LIABILITY, AND PROPERTY DAMAGE INSURANCES TO LIMITS AS REQUIRED BY THE LOCAL MUNICIPALITY AND/OR OWNER, AND SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND ARRANGING FOR ALL REQUIRED NOTIFICATIONS, TESTINGS, INSPECTIONS, AND APPROVALS.
5. THE CONTRACTOR UPON COMPLETION OF THE WORK, SHALL APPLY AND ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED.

6. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
7. IN A RENOVATION OR RESTORATION PROJECT, ALL DIMENSIONS AND CONDITIONS SHOWN ARE APPROXIMATE, AS ALL NEW WORK MUST JOIN AND ALIGN WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL DETERMINE ACTUAL FINISHED DETAILS OF CONSTRUCTION RELATING TO HEIGHTS, SIZES, ETC. BASED ON FIELD MEASUREMENTS, ALL IN ORDER TO JOIN AND ALIGN NEW TO EXISTING WORK.
8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)
10. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.
11. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

12. THE CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE SITE AND ADJOINING PROPERTIES, BUILDING STRUCTURES, EQUIPMENT, CONTENTS, PAVEMENTS, SIDEWALKS, STREETS, CURBS, LANDSCAPING, UTILITIES, AND IMPROVEMENTS WITHIN THE AREA OF OPERATIONS UNDER THE CONTRACT. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY CLOSURES, GUARD RAILS, BARRICADES, ETC., TO ADEQUATELY PROTECT ALL WORKMEN, OCCUPANTS, AND THE PUBLIC FROM POSSIBLE INJURY. IF NECESSARY, TEMPORARY PROTECTION AND A CHAIN LINK FENCE SHALL BE CONSTRUCTED TO PREVENT UNAUTHORIZED ACCESS TO THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VANDALISM OR DAMAGE RESULTING FROM UNAUTHORIZED ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.
13. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES.
14. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.
15. CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS, AND FOR THE GENERAL CLEANING FOR THE FOR THE DURATION OF THE PROJECT. THE SITE SHALL BE LEFT DAILY WITH ALL MATERIALS AND TOOLS STORED IN AN ORDERLY FASHION, WITH ALL AREAS BROOM SWEPT. NO ACCUMULATION OF DIRT OR DEBRIS SHALL BE PERMITTED. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS, AND IN A BROOM SWEPT CONDITION.
16. ALL EXPOSED FINISHED SURFACES SHALL BE TREATED, CLEANED, VACUUMED, OR POLISHED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
17. DISTURBANCE OR DAMAGE RESULTING DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THE CONTRACTOR, INCLUDING DAMAGE TO PROPERTY INCLUDING BUILDINGS, EQUIPMENT, CONTENTS, LAWNS, PLANTINGS, OR OTHER LANDSCAPE ITEMS, SHALL BE PROMPTLY RESTORED, REPAIRED, AND/OR REPLACED TO THE COMPLETE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE OWNER.
19. UNLESS OTHERWISE PROVIDED, THE ARCHITECT AND ARCHITECT'S CONSULTANTS, INCLUDING EQUIPMENT MANUFACTURERS AND THEIR REPRESENTATIVES, SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. THIS INCLUDES, BUT IS NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB), LEAD PAINT CONTAMINANTS, OR ANY OTHER TOXIC SUBSTANCES OR CONTAMINATE. SHOULD ANY HAZARDOUS MATERIAL BE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND REVIEW THE PROJECT CONDITIONS WITH THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH ANY WORK OF THE CONTRACT.
20. EXCAVATION FOR UTILITY PIPING OR FOUNDATIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR SHALL NOTIFY THE LOCAL BUILDING DEPARTMENT AND/OR UTILITY COMPANY TO DETERMINE LOCATIONS OF ANY EXISTING UNDERGROUND UTILITIES, AND PROVIDE PROTECTION FOR SAME DURING EXCAVATION PROCEDURES.

21. THESE DRAWINGS AS ARTICLES OF SERVICE ARE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER BUILDINGS, PROJECTS, OR PROPOSALS, OR PORTIONS THEREOF UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY. THE INFORMATION, CONCEPTS, IDEAS, AND DESIGN CONTAINED IN THESE DOCUMENTS ARE PROTECTED BY UNITED STATES COPYRIGHT LAWS.

TENANT SAFETY NOTES

1. MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR USERS OF THE BUILDING ARE TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.
2. FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREAS TO BE CONTROLLED BY THE OWNER AND/OR GENERAL CONTRACTOR.
3. DUST CONTROL: DEBRIS, DIRT, AND DUST ARE TO BE KEPT TO A MINIMUM, & CONFINED TO THE IMMEDIATE CONSTRUCTION SITE. NO ACCUMULATION OF DEBRIS IS ALLOWED. CONSTRUCTION AREAS AND AFFECTED AREAS MUST BE KEPT ORDERLY AND BROOM SWEPT DAILY.
4. NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO BUILDING ALLOWABLE WORKING HOURS, 8:00 AM TO 6:00 PM, MONDAYS THROUGH SATURDAY.
5. CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOORS OR AREAS. CONTRACTOR TO LIMIT THE AMOUNT OF DUST, DIRT, DEBRIS OR OTHER INCONVENIENCES CREATED BY THE CONSTRUCTION, TO THE IMMEDIATE CONSTRUCTION SITE.
6. PORTIONS OF THE BUILDING WILL BE OCCUPPIED DURING THE COURSE OF CONSTRUCTION WORK.

ELECTRICAL NOTES

1. EXAMINE DRAWINGS AND BECOME FULLY INFORMED OF THE EXTENT AND CHARACTER OF WORK TO BE PERFORMED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
2. SUPPLY AND INSTALL ALL ITEMS, ARTICLES, MATERIALS, & OPERATIONS INCLUDING ALL LABOR, EQUIPMENT, MATERIALS, & TOOLS NECESSARY TO COMPLETE ALL SYSTEMS SHOWN ON DRAWINGS, RENDERING A COMPLETE INSTALLATION.
3. OBTAIN ALL PERMITS REQUIRED. ARRANGE FOR INSPECTION OF THE WORK BY INSPECTION AUTHORITY, AND PAY ALL FEES. PROVIDE FINAL CERTIFICATE TO THE CLIENT/OWNER.
4. CONFORM TO THE REQUIREMENTS OF THE ELECTRICAL CODE AND THE RULES & BY-LAWS OF ALL AUTHORITIES HAVING JURISDICTION.
5. ALL MATERIAL EQUIPMENT SHALL BE NEW, UL APPROVED, BEARING THE UL STAMP, AND BE COMMERCIAL GRADE UNLESS OTHERWISE NOTED.
6. PROVIDE TEMPORARY ELECTRICAL POWER FOR THE WORK OF OTHER TRADES AS REQUIRED BY THE GENERAL CONTRACTOR. 7. PROVIDE TYPED CIRCUIT DIRECTORIES FOR PANELBOARDS. 8. PROVIDE A CERTIFICATE OF GUARANTEE OF WORKMANSHIP AND MATERIAL FOR ONE YEAR FROM DATE OF ACCEPTANCE. SUBMIT "AS-BUILT" DRAWINGS WITH ONE SET OF MARKED UP PRINTS TO CLIENT/OWNER AFTER COMPLETION OF WORK.

SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE HOME MUST CONFORM TO IRC 314 AND 315. A COPY OF THOSE SECTIONS CAN BE OBTAINED AT THIS OFFICE.

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. LEGALLY DISPOSE OF MATERIALS OFF-SITE. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF DEMOLITION.
4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. MAINTAIN EXISTING UTILITIES TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION. DO NOT INTERRUPT EXISTING BUILDING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ARCHITECT AND/OR OWNER.
6. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS' RULES AND REGULATIONS.
7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.
8. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED.
9. SCHEDULE FREIGHT ELEVATOR HOURS OF OPERATION (AS REQUIRED), DUMPSTER LOCATION, AND EXIT ROUTE WITH ARCHITECT AND/OR OWNER IN ADVANCE.
10. DO NOT USE CUTTING TORCHES FOR REMOVALS.
11. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS CONFLICT WITH DEMOLITION, REPORT THE NATURE AND EXTENT OF THE CONFLICT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF INSTRUCTIONS, REARRANGE DEMOLITION SCHEDULE TO MAINTAIN PROGRESS.
12. IF ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER AND BUILDING MANAGEMENT. CEASE DEMOLITION WORK IN THE AFFECTED AREA UNTIL ARCHITECT AND/OR OWNER ISSUES INSTRUCTION TO RESUME WORK.

STRUCTURAL NOTES

1. ALL STRUCTURAL WORK SHALL COMPLY WITH THE STATE OF NEW YORK BUILDING CODE.
2. STRUCTURAL WORK SHALL BE COORDINATED WITH THE ARCHITECTURAL DRAWINGS AND THE SPECIFICATIONS.
3. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING AND BRACING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS, AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE.
4. ALL FOOTINGS SHALL REST ON UNDISTURBED SOIL OF MINIMUM BEARING CAPACITY EQUAL TO 4000 PSF. THE ADEQUACY OF THE BEARING STRATUM SHALL BE VERIFIED IN THE FIELD PRIOR TO FOURING THE CONCRETE, BOTTOM OF FOOTING ELEVATIONS SHALL BE ADJUSTED AS REQUIRED IN THE FIELD.
5. ENGINEERED FILL, IF REQUIRED, SHALL BE PLACED IN 8 INCH LIFTS, COMPACTED TO 95 % MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.
6. DO NOT PLACE BACKFILL AGAINST FOUNDATION WALLS UNTIL ALL FLOORS OR ROOFS BRACING THESE WALLS ARE IN PLACE.
7. ALL CONCRETE SHALL BE NORMAL WEIGHT AGGREGATE OF MINIMUM COMPRESSIVE STRENGTH EQUAL TO 3000 PSI AT AGE 28 DAYS. CONCRETE WORK SHALL CONFORM TO ACI 301, "SPECIFICATIONS FOR CONCRETE FOR BUILDINGS", AND ALL RECOMMENDED PRACTICES CONTAINED THEREIN SHALL BE CONSIDERED MANDATORY FOR THIS PEOJECT.
8. ALL FOUNDATION CONCRETE AND GARAGE FLOOR SLAB SHALL BE AIR-ENTRAINED CONCRETE.
9. REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 GRADE 60.
10. WELDED WIIEE MESH CWWM SHALL CONFORM TO ASTM AI85 .
11. SLABS ON GROUND SHALL BE 4 INCHES THICK POURED OVER A 6-INCH LAYER OF POROUS FILL (UNLESS OTHERWISE SHOWN ON PLANS). PROVIDE 6" x 6" – W 1.4 x W 1.4 WELDED WIRE MESH 1 INCH BELOW TOP OF SLAB FABRIC PLACED . SLABS SHALL BE POURED IN ALTERNATE PANELS NOT EXCEEDING 2500 SQUARE FEET OR 80 FEET IN ANY ONE DIRECTION.
12. ALL STRUCTURAL STEEL SHALL CONFORM TO THE AISC SPECIFICATIONS, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS. ALL SHAPES AND PLATES SHALL BE ASTM A36. ALL PIPES SHALL BE ASTM A53 TYPE E OR S GRADE B.
13. BOLTS SHALL BE A307, 3/4 INCH DIAMETER MINIMUM, UNLESS NOTED OTHERWISE.
14. WELDING ELECTRODES SHALL BE ASTM A233, CLASS E60XX.
15. ALL WOOD FRAMING INCLUDING DETAILS FOR BRIDGING, BLOCKING, FIRE STOPPING, ETC. SHALL CONFORM TO THE LATEST ISSUE OF THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND ITS SUPPLEMENTS. FRAMING SHALL BE INSTALLED IN ACCORDANCE WITH THE NFPA "MANUAL FOR HOUSE FRAMING" AND NAILING SHALL BE IN ACCORDANCE WITH APPENDIX C OF THE BOCA CODE.
16. FRAMING LUMBER SHALL HAVE EACH PIECE GRADE STAMPED, SHALL BE SURFACE DRY (EXCEPT STUDS WHICH SHALL BE KILN DRIED) AND SHALL CONFORM TO THE FOLLOWING SPECIE AND GRADE: RAFTERS, PURLINS, JOISTS DOUGLAS FIR-LARCH #2 BEAMS, GIRDERS, HEADERS DOUGLAS FIR-LARCH #1 STUDS, COLUMN, PLATES DOUGLAS FIR-LARCH STUD GRADE
17. ALL FACTORY MANUFACTURED GLUE LAMINATED WOOD FRAMING MEMBERS SHALL BE BY TRUS JOIST MACMILLAN.
18. ALL FLUSH FRAMED CONNECTIONS SHALL BE MADE WITH APPROVED GALVANIZED STEEL JOIST OR BEAM HANGERS, MINIMUM 18 GAUGE, BY SIMPSON STRONG TIE, INSTALLED AS PER MANUFACTURERS RECOMMENDATION.
19. WHERE FRAMING LUMBER IS FLUSH FRAMED TO A ENGINEERED BEAM, GLU LAM FLITCH PLATE OR STEEL BEAM, SET THESE BEAMS 1/2 INCH CLEAR BELOW TOP OF FRAMING LUMBER TO ALLOW FOR SHRINKAGE.
20. STUD BEARING WALLS SHALL BE 2" x 6" AT 16" ON CENTER AT THE EXTERIOR 21. ALL RAFTERS AND JOISTS SHALL ALIGN DIRECTLY WITH STUDS BELOW. WHERE REQUIRED INSTALL ADDITIONAL STUDS.
22. AT THE ENDS OF ALL BEAMS AND GIRDERS PROVIDE A BUILT UP COLUMN WHOSE WIDTH IS AT LEAST EQUAL TO THE WIDTH OF THE MEMBER IT IS SUPPORTING AND WHOSE DEPTH MATCHES THE DEPTH OF THE ADJACENT STUDS. POST DOWN TO FOUNDATION, U.O.N.
23. USE DOUBLE STUDS AT THE END OF ALL WALLS AND WALL OPENINGS.
24. USE DOUBLE HEADERS AND TRIMMERS AT ALL FLOOR OPENINGS WHERE BEAMS ARE NOT INDICATED.
25. LAP ALL PLATES AT CORNERS AND AT THE INTERSECTION OF PARTITIONS. PROVIDE HEADERS OVER ALL
26. UNLESS OTHERWISE NOTED, PROVIDE OPENINGS AS FOLLOWS: INTERIOR WALLS (2) – 2" x 10" EXTERIOR WALLS (3) – 2" x 10"
27. STAGGER ALL SPLICES A MINIMUM OF 32".
28. BRIDGING FOR SPANS UP TO 14 FEET, PROVIDE ONE ROW. BRIDGING FOR SPANS OVER 14 FEET, PROVIDE TWO ROWS.
29. BUILT UP BEAMS SHALL BE SPIKED WITH (2) – 16d NAILS AT 16" ON CENTER.
30. PLYWOOD SHALL BE APA GRADE STAMPED AND SHALL NOT EXCEED THE SPANS INTENDED FOR USE ON THE GRADE STAMP. ALL PLYWOOD SHALL BE MADE WITH EXTERIOR GLUE AND SHALL HAVE THE FOLLOWING THICKNESS': ROOFS ½" FLOORS 3/4" WALLS ½"
31. ALL PLYWOOD SHALL BE GLUE NAILED TO FLOOR JOISTS USING AN APA APPROVED ADHESIVE. (B.F. GOODRICH PL 400 OR EQUAL)
32. USE HURRICANE ANCHORS BY SIMPSON STRONG TIE AT THE ENDS OF ALL RAFTERS.
33. LINTELS SHALL BE INSTALLED OVER ALL NEW OPENINGS IN MASONRY WALLS AS FOLLOWS: MASONRY OPENING LINTEL 4'-0" OR LESS L4 x 3 ½" x 5/16" 4'-1" TO 5'-0 L5 x 3 ½" x 5/16" a) 3 1/2 LEGS ARE HORIZONTAL b) PROVIDE ONE 'L' FOR EACH 4" OF WALL THICKNESS c) MINIMUM BEARING 6" EACH END
34. LIVE LOAD SCHEDULE ROOF 30 PSF SECOND FLOOR 40PSF FIRST FLOOR 40PSF

PLUMBING AND DRAINAGE NOTES

1. ALL PLUMBING AND GAS PIPING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF NEW YORK STATE PLUMBING CODE, AND ALL OTHER APPLICABLE COUNTY AND MUNICIPAL CODES.
2. PLUMBING CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH REGARD TO EXISTING FIELD CONDITIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS.
3. PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO THE PLANS DUE TO FIELD CONDITIONS OR COMPLIANCE WITH REQUIREMENTS OF THE APPLICABLE CODES.
4. PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND ALL REQUIRED SIGN-OFFS.

Energy Notes – ECC of NYS – Climate Zone 4A –Table 402.1.2

	Min. Req'd U-factor or R-value	Proposed at new construction	4A STRETCH CODE
Ceiling	R-49	R-49	
Walls	R-21 OR 20+5 OR 13+10	R-21	
Floor	R-30	R-30	
Bsmt or Crawl Space	R-15 cont. / R-19 non-cont.	R-19	
Slab on Grade	R-10 4'depth	R-10 4'depth	
Windows	0.27	0.27	
Skylights	0.5	0.5	

Uniform Design Loads (p.s.f.)

	Dead Load	Live Load	DL & LL
1st Floor	10	40	50
2nd Floor	10	30	40
Ext. Wall	12		12
Int. Wall	8		8
Ceiling	10		10
Deck	6	45	51
Roof	15	45	60

WALL TYPES

- EXISTING TO REMAIN
- REMOVE EXISTING
- NEW REINF. MASONRY FDN WALL
- NEW EXT WALL: SIDING TO MATCH EXIST, 1/2" CDX PLYWD, 2X6 FRMG, R20 BATT INSUL, 1/2" TYPE X GYP BD. USE PRESSURE TREATED MATERIAL WHERE IN CONTACT W MASONRY
- NEW INT. PARTITION: 2X4 FRMG, 1/2" GYP BD. BOTH SIDES (ALIGN W/ EXIST WALLS) –PROVIDE SOUND ATTENUATION BATT IN WALLS BORDERING BATH –USE 2X6 FRAMING FOR ALL POCKET DOOR WALLS –USE CEMENTICIOUS BD. ON BATH SIDE.

Certification

I, Mitchell Koch, Architect, certify that these plans and specifications, to the best of my knowledge, comply with the New York State Energy Conservation Code.

Mitchell Koch, R.A.

VILLAGE OF IRVINGTON NOTE

"The Building Inspector or Village Engineer may require additional erosion control measures if deemed appropriate to mitigate unforeseen siltation and erosion of disturbed soils."

""As-Built" drawings of the site improvements shall be submitted to the Village Building Inspector for review prior to obtaining Certificate of Occupancy."

"Infiltration system access ports shall be shown on the "As-Built."

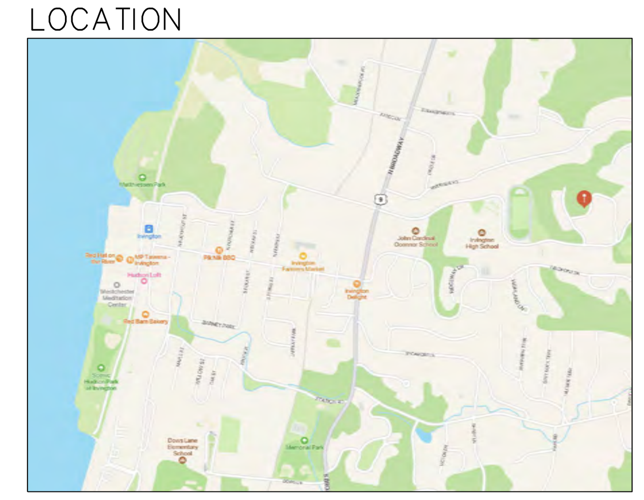
"Imported fill must be certified and approved by the Village Building Inspector or Engineer."

"The restoration work for the roadway and shoulder construction within the Village Right-of-Way shall be performed to the satisfaction of the Village Engineer and Highway Department.

ABBREVIATIONS

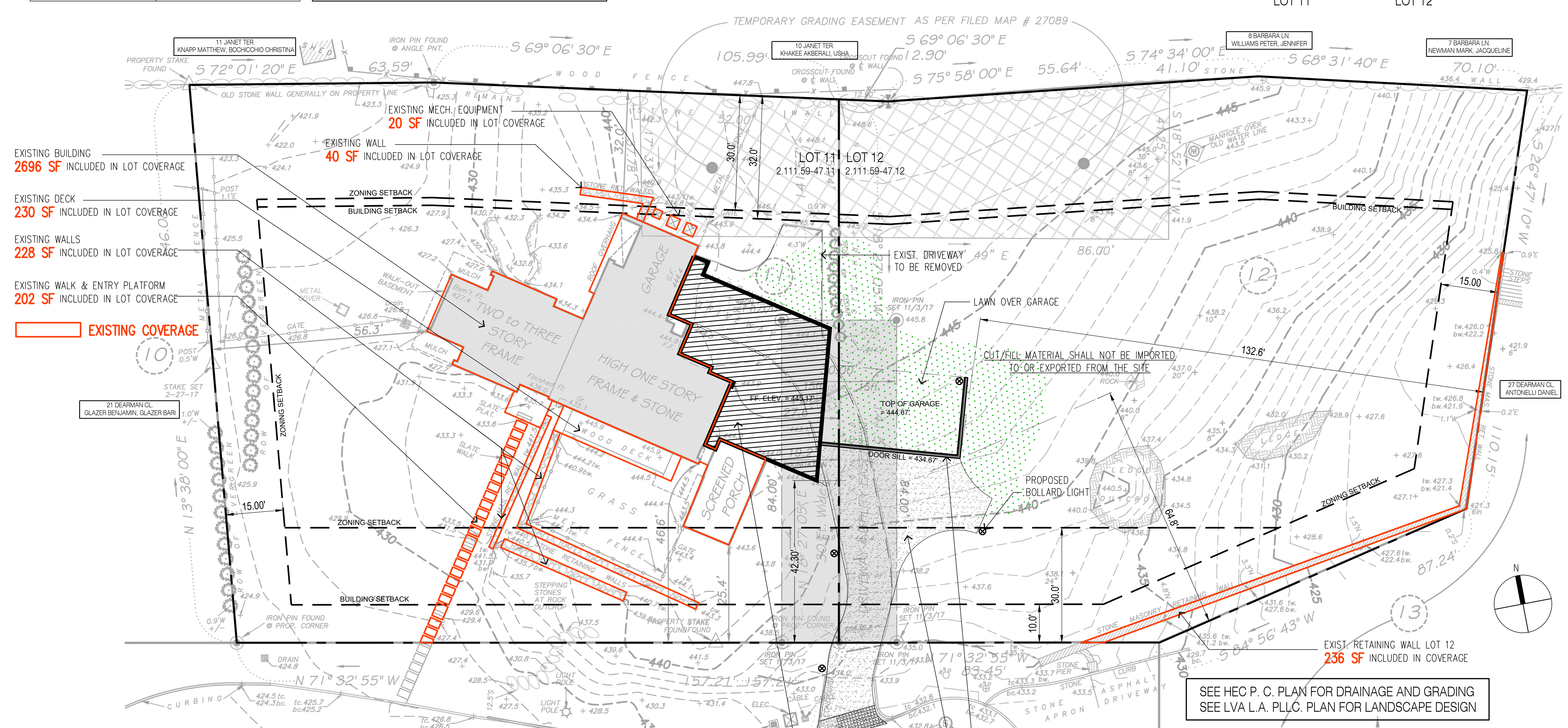
ACT ACOUSTICAL CEILING TILE
AFF ABOVE FINISHED FLOOR
APPL. APPLIANCE
BB. BASE BOARD
BD. BOARD
BET BETWEEN
BLDG BUILDING
BLKG BLOCKING
BM. BEAM
B.O. BY OTHERS
BR BRICK
CABT. CABINET
CLG CEILING
CLO., CLOS. CLOSET
CMU CONCRETE MASONRY UNIT
C.O. CLEAN OUT
COL COLUMN
CONC CONCRETE
C.T. CERAMIC TILE
CW COLD WATER
DTLS DETAILS
DR. DOOR
DWGS DRAWINGS
DWR DRAWER
ELEV ELEVATOR
ENCL ENCLOSURE
EXIST., EX'G EXISTING
F.B.O. FURNISHED BY OWNER
FDN FOUNDATION
FIN FINISH
FL., FLR. FLOOR
FTG. FOOTING
GALV GALVANIZED
GC GENERAL CONTRACTOR
GL GLASS
HGT HEIGHT
HW HOT WATER
ICE ICEMAKER
INFO INFORMATION
J.H. JOIST HANGER
MAX MAXIMUM
MBATH MASTER BATHROOM
MBR MASTER BEDROOM
MIN MINIMUM
MTD MOUNTED
MTL METAL
MW MICROWAVE
O.C. ON CENTER
OP'NG OPENING
OPP. OPPOSITE
P-LAM PLASTIC LAMINATE
PLYWD PLYWOOD
P.T. PRESSURE TREATED
PTD PAINTED
RCP REFLECTED CEILING PLAN
REF REFRIGERATOR
REQ'D REQUIRED
RM. ROOM
SECT SECTION
SIM SIMILAR
SPECS SPECIFICATIONS
STL STEEL
S.S. STAINLESS STEEL
TR TRASH RECEPTACLE
TYP. TYPICAL
U.O.N. UNLESS OTHERWISE NOTED
VCT VINYL COMPOSITION TILE
V.I.F. VERIFY IN FIELD
WD WOOD
WIN. WINDOW

LOCATION



DEARMAN PARK

23 DEARMAN CLOSE — LOT 11
25 DEARMAN CLOSE — LOT 12



PROPOSED 2-CAR GARAGE – 704 SF PARTIALLY UNDERGROUND (GREEN ROOF)
45 SF OF PARAPET WALL INCLUDED IN COVERAGE

EXISTING STONE APRON

PROPOSED ADDITION
1365 SF INCLUDED IN LOT COVERAGE

PROPOSED DRIVEWAY
EXCLUDED FROM LOT COVERAGE

1 **SITE PLAN & COVERAGE**
SCALE: 1" = 20'-0"

ZONING CALCULATIONS

LOCATION:	23 DEARMAN CLOSE TAX ID: SCTION 2.111 BLOCK 59 LOT 47.11, LOT 11		
	24 DEARMAN CLOSE TAX ID: SCTION 2.111 BLOCK 59 LOT 47.12, LOT 12		
ZONING DISTRICT:	1F-20		
23 DEARMAN LOT 11 AREA:	23,610 SF		
25 DEARMAN LOT 12 AREA:	23,149 SF		
23 & 25 DEARMAN LOT AREA: 46759 SF LOTS MERGED			
	REQUIRED	EXISTING	PROPOSED
USE:	ONE FAMILY RES.	ONE FAMILY RES.	ONE FAMILY RES.
YARD REQ'TS:			
MIN. FRONT:	30' ZONING SETBACK 10' BUILDING SETBACK PER APPROVED SUBDIVISION	25.82'	NO CHANGE (42.3' TO NEW ADDITION)
MIN. REAR:	30' ZONING SETBACK 10' ZONING SETBACK PER APPROVED SUBDIVISION	32'	NO CHANGE
MIN. SIDE ONE:	15'	56.3'	NO CHANGE
MIN. SIDE TWO:	15'	19.2'	64.8'
BUILDING HGT.:	2 1/2" STORIES 35'	2 1/2" STORIES 35'	NO CHANGE
MAX. BUILDING COVERAGE: (1F-40 USED PER 224-13 B.)	12% OF 40,000 SF: 4800 SF 4% OF 6,759 SF: 270 SF. TOTAL ALLOWED: 5070 SF.	3652 SF TOTAL 2696 SF – HOUSE 230 SF – DECK 228 SF – R. WALLS FRONT 40 SF – R. WALLS REAR 202 SF – WALK & ENTRY P. 20 SF – MECH. EQUIPMENT 236 SF – WALLS LOT 12	5063 SF TOTAL NEW COVERAGE 1365 SF – NEW ADDITION 46 SF – NEW GARAGE PARAPET WALL
MAX. FAR:	MAX FAR 0.1505 OF 46759 =7037 ALLOWED	3824 SF TOTAL 2805.43 SF – UPPER LEVEL 841.65 SF – LOWER LEVEL 176.26 SF – BSMT	6900 SF TOTAL NEW FLOOR AREA 400 SF GARAGE CONVERSION 347 SF PORCH CONVERSION 1388 SF UPPER LEVEL ADDITION 942 SF GARAGE + ENTRANCE

CLIMATIC & GEOGRAPHIC DESIGN CRITERIA for NYS per 2020 RC of NYS

	WIND DESIGN					SUBJECT TO DEMAGE FROM								
GROUND SNOW LOAD	WIND SPEED	TOPO EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	WEATHERING	FROST LINE DEPTH	TERMITE	CLIMATE ZONE	WINTER DESIGN TEMP	ICE SHIELD UNDERLAMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMPS
30 psf	special wind region 115-120 MPH or higher	NO	YES	NO	C	severe	42" MIN.	moderate to heavy	4A		yes	no	1500 OR LESS	51.6

NAMES & MAILING ADDRESSES

OWNERNAME	Ownername 2	OWNERADDRESS	OWNERAPT	OWNERCITY	OWNERSTATE	OWNERZIP	PROPPRINTKEY	PROPSBL
ANTONELLI DANIEL		27 DEARMAN CLOSE		IRVINGTON	NY	10533	2.111-59-47.13	211100590470130000
AUGUSTO JR, CHARLES	AUGUSTO, MERCEDE	P.O. BOX 162		IRVINGTON	NY	10533	2.111-59-46	211100590460000000
NEWMAN, MARK	NEWMAN, JACQUELINE	7 BARBARA LN		IRVINGTON	NY	10533	2.60-26-15	206000260150000000
NAKUM, RAJESH	NAKUM, PUNITA	23 DEARMAN CLOSE		IRVINGTON	NY	10533	2.111-59-47.12	211100590470120000
NAKUM, RAJESH	NAKUM, PUNITA	23 DEARMAN CLOSE		IRVINGTON	NY	10533	2.111-59-47.11	211100590470110000
DEARMAN, PARK HOMEOWNERS ASSOCIATION		P.O. BOX 172		IRVINGTON	NY	10533	2.111-59-47.17	211100590470170000
GLAZER, BENJAMIN	GLAZER, BARI	PO BOX 61		IRVINGTON	NY	10533	2.111-59-47.10	211100590470100000
HONE, WILLIAM J	HONE, MARJORIE V	6 BARBARA LN		IRVINGTON	NY	10533	2.60-26-14	206000260140000000
KATARI, ADI SESHU KUMAR	KALPANA, RAMADAS	72 RIVERVIEW RD		IRVINGTON	NY	10533	2.60-26-28	206000260280000000
KHAKEE, AKBERALI G	KHAKEE, USHA	10 JANET TER		IRVINGTON	NY	10533	2.60-26-18	206000260180000000
KLATELL, JEREMY N.	KILLELEA, MEGAL	12 JANET TER		IRVINGTON	NY	10533	2.60-26-20	206000260200000000
KNAPP, MATTHEW	BOCHICCHIO, CHRISTINA	11 JANET TER		IRVINGTON	NY	10533	2.60-26-19	206000260190000000
LEWIS, ROBERTO	ALMEIDA, MARIA G	9 JANET TER		IRVINGTON	NY	10533	2.60-26-17	206000260170000000
PETITTI, ANTHONY		31 DEARMAN CL		IRVINGTON	NY	10533	2.111-59-47.15	211100590470150000
POZNANSKI, JOEL	POZNANSKI, SHERI L	74 RIVERVIEW RD		IRVINGTON	NY	10533	2.60-26-27	206000260270000000
JAIN, AMIT	PATEL, AMI	15 DEARMAN CL		IRVINGTON	NY	10533	2.111-59-47.7	211100590470070000
RAMOS, ROMULO A	ROUX, ROSAMUND	294 RIVERVIEW RD		IRVINGTON	NY	10533	2.60-26-8	206000260080000000
SCHOOL DISTRICT NO 2		N BROADWAY		IRVINGTON	NY	10533	2.111-59-48	211100590480000000
SIEGEL, ERIC	SIEGEL, JENNIFER	PO BOX 140		IRVINGTON	NY	10533	2.111-59-47.14	211100590470140000
WILLIAMS, PETER	WILLIAMS, JENNIFER	8 BARBARA LN		IRVINGTON	NY	10533	2.60-26-16	206000260160000000

A0

REVISION

04.20.22	PLANNING BOARD 5/04/22 AGENDA
05.18.22	REVISED 6/01/22 PB AGENDA

A0 GENERAL NOTES, LEGEND, SITE PLAN & COVERAGE, ZONING
A1 EXISTING CONDITION
A2 PROPOSED PLANS, FAR PLAN DIAGRAMS
A3 ELEVATIONS, SECTIONS

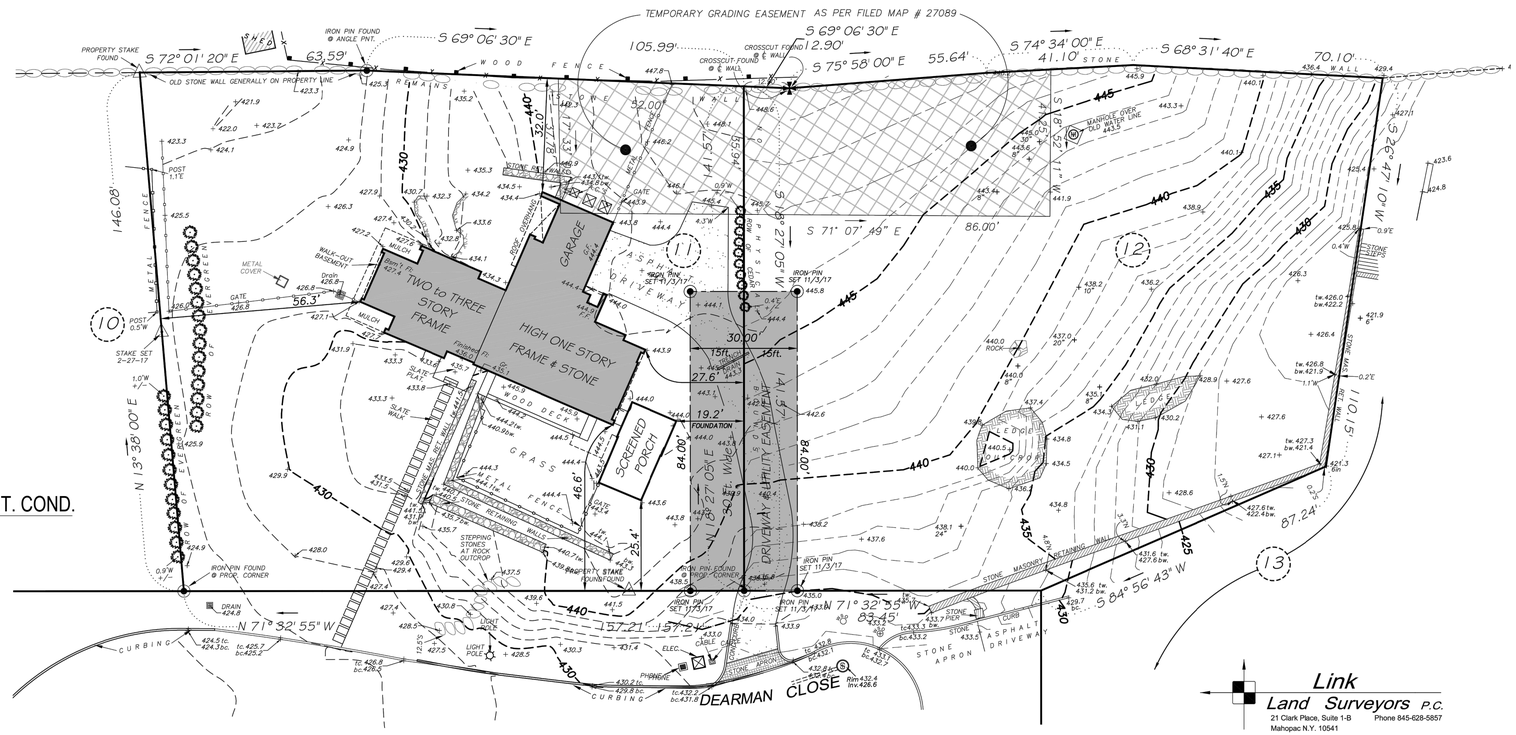
ADDITIONS & ALTERATIONS TO NAKUM RESIDENCE

23 DEARMAN CLOSE
IRVINGTON, NY. 10533

GENERAL NOTES, LEGEND
ZONING CALCULATIONS
SITE PLAN

mitchell koch architects 76 main street irvington new york 10533 tel 914.623.0230 fax 914.219.1929 email mail@mkastudio.com

"SUBDIVISION MAP MAR-VERA CORP." FILED MAP No. 14112



1 23 & 25 DEARMAN CLOSE - EXIST. COND.
SCALE: 1"=20'-0"

Link Land Surveyors P.C.
21 Clark Place, Suite 1-B Phone 845-628-5857
Mahopac N.Y. 10541

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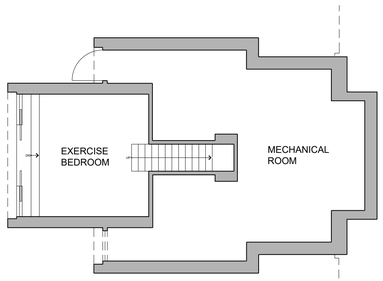
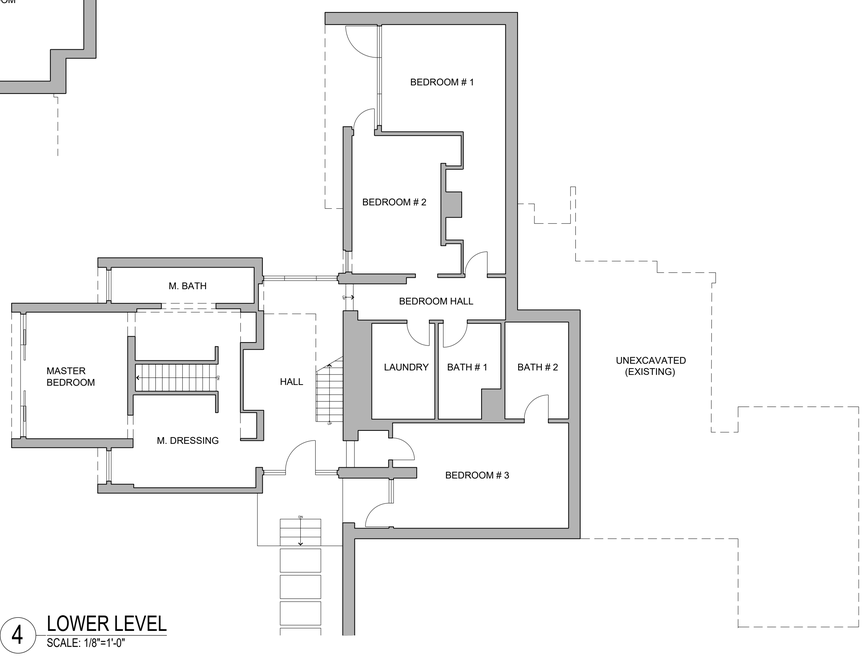
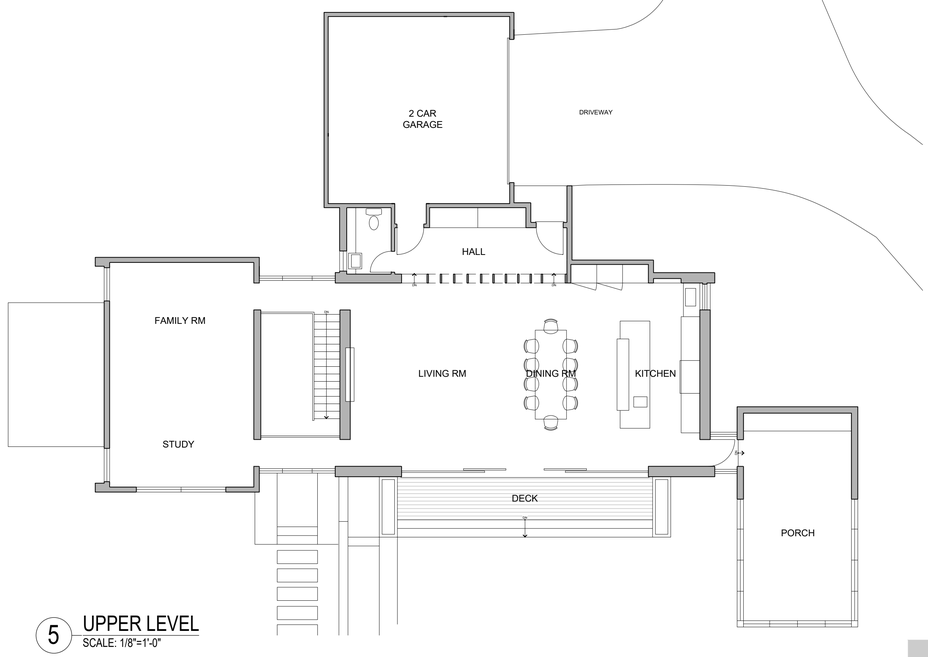


4 BASEMENT
SCALE: 1/8"=1'-0"



4 LOWER LEVEL
SCALE: 1/8"=1'-0"



5 UPPER LEVEL
SCALE: 1/8"=1'-0"

A1

REVISION	
04.20.22	PLANNING BOARD 5/04/22 AGENDA
05.18.22	REVISED 6/01/22 PB AGENDA

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A3 ELEVATIONS, SECTIONS

REGISTERED ARCHITECT MITCHELL DAVID KOCH 028170-1 STATE OF NEW YORK

ADDITIONS & ALTERATIONS TO NAKUM RESIDENCE

23 DEARMAN CLOSE
IRVINGTON, NY. 10533

EXISTING CONDITION

mitchell koch architects 76 main street irvington new york 10533 tel 914.623.0230 fax 914.219.1929 email mail@mkastudio.com

WAC LIGHTING

Stag

Outdoor Wall Sconce

Model & Size	Color Temp & CRI	Finish	Watt	LED Lumens	Delivered Lumens
● WS-W29118 10"	● 3000K 90 ○ 3500K 90 ○ 4000K 90	○ B. AL Brushed Aluminum ● BK Black ○ WT White	10W 16W 16W	1365 1424 1299	789 888 808

WS-W29118	3000K	BK

Example: **WS-W29118-40-WT**

For custom requests please contact customs@waclighting.com

DESCRIPTION

Majestic, keen and sharp. A signature silhouette.

FEATURES

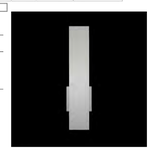
- Back lit with indirect illumination
- SCCT (3000K/3500K/4000K) selectable switch
- ACLED driverless technology
- 5 year warranty

SPECIFICATIONS

Color Temp:	4000K,3500K,3000K
Input:	120 VAC,50/60Hz
CRI:	90
Dimming:	ELV: 100-10%, TRIAC: 100-10%
Rated Life:	54000 Hours
Mounting:	Can be mounted on wall in all orientations
Standards:	ETL, cETL,IP65,Title 24 JA8-2019 Compliant Wet Location Listed
Construction:	Aluminum body, frosted glass diffuser

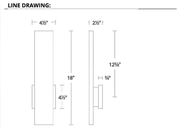
REPLACEMENT PARTS

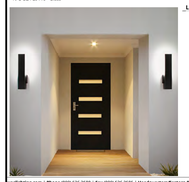
RPL-GLA-29118 - Glass



FINISHES:

LINE DRAWING:





waclighting.com | **Phone** (800) 526.2588 | **Fax** (800) 526.2585 | **Headquarters/Eastern Distribution Center** 44 Harbor Park Drive Port Washington, NY 11050

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. May 2022

Made in America

WALL LIGHT

Lightology

Ledge 12V Path Light

ITEM NUMBER WAC558074

BRAND WAC Lighting

DESCRIPTION

The Ledge 12V Path Light features a sleek linear design which blends seamlessly into pathways while providing soft, even illumination. Available in Aluminum with a Bronze or Black finish. Integrated 3 watt 12 volt LED light source. Choice of 2700K Warm White or 3000K Pure White color temperature. 3.5 inch width x 23 inch height x 5.5 inch depth. Magnetic transformer required, sold separately. IP66 rated. UL listed.

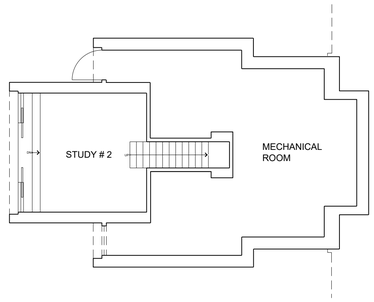
Shown in: Black / Clear

Clear
Black
3W
Low Voltage Magnetic
3.5"W x 23"H x 5.5"D
1 x LED/3W/12v LED

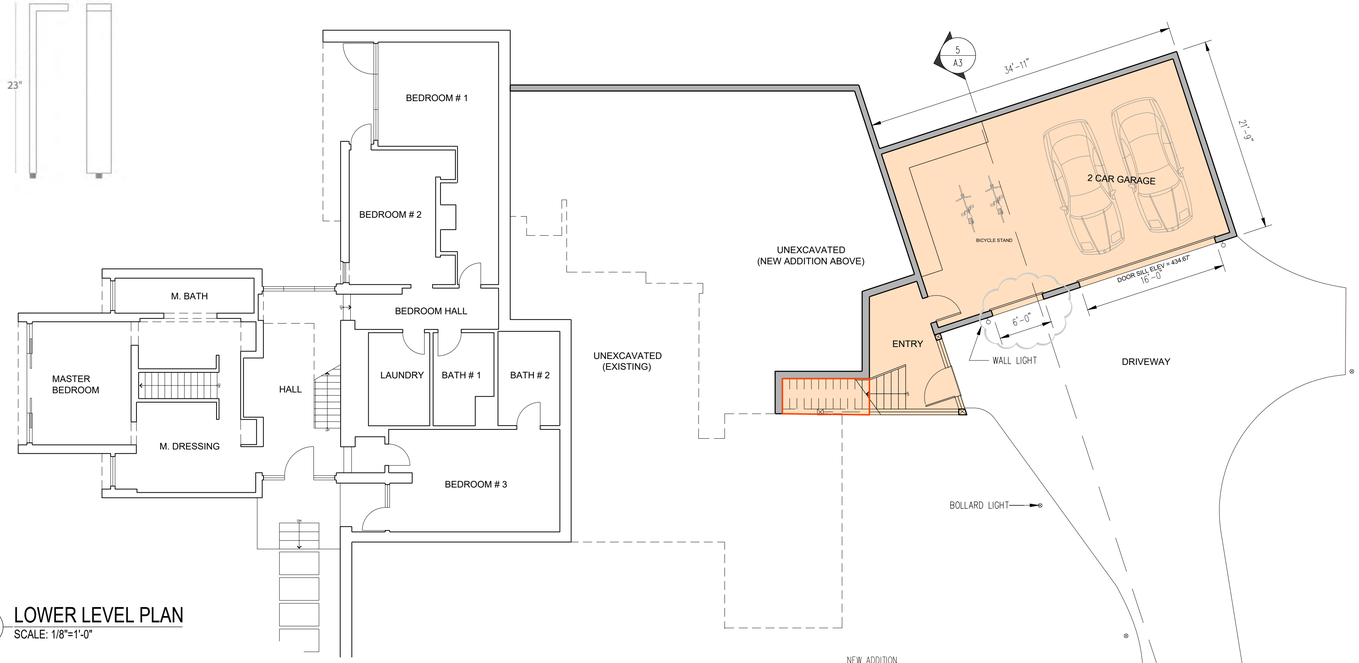
105 lumens
3500
2700 K
90 CRI
Flood

WAC558074

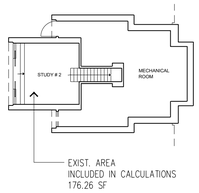
BOLLARD LIGHT



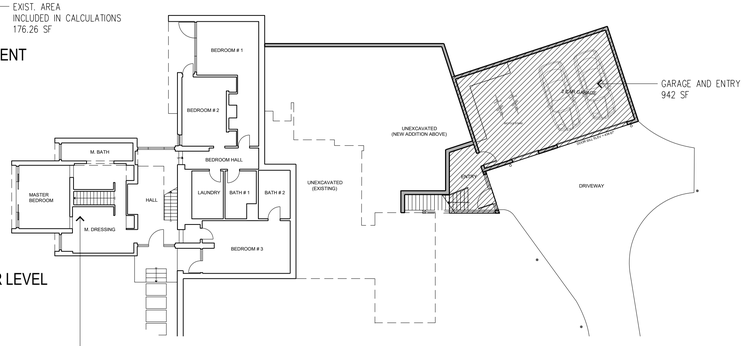
1 BASEMENT PLAN
SCALE: 1/8"=1'-0"



2 LOWER LEVEL PLAN
SCALE: 1/8"=1'-0"

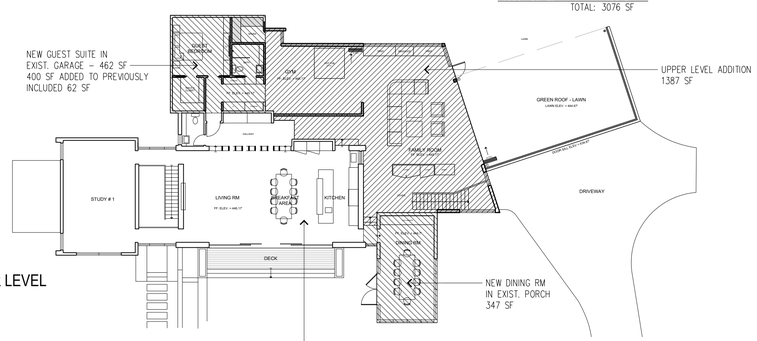


BASEMENT



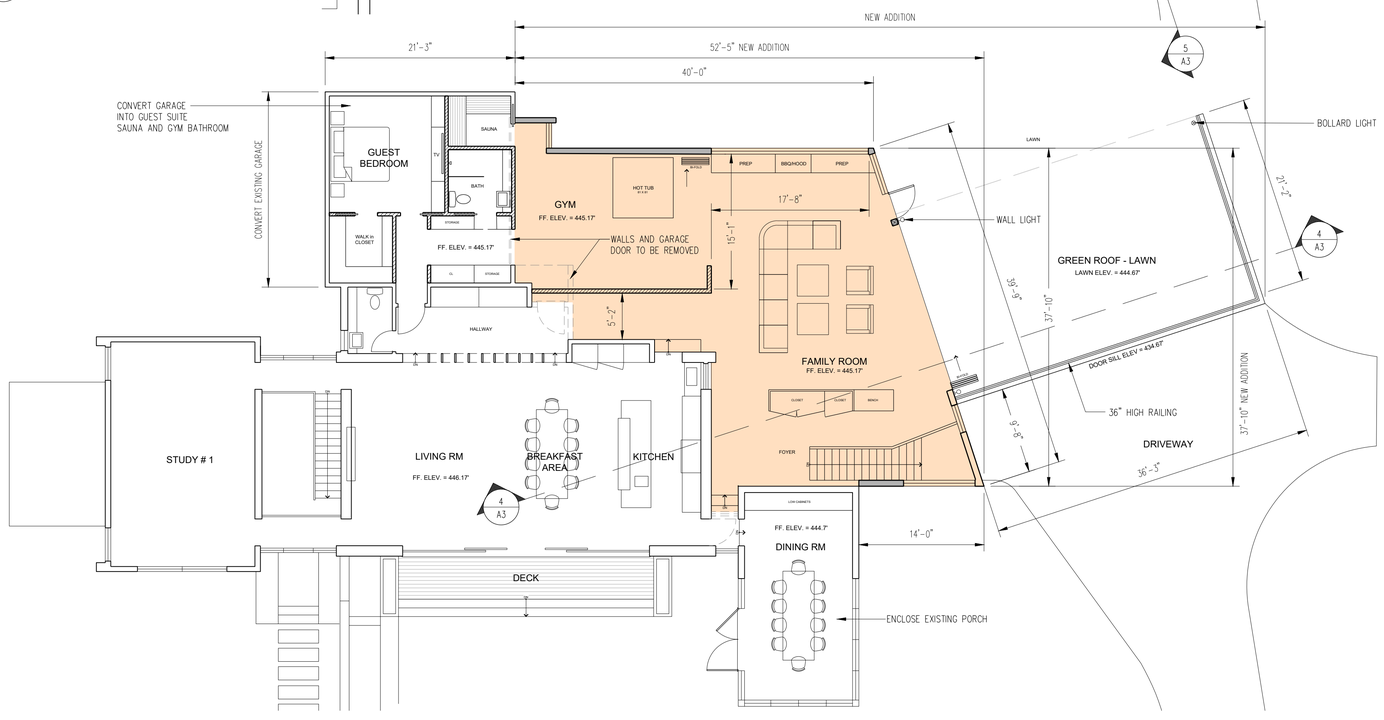
LOWER LEVEL

GARAGE AND ENTRY:	942 SF
UPPER LEVEL ADDITION:	1387 SF
NEW DINING ROOM:	347 SF
GUEST SUITE:	400 SF
TOTAL:	3076 SF



UPPER LEVEL

4 FAR PLAN DIAGRAMS
SCALE: NTS



3 UPPER LEVEL PLAN
SCALE: 1/8"=1'-0"

A2

REVISION	
04.20.22	PLANNING BOARD 5/04/22 AGENDA
05.18.22	REVISED 6/01/22 PB AGENDA

A0 GENERAL NOTES, LEGEND, SITE PLAN & COVERAGE, ZONING
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A3 ELEVATIONS, SECTIONS

REGISTERED ARCHITECT MITCHELL DAVID KOCH 028170-1 STATE OF NEW YORK

ADDITIONS & ALTERATIONS TO NAKUM RESIDENCE

23 DEARMAN CLOSE
IRVINGTON, NY. 10533

PROPOSED PLANS
FAR DIAGRAM CALCULATIONS
LIGHT FIXTURE SPEC.

mitchell koch architects 76 main street irvington new york 10533 tel 914.623.0230 fax 914.219.1929 email mail@mkastudio.com

1

2

3

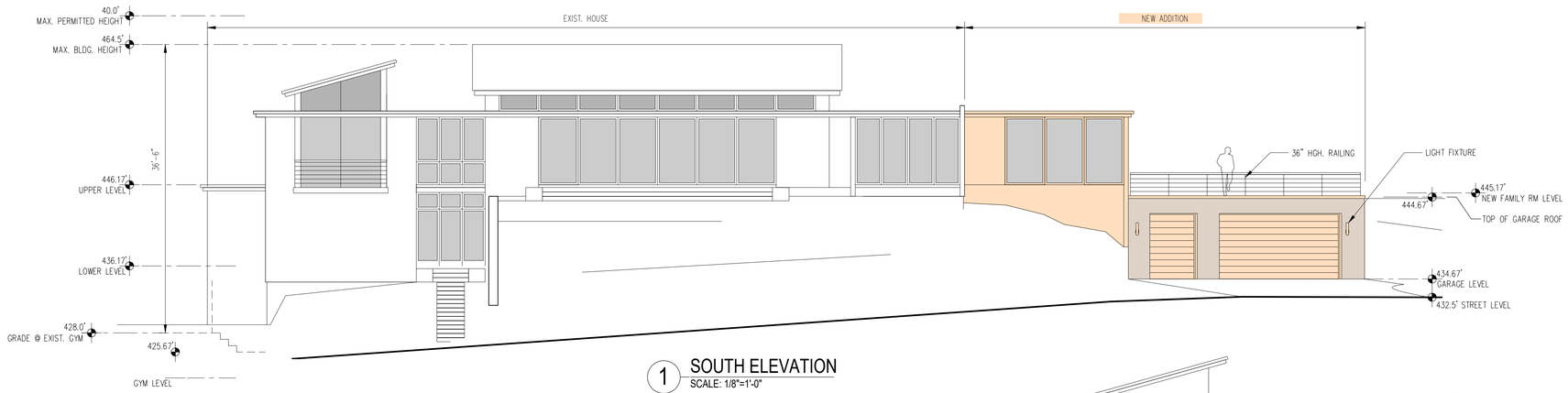
4

5

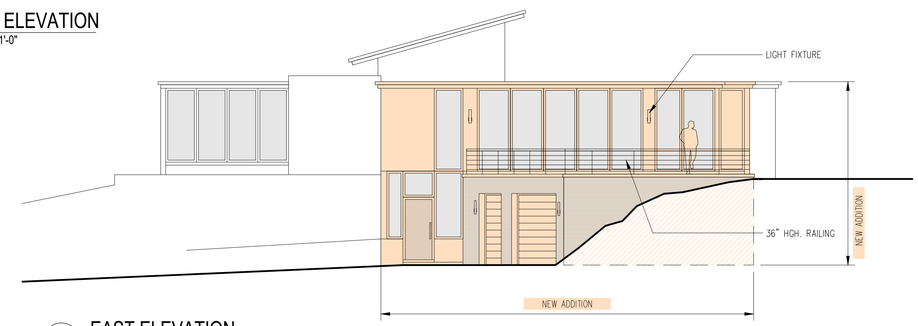
6

7

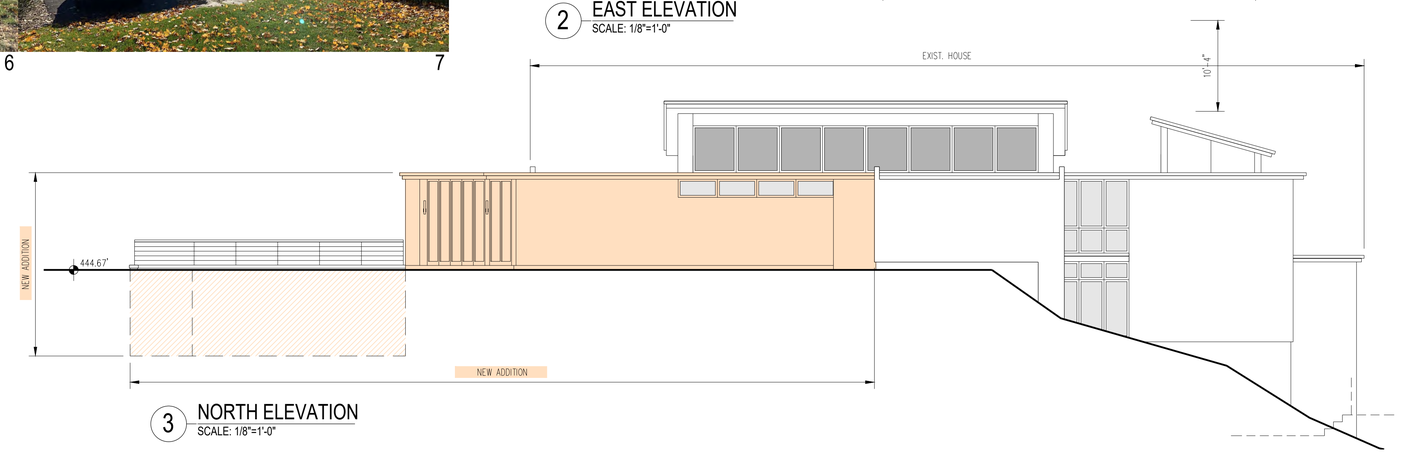
EXISTING CONDITION PHOTOS



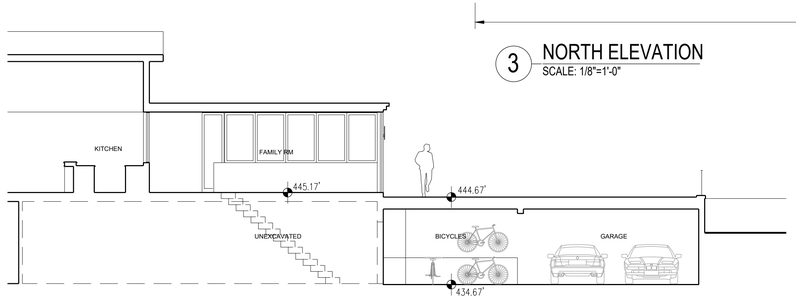
1 SOUTH ELEVATION
SCALE: 1/8"=1'-0"



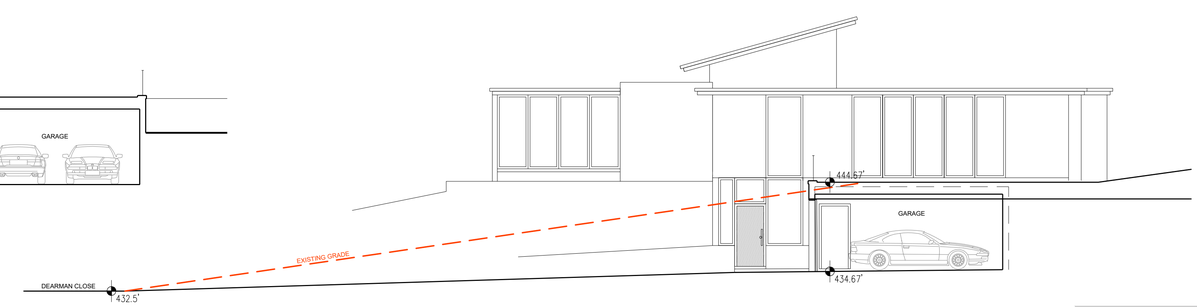
2 EAST ELEVATION
SCALE: 1/8"=1'-0"



3 NORTH ELEVATION
SCALE: 1/8"=1'-0"



4 SECTION W-E
SCALE: 1/8"=1'-0"



5 SECTION N-S
SCALE: 1/8"=1'-0"

A3

REVISION	
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A0 GENERAL NOTES, LEGEND, SITE PLAN & COVERAGE, ZONING
A1 EXISTING CONDITION
A2 PROPOSED PLANS, FAR PLAN DIAGRAMS
A3 ELEVATIONS, SECTIONS

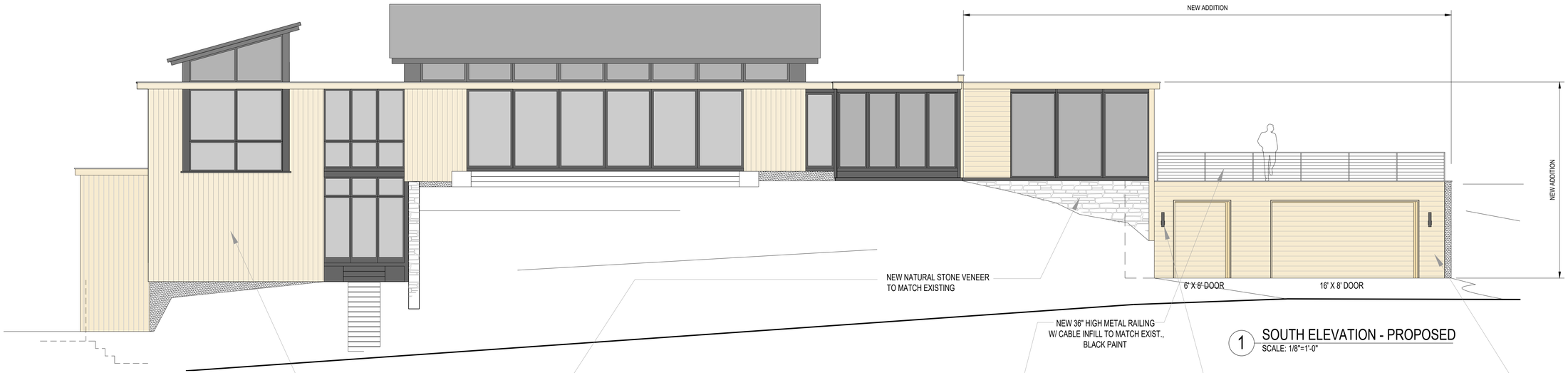
REGISTERED ARCHITECT
MITCHELL DAVID KOCH
028170-1
STATE OF NEW YORK

ADDITIONS & ALTERATIONS TO
NAKUM RESIDENCE

23 DEARMAN CLOSE
IRVINGTON, NY. 10533

ELEVATIONS
EXISTING CONDITION PHOTOS

mitchell koch architects 76 main street irvington new york 10533 tel 914.623.0230 fax 914.219.1929 email mail@mkastudio.com



1 SOUTH ELEVATION - PROPOSED
SCALE: 1/8"=1'-0"

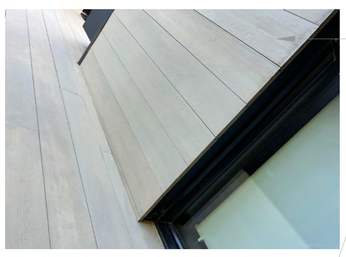
2" X 1" METAL TOP RAIL,
BLACK PAINT

NEW 18" LIGHT
FIXTURE

NEW 1X6 T&G CLEAR CEDAR HORIZ. STAINED
SIDING & GARAGE DOOR CLADDING W/ 1 1/2" THICK
TRIM TO MATCH EXIST., STAIN

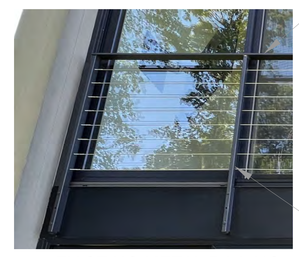
1X6 T&G CLEAR
CEDAR SIDING, STAIN

NEW NATURAL
STONE VENEER
TO MATCH EXISTING

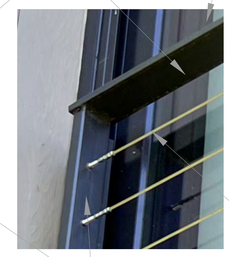


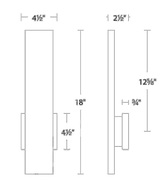
EXISTING VERTICAL SIDING

EXISTING STONE VENEER



EXISTING METAL RAILING

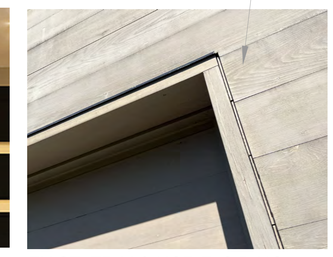




CABLE SPACED
HORIZ. @ 3 1/2" O.C.

2" X 1" METAL RAILING POST, BLACK PAINT

PROPOSED LIGHT FIXTURE



EXIST. TRIM & HORIZ. SIDING

METAL RAILING

EXISTING SOUTH - WEST ELEVATION

EXISTING SOUTH ELEVATION 1

EXISTING SOUTH ELEVATION 2

A4

REVISION	
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07.05.22	ARB 7/26/22 AGENDA

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A3 ELEVATIONS, SECTIONS
A4 SOUTH ELEVATION, EXTERIOR FINISHES
A5 EAST AND NORTH ELEVATION, EXTERIOR FINISHES

REGISTERED ARCHITECT MITCHELL DAVID KOCH 028170-1 STATE OF NEW YORK

ADDITIONS & ALTERATIONS TO
NAKUM RESIDENCE

23 DEARMAN CLOSE
IRVINGTON, NY. 10533

ELEVATIONS
EXISTING CONDITION PHOTOS

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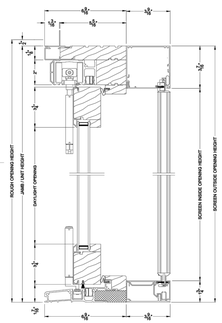
EXISTING EAST ELEVATION

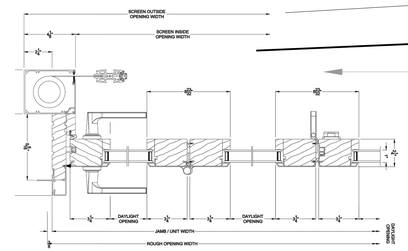
PROPOSED AWNING WINDOW

(Weather Shield gallery images)

Weather Shield®
Contemporary Collection™

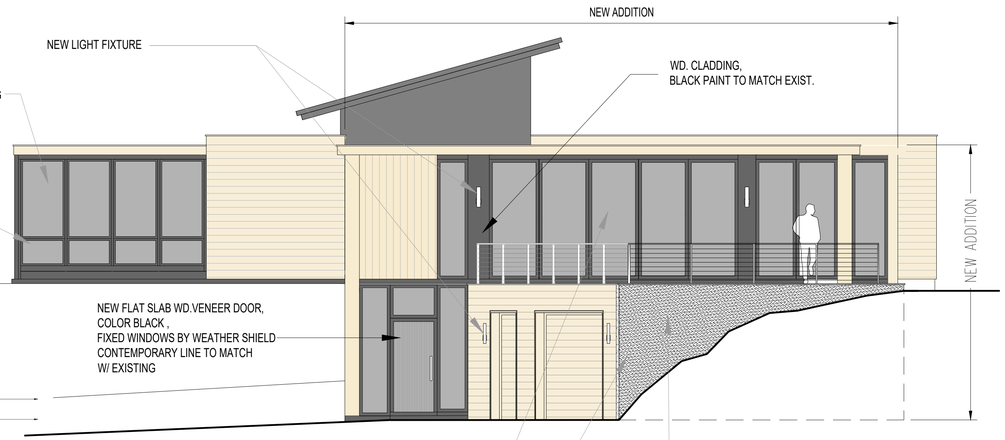
PROPOSED BI-FOLD & OUTSWING DOOR (Weather Shield gallery images)



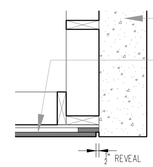


CONTEMPORARY BI-FOLD DOOR (8623)
Vertical Section - Standard Sill - 3-1/4" Bottom Rail
Shown with optional Center screen

PROPOSED BI-FOLD DOOR DTL.



1 EAST ELEVATION - PROPOSED
SCALE: 3/16"=1'-0"



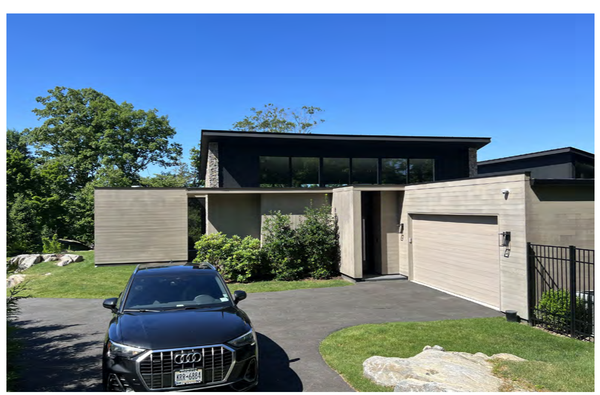
GARAGE SIDING - STUCCO TRANSITION DTL.

EXIST. STUCCO

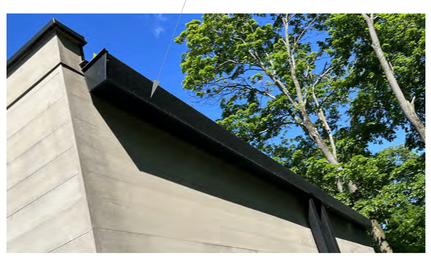
CONTEMPORARY
COLLECTION
HINGED PATIO

Minimalist design meets exceptional engineering. Precise, contemporary handles complement the clean lines of the panels. Square interior profiles extend the modern aesthetic, allowing a seamless marriage of doors and windows.

2 NORTH ELEVATION - PROPOSED
SCALE: 3/16"=1'-0"



EXISTING NORTH ELEVATION - EAST END



EXISTING GUTTER

EXISTING NORTH ELEVATION - WEST END

A5

REVISION	
04.20.22	PLANNING BOARD 5/04/22 AGENDA
05.18.22	REVISED 6/01/22 PB AGENDA
07.05.22	ARB 7/26/22 AGENDA

A0 GENERAL NOTES, LEGEND, SITE PLAN & COVERAGE, ZONING
A1 EXISTING CONDITION
A2 PROPOSED PLANS, FAR PLAN DIAGRAMS
A3 ELEVATIONS, SECTIONS
A4 SOUTH ELEVATION, EXTERIOR FINISHES
A5 EAST AND NORTH ELEVATION, EXTERIOR FINISHES

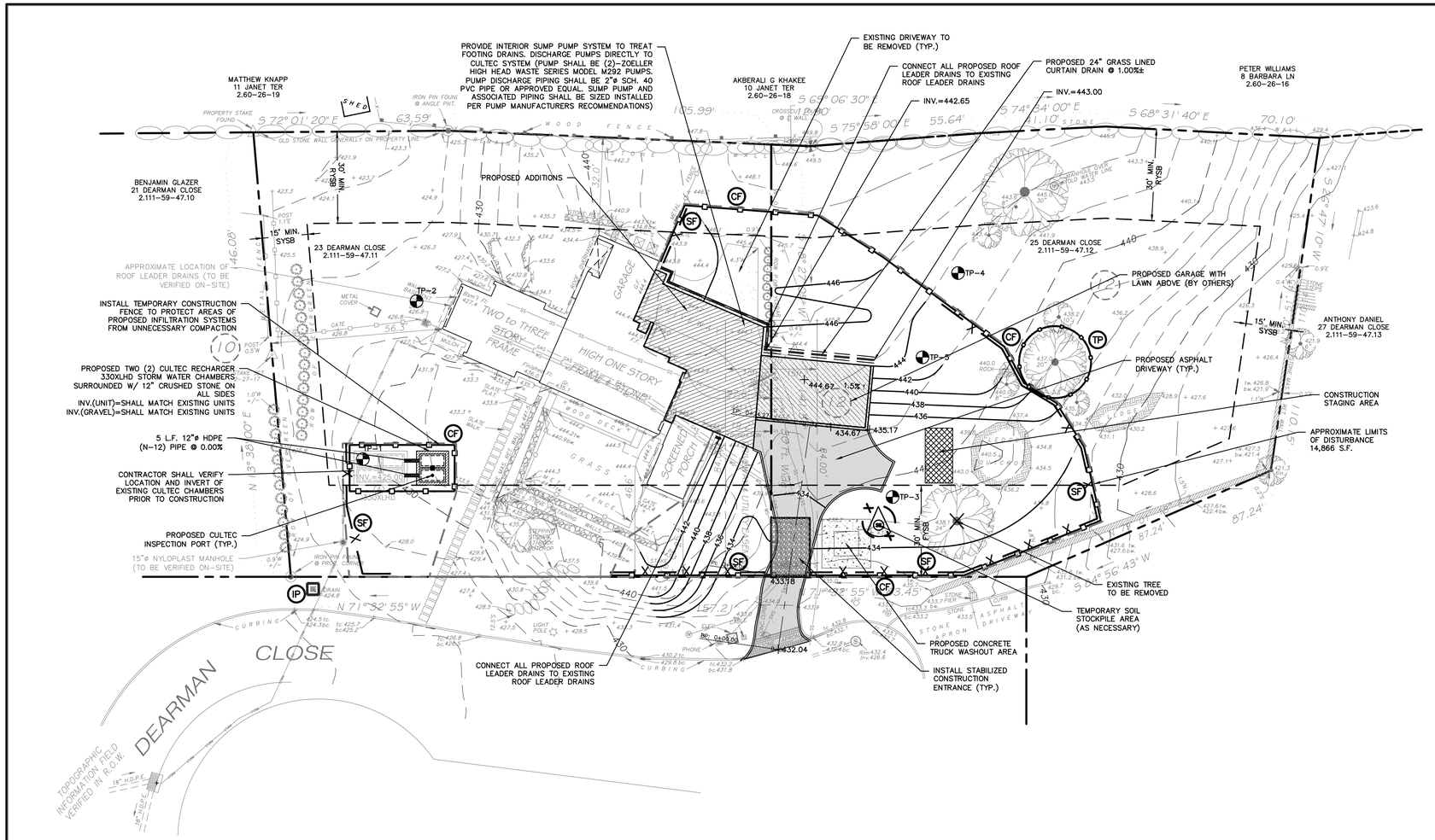
REGISTERED ARCHITECT MITCHELL DAVID KOCH 028170-1 STATE OF NEW YORK

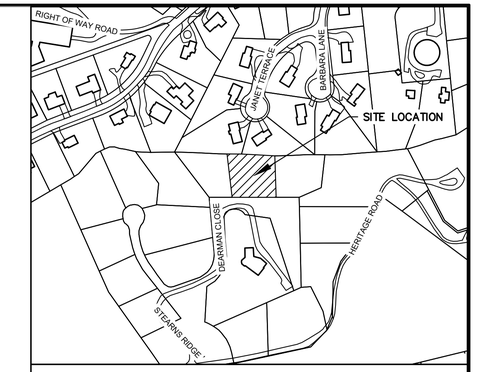
ADDITIONS & ALTERATIONS TO
NAKUM RESIDENCE

23 DEARMAN CLOSE
IRVINGTON, NY. 10533

ELEVATIONS
EXISTING CONDITION PHOTOS

mitchell koch architects 76 main street irvington new york 10533 tel 914.623.0230 fax 914.219.1929 email mail@mkastudio.com





LOCATION MAP

SCALE: 1"=250'

LEGEND

PROPERTY LINE	
PROPOSED BELGIAN BLOCK CURB	
PROPOSED ASPHALT DRIVEWAY	
PROPOSED WALKWAY/PATIO	
PROPOSED CONTOUR	434
PROPOSED SPOT GRADE	+434.67
PROPOSED STORM PIPE	
PROPOSED DRAIN INLET	
PROPOSED CURTAIN DRAIN	
TEMPORARY INLET PROTECTION	IP
TEMPORARY SILT FENCE	SF
TEMPORARY CONSTRUCTION FENCE	CF
TEMPORARY SOIL STOCKPILE AREA	SS
STABILIZED CONSTRUCTION ENTRANCE	
TEST PIT LOCATION	TP-1
PROPOSED LIMIT OF DISTURBANCE	
PROPOSED TREE PROTECTION	TP
EXISTING TREE REMOVED	

GENERAL NOTES:

1. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE SUPERVISION OF THE CONSTRUCTION.
2. NO CHANGES SHALL BE MADE TO THESE PLANS EXCEPT AS PER NYS LAW CHAPTER 987.
3. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO ACI, AISC, ZONING, AND THE NEW YORK STATE BUILDING CODE.
4. ALL CONDITIONS, LOCATIONS AND DIMENSIONS SHALL BE FIELD VERIFIED AND THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED OF ANY DISCREPANCIES.
5. ALL CHANGES MADE TO THE PLANS SHALL BE APPROVED BY THE ENGINEER AND ANY SUCH CHANGES SHALL BE FILED AS AMENDMENTS TO THE ORIGINAL BUILDING PERMIT.
6. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
7. THE CONTRACTOR SHALL BE RESPONSIBLE TO THE OWNER FOR THE ACTS AND OMISSIONS OF HIS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES, AND OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTACT WITH THE CONTRACTOR.
8. SAFETY DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL CONFORM TO ALL LOCAL, STATE AND FEDERAL AGENCIES IN EFFECT DURING THE PERIOD OF CONSTRUCTION.
9. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL MAKE APPLICATION TO RECEIVE ALL NECESSARY PERMITS TO PERFORM THE WORK UNDER CONTRACT. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE LICENSED TO DO ALL WORK AS REQUIRED BY THE LOCAL, COUNTY, AND STATE AGENCIES WHICH MAY HAVE JURISDICTION OVER THOSE TRADES, AND SHALL PRESENT THE OWNER WITH COPIES OF ALL LICENSES AND INSURANCE CERTIFICATES.
10. FINAL GRADING AROUND THE BUILDING AREA SHALL SLOPE AWAY FROM THE STRUCTURE.
11. ALL WRITTEN DIMENSIONS ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER ANY SCALED DIMENSIONS.
12. ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION, REMODELING AND DEMOLITION WORK. PROTECTION MUST BE PROVIDED FOR FOOTINGS, FOUNDATIONS, PARTY WALLS, CHIMNEYS, SKYLIGHTS AND ROOFS. PROVISIONS SHALL BE MADE TO CONTROL WATER RUNOFF AND EROSION DURING CONSTRUCTION OR DEMOLITION ACTIVITIES. THE PERSON MAKING OR CAUSING AN EXCAVATION TO BE MADE SHALL PROVIDE WRITTEN NOTICE TO THE OWNERS OF ADJOINING BUILDINGS ADVISING THEM THAT THE EXCAVATION IS TO BE MADE AND THAT THE ADJOINING BUILDING SHOULD BE PROTECTED. SAID NOTIFICATION SHALL BE DELIVERED NOT LESS THAN 10 DAYS PRIOR TO THE SCHEDULED STARTING DATE OF THE EXCAVATION.
13. OWNER SHALL INSURE THAT THE INSURANCE PROVIDED BY THE CONTRACTOR HIRED TO PERFORM THE WORK SHALL BE ENDORSED TO NAME HUDSON ENGINEERING & CONSULTING, P.C., AND ANY DIRECTORS, OFFICERS, EMPLOYEES, SUBSIDIARIES, AND AFFILIATES, AS ADDITIONAL INSURED ON ALL POLICIES AND HOLD HARMLESS DOCUMENTS, AND SHALL STIPULATE THAT THIS INSURANCE IS PRIMARY, AND THAT ANY OTHER INSURANCE OR SELF-INSURANCE MAINTAINED BY HUDSON ENGINEERING & CONSULTING, P.C., SHALL BE EXCESS ONLY AND SHALL NOT BE CALLED UPON TO CONTRIBUTE WITH THIS INSURANCE. ISO ADDITIONAL INSURED ENDORSEMENT FORM NUMBER CG2010 1185 UNDER GL. COPIES OF THE INSURANCE POLICIES SHALL BE SUBMITTED TO HUDSON ENGINEERING & CONSULTING, P.C., FOR APPROVAL PRIOR TO THE SIGNING OF THE CONTRACT.
14. INDUSTRIAL CODE RULE 753: THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS PRIOR TO THE START OF HIS OPERATIONS AND SHALL COMPLY WITH ALL THE LATEST INDUSTRIAL CODE RULE 753 REGULATIONS.

INSTALLATION & MAINTENANCE OF EROSION CONTROL:

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START.

EROSION CONTROL MEASURES
INSTALL ALL EROSION CONTROL MEASURES PRIOR TO START OF CONSTRUCTION.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY
MAINTENANCE (TO BE PERFORMED DURING ALL PHASES OF CONSTRUCTION)

AFTER ANY RAIN CAUSING RUNOFF, CONTRACTOR TO INSPECT HAYBALES, ETC. AND REMOVE ANY EXCESSIVE SEDIMENT AND INSPECT STOCKPILES AND CORRECT ANY PROBLEMS WITH SEED ESTABLISHMENT.
INSPECTIONS SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION.

INSPECTION BY MUNICIPALITY – FINAL GRADING
REMOVE UNNEEDED SUBGRADE FROM SITE.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY – LANDSCAPING

SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL.
BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY – FINAL LANDSCAPING

GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

INSPECTION BY MUNICIPALITY – FINAL INSPECTION

ALL EROSION CONTROL MEASURES REMOVED AND GRASS ESTABLISHED.
CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

TEST HOLE DATA:

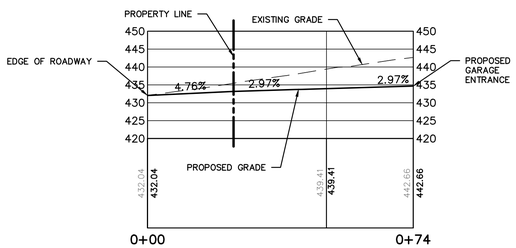
TEST HOLE #1
PERC. = 6 INCHES/HOUR

TEST HOLE #2
PERC. = 4 INCHES/HOUR

TEST HOLE #3
DEPTH – 74"
0–24" SANDY SILT W/ ROCKS
24–39" CLAY
39–74" SANDY SILT W/ ROCKS
NO GROUNDWATER
LEDGE ROCK @ 74"
PERC. = 28.24 INCHES/HOUR

TEST HOLE #4
DEPTH – 36"
0–36" SANDY SILT W/ ROCKS
NO GROUNDWATER
LEDGE ROCK @ 36"

TEST HOLE #5
DEPTH – 30"
0–30" SANDY SILT W/ ROCKS
NO GROUNDWATER
LEDGE ROCK @ 30"



DRIVEWAY PROFILE STA. 0+00 TO STA. 0+74

HORIZONTAL SCALE: 1" = 20'
VERTICAL SCALE: 1" = 20'

EARTHWORK ANALYSIS

CUT	FILL	NET
1,660.45 CU. YD.	51.41 CU. YD.	1,609.05 CU. YD.<CUT>

APPROXIMATE ROCK REMOVAL

CUT
1,126.34 CU. YD.<ROCK REMOVAL>

EARTHWORK NOTE:

BASED UPON OUR OBSERVATIONS ON SITE AND FIELD TESTING COMPLETED BY OUR OFFICE, WE ESTIMATE APPROXIMATELY 70% OF THE CUT TO BE LEDGE ROCK. THE REMOVAL OF LEDGE ROCK FOR INSTALLATION OF THE FOUNDATION & FOOTINGS WILL UTILIZE MECHANICAL ROCK HAMMERING (SUPPLEMENTED BY ROCK DRILLING) AND WILL COMPLY WITH THE ROCK REMOVAL REQUIREMENTS OF SECTION 93, ARTICLE II OF THE VILLAGE CODE, ENTITLED MECHANICAL ROCK EXCAVATION.

CONTRACTOR SHALL CONTACT DESIGN ENGINEER TO SCHEDULE A SITE INSPECTION PRIOR TO BACKFILLING INFILTRATION/ATTENUATION SYSTEM(S). SHOULD THE CONTRACTOR BACKFILL PRIOR TO INSPECTION, THE CONTRACTOR SHALL EXPOSE THE SYSTEM AT THEIR OWN EXPENSE.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

NOTE:

1. **THE INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.**
2. **THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.**
3. **"AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.**
4. **INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON THE "AS-BUILT".**
5. **IMPORTED FILL MUST BE CERTIFIED AND APPROVED BY THE VILLAGE BUILDING INSPECTOR OR ENGINEER.**
6. **THE RESTORATION WORK FOR THE ROADWAY AND SHOULDER CONSTRUCTION WITHIN THE VILLAGE RIGHT-OF-WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND HIGHWAY DEPARTMENT.**

CONSTRUCTION SEQUENCING

THE FOLLOWING EROSION CONTROL SCHEDULE SHALL BE UTILIZED:

1. PLACE ORANGE CONSTRUCTION FENCING AROUND AREAS TO BE USED FOR EX-FILTRATION TO AVOID COMPACTION
2. INSTALL A CONSTRUCTION ENTRANCE TO THE DEVELOPMENT AREA.
3. ESTABLISH CONSTRUCTION STAGING AREA.
4. INSTALL TREE PROTECTION ON TREES AS NOTED ON PLANS.
5. SELECTIVE VEGETATION REMOVAL FOR SILT FENCE INSTALLATION.
6. INSTALL SILT FENCE DOWN SLOPE OF ALL AREAS TO BE DISTURBED AS SHOWN ON THE PLAN.
7. REMOVE TREES WHERE NECESSARY (CLEAR & GRUB) FOR THE PROPOSED CONSTRUCTION.
8. STRIP TOPSOIL AND STOCKPILE AT THE LOCATIONS SPECIFIED ON THE PLANS (UP GRADIENT OF EROSION CONTROL MEASURES). TEMPORARILY STABILIZE TOPSOIL STOCKPILES (HYDROSEED DURING MAY 1ST THROUGH OCTOBER 31ST PLANTING SEASON OR BY COVERING WITH A TARPAULIN(S) NOVEMBER 1ST THROUGH APRIL 30TH. INSTALL SILT FENCE AROUND TOE OF SLOPE.
9. DEMOLISH ANY EXISTING SITE FEATURES AND/OR STRUCTURES NOTED AS BEING REMOVED ON THE CONSTRUCTION DOCUMENTS, AND DISPOSE OF OFF-SITE.
10. ROUGH GRADE SITE.
11. EXCAVATE AND INSTALL EXFILTRATION/ATTENUATION GALLERIES PER MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS.
12. ROUGH GRADE DRIVEWAYS.
13. INSTALL DRAINAGE WORK TRIBUTARY TO GALLERIES.
14. EXCAVATE AND CONSTRUCT FOUNDATIONS FOR NEW ADDITIONS.
15. CONSTRUCT ADDITIONS. INSTALL AND CONNECT ALL PROPOSED ROOF DRAIN LEADERS TO PREVIOUSLY INSTALLED ROOF DRAIN LEADERS.
16. INSTALL CURBING, AND SUB-BASE COURSES. FINE GRADE AND SEED ALL DISTURBED AREAS. CLEAN PAVEMENT, DRAIN LINES, CATCH BASINS AND PRETREATMENT DEVICES. INSURE GRASS STAND IS ACHIEVED.
17. INSTALL 4"-6" TOPSOIL, FINE GRADE, SEED THE ENTIRE PROJECT SITE AND INSTALL LANDSCAPE PLANTINGS. SPREAD SALT HAY OVER SEEDED AREAS.
18. INSTALL BITUMINOUS CONCRETE TOP COURSE IN DRIVEWAYS.
19. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES AFTER THE SITE IS STABILIZED WITH VEGETATION.

* SOIL EROSION AND SEDIMENT CONTROL MAINTENANCE MUST OCCUR WEEKLY AND PRIOR TO AND AFTER EVERY ½" OR GREATER RAINFALL EVENT.

OWNER:
RAJESH & PUNITA NAKUM
23 & 25 DEARMAN CLOSE
IRVINGTON, NY 10533

SURVEYOR:
LINK LAND SURVEYORS
21 CLARK PLACE SUITE 1B
MAHOPAC, NY 10541

23 DEARMAN CLOSE EXISTING INFORMATION SHOWN HEREON PROVIDED BY LINK LAND SURVEYORS DATED MARCH 31, 2022

25 DEARMAN CLOSE EXISTING INFORMATION SHOWN HEREON PROVIDED BY LINK LAND SURVEYORS DATED NOVEMBER 17, 2017

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 inch = 20 ft.

No.	Revisions	
8.	REVISED FOR VILLAGE COMMENTS	02/16/22
7.	REVISED SITE LAYOUT	04/19/22
6.	REVISED OVERFLOW LAYOUT	07/12/21
5.	REVISED PER VILLAGE COMMENTS	11/01/17
4.	REVISED PER VILLAGE COMMENTS	09/14/17
3.	REVISED PER VILLAGE COMMENTS	08/23/17
2.	REVISED PER VILLAGE COMMENTS	07/19/17
1.	REVISED PER VILLAGE COMMENTS	6/27/17

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEER'S SEAL & SIGNATURE

PROJECT:

PROPOSED DWELLING
23 DEARMAN CLOSE
VILLAGE OF IRVINGTON
WESTCHESTER COUNTY – NEW YORK

STORMWATER MANAGEMENT PLAN

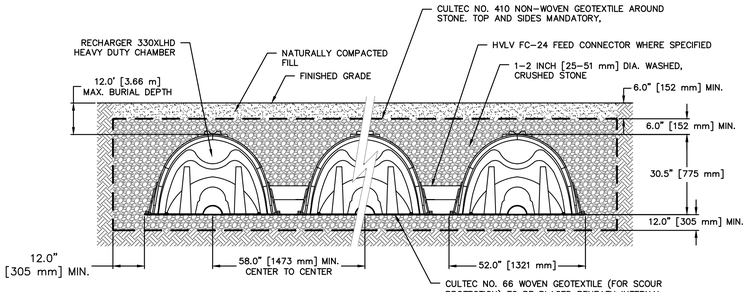
STATE OF NEW YORK · MICHAEL F. STEIN · No. 80837 · LICENSED PROFESSIONAL ENGINEER

HEC

HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road – Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

© 2022

Date:	05/24/17
Scale:	1" = 20'
Designed By:	A.Y.
Checked By:	M.S.
Sheet:	1 / 2
Sheet No.	C-1

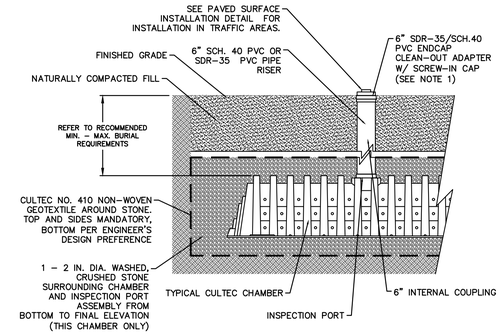


GENERAL NOTES

RECHARGER 330XLHD BY CULTEC, INC. OF BROOKFIELD, CT.
STORAGE PROVIDED = 11.32 CF/FT [1.05 m^3/m] PER DESIGN UNIT.
REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES.
THE CHAMBER WILL BE DESIGNED TO WITHSTAND TRAFFIC LOADS WHEN INSTALLED ACCORDING TO CULTEC'S RECOMMENDED INSTALLATION INSTRUCTIONS

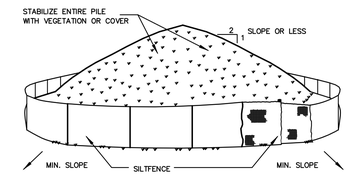
ALL RECHARGER 330XLHD HEAVY DUTY UNITS ARE MARKED WITH A COLOR STRIPE FORMED INTO THE PART ALONG THE LENGTH OF THE CHAMBER.
ALL RECHARGER 330XLHD CHAMBERS MUST BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS

CULTEC RECHARGER 330XLHD



CULTEC INSPECTION PORT

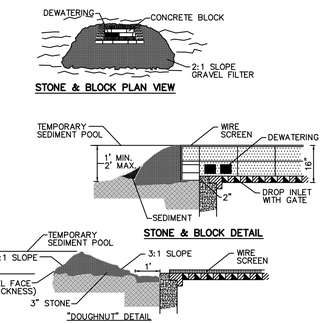
SOIL STOCKPILING



INSTALLATION NOTES

INSTALLATION NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. SOILS OR FILL TO BE STOCKPILED ON SITE DURING CUTTING AND FILLING ACTIVITIES SHOULD BE LOCATED ON LEVEL PORTIONS OF THE SITE WITH A MINIMUM OF 50-75 FOOT SETBACKS FROM TEMPORARY DRAINAGE SWALES.
3. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
4. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED.
5. STOCKPILES REMAINING IN PLACE FOR MORE THAN A WEEK SHOULD BE SEEDED AND MULCHED OR COVERED WITH GEOTEXTILE FABRIC SURROUNDED BY SILT FENCE.
6. SEE SPECIFICATIONS (THIS MANUAL) FOR INSTALLATION OF SILT FENCE.

STONE & BLOCK DROP INLET PROTECTION

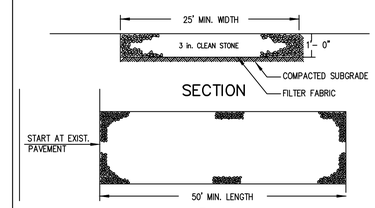


CONSTRUCTION SPECIFICATION

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARECLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS.

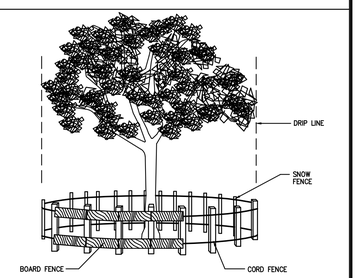
MAXIMUM DRAINAGE AREA 1 ACRE.

STABILIZED CONSTRUCTION ENTRANCE

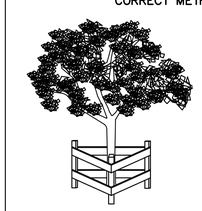


INSTALLATION NOTES:
1. STONE SIZE - USE 3" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY.
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - 25 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCUR.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER CLOTH WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

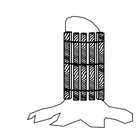
FENCING AND ARMORING



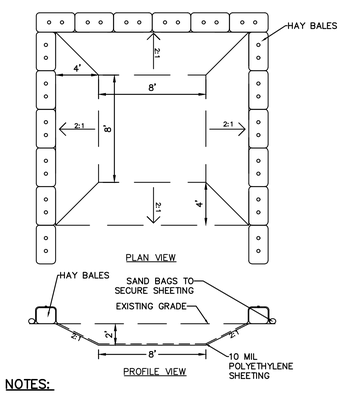
CORRECT METHODS OF TREE FENCING



TRIANGULAR BOARD FENCE



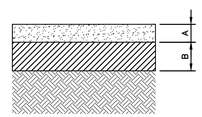
CORRECT TRUNK ARMORING



NOTES:

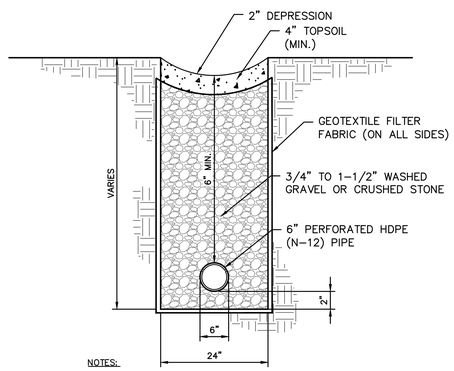
1. CONCRETE WASHOUT AREA TO BE INSTALLED PRIOR TO CONCRETE PLACEMENT ON SITE. CONCRETE WASHOUT AREA TO BE ENTIRELY SELF CONTAINED
2. HAY BALES SHALL BE PROVIDED AROUND THE PERIMETER OF CONCRETE WASHOUT AREA FOR CONTAINMENT.
3. WASHOUT AREA SHALL BE LINED WITH PLASTIC SHEETING NO THINNER THAN 10 MILS. SHEETING SHALL HAVE NO HOLES OR TEARS AND SHALL BE ANCHORED BY SAND BAGS ON ALL SIDES EXCEPT ACCESS SIDE. PLASTIC LINING TO BE REPLACED WITH EACH CLEANING
4. SIGNS SHALL BE PROVIDED AT THE CONSTRUCTION ENTRANCE AND CONCRETE AREAS INDICATING LOCATION OF WASHOUT AREA.
5. WASHOUT AREA TO BE ENCLOSED IN CONSTRUCTION FENCE.
6. WASHOUT AREAS TO BE INSPECTED DAILY TO ENSURE LINER IS INTACT AND ADEQUATE CAPACITY IS AVAILABLE AT ALL TIMES. WASHOUT AREAS SHALL BE INSPECTED IMMEDIATELY AFTER HEAVIER RAINS. DAMAGED OR LEAKING WASHOUT AREAS TO BE DEACTIVATED AND REPAIRED IMMEDIATELY.
7. CONCRETE WASTE SHALL BE REMOVED AND DISPOSED OF ONCE IT REACHES THREE-QUARTERS OF THE WASHOUT AREA'S HEIGHT. ALL WASTE SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH APPLICABLE LAWS, REGULATIONS, AND GUIDELINES OF MUNICIPALITY.

CONCRETE WASHOUT AREA



A- 2" TOP COURSE- N.Y.S.D.O.T. ITEM, 403.178202, TYPE 6 F2
B- 4" SUBBASE COURSE- N.Y.S.D.O.T. ITEM, 304.12, TYPE 2

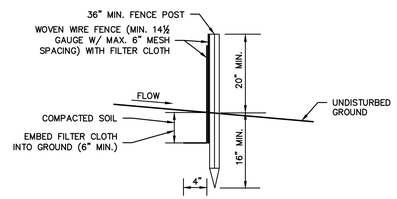
DRIVEWAY PAVEMENT SECTION



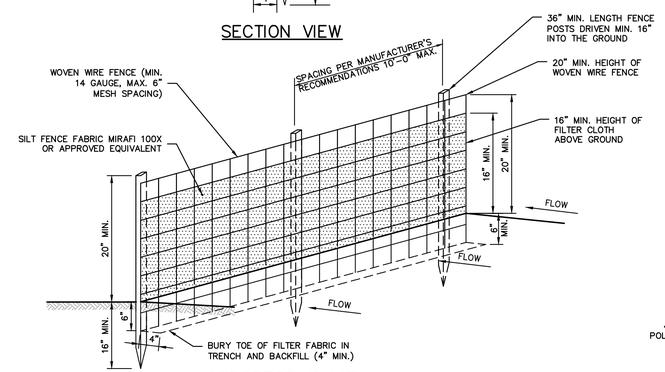
NOTES:

1. SPREAD TOPSOIL EVENLY OVER AREAS TO BE SEEDED. HAND RAKE LEVEL. BROADCAST 1.25 LB. BAG OF JONATHAN GREEN "FASTGROW" MIX OR EQUAL OVER AREA TO BE SEEDED. APPLY STRAW MULCH AND WATER WITHIN 2 DAYS OF COMPLETION OF TOPSOILING. CALL FOR INSPECTION FROM THE APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 2 DAYS PRIOR TO FINISH.

CURTAIN DRAIN



SECTION VIEW

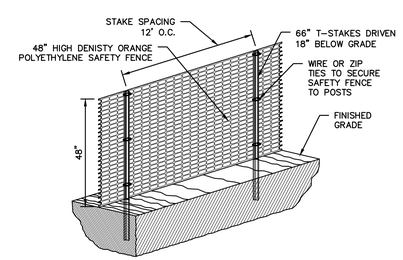


PERSPECTIVE VIEW

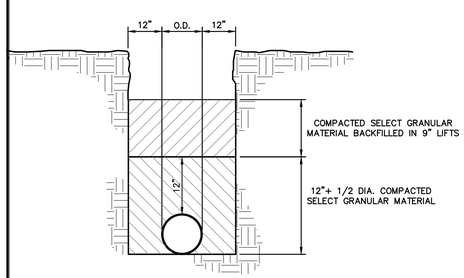
NOTES:

1. WOVEN WIRE FENCE SHALL BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL, EITHER 'T' OR 'U' TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABLINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED AND REPLACED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
6. INSTALL FABRIC ON UPHILL SIDE OF SUPPORT POSTS.
7. SILT FENCE SHALL NOT BE USED IN DRAINAGE WAYS.

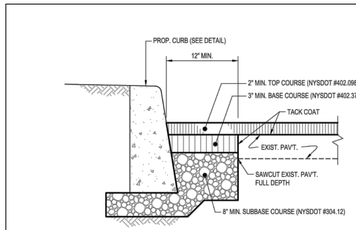
REINFORCED SILT FENCE



CONSTRUCTION FENCE



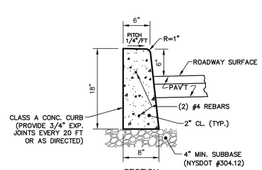
TRENCH BEDDING



SECTION

PAVEMENT REPLACEMENT AT NEW CURB

N.T.S.

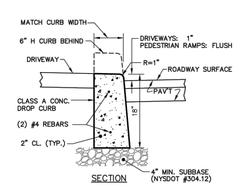


SECTION

NOTE: EXPOSED CURB SUFACES TO RECEIVE TWO COATS OF SEALER AS PER SPECIFICATIONS.

CONCRETE CURB

N.T.S.



SECTION

NOTE: EXPOSED CURB SUFACES TO RECEIVE TWO COATS OF SEALER AS PER SPECIFICATIONS.

CONCRETE DROP CURB

N.T.S.

ANY ALTERATIONS OR REVISIONS OF THESE PLANS, UNLESS DONE BY OR UNDER THE DIRECTION OF THE NYS LICENSED AND REGISTERED ENGINEER THAT PREPARED THEM, IS A VIOLATION OF THE NYS EDUCATION LAW.

4.	Revised Site Layout	04/19/22
3.	Revised as per Village Comments	08/23/17
2.	Revised as per Village Comments	07/19/17
1.	Revised as per Village Comments	6/27/17

Revisions

THIS PLAN NOT VALID FOR CONSTRUCTION WITHOUT ENGINEERS SEAL & SIGNATURE

PROJECT:

PROPOSED DWELLING
23 DEARMAN CLOSE
VILLAGE OF IRVINGTON
WESTCHESTER COUNTY - NEW YORK

DETAILS

STATE OF NEW YORK · MICHAEL P. STEIN · No. 80637 · LICENSED PROFESSIONAL ENGINEER

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HUDSON ENGINEERING & CONSULTING, P.C.
45 Knollwood Road - Suite 201
Elmsford, New York 10523
T: 914-909-0420
F: 914-560-2086

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Date:	05/24/17
Scale:	N.T.S.
Designed By:	A.Y.
Checked By:	M.S.
Sheet No.	C-2
Sheet:	2 / 2

7983

- THE OFFSETS SHOWN HEREON ARE NOT INTENDED TO ESTABLISH PROPERTY LINES FOR THE ERECTION OF FENCES, STRUCTURES OR ANY OTHER IMPROVEMENTS.
- THE ELEVATIONS SHOWN HEREON ARE BASED OFF MAP NUMBERED "SP-1.1, TRACT A SITE PLAN, GRADING AND UTILITY PLAN, SUBDIVISION AND SITE DEVELOPMENT FOR WESTWOOD" PREPARED BY CRONIN ENGINEERING P.E. & P.C. WITH A LAST REVISION DATE OF 03-21-02
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- THE INFORMATION DEPICTED HEREON IS BASED UPON AN ACTUAL FIELD SURVEY AND IS AN OPINION BASED UPON SAID SURVEY. VARIATIONS IN OFFSETS FROM THAT OF THE OTHERS CAN AND MAY EXIST.
- ONLY COPIES FROM THE ORIGINAL OF THIS SURVEY MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- THIS MAP WAS PREPARED FROM AN ACTUAL FIELD SURVEY CONDUCTED ON THE DATE SHOWN AND THAT SAID SURVEY WAS PERFORMED IN ACCORDANCE WITH THE EXISTING " CODE OF PRACTICE FOR LAND SURVEYS " ADOPTED BY THE NEW YORK STATE ASSOCIATION OF PROFESSIONAL LAND SURVEYORS.

PREPARED FOR: RAJ NAKUM

TOPOGRAPHIC SURVEY OF PROPERTY

SITUATE IN THE

VILLAGE of IRVINGTON
TOWN of GREENBURGH

WESTCHESTER COUNTY

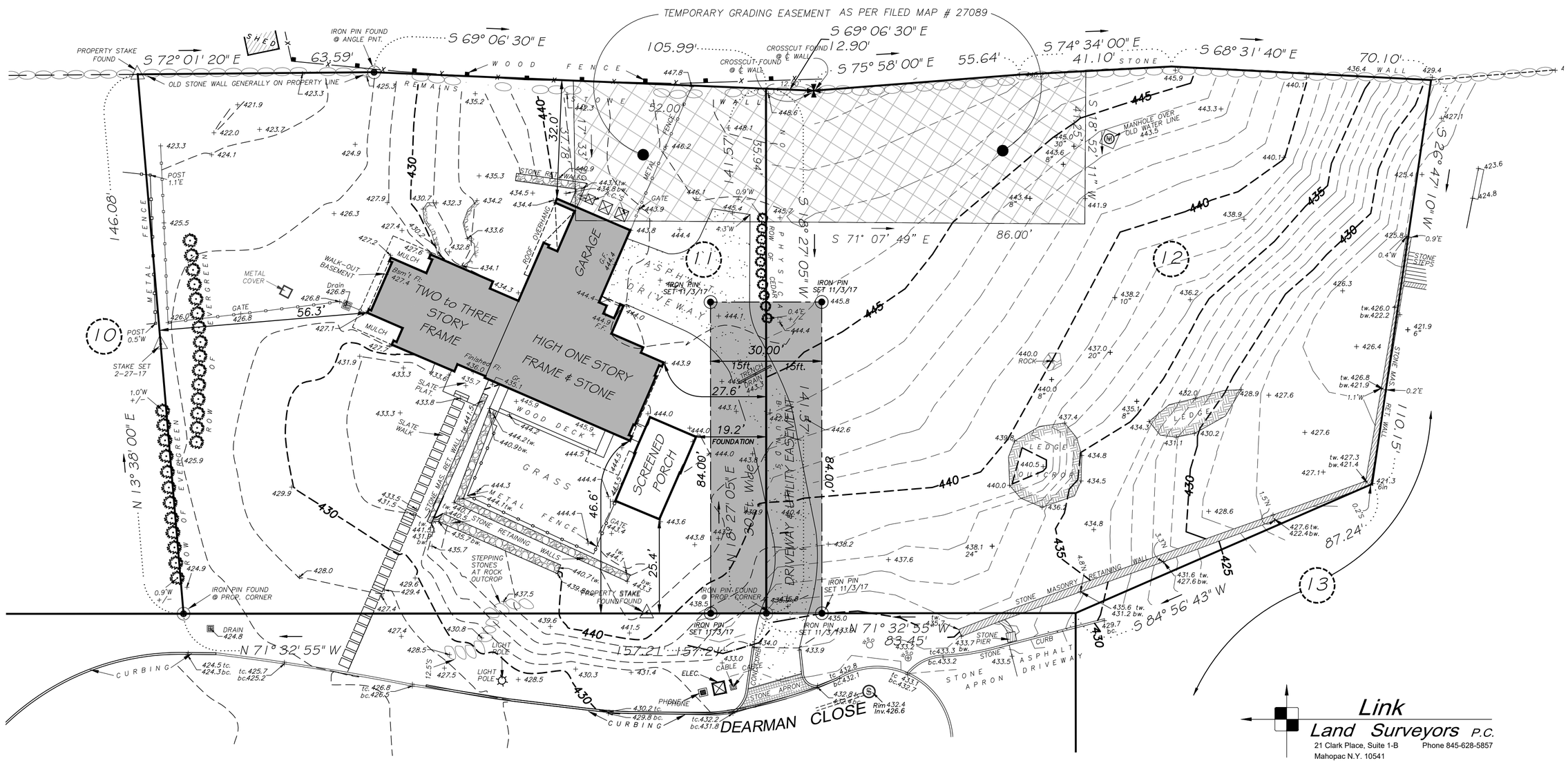
NEW YORK

SCALE : 1" = 20'

COMBINATION MAP PREPARED : MAY 16, 2022

- THE PREMISES SHOWN HEREON BEING KNOWN AND DESIGNATED AS LOT Nos. 11 & 12 AS SHOWN ON A CERTAIN MAP ENTITLED, "SUBDIVISION OF PROPERTY PREPARED FOR WESTWOOD DEVELOPMENT ASSOCIATES, INC.", PREPARED BY DONALD J. DONNELLY LAND SURVEYOR, P.C., ON OCTOBER 24, 2001 AND FILED IN THE WESTCHESTER COUNTY CLERK'S OFFICE - DIVISION OF LAND RECORDS, ON DECEMBER 17, 2002 AS FILED MAP No. 27089.
- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE VILLAGE of IRVINGTON / TOWN of GREENBURGH as:
  SECTION: 2.111 BLOCK: 59 LOTS: 47.11 & 47.12
  STREET ADDRESS: 23 & 25 DEARMAN CLOSE

"SUBDIVISION MAP MAR-VERA CORP." FILED MAP No. 14112



Link
Land Surveyors P.C.
21 Clark Place, Suite 1-B Phone 845-628-5857
Mahopac N.Y. 10541

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