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# FERGUSON MALONE ARCHITECTURE

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August 1, 2022

Mr. Rocco Rasulo, Chairperson  
Village of Irvington Architectural Review Board  
Village Hall  
85 Main Street  
Irvington, NY 10533

**Re: Parganos Residence**  
**BP No. 361 (90 Fargo Lane, Irvington NY)**  
**Revisions to ARB Approved Floor Plans and Elevations**

Dear Chairperson and Members of the Architectural Review Board:

Attached please find proposed revisions for the Paraganos Residence at 90 Fargo Lane. Below is a list of additional revisions covered by this resubmission.

- The pool fence and pool equipment fence has been revised to be vertical cedar slats. We have attached an image of a similar design. The goal is for the fence to match the proposed wood siding for the project.
- The metal panel at the chimney and the area to the south of the primary bathroom window has been revised to match the other metal panel on the project.
- The deck railings have been revised slightly to include a single post rather than a double post and the handrail/top rail has been revised to be mahogany.

Please let me know if you or your consultants have any questions or concerns, and feel free to contact me at (914) 591-5066 or via email at [jmalone@fergusonmalone.com](mailto:jmalone@fergusonmalone.com).

Sincerely,

A handwritten signature in blue ink, appearing to read 'John Malone', with a horizontal line extending to the right.

John Malone, AIA LEED AP

Enc: Revised Drawings – dated 08/01/2022

cc: ETA Fargo, LLC - Sara Parganos-Account Manager



# Parganos Residence

90 Fargo Lane  
Irvington, NY

Submission for Planning Board Approval  
October 21, 2020

Resubmission for Planning Board Approval  
November 18, 2020    REVISION    

Submission for Zonning Board of Appeal Approval  
January 11, 2021

Submission to Architectural Review Board  
for Approval  
February 01, 2021    REVISION    

Submission to Building Department for Foundation  
and Sitework Permit  
March 16, 2021

Revision #3 - Structural Revisions  
April 30, 2021    REVISION    

Revision #4 - Building Permit Resubmission  
May 11, 2021    REVISION    

Revision #5 - Window Pricing  
May 28, 2021    REVISION    

Revision #6 - Resubmission to Architectural  
Review Board  
June 07, 2021    REVISION    

Revision #7  
June 17, 2021    REVISION    

Revision #8  
July 02, 2021    REVISION    

Revision #9  
July 16, 2021    REVISION    

Revision #9  
August 15, 2021    REVISION    

Revision #9 - Window Revisions  
August 20, 2021    REVISION    

Revision #10 - Structural Revisions  
September 09, 2021    REVISION    

Revision #10  
September 24, 2021    REVISION    


Revision #11  
November 29, 2021    REVISION    

Revision #12 - Resubmission to Architectural  
Review Board  
January 03, 2022    REVISION    

Revision #13 - Resubmission to Building  
Department for Pool Permit  
January 28, 2022    REVISION    

Revision #14 - Resubmission for Planning  
Board Approval  
March 23, 2022    REVISION    

Revision #15 - Resubmission for Planning  
Board Approval  
April 20, 2022    REVISION    

Revision #16 - Revision 16 - Main Stair  
Design Modifications  
April 29, 2022    REVISION    

Revision #17 - Structural Revisions for Building  
Department  
May 02, 2022    REVISION    

Revision #18 - Structural Revisions for Pool  
Deck Reframing  
May 03, 2022    REVISION    

Revision #19 - Resubmission to Architectural  
Review Board  
June 06, 2022    REVISION    

Revision #20 - Resubmission to Architectural  
Review Board  
August 01, 2022    REVISION    

PROJECT NO.: 1818

FERGUSON MALONE ARCHITECTURE



Climate and Geographic Design Criteria (Effective 10/3/2016)													
Location: Village of Irvington												Zip Code: 10533	
Ground Snow Load	Speed (mph)	Wind Design			Seismic Design Category (RCNY Only)	Subject to Damage From			Climate Zone	Ice Barrier Underlayment Req'd	Flood Hazards	Air Freezing Index	Mean Annual Temp
		Topo Effects	Special Wind Region	Wind-borne Debris Zone		Weathering	Frost Line Depth	Termite					
30	*Special Wind Region	No	Yes	No	C	Severe	42"	Moderate to Heavy	4A	Yes	**Firm Community - Panel Map # 36119C0261F Effective Date, 9-28-2007	2000	51.6

\*115 MPH to 120 MPH. The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Womd Speeds higher than the derived values takes from Section 1609 of to IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

\*\*State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verigy with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

Insulation and Fenestration Requirements by Component										
Climate Zone	Fenestration U-Factor	Skylight U-Factor	Glazed Fenestration SHGC	Ceiling R-Value	Wood Frame Wall R-Value	Mass Wall R-Value	Floor R-Value	Basement R-Value	Slab R-Value & Depth	Crawl Space Wall R-Value
Table R402.1.2 Insulation and Fenestration Requirements by Component										
4A	0.35	0.55	0.4	49	20 or 13 + 5	8/13	19	10/13	10.2 FT	10/13
Table R402.1.2 Equivalent U-Factors										
4A	0.35	0.55		0.026	0.06	0.098	0.047	0.047	0.059	0.065

Notes:

\* Plans have been designed in accordance with the prescriptive energy requirements of the 2016 Energy Conservation Construction Code of New York State.  
\* Plans have been designed in accordance with the National Electrical code NFPA 70 2014 Edition.  
\* New proposed building construction to be Type 5 B: Wood-framed, combustible.

Construction Requirements

All work shall be in accordance with the 2015 IRC as amended by NYS 2017 Uniform Code Supplement and all applicable local jurisdiction and fire department regulations.

Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.

All work, including plumbing and electrical work, shall be performed by licensed contractors.

All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS.

The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.

Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.

The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.

Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.

Contractor shall exercise strict control over safety and security of the site.

The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose.

Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.

The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.

All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.

Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.

Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.

Concrete:  
Soil bearing value assumed to be min. 2 tons per square foot subject to field verification. Concrete work shall conform to ACI 318-63. In cases of conflict the NY state building code shall govern.

Concrete slabs on grade at sidewalks, concrete fill and pads shall be average concrete. Average concrete shall have a mix proportion and a water cement ratio which has been shown by previous CBE to produce satisfactory concrete of 2,500 psi at a slump of 5" +/- 1".

All reinforcing bars shall be new billet deformed steel conforming to ASTM 615 grade 60. Slabs-on-grade reinforcement shall be 6" x 6" - 10/10 gauge welded wire mesh. Provide clearances from faces of concrete to reinforcement as follows:

Slabs	3/4"
Beams	1-1/2"
Footings	3-0"
Walls:	Exterior face 1-1/2"
	Interior face 3/4"

At concrete surfaces to be exposed to weather:  
#4 and smaller 1-1/2"  
#5 and larger 2-0"

Abbreviations

A.	AIR CONDITIONING
A/C.	ACOUSTICAL
ACOUS.	ACOUSTICAL TILE (OR
ACOUS.T	AC.T.)
ADD'N(L).	ADDITION(AL)
ADJ.	ADJUSTABLE
ALUM.	ALUMINUM
ALT.	ALTERNATE
ANOD.	ANODIZED
APPD.	APPROVED
APPROX.	APPROXIMATE
ARCH.	ARCHITECT OR ARCHITECTURAL
AUTO.	AUTOMATIC
AVG.	AVERAGE
&	AND
A.F.F.	ABOVE FINISH FLOOR
ABV.	ABOVE

B.	BOARD
BD.	BUILDING
BLDG.	BLOCKING
BLKG.	BRACKET
BRK.	BRONZE
BRZ.	BASEMENT
BSMT.	

C.	CABINET
CAB.	CENTER TO CENTER
C.C.	CERAMIC
CER.	CALKING
CLKG.	CENTER LINE
CLG.	CEILING
(OR CEIL.)	
CLGS.	CLOSET
CLG.	CLEAR
CLR.	CLEAR OPENING
CLR. OPG.	
COL.	COLUMN
CONC.	CONCRETE
CONN.	CONNECT OR CONNECTION

CONST.	CONSTRUCTION
CONT.	CONTINUOUS
COR.	CORNER
CORR.	CORRIDOR
C.T.	COUNTERTOP
C.TR.	CENTER
C.W.	COLD WATER
CM.	CARBON MONOXIDE

D.	DOUBLE-ACTING DBL.
D.A.	DOUBLE
DEPT.	DEPARTMENT
DET.	DETAIL
D.F.	DRINKING
	FOUNTAIN
DIA.	DIAMETER
DIM.	DIMENSION
DIV.	DIVISION
DN.	DOWN
DR.	DOOR
DWG.	DRAWING
DRW.	DRAWER

E	EAST
(E.)	
ELEC.	ELECTRIC
EL.	ELEVATION
ELEV.	ELEVATOR
ENGR.	ENGINEER
EQ.	EQUAL
EQUIP.	EQUIPMENT
EXH.	EXHAUST
E. EXIST.	EXISTING
EXPAN.	EXPANSION EXPOS.
	EXPOSED
EXT.	EXTERIOR
ELECT.	ELECTRICAL

N	NORTH
(N)	
NEG.	NEGATIVE
N.I.C.	NOT IN CONTRACT
NO.(OR #)	NUMBER
N.T.S.	NOT TO SCALE

F.	F.A.L.M.	FIRE ALARM
	FABR.	FABRICATE
	F.E.	FIRE EXTINGUISHER
	F.E.C.	FIRE EXTINGUISHER CABINET
	FIN. FL.	FINISH FLOOR
	FIN.C.	FIRE HOSE CABINET
	FIN.	FINISHED
	FLR.	FLOOR
	FLUOR.	FLUORESCENT
	F.O.C.	FACE OF CONCRETE
	F.O.F.	FACE OF FINISH
	F.O.G.	FACE OF GYP.BD.
	F.O.S.	FACE OF STUD.
	F.O.W.	FACE OF WALL
	FR.	FRAME
	F.S.	FULL SIZE
	FT.	FOOT OR FEET
	F.A.R.	FLOOR AREA RATIO
	F-F	FACE TO FACE FURR.
	FIXT.	FIXTURE

G.	
GA.	GAUGE
GEN.	GENERAL
GL.	GLASS OR GLAZED
GYP.	GYP SUM
GWB	GYP SUM WALL BOARD

H	
HDWR.	HARDWARE
HDWD.	HARDWOOD
HGT.	HEIGHT
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
HVAC	HEATING, VENTILATING AND AIR CONDITIONING

H.W.	HOT WATER
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I	
I.D.	INSIDE DIAMETER
INCL.	INCLUDE(D)(I)ING
INFO.	INFORMATION INCAN.
INT.	INCANDESCENT INTERIOR

J	
JAN.	JANITOR
JT.	JOINT

L	
L.	ANGLE
LAM.	LAMINATE
LB. (OR #)	POUND
L.H.	LEFT HAND
LAV.	LAVATORY

M	
MAINT.	MAINTENANCE
MAX.	MAXIMUM
MECH.	MECHANICAL
M.C.	MAIL CHUTE
MTL.	METAL
MEZZ.	MEZZANINE
MGR.	MANAGER
MIN.	MINIMUM
MISC.	MISCELLANEOUS
MTD.	MOUNTED
MUL.	MULLION
M.T.H.	METAL THRESHOLD
MW.	MICROWAVE

N	NORTH
(N)	
NEG.	NEGATIVE
N.I.C.	NOT IN CONTRACT
NO.(OR #)	NUMBER
N.T.S.	NOT TO SCALE

Legend and Symbols

	ELEVATION NUMBER	ELEVATION	
	DRAWING NUMBER		
	DETAIL NUMBER	DETAIL	
	DRAWING NUMBER		
	DOOR NUMBER		FINISH TAG
	WINDOW TYPE		KEY NOTE
	PLUMBING FIXTURE TAG		WALL TYPE
	EQUIPMENT TAG	<u>ROOM NAME</u> ROOM NO.	ROOM TAG

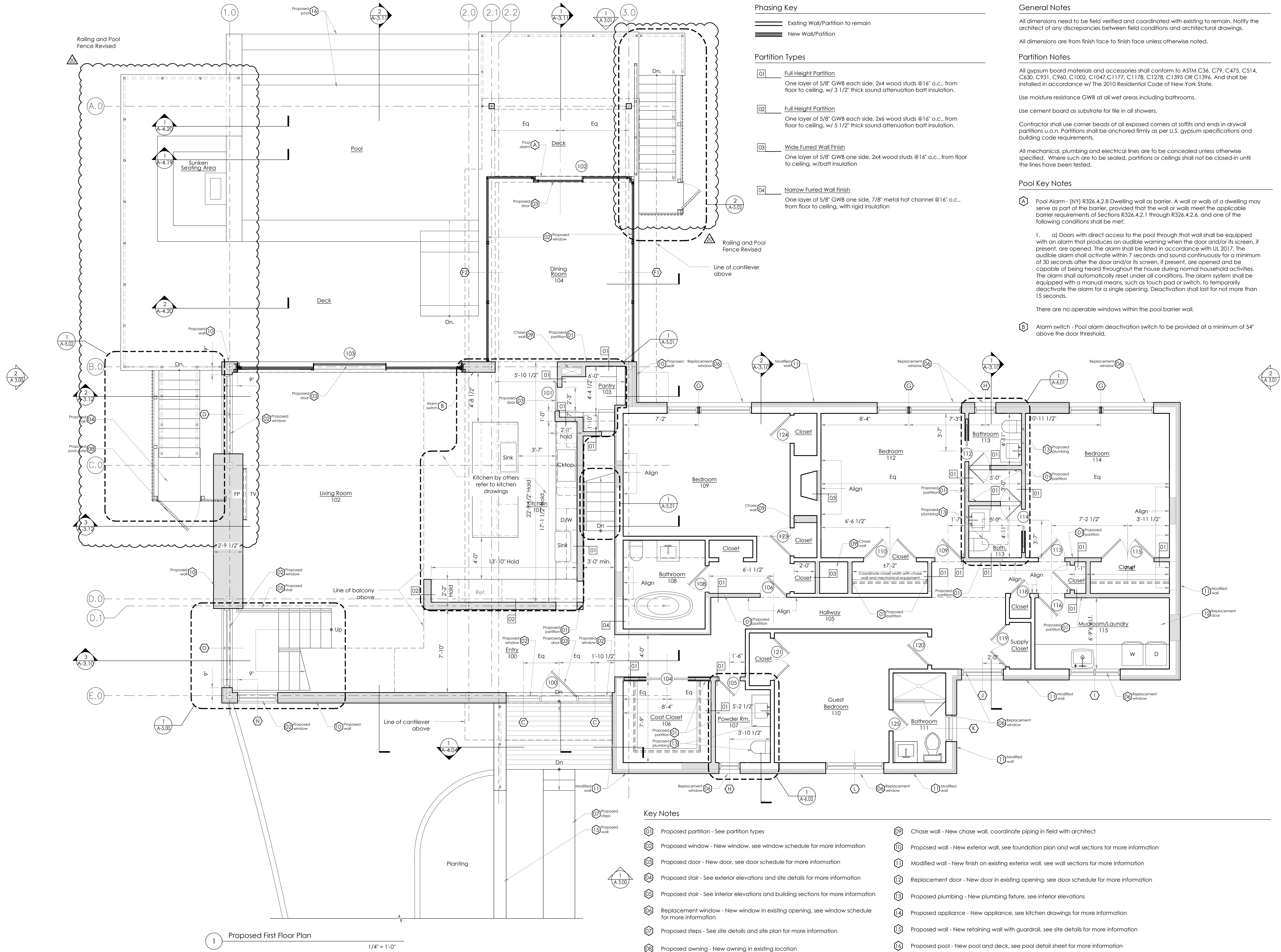
LIST OF DRAWINGS

SHEET NO.	TITLE	REVISION	DATE	SHEET NO.	TITLE	REVISION	DATE
G-0.00	General Notes and List of Drawings		08/01/2022	A-4.20	Wall Sections		06/06/2022
G-1.00	Zoning Analysis		04/20/2022				
A-0.10	Site Demolition and Tree Protection Plan		04/20/2022	A-5.00	Stair Details		04/29/2022
A-0.11	Proposed Architectural Site Plan		04/20/2022	A-5.00.1	Stair Details		04/29/2022
A-0.12	Proposed Planting Plan		04/20/2022	A-5.01	Stair Details (Not included)		08/15/2021
A-0.13	Site Details		04/20/2022	A-5.02	Stair Details		08/01/2022
A-0.13.1	Site Details		06/06/2022	A-5.03	Stair Details		08/01/2022
A-0.13.2	Pool Details		04/20/2022				
A-0.14	Property Analysis (Not Included)		04/20/2022	A-6.00	Interior Elevations (Not included)		08/15/2021
A-0.15	Driveway Section		11/18/2020	A-6.01	Interior Elevations (Not included)		11/30/2021
A-0.16	Exterior Lighting Plan		04/20/2022	A-6.02	Interior Elevations (Not included)		11/30/2021
A-0.20	Window Schedule		11/29/2021	A-6.03	Interior Elevations (Not included)		08/15/2021
A-0.21	Window Schedule		08/20/2021				
A-0.22	Window Schedule		08/20/2021	S-0.00	Structural General Notes (Not included)		07/16/2021
A-0.23	Door Schedule		08/20/2021	S-1.00	Foundation Plan (Not included)		05/03/2022
A-0.24	Door Schedule		11/29/2021	S-1.01	Structural Concrete Details (Not included)		05/11/2021
A-0.25	Accessories, Finish & Plumbing Schedules (Not incl.)		11/29/2021	S-1.02	Structural Concrete Details (Not included)		05/11/2021
				S-1.03	First Floor Framing Plan (Not included)		05/03/2022
C-1	Stormwater Management Plan		04/20/2022	S-1.04	Second Floor Framing Plan (Not included)		09/09/2021
C-2	Details		03/23/2022	S-1.05	Roof Framing Plan		05/02/2022
				S-1.06	Structural Steel Details (Not included)		04/30/2021
A-1.00	Demo Floor Plans		08/15/2021	S-1.07	Structural Wood Details (Not included)		02/01/2021
A-1.01	Demo Roof Plan		07/02/2021	S-1.08	Structural Wood Details (Not included)		07/16/2021
A-1.10	Existing Exterior Elevations		07/02/2021	S-1.09	Structural Details (Not included)		07/16/2021
A-1.11	Existing Exterior Elevations		07/02/2021	S-1.10	Structural Details (Not included)		07/16/2021
A-2.00	Proposed Basement Plan		08/01/2022				
A-2.01	Proposed First Floor Plan		08/01/2022				
A-2.02	Proposed Second Floor Plan		06/06/2022				
A-2.03	Proposed Roof Plan (Not included)		11/29/2021				
A-2.03.1	Proposed Roof Plan - Solar Panels		06/06/2022				
A-2.10	Proposed Basement Reflected Ceiling Plan (Not incl.)		11/29/2021				
A-2.11	Proposed First Floor Reflected Ceiling Plan (Not incl.)		11/29/2021				
A-2.12	Proposed Second Reflected Ceiling Plan (Not incl.)		11/29/2021				
A-2.13	Lighting Schedules (Not included)		09/24/2021				
A-2.14	Ceiling Details (Not included)		11/29/2021				
A-2.20	Proposed Basement Power & Data Plan -OMIT		06/17/2021				
A-2.21	Proposed First Floor Power & Data Plan-OMIT		06/17/2021				
A-2.22	Proposed Second Fl. Power & Data Plan-OMIT		06/17/2021				
A-2.30	Basement Finish Plan (Not included)		09/24/2021				
A-2.31	First Floor Finish Plan (Not included)		09/24/2021				
A-2.32	Second Floor Finish Plan (Not included)		08/15/2021				
A-3.00	Proposed Exterior Elevations		08/01/2022				
A-3.01	Proposed Exterior Elevations		08/01/2022				
A-3.10	Building Sections (Not included)		08/15/2021				
A-3.11	Building Sections (Not included)		07/02/2021				
A-3.12	Building Sections (Not included)		07/02/2021				
A-4.00	Wall Sections (Not included)		11/29/2021				
A-4.01	Wall Sections (Not included)		11/29/2021				
A-4.02	Wall Sections (Not included)		11/29/2021				
A-4.03	Wall Sections (Not included)		11/29/2021				
A-4.04	Wall Sections (Not included)		08/15/2021				
A-4.05	Wall Sections (Not included)		08/15/2021				
A-4.06	Wall Sections (Not included)		08/15/2021				
A-4.07	Wall Sections (Not included)		08/15/2021				
A-4.08	Wall Sections (Not included)		11/29/2021				
A-4.09	Wall Sections (Not included)		08/15/2021				
A-4.10	Wall Sections (Not included)		08/15/2021				
A-4.11	Wall Sections (Not included)		08/15/2021				
A-4.12	Wall Sections (Not included)		08/15/2021				
A-4.13	Wall Sections (Not included)		11/29/2021				
A-4.14	Wall Sections (Not included)		08/15/2021				
A-4.15	Wall Sections (Not included)		11/29/2021				
A-4.16	Wall Sections (Not included)		08/15/2021				
A-4.17	Wall Sections (Not included)		11/29/2021				
A-4.18	Wall Sections (Not included)		11/29/2021				
A-4.19	Wall Sections		06/06/2022				









Parganos Residence

90 Fargo Lane  
Irvington, NY

08/01/2022	Resubmission for ARB Approval
06/06/2022	Resubmission for ARB Approval
04/20/2022	Resubmission for IPB Approval
03/23/2022	Resubmission for IPB Approval
11/29/2021	Revision #11
09/13/2021	CSK-03
08/15/2021	Revision #9
07/02/2021	Revision #8
06/17/2021	Revision #7
06/07/2021	Resubmission for ARB Approval
05/11/2021	Building Permit Resubmission
02/01/2021	Submission for ARB Approval
01/11/2021	Submission for ZBA Approval
12/30/2020	Client Meeting
12/16/2020	Client Meeting
12/09/2020	Client Meeting
11/18/2020	Resubmission for IPB Approval
10/21/2020	Submission for IPB Approval

NO.	DATE	ISSUE/REVISION
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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2018 of New York State (IRC 2015 New York State Amendments) which includes Chapter 11 Energy Efficiency.



FERGUSON MALONE ARCHITECTURE  
ONE BRIDGE STREET  
IRVINGTON NY 10533  
T 914 591 5066 F 914 591 5031

CIVIL ENGINEER  
HUDSON ENGINEERING & CONSULTING, P.C.  
45 Knowlwood Road - Elmford, New York 10523  
T: 914-909-3420

MEP ENGINEER  
EP ENGINEERING LLC  
110 Wilson Street, 32nd Floor - New York, New York 10038  
T: 212-257-6191

ARBORIST  
MALCOLM MCBURNEY CONSULTING ARBORIST  
47 Pine Street - Ramsey, New Jersey 07446  
T: 201-424-7267

Proposed First Floor Plan

SCALE: As Noted

DATE: 09/04/2020

JOB: 1818

A-2.01







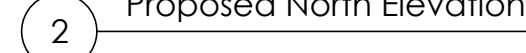
- 1 Wood Siding - New vertical clear cedar siding - Cabots Semi Transparent new cedar - See wall sections
- 2 Metal Panel - ATAS metal panel, color to be black
- 3 EIFS wall finish - See wall sections
- 4 Guardrail/Railing - Wire cable rail system - Steel guardrail to include continuous 36" metal handrail,color to be black; see wall sections
- 5 Structural column - Steel column - Color to match metal panels; See structural drawings
- 6 Exterior stair - Wood deck stair with metal railing - See stair details
- 7 Composite Panel - Flyash composite panel - Boral, painted to match window frames
- 8 Steps & Landing - Concrete steps & landing, metal railing - See Site Details
- 9 Concrete wall - Concrete wall with concrete board form panel on exposed faces; Board form depressions not to exceed 3/8"
- 10 Stucco - Omega Products; Three Coat Stucco Super Cement System, semi-smooth finish, Color: TBD

- 11 Metal sunshade - Custom metal sunshade, powder coated to match structural steel columns
- 12 Proposed window - Proposed metal window system; refer to window schedule for more information
- 13 Proposed lighting - Proposed exterior dark-sky compliant light fixtures; refer to site lighting plan
- 14 Proposed door - Proposed door system; refer to door schedule for more information
- 15 Replacement window - New window in existing location; refer to window schedule for more information
- 16 Proposed Lighting - Recessed LED light strip in handrail at u-shaped posts, typ., refer to stair details and wall sections for more information
- 17 HVAC Equipment - Wall mounted HVAC equipment
- 18 Pool Fence/Deck Lattice - Cedar Pool Fence - 1x2 Vertical slats finish to match siding - Gates to be pool code compliant. Spaces not to be greater than 1/2" . Slat to extend to within 2" of finish grade.
- 19 Cedar panels - Cedar wood slats on metal track system, Cedar to be clear stained to match siding, metal to be painted black



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1/4" = 1'-0"


$$1/4'' = 1'-0''$$

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2015 of New York State (IRC 2015/New York State Amendments) which includes Chapter 11 Energy Efficiency.



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HUDSON ENGINEERING & CONSULTING, P.C.  
45 Knollwood Road - Elmsford, New York 10523  
T: 914-909-0420

MEP ENGINEER  
EP ENGINEERING LLC  
110 William Street, 32nd Floor - New York, New York 10038  
T: 212-257-6191

ARBORIST  
MALCOLM MCBURNEY CONSULTING ARBORIST  
47 Pine Street - Ramsey, New Jersey 07446  
T: 201-424-7267

A-3.01



90 Fargo Lane  
Irvington, NY

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2015 of New York State (IRC 2015/New York State Amendments) which includes Chapter 11 Energy Efficiency.



ENGINEER  
SON ENGINEERING & CONSULTING, P.C.  
Wood Road - Elmsford, New York 10523  
914-833-0420

GINEER  
ENGINEERING LLC  
am Street, 32nd Floor - New York, New York 10038  
57-6191

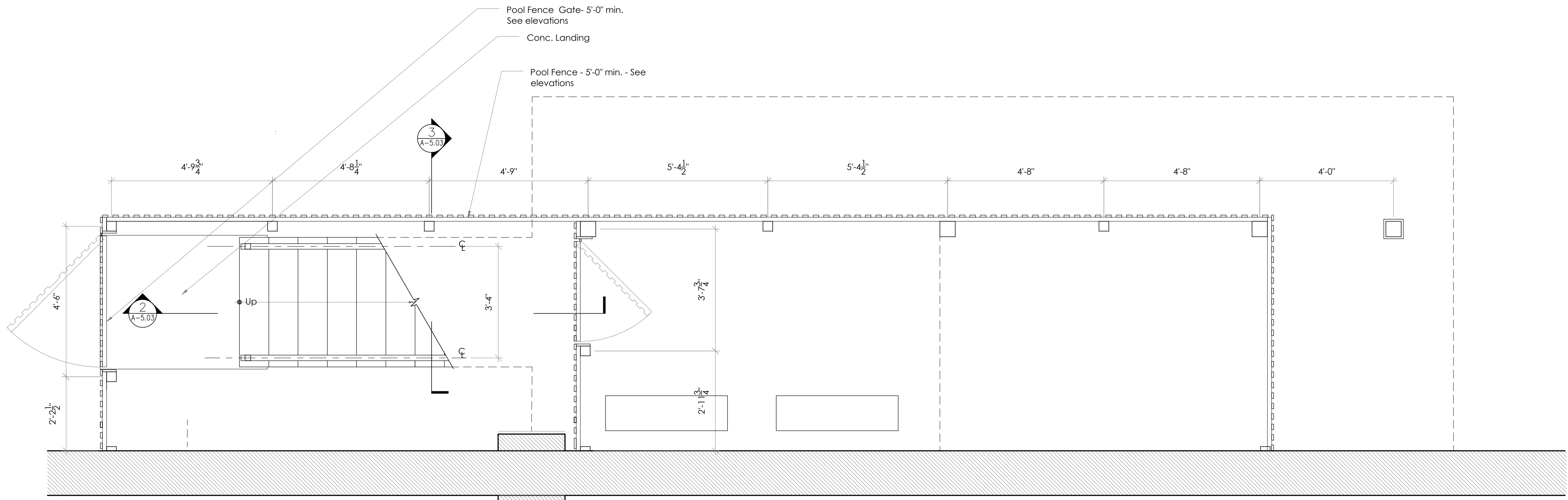
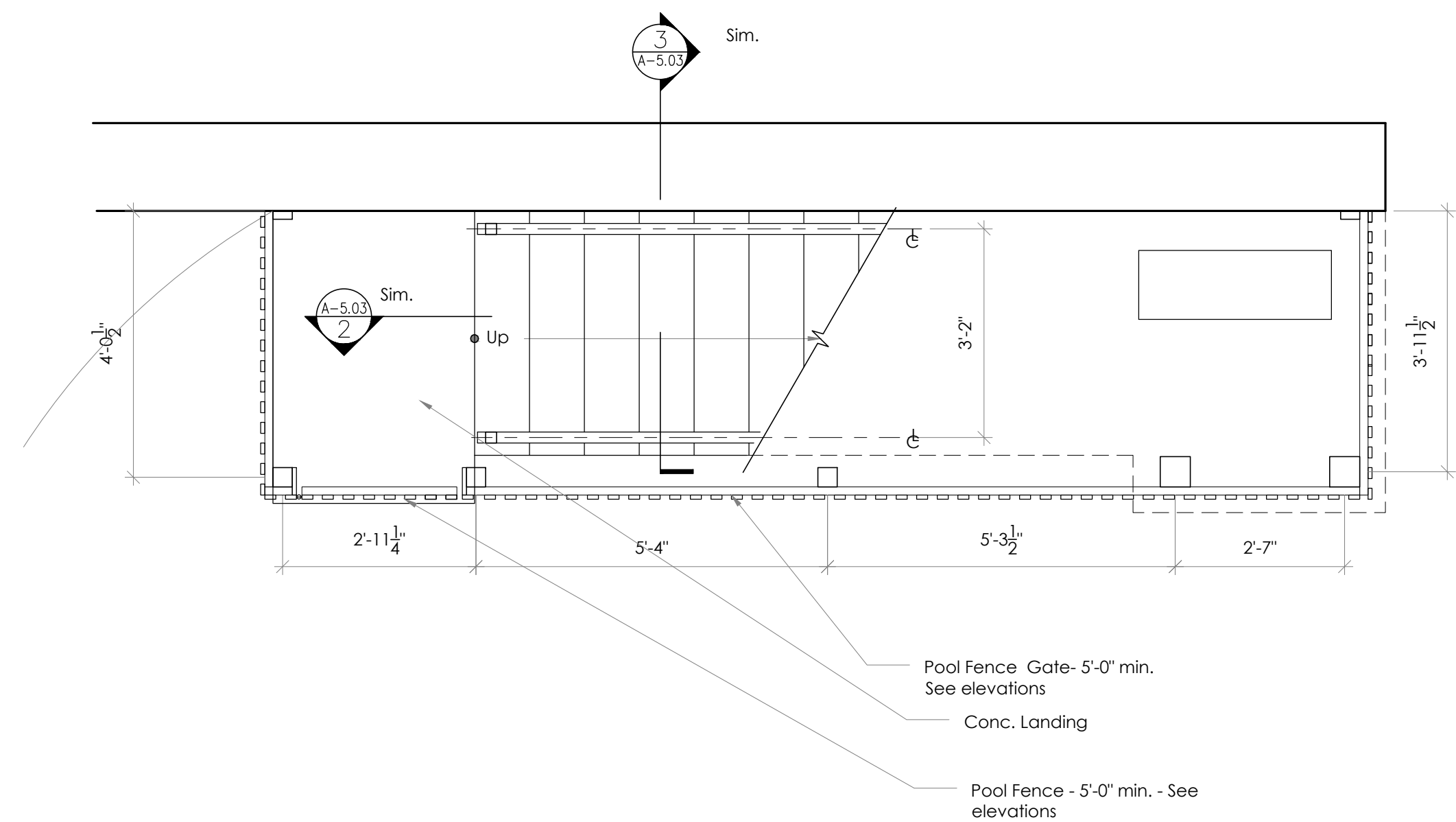
COLM MCBURNEY CONSULTING ARBORIS  
Street - Ramsey, New Jersey 07446  
24-7267

SALE: As Noted

E: 09/04/2020

1818

A-5.02


$$1/2'' = 1'-0''$$

$$1/2'' = 1'-0''$$



Parganos Residence

90 Fargo Lane  
Irvington, NY

2	08/01/2022	Resubmission for ARB Approval
3	06/06/2022	Resubmission for ARB Approval
4	08/15/2021	Revision #9
5	05/11/2021	Building Permit Resubmission

NO.	DATE	ISSUE/REVISION
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In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2015 of New York State (IRC 2015 New York State Amendments) which includes Chapter 11 Energy Efficiency.



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Stair Details

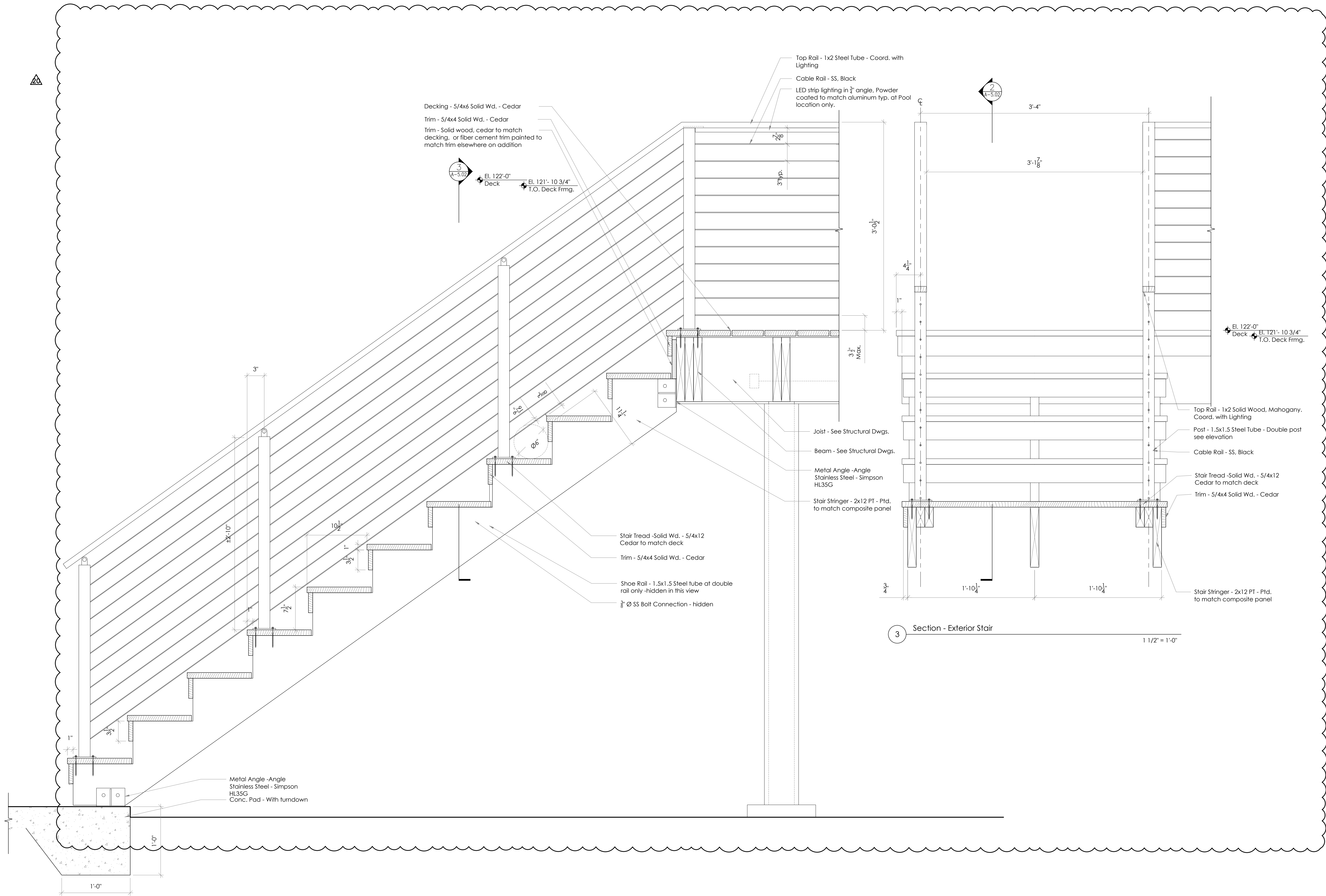
SCALE: As Noted

DATE: 09/04/2020

JOB: 1818

New Sheet

A-5.03



1 Section - Exterior Stair

1 1/2" = 1'-0"