



TRANSMITTAL

To: Village of Irvington
Building Department
85 Main Street
Irvington, NY 10533

From: Sean Jancski, RLA, ASLA, LEED-AP
32 Elm Place – Suite 1N
Rye, New York 10580

Date: 10/03/22
RE: 33 Park Rd
In-Ground Pool
Application
2.130-64-18

Pages: 6

☐ As Requested ☐ Urgent ☐ For Review/Comment ☐ For Pricing ☐ For Your Use

QTY	DWG	ENCLOSURE	DATE	REVISION	NOTES
1	LS-0	Existing Conditions Plan	08/24/22	N/A	By TC Merritts Land Surveyors
1	LS-1	Site Development Plan	08/24/22	N/A	By SJLA
1	LS-2	Landscape Screening Plan	08/24/22	N/A	By SJLA
1	LS-3	Site Details	08/24/22	N/A	By SJLA
1	C-1	Drainage Site Plan	08/11/22	N/A	By Benedict Salanitro
1	C-2	Drainage Details	08/11/22	N/A	By Benedict Salanitro

Please feel free to call (914) 967-1904 or email me anytime to discuss.

Sincerely,
Sean Jancski

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	790	Date:	09/29/2022
Job Location:	33 PARK RD	Parcel ID:	2.130-64-18
Property Owner:	Tom Schirmacher	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Sean Jancski	Wayne Clee
Sean Jancski Landscape Architects	Shoreline Pools Inc.
32 Elm Place Suite 1N Rye NY 10580	393 West Ave Stamford CT 06902
9149671904	2039671203

Description of Work

Type of Work:	Swimming pool	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	150000.00	Property Class:	1 FAMILY RES

Description of Work

In-ground Swimming pool with integrated spa and associated masonry, pergola, landscaping and site work

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 33 PARK RD

Parcel Id: 2.130-64-18

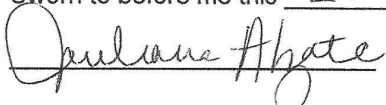
AFFIDAVIT OF APPLICANT

I **Sean Jancski** being duly sworn, depose and says: That s/he does business as: **Sean Jancski Landscape Architects** with offices at: **32 Elm Place Suite 1N Rye NY 10580** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application. **LANDSCAPE ARCHITECT**
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 29th day of September of 2022



Notary Public / Commission of Deeds

JULIANA ALZATE
NOTARY PUBLIC-STATE OF NEW YORK
No. 01JU6391574

Qualified in Westchester County
My Commission Expires 05-13-2023



Applicant's Signature

OWNER'S AUTHORIZATION

I **Tom Schirmacher** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 310-717-6429 Owner email address tom@tomschirmacher.com

- ☐ Thomas W. Schirmacher Thereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 1 day of October of 2022



Notary Public / Commission of Deeds



Applicant's Signature

LIM KIM A.
Notary Public, State of New York
No. 01L18144154
Qualified in Westchester County
Commission Expires Apr. 24, 2026

VILLAGE OF IRVINGTON

PLANNING BOARD

85 MAIN STREET

IRVINGTON, NEW YORK 10533

TEL: (914) 591-8335 • FAX: (914) 591-5870



View of yard screening facing North



View of driveway facing North-East



View of yard screening facing North-East



View of screening facing North-West

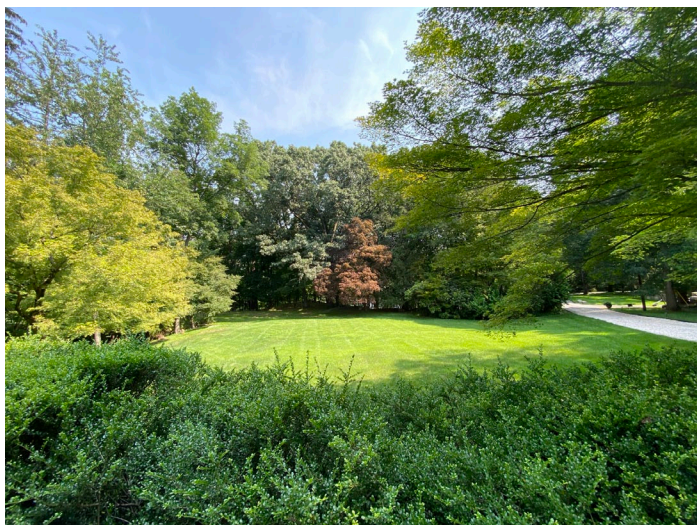
VILLAGE OF IRVINGTON

PLANNING BOARD

85 MAIN STREET

IRVINGTON, NEW YORK 10533

TEL: (914) 591-8335 • FAX: (914) 591-5870



View of yard screening from porch facing North



View of screening facing East



View of yard screening facing West



View of brick garden screening facing North-West



COPYRIGHT 2022 ALL RIGHTS RESERVED
SEAN JANCSKI LANDSCAPE ARCHITECTS

Unauthorized alteration to this drawing is a violation of the New York and Connecticut education law. Only copies with a signed seal shall be considered to be valid copies. Original drawings and specifications prepared by Sean Jancski Landscape Architect LLC (S.J.A.) as instruments of service are and shall remain the property of S.J.A. whether the project for which they were made is executed or not. They are not to be used on other projects or extensions to this project except by written agreement by S.J.A.

Stormwater Engineer

BENEDICT A. SALANITRO, P.E., P.C.
CIVIL ENGINEER
609 BROOK STREET
MAMARONECK, NY 10543
914-760-5125

Surveyor

TC MERRITS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-9033

Survey Date: April 16, 2021

Landscape Architect

seanjancski
LANDSCAPE ARCHITECTS

Sean Jancski ASLA LEED-AP
32 Elm Place - Suite 1N
Rye, New York 10580

(914) 967-1904 Phone
sean@sjlandscapearchitects.com

No.	Date	Revision Information
1	7/20/22	PLANNING BOARD RE-SUBMISSION
2	8/24/22	PLANNING BOARD RE-SUBMISSION

EXISTING CONDITIONS PLAN

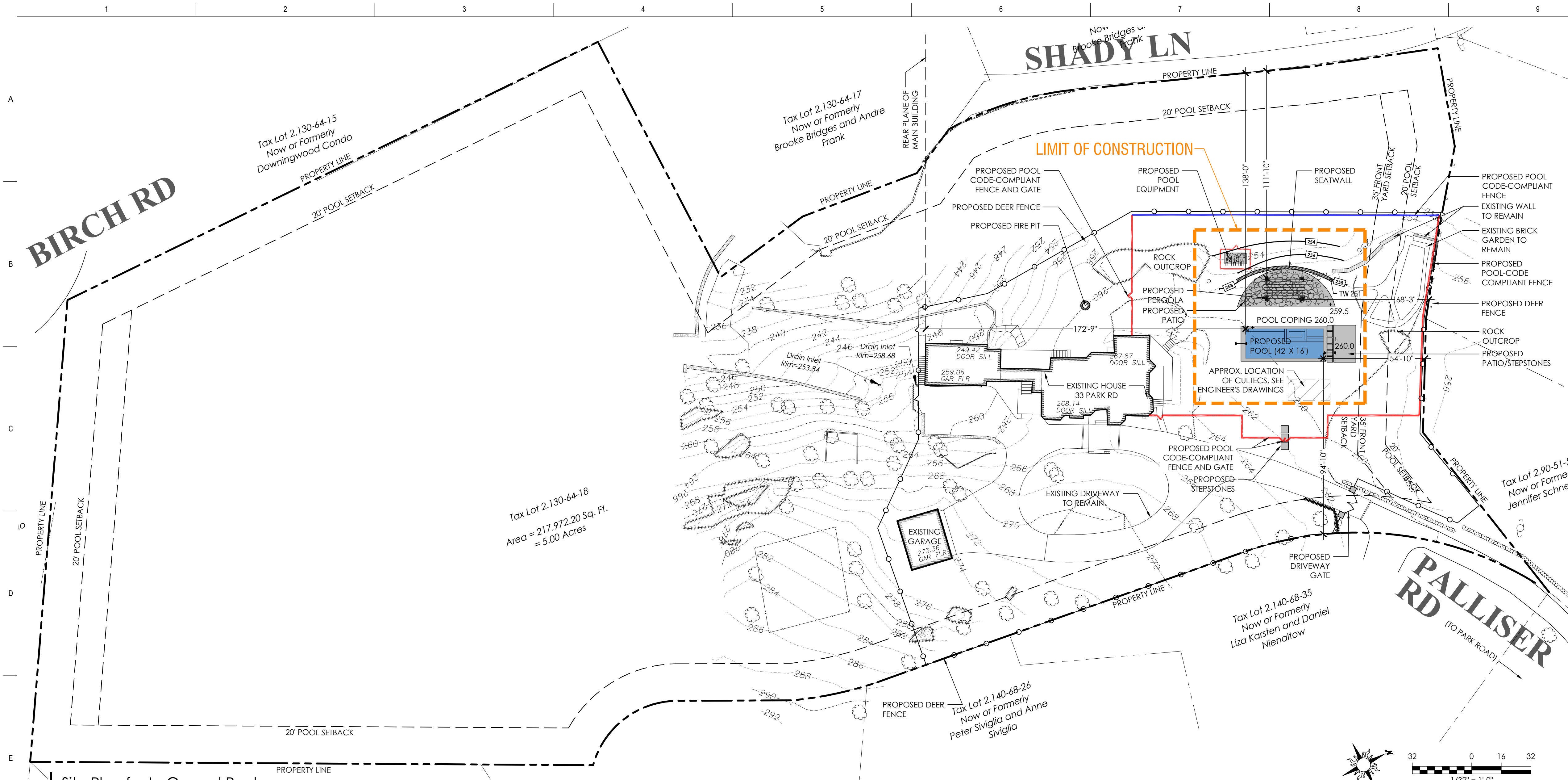
for

Schirmacher
33 Park Road
Irvington, NY

Drawn By: **CD/RM**

LS-0

Scale: 1"=30'-0" Issue Date: 7/20/2022



LEGEND

- PROPERTY LINE
- SETBACK LINE
- EXISTING CONTOURS
- EDGE OF LAWN/PLANTINGS
- EXISTING TREES TO REMAIN
- PROPOSED PAVING AND STEPS
- PROPOSED POOL
- PROPOSED WALLS
- PROPOSED WOOD FENCE
- PROPOSED CHAIN LINK FENCE
- PROPOSED DEER FENCE

LOT COVERAGE REQUIREMENTS (1F-20)

ALLOWABLE LOT COVERAGE (S.F.)	
BASE ALLOWABLE COVERAGE (16% OF FIRST 20,000 S.F.)	3,200
PLUS (6% LOT OVER 20,000 S.F.)	11,878
TOTAL ALLOWABLE LOT COVERAGE	15,078
EXISTING LOT COVERAGE (S.F.)	
PRIMARY BUILDING	3077
SIDE WALK (1)	846
SIDE WALK (2) (BRICK GARDEN)	490
PATIO (1)	143
RETAINING WALLS	121
TOTAL EXISTING COVERAGE	4677
PROPOSED LOT COVERAGE (S.F.)	
GARDEN WALLS	215
POOL	672
POOL PATIOS	977
POOL EQUIPMENT	50
TOTAL PROPOSED LOT COVERAGE	1914

1 Site Plan for In-Ground Pool

Scale: 1/32" = 1'-0"

ZONING TABLE / SETBACK REQUIREMENTS (1F-20)								
ITEM	FRONT YARD		SIDE YARD		SIDE YARD		REAR YARD	
	ALLOWED	PROPOSED	ALLOWED	PROPOSED	ALLOWED	PROPOSED	ALLOWED	PROPOSED
SWIMMING POOL	20'-0"	54'-10"	20'-0"	94'-10"	20'-0"	138'-0"	20'-0"	N/A
PERGOLA	35'-0"	68'-3"	15'-0"	N/A	15'-0"	111'-10"	35'-0"	N/A

ZONING CODE NOTES AND VARIANCES REQUESTED:

- THE PROPERTY IS AN EXISTING FLAG LOT. FRONT AND SIDE YARD DESIGNATIONS ARE CONSISTENT WITH SITE PLANS FILED FOR THE GARAGE ADDITION IN 2015 BY THE PRIOR OWNER.
- PER VILLAGE CODE 224-59 (A), "FOR LOTS IN THE VILLAGE WITH A WIDTH GREATER THAN 40' THE EDGE OF ALL SWIMMING POOLS SHALL BE KEPT A DISTANCE OF NOT LESS THAN 20' FROM ALL PROPERTY LINES, AND NO SUCH PART OF THE POOL SHALL BE NEARER TO ANY STREET LINE THAN REAR WALL OF THE MAIN BUILDING WHICH IS LOCATED NEAREST THE STREET."
- THE PROPOSED SWIMMING POOL IS LOCATED CLOSER TO THE STREET THAN THE REAR OF THE BUILDING, THEREFORE, A VARIANCE IS BEING REQUESTED.
- THE PROPOSED POOL COMPLIES WITH THE 35' FRONT YARD SETBACK AND THE 20' POOL SETBACK FROM ALL PROPERTY LINES.

POOL CODE RESPONSES (224-56 TO 224-65):

- THE PROPOSED POOL AND POOL EQUIPMENT WILL BE SCREENED WITH A COMBINATION OF EXISTING AND PROPOSED EVERGREEN PLANTINGS AND SOLID WOOD FENCING. SEE LANDSCAPE PLAN.
- THE POOL BARRIER FENCE WILL COMPLETELY ENCLOSE THE POOL AREA WITH A FENCE AT LEAST 5' H AND NOT EXCEEDING 6.5H, WITH SELF-CLOSING AND SELF-LOCKING GATES.
- THE POOL WILL BE EQUIPPED WITH A POWERED SAFETY COVER PER ASTM F1346 DURING THE SEASON OF USE AND A WINTER COVER FROM NOVEMBER-MARCH.
- SEE ENGINEERING DRAWINGS FOR PROPOSED STORM WATER MANAGEMENT PLAN.
- SEE ENGINEERING DRAWINGS FOR STORM WATER AND EROSION CONTROL MEASURES.
- LIGHTS WILL BE DIRECTED AWAY FROM ADJOINING PREMISES. ELECTRICAL WORK WILL COMPLY WITH ALL APPLICABLE CODES.
- POOL EQUIPMENT WILL COMPLY WITH VILLAGE CODE 146-4 (NOISE ORDINANCE.)

POOL AND FENCE CODE ADDITIONAL NOTES (224-56 TO 224-65):

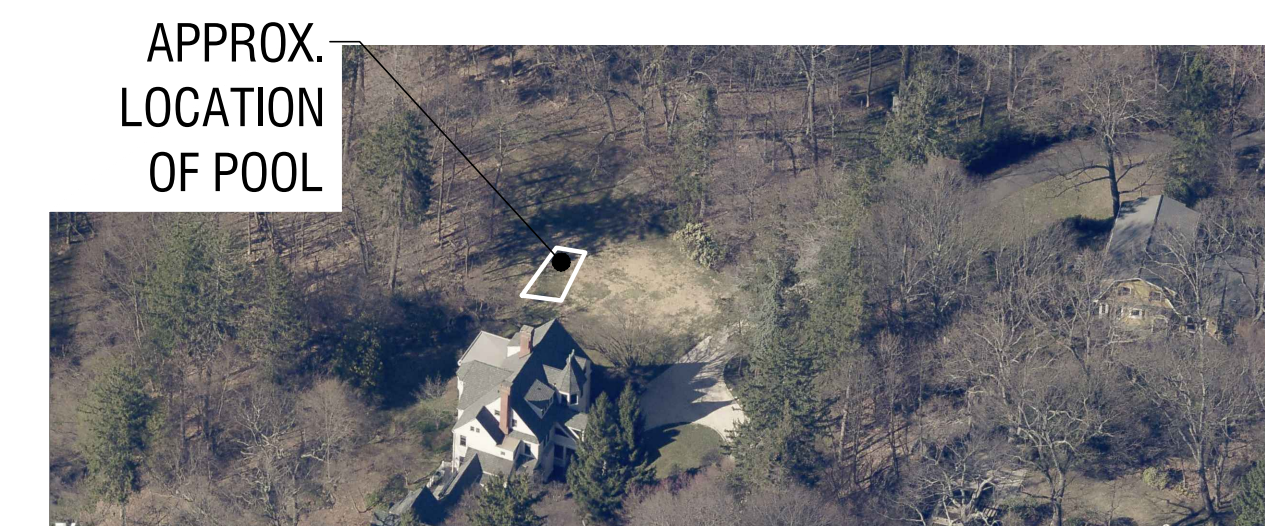
- THE BUILDING WALL ACTS AS PART OF THE POOL BARRIER. AS A RESULT, ALARMS SHALL BE PROVIDED ON ALL DOORS THAT HAVE ACCESS TO THE POOL.
- EXPOSED ELECTRICAL WIRES SHALL NOT BE NEARER THAN 5 FEET TO THE EDGE OF THE SWIMMING POOL. THIS SHOULD BE NOTED ON THE PLANS.
- EXPOSED ELECTRICAL WIRES SHALL NOT BE LESS THAN 10 FEET ABOVE GROUND LEVEL AT THE EDGE OF THE SWIMMING POOL WHICH SHOULD BE NOTED ON THE PLANS.

CONSTRUCTION SEQUENCE:

- COMPLETION OF ROUGH GRADING OF SITE.
- EXCAVATION FOR POOL.
- INSTALL FRAMING AND PLUMBING FIXTURES.
- INSTALL STEEL REINFORCEMENT FOR POOL.
- APPLICATION OF GUNITE FOR POOL.
- REMOVE WOOD FORMS AND BACKFILL AROUND POOL.
- TRENCH, INSTALL PIPING CONDUITS FOR POOL, BACKFILL TRENCH.
- INSTALL POOL TILE, POOL COPING ETC.
- INSTALL MASONRY (PATIOS, PAVERS, WALL, PERGOLA ETC.
- INSTALL STORMWATER DETENTION SYSTEM AS PER ENGINEER'S PLANS.
- FINISH THE SURFACE OF THE POOL.
- INSTALL POOL MECHANICALS AND EQUIPMENT.
- INSTALL FENCING.
- INSTALL LANDSCAPING.
- FILL POOL AND STARTUP.

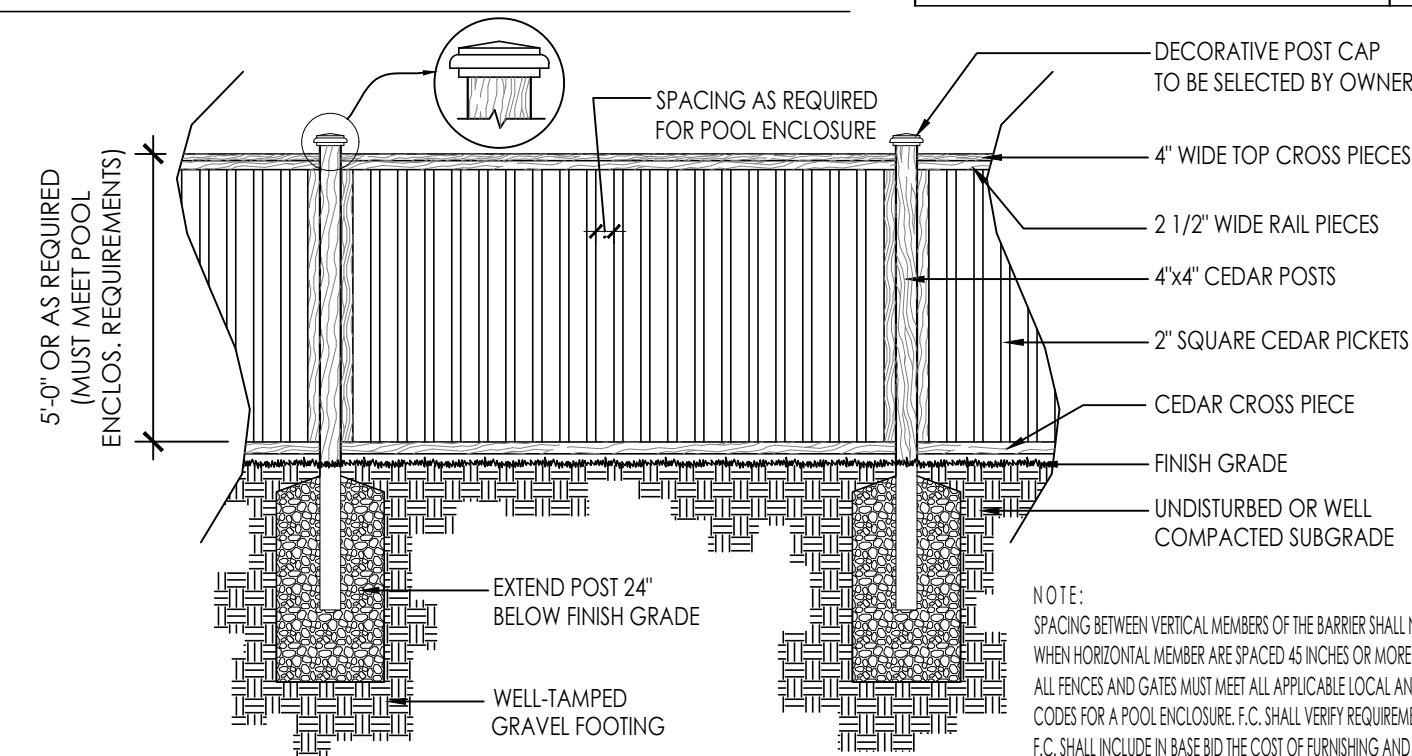
2 Vicinity Map

NTS



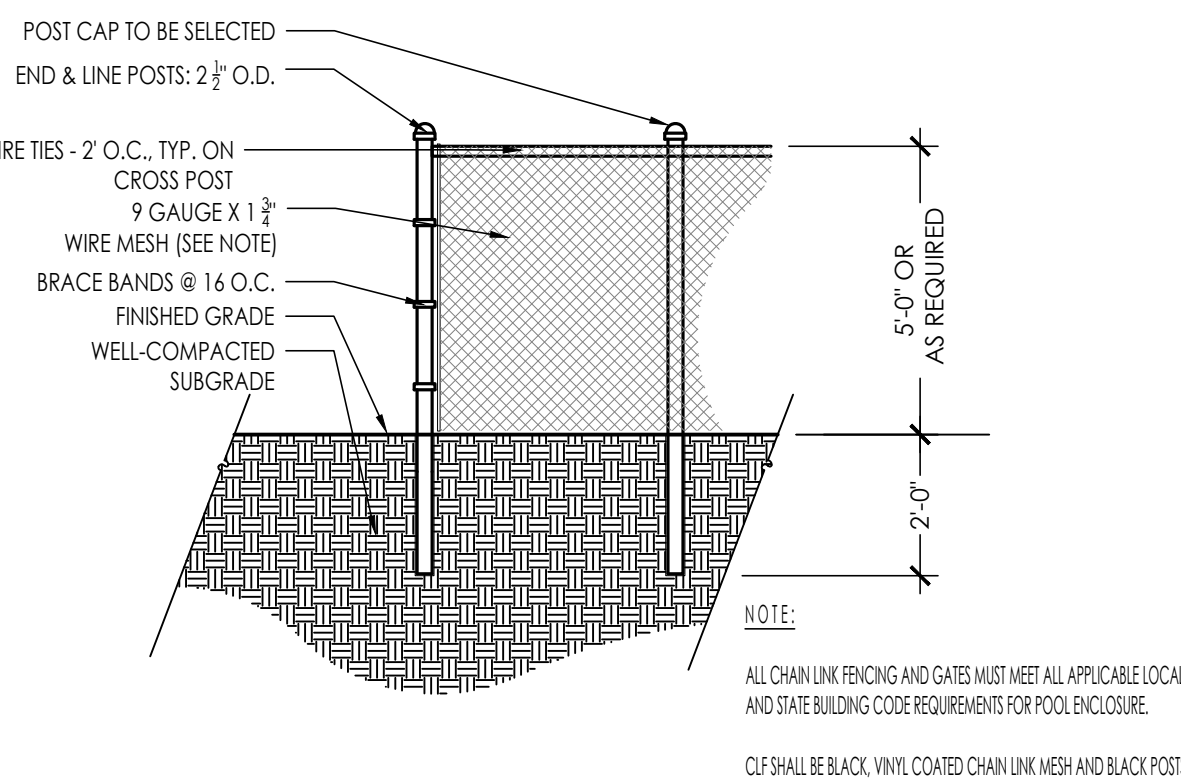
3 Aerial View

NTS



6 Pool Barrier Fence Detail (Wood) - Min. 5' H

Scale: 3/8" = 1'-0" (GATES TO SELF-CLOSING AND SELF-LATCHING)



5 Deer Fence Detail - 8' H

Scale: 3/8" = 1'-0" (VARIANCE REQUESTED)*

7 Pool Barrier Fence Detail (Chain Link) - Min. 5' H

Scale: 3/8" = 1'-0" (Pool Code-Compliant Fence)

COPYRIGHT 2022 ALL RIGHTS RESERVED
SEAN JANCSKI LANDSCAPE ARCHITECTS

Unauthorized alteration to this drawing is a violation of the New York and Connecticut education law. Only copies with a signed seal shall be considered to be valid copies. Original drawings and specifications prepared by Sean Jancski Landscape Architect LLC (S.J.A.) as instruments of service are and shall remain the property of S.J.A. whether the project for which they were made is executed or not. They are not to be used on other projects or extensions to this project except by written agreement by S.J.A.

Stormwater Engineer

BENEDICT A. SALANITRO, P.E., P.C.
CIVIL ENGINEER
609 BROOK STREET
MAMARONECK, NY 10543
914-760-5125

Surveyor

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-9033

Survey Date: April 16, 2021

Landscape Architect

seanjancski
LANDSCAPE ARCHITECTS

Sean Jancski ASLA LEED-AP
32 Elm Place - Suite 11N
Rye, New York 10580

(914) 967-1904 Phone
sean@seanlandscapearchitects.com

No.	Date	Revision Information
1	6/3/22	PLANNING BOARD SUBMISSION
2	7/20/22	PLANNING BOARD RE-SUBMISSION
3	8/24/22	PLANNING BOARD RE-SUBMISSION

**SITE DEVELOPMENT
PLAN FOR
IN-GROUND POOL**

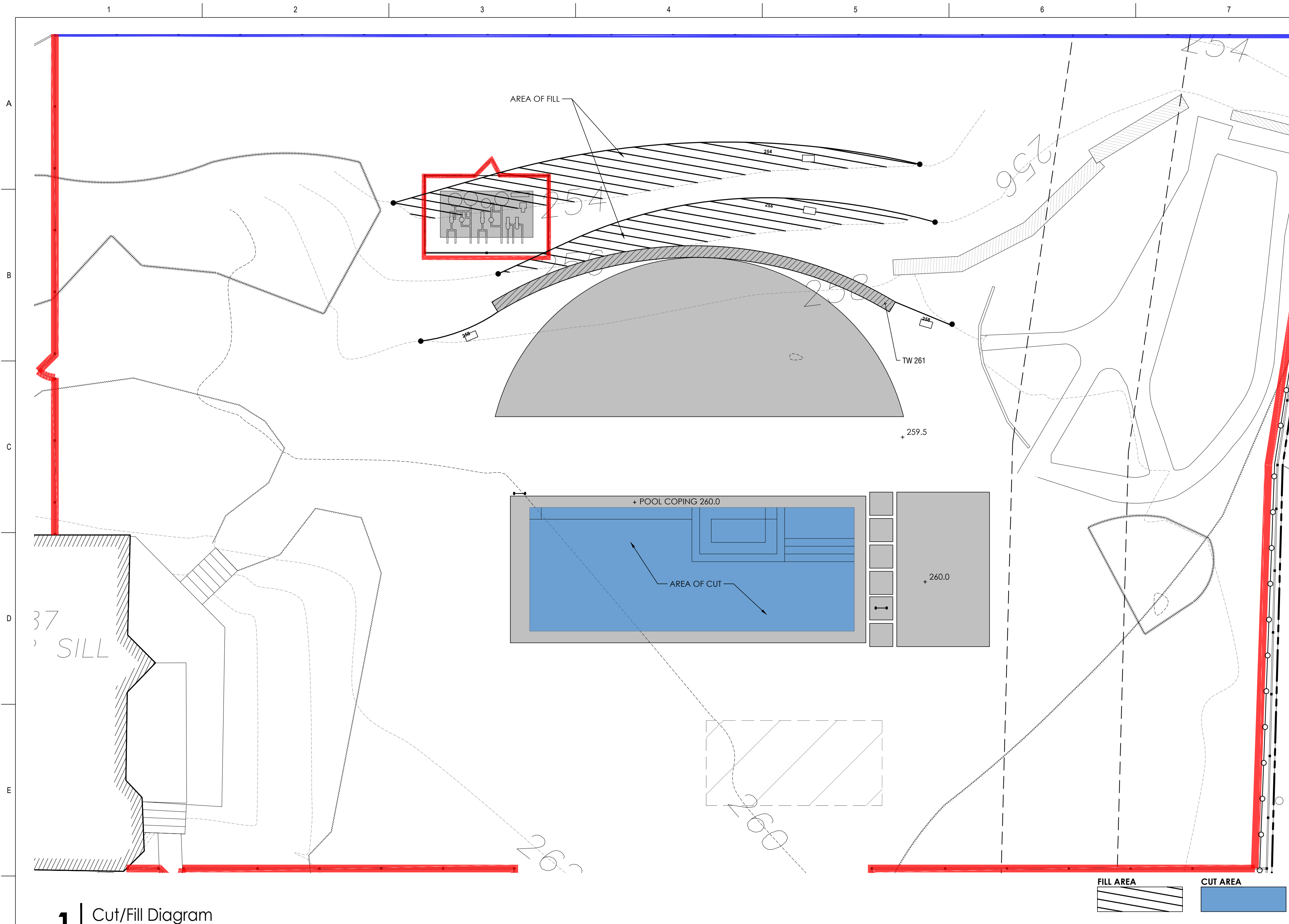
for

**Schirmacher
33 Park Road
Irvington, NY**

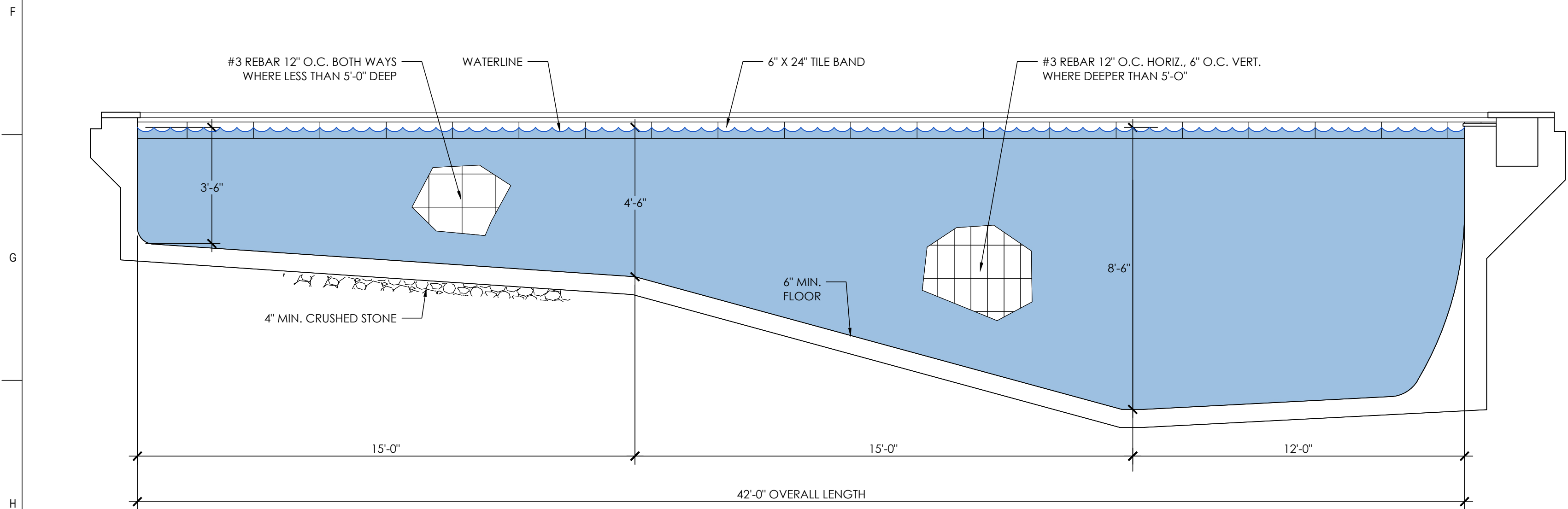
Drawn By: **CD/RM**

LS-1

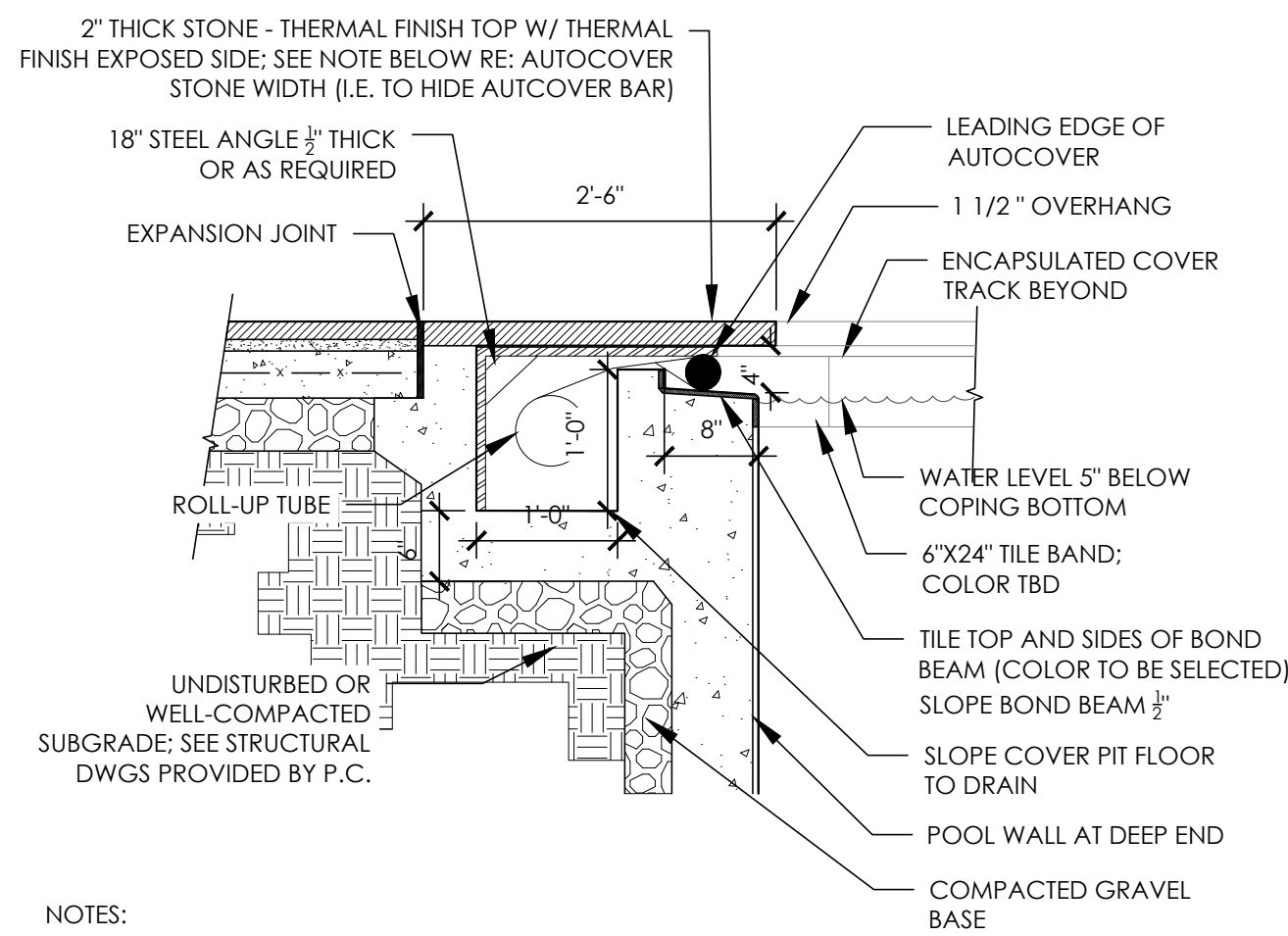
Scale: **As Noted** Issue Date: **4/3/2022**



1 | Cut/Fill Diagram
Scale: 3/8"=1'-0"

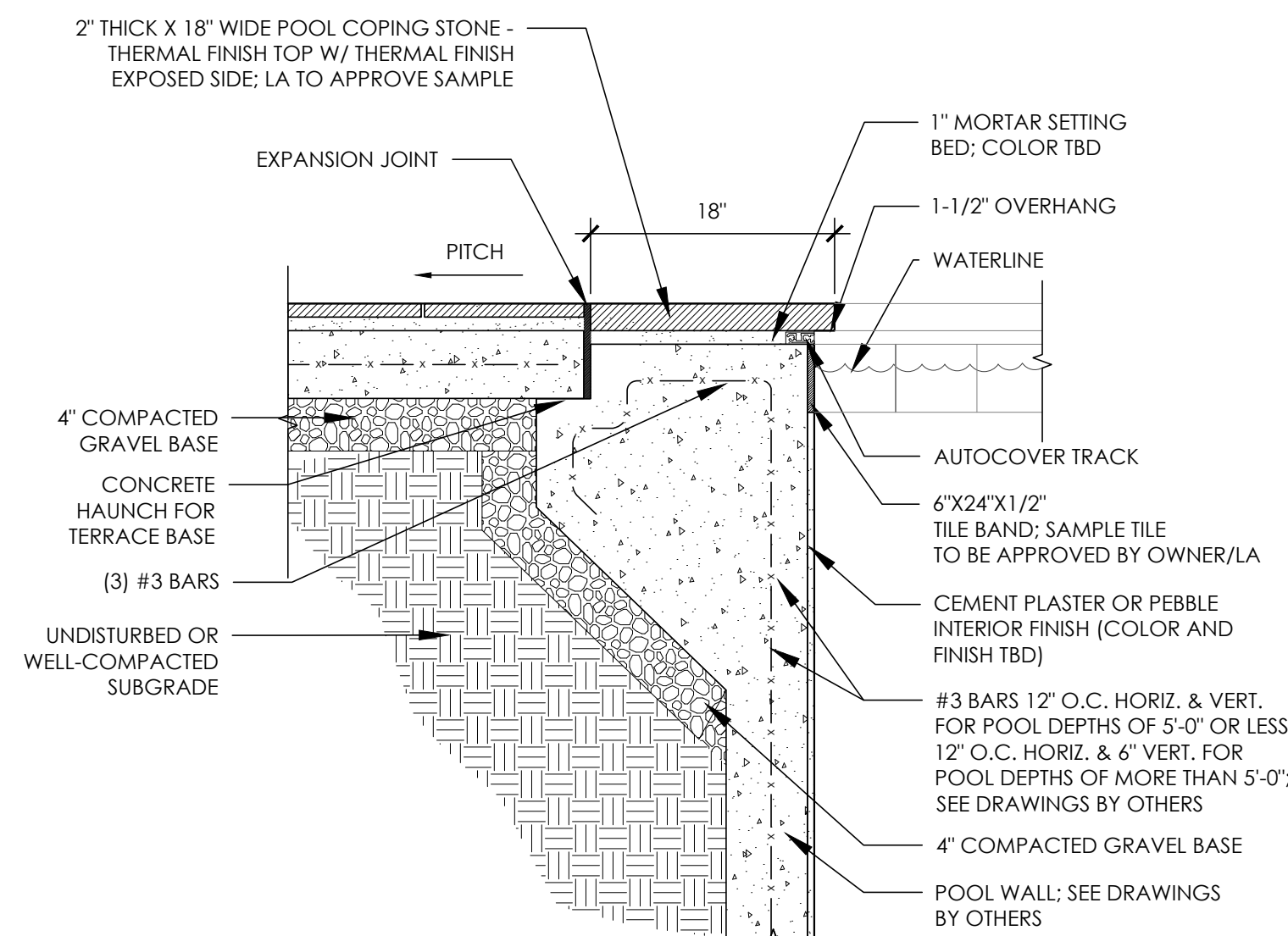


2 | Pool - Longitudinal Section Profile
Scale: 3/8"=1'-0"



- NOTES:
1. P.C. TO SUBMIT DRAWING OF POOL AUTOCOVER WITH BID PROPOSAL AND SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO INSTALLATION.
 2. INTENT IS TO HAVE AUTOCOVER BAR COVERED BY AUTOCOVER STONE.
 3. COORDINATE SIZE OF ROLL UP TUBE AREA WITH MANUFACTURER'S RECOMMENDATIONS.

3 | Pool Autocover Detail
Scale: 3/4"=1'-0"



4 | Pool Coping Detail
Scale: 1"=1'-0"

- NOTES:
1. IN-GROUND POOL DESIGN AND CONSTRUCTION WILL BE IN COMPLIANCE WITH ANSI/APSP/ICC 5, (FROM 2020 RESIDENTIAL CODE OF NY STATE R326)
 2. POOL COVER WILL BE CAPABLE OF SUPPORTING A MINIMUM DEAD WEIGHT OF 200 POUNDS WHEN FASTENED OR LOCKED IN PLACE OVER A SWIMMING POOL. THE POOL COVER MUST FULLY COVER POOL WHEN NOT IN USE AND DURING THE PERIOD OF NOVEMBER 1 THROUGH MARCH 31.
 3. DISCHARGE OF POOL WATER WILL BE IN COMPLIANCE TO MS4 AND BE DIRECTED TO THE MS4 STORM SEWER SYSTEM THAT IS CONNECTED TO THE PROPERTY SANITARY SEWER SYSTEM.

COPYRIGHT 2022 ALL RIGHTS RESERVED
SEAN JANCSKI LANDSCAPE ARCHITECTS

Unauthorized alteration to this drawing is a violation of the New York and Connecticut education law. Only copies with a signed seal shall be considered to be valid copies. Original drawings and specifications prepared by Sean Jancski Landscape Architect LLC (S.J.A.) as instruments of service are and shall remain the property of S.J.A. whether the project for which they were made is executed or not. They are not to be used on other projects or extensions to this project except by written agreement by S.J.A.

Stormwater Engineer

BENEDICT A. SALANITRO, P.E., P.C.
CIVIL ENGINEER
609 BROOK STREET
MAMARONECK, NY 10543
914-760-5125

Surveyor

TC MERRITTS LAND SURVEYORS
394 BEDFORD ROAD
PLEASANTVILLE, NY 10570
914-769-9033

Survey Date: April 16, 2021

Landscape Architect

SJ seanjancski
LANDSCAPE ARCHITECTS

Sean Jancski ASLA LEED-AP
32 Elm Place - Suite 1N
Rye, New York 10580

(914) 967-1904 Phone
sean@sjlandscapearchitects.com

No.	Date	Revision Information
1	7/20/22	PLANNING BOARD RE-SUBMISSION
2	8/24/22	PLANNING BOARD RE-SUBMISSION

SITE DETAILS

for

Schirmacher
33 Park Road
Irvington, NY

Drawn By: **RM**

LS-3

Scale: **As Noted** Issue Date: **7/20/2022**

1. ALL RUNOFF FROM THE PROPOSED POOL ADDITION TO BE COLLECTED AND CONVEYED INTO THE PROPOSED STORMWATER SYSTEM AS SHOWN.
2. IT SHALL BE DETERMINED BY THE CONTRACTOR PRIOR TO EXCAVATION FOR THE STORMWATER SYSTEM THAT NO UTILITIES ARE IN INTERFERENCE.
3. CONTRACTOR TO VERIFY ALL PROPOSED ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES.
4. ALL STORM WATER PIPING TO BE 4" SCHED. 40 PVC UNLESS OTHERWISE NOTED.

1. SITE PLAN LAYOUT PROVIDED BY SEAN JANCSKI LANDSCAPE ARCHITECTS.
2. SITE PLAN SHOWN HEREIN SHALL BE USED SOLELY TO ILLUSTRATE LOCATION OF THE STORM WATER SYSTEM & EROSION CONTROL PROVISIONS.
3. THE ENGINEER MAKES NO REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION TAKEN FROM SURVEY. PROPERTY INFORMATION SHOWN FOR GRAPHIC PURPOSES ONLY. SEE ORIGINAL SURVEY FOR ALL PROPERTY INFORMATION.

ALL WORK MATERIALS, SPECIFICATIONS, REGULATIONS, RULES, PERMITS ETC. OF ALL STATE, COUNTY AND THE TOWN/ VILLAGE OF HARRISON SHALL BE FOLLOWED BY THE CONTRACTOR.

ALL MANUFACTURED ITEMS SHALL BE INSTALLED OR APPLIED AS DIRECTED BY THE MANUFACTURERS RECOMMENDATIONS.

CONTRACTORS AND HIS SUBCONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION INSURANCE AS WELL AS ADEQUATE LIABILITY INSURANCE DURING THE ENTIRE LENGTH OF THE JOB. CONTRACTOR SHALL SUPPLY THE REQUIRED INSURANCES AS SPECIFIED BY THE TOWN/ VILLAGE OF HARRISON.

CONTRACTOR SHALL FURNISH ALL PERMITS, LICENSES AND APPROVALS NECESSARY TO COMPLETE THE WORK.

CONTRACTOR TO INCLUDE ALL MATERIALS, LABOR, INCIDENTALS AND SERVICES FOR SATISFACTORY COMPLETION OF ALL WORK.

TOP SOIL SHALL BE KEPT CLEAN AT ALL TIMES. TRASH TO BE REMOVED FROM THE SITE DAILY.

NOTIFY THE ENGINEER OF ANY UNSUITABLE SUB-SOIL CONDITIONS IF ENCOUNTERED DURING EXCAVATION.

CARE SHALL BE TAKEN TO PROTECT THE TREES TO REMAIN FROM THE METHODS OF CONSTRUCTION, TRAFFICKING AND STORAGE OF MATERIALS. RETURN THOSE AREAS DAMAGED BY SUCH TO THEIR ORIGINAL CONDITION.

DURING CONSTRUCTION, PROVISIONS FOR SAFE PEDESTRIAN ACCESS SHALL BE MAINTAINED AT ALL TIMES.

THIS ENGINEER IS NOT RESPONSIBLE FOR POOL DESIGN OR POOL SAFETY CONSIDERATIONS.

CONSTRUCTION SCHEDULE
NOTIFY APPROPRIATE MUNICIPAL AGENCY HAVING JURISDICTION AT LEAST 5 DAYS PRIOR TO START

Install all erosion control measures prior to start of construction. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

After any rain causing runoff Contractor to inspect haybales, etc. and remove any excessive sediment, and inspect stockpiles and correct any problems with seed establishment. Inspections shall be documented in writing and submitted to the appropriate Municipal Agency having jurisdiction.

INSPECTION BY MUNICIPALITY

Remove unneeded subgrade from site. Call for inspection from the appropriate Municipal Agency having jurisdiction at at least 2 days prior to finish.

Spread topsoil evenly over areas to be seeded. Hand rake level. Broadcast 1:25 lb. Bag of Jonathan Green "Fastgrow" mix or equal over areas to be seeded. Apply straw mulch and water within 2 days of completion of topsoiling. Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.

INSPECTION BY MUNICIPALITY

*All erosion control measures removed and grass established.
Call for inspection from the appropriate Municipal Agency having jurisdiction at least 2 days prior to finish.*

CODE 753 :

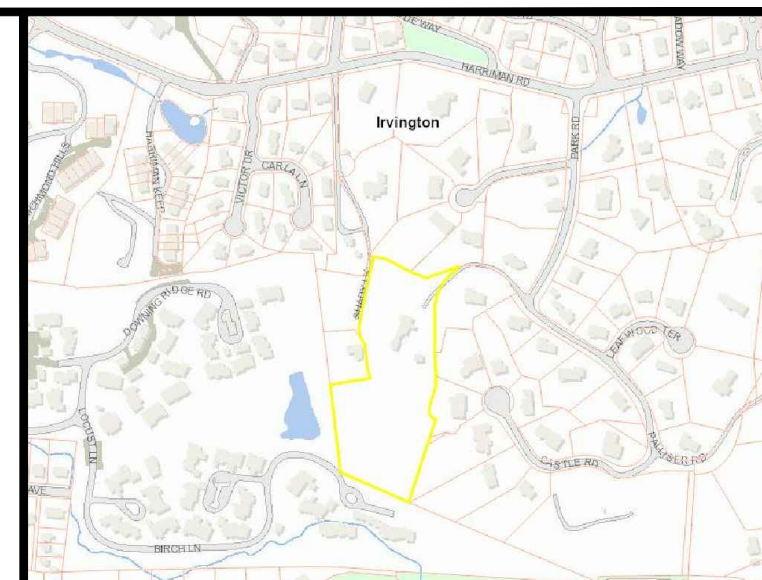
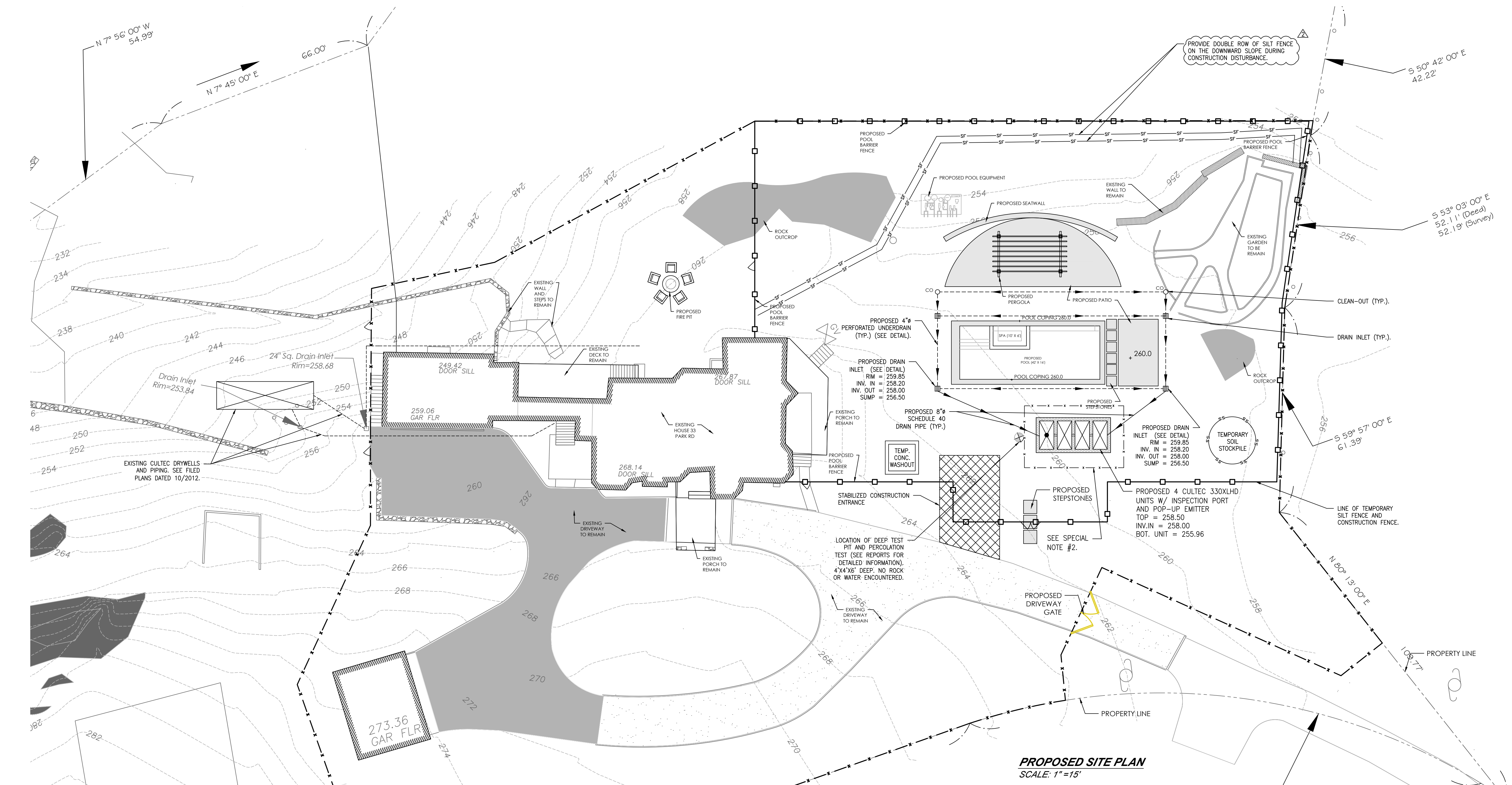
PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL LOCATE ALL BURIED UTILITIES AND INSURE THAT INTERFERENCES WITH THE PROPOSED STORMWATER SYSTEM DO NOT EXIST.

811

Know what's below.
Call before you dig.

REFER TO LANDSCAPE ARCHITECTS
PLANS FOR ADDITIONAL DETAILS

1. THE INFILTRATION SYSTEM MUST NOT BE CONNECTED UNTIL CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
2. THE AREA OF THE PROPOSED INFILTRATION SYSTEM SHOULD BE PROTECTED FROM OVER-COMPACTION DURING CONSTRUCTION. THE AREA SHOULD BE FENCED OFF DURING CONSTRUCTION AND DECOMPACTED PRIOR TO THE INSTALLATION OF THE INFILTRATION UNITS.
3. POST CONSTRUCTION MAINTENANCE SHALL BE AS FOLLOWS: DRAINAGE INLET(S) AND DRYWELLS SHALL BE VACUUM SWEEP AT MIN. OF TWICE A YEAR, (FALL & SPRING). INSPECT FACILITIES FOR SEDIMENT AND REMOVE SAME IF FOUND.
4. SWIMMING POOL SHALL BE DECHLORINATED PRIOR TO BEING DRAINED (8" DRAWDOWN /DAY AS REQUIRED) INTO THE PROPOSED DRYWELL SYSTEM.
5. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
6. "AS-BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING THE CERTIFICATE OF OCCUPANCY.
7. INFILTRATION SYSTEM ACCESS PORTS SHALL BE SHOWN ON "AS-BUILT" DRAWING.
8. IMPORTED FILL MUST BE CERTIFIED AND APPROVED BY THE VILLAGE BUILDING INSPECTOR OR VILLAGE ENGINEER.

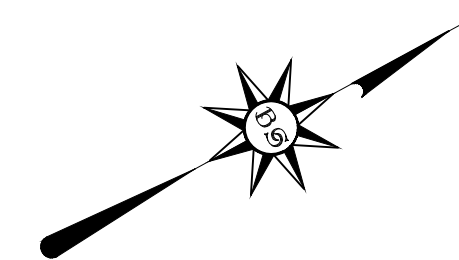


LOCATION MAP

DO NOT SCALE DRAWINGS

2	ENGINEER COMMENTS	08-11-2022
1	ENGINEER COMMENTS	07-11-2022
NO	DESCRIPTION	DATE

- REVISIONS -



SITE PLAN, DRAINAGE,
AND
EROSION CONTROL
PLAN FOR NEW
IN-GROUND SWIMMING
POOL

SCHIRMACHER
RESIDENCE

AT

33 PARK ROAD
IRVINGTON, NY
10533

SHEET: 2.13

BLOCK: 64

LOT: 18

ZONE: 1F-20

DRAWING TITLE:
NOTES, SITE PLAN

Benedict A. Salanitro, P.E., P.C.

CIVIL ENGINEER

609 BROOK STREET
Mamaroneck, New York 10543



IT IS A VIOLATION OF THE NEW YORK
STATE EDUCATION LAW FOR ANY
PERSON, UNLESS ACTING UNDER THE
DIRECTION OF A LICENSED
PROFESSIONAL ENGINEER, TO ALTER
ANY ITEM ON THIS DRAWING AND/OR
RELATED SPECIFICATION. ALL
ALTERATIONS MUST BE MADE IN
COMPLIANCE WITH THE NEW YORK
STATE EDUCATION LAW. THE
PROFESSIONAL ENGINEER WHOSE
SEAL APPEARS HEREON ASSUMES NO
RESPONSIBILITY FOR ANY SUCH
ALTERATION OR RE-USE WITHOUT HIS
CONSENT.

PROJECT No: 051622

DATE : 05/16/22

SCALE: *AS NOTED*

DRAWN BY : V S

CHECKED BY : B. S.

SHEET No

C-1

