

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	804	Date:	10/05/2022
Job Location:	61 RIDGEWAY DR	Parcel ID:	2.90-46-1..61
Property Owner:	Joseph Beltrano	Property Class:	APARTMENT
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Matthew Behrens	
Matthew Behrens - Architect	
25 Bedford RoadSleepy Hollow NY 10591	
9143911689	

Description of Work

Type of Work:	Ext. Elevation Changes	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	92000.00	Property Class:	APARTMENT

Description of Work

Interior and Exterior Alterations, including Kitchen Renovation, New Laundry Room, interior partition changes, and new Exterior Transom Windows

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Beltrano Residence

61 Ridgeway Drive

Irvington, NY



Beltrano Residence

61 Ridgeway Drive

Irvington, NY



GENERAL REQUIREMENTS

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES & ALL AUTHORITIES HAVING JURISDICTION. IN THE ABSENCE OF OTHER STANDARDS, THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE SHALL GOVERN.
- B. VERIFY ALL DIMENSIONS & CONDITIONS ON THE SITE & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. CLAIMS FOR EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL NOT BE ALLOWED.
- C. CONTRACTOR AND SUB-CONTRACTORS SHALL MAINTAIN WORKMEN'S COMPENSATION AND LIABILITY INSURANCE IN ADEQUATE AMOUNTS TO RENDER THE OWNER & HIS AGENTS HARMLESS IN CASE OF ACCIDENTS TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. PROVIDE CERTIFICATES OF SAME TO OWNER.
- D. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING & TEMPORARY SHORING AS REQUIRED. PROVIDE TEMPORARY PROTECTIVE CURT. FROM SECURITY & WEATHER - TIGHT ENCLOSURES WHEN & WHERE REQUIRED.
- E. THE WORK INCLUDES ALL CUTTING & PATCHING & RESTORATION OF AREAS & SURFACES DISTURBED DUE TO THE EXECUTION OF THIS CONTRACT; MATCHING OF KIND, COLOR, QUALITY, TEXTURE, & INSTALLED IN MATCHING PATTERN & COLORING WHERE APPLICABLE.
- F. THE CONTRACTOR SHALL SECURE & PAY FOR ALL PERMITS, AND INSPECTIONS OF LOCAL AUTHORITIES, & OBTAIN FINAL APPROVALS OF, AND/OR CERTIFICATES OF COMPLIANCE FOR ALL WORK UPON COMPLETION, AND/OR DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS & EQUIPMENT TO COMPLETE ALL WORK. ALL LABOR, MATERIAL & ASSEMBLIES SHALL BE OF GOOD WORKMANSHIP QUALITY, & SHALL CONFORM TO NATIONAL & LOCAL INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THEIR MFR'S SPECIFICATIONS. THE CONTRACTOR SHALL CONVEY TO THE OWNER ALL APPLICABLE MFR'S, GUARANTEES AND/OR WARRANTIES ON MATERIALS & EQUIPMENT INSTALLED.
- G. THE BUILDING & GROUNDS SHALL BE KEPT CLEAN & SAFE AT ALL TIMES AND PLACE ALL DEBRIS INTO A RECEPTACLE AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL, IN STRICT ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS. IF OWNER IS TO OCCUPY THE EXISTING RESIDENCE DURING CONSTRUCTION, MAINTAIN CLEAR ACCESS TO THE SITE AT ALL TIMES.
- J. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AFTER ACCEPTANCE BY THE OWNER OF SPECIFICALLY DESIGNATED EQUIPMENT OR PORTIONS OF THE WORK. THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR DESIGNATED PORTION THEREOF, IS THE DATE AGREED UPON BY THE OWNER & THE CONTRACTOR. WHEN CONSTRUCTION IS SUFFICIENTLY COMPLETE, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THAT THE OWNER SHALL OCCUPY OR UTILIZE WORK OR DESIGNATED PORTION OF THE WORK, FOR THE USE FOR WHICH IT IS INTENDED, MFR'S, GUARANTEE/WARRANTY SHALL BE COMPLETED IN ACCORDANCE WITH 1.F ABOVE. IF ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS DURING THE GUARANTEE/WARRANTY PERIOD, THE CONTRACTOR SHALL PROMPTLY CORRECT SAME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER TO DO SO UNLESS THE OWNER HAS PREVIOUSLY GIVEN THE CONTRACTOR WRITTEN ACCEPTANCE OF SUCH CONDITION. THE OWNER SHALL GIVE SUCH NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITION.

CARPENTRY

- A. ROUGH CARPENTRY:-
1. FRAMING LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER Fb=850 PSI MINIMUM (SINGLES), Fb=850 PSI MINIMUM (REPEITIVES), 19% MAXIMUM MOISTURE CONTENT; AS STRESS-GRADED BY WEST COAST LUMBER INSPECTION BUREAU (WCLB) & WESTERN WOOD PRODUCTS ASSOCIATION (WWPA).
2. SHEATHING, EXTERIOR WALLS: 1/2" DOUGLAS FIR PLYWOOD CDX EXTERIOR - APA PLYWOOD.
3. ROOF SHEATHING: 3/4" DOUGLAS FIR PLYWOOD, CDX EXTERIOR APA (DIMENSION AS NOTED ON DWGS)
4. SUB FLOOR: 3/4" DOUGLAS FIR PLYWOOD, C-D INTERIOR UNDERLAYMENT: 5/8" PLYWOOD UNDERLAYMENT GRADE INTERIOR - APA WITH EXTERIOR GLUE
5. BLOCKING, BRIDGING, NAULERS, AND FURRING: #1 COMMON DOUGLAS FIR SOUTHERN PINE OR HOLLO-CUT, BRIDGING TO BE 1 1/4" X 3" OR APPROVED EQUAL, AT 8'-0" O.C. MAXIMUM. LEDGER BOARDS WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED TIGHTLY.
6. DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING. ALL WOOD SILLS SET ON CONCRETE SHALL BE PRESSURE-TREATED ("WOLMANIZED" GRADE #1-33", OR EQUAL).
7. 2x12'S OVER ALL OPENINGS (UNLESS SHOWN OTHERWISE).
8. PROVIDE SOLID BLOCKING FOR BEARING POINTS OF ALL BEAMS AND COLLUMS. USE SLABS OF SLATE OR STEEL FOR LEVELING WOOD MEMBERS ON CONCRETE OR MASONRY. BEARING FOR ALL BEAMS SHALL BE FULL NOTCH OF THE BEAM.
9. SOFFITS: 1/2" MEDIUM DENSITY OVERLAP PLYWOOD EXTERIOR GLUE WITH CONTINUOUS ALUMINUM SCREENED VENT.
10. NAULING: ALL NAULING TO BE COMPLETED IN ACCORDANCE WITH NEW YORK STATE RESIDENTIAL CODE.
11. GANG-LAM LVL: GANG-LAM LVL'S SHALL BE AS MANUFACTURED BY PSI COMPONENTS OR APPROVED EQUAL. MEMBERS SHALL BE 2800 PSI MINIMUM IN BENDING - 2.0E GRADE.
12. NOTCHING AND HOLES IN JOISTS AND BEAMS: NOTCHING AND BORED HOLES IN JOISTS AND BEAMS FOR PLUMBING PIPING, HEATING PIPING, ELECTRICAL CONDUITS, ETC ARE PERMITTED PROVIDED THAT THEY COMPLY WITH THE NEW YORK STATE BUILDING CODE MANUAL - PART 3, PAGE 91. VERIFY SIZES AND LOCATIONS OF EXCESSIVE NOTCHING AND BORED HOLES THAT MAY BE REQUIRED WITH ARCHITECT PRIOR TO CREATING THE NOTCHES.
13. ALL MULTIPLE-MEMBER BEAMS OR JOISTS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D NAILS @ 12" ON CENTER AT TOP AND BOTTOM.
14. ALL WINDOW & DOOR OPENINGS TO HAVE MINIMUM 8d JACK STUDS IN STRICT ACCORDANCE WITH STATE CODE PERMITS.

FINISH CARPENTRY

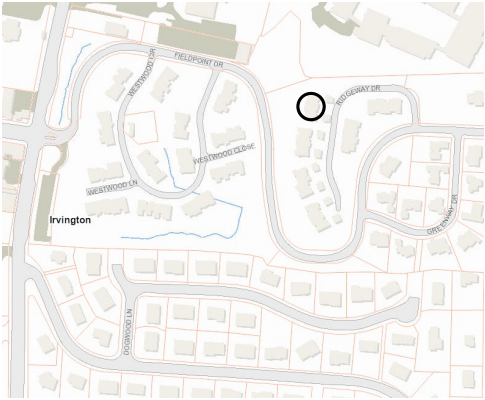
1. INTERIOR AND EXTERIOR TRIM (MOLDINGS, CASINGS, CORNICES, BASES, ETC.), OTHER THAN STAINED OR PREFINISHED, SHALL BE NO. 1 KILN DRIED WHITE PONDGROUSE PINE. MATCH EXISTING PROFILES OR INSTALL NEW AS NOTED ON DWGS.
2. SURFACES OF INTERIOR PARTITIONS AND INTERIOR OF EXTERIOR WALLS AND CEILINGS SHALL BE 1/2" DRYWALL BOARD (TYPE X, FIRE CODE, WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY CODE) SCAINED WITH 1 1/4" TYPE W DRYWALL SCREWS PER MANUFACTURER'S RECOMMENDATIONS, TAPED 3 COATS AND SANDED, READY FOR FINAL FINISH. PROVIDE METAL CORNER BEADS AND OTHER DRYWALL ACCESSORIES AS REQ'D.

DOORS, WINDOWS & HARDWARE

- A. DOORS: DOORS SHALL BE AS INDICATED ON DWGS, OR/AND AS MFR'D. BY MORGAN OR APPROVED EQUAL, STYLE AS NOTED ON DWGS, OR AS SELECTED BY OWNER.
1. ALL EXTERIOR DOORS SHALL BE FITTED WITH ALUMINUM WEATHERSTRIPPING. PROVIDE COMBINATION ALUMINUM STORM/SCREEN DOOR AT ALL SING TYPE EXTERIOR DOORS.
- B. DOOR HARDWARE SHALL BE SCHLAGE OR APPROVED EQUAL IN DESIGN & PATTERN AS SELECTED BY OWNER. CONTRACTOR SHALL COORDINATE SELECTION & BUDGET FIGURE WITH THE OWNER.

ELECTRICAL

- A. PROVIDE & INSTALL ALL ELECTRICAL WORK. ALL WORK SHALL CONFORM WITH THE N.E.C., LOCAL UTILITY COMPANY, & ALL CODES & REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INSPECTIONS & PERMITS. FUTURE SELECTION BY THE OWNER. ALL ELECTRICAL WORK SHALL BE DONE BY AN ELECTRICIAN, LICENSED TO WORK IN WESTCHESTER COUNTY, NY.
- B. RELOCATE AND/OR REPLACE EXISTING WIRING, SWITCHES, OUTLETS & LIGHTING TO CONFORM TO NEW LAYOUT REQUIREMENTS, (OR AS CO-ORDINATED WITH OWNER)
- C. VERIFY CAPACITY OF EXISTING INCOMING SERVICE & MAIN PANEL BOX. REWIRE/REPLACE AS REQUIRED.
- D. CONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES AS SPECIFIED ON DWGS, OR AS CO-ORDINATED WITH OWNER. CO-ORDINATE SELECTION & BUDGET FIGURE FOR SWITCHES AND RECEPTACLES WITH THE OWNER.



LOCATION PLAN

2020 ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

2020 STRETCH ENERGY CODE OF NEW YORK STATE

BUILDING TYPE:	EXISTING MULTI-FAMILY RESIDENCE
DESIGN DEGREE DAYS:	5,750 (WESTCHESTER COUNTY)
CLIMATE ZONE:	4

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT	MIN. R-VALUE	MAX. U-VALUE
FENESTRATION	N/A	U=0.35
SKYLIGHTS	N/A	U=0.35
CEILING	R=38	
WOOD FRAME WALLS	R=13	
MASS WALL (g)	R=5-10g	
FLOOR	R=19	
BASEMENT WALL	R=10 / 13	
SLAB	10.2	
CRACK, SPACE WALL	R=10 / 13	

I, MATTHEW BEHRENS, ARCHITECT, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE SECTIONS OF THE 2020 NEW YORK STATE ENERGY CONSERVATION AND CONSTRUCTION CODE - AS WELL AS THE 2020 STRETCH ENERGY CODE OF NEW YORK STATE

DESIGN LIVE LOAD

MINIMUM REQUIREMENTS :

FIRST FLOOR :	40 PSF
SECOND FLOOR :	30 PSF
ATTIC FLOOR (WITH STORAGE) :	20 PSF
ROOF LOAD :	30 PSF
SOIL BEARING CAPACITY :	2 TONS / SQ FT

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2 (1)									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FIRST DEPTH	LINE TERMINATE	DECAY			
45 PSF	90 - 100 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7° F	YES	NO

ALL PROPOSED WORK IS IN COMPLIANCE WITH
NEW YORK STATE RESIDENTIAL CODE 2020 AND NYS SUPPLEMENT 2019

NO.	DATE	REMARKS

INTERIOR and EXTERIOR ALTERATIONS:

BELTRANO RESIDENCE

61 RIDGEWAY DRIVE

IRVINGTON, NY

COVER SHEET
GENERAL NOTES

PROJ. NO. 410

DATE : SEPT 22, 2022

SCALE : AS NOTED

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689

A-0

SYMBOLS LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO REMOVAL OF ANY CONSTRUCTION ELEMENTS. COLOR FINISHES TO BE MATCHED AND REPAIRING ALL SURFACES AFFECTED BY DEMOLITION. -SEE DEMOLITION NOTES SHEET 1-1
- NEW CONSTRUCTION
- ALL EXTERIOR WALLS SHALL BE 2X6 WOOD STUDS AT 16" ON CENTER FROM FLOOR TO TOP OF PLATE. EXTERIOR FACE TO RECEIVE 5/4" TOWARD WEATHERING AND EXTERIOR FINISH TO MATCH EXISTING. INTERIOR FACE SHALL RECEIVE 1/2" OSB BOARD PREPARED AS REQUIRED TO RECEIVE NEW PAINT FINISH.
- EXTERIOR WALLS SHALL BE INSULATED WITH FULL THICK R-24 OPEN CELL SPRAY FOAM INSULATION.
- ALL NEW CONSTRUCTION SHALL MATCH AND ALIGN WITH ADJACENT SURFACES.
- ALL WALLS SHALL BE FIRE-STOPPED WITH HORIZONTAL WOOD STUDS AT THE MID-POINT OF WALL HEIGHT.
- NEW DOOR SYMBOL LETTER CORRESPONDS TO REFERENCE LETTER IN DOOR SCHEDULE
- NEW WINDOW SYMBOL LETTER CORRESPONDS TO REFERENCE LETTER IN WINDOW SCHEDULE
- SECTION / DETAIL REFERENCE

CODE COMPLIANCE NOTE:

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTION SYSTEM IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE. ANY MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE.

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE CURRENTLY IN EFFECT.

APPLICABLE CODES AND PROVISIONS:

- 2020 NEW YORK STATE BUILDING CODE and NOVEMBER 2019 ADDITION
- 2020 NEW YORK STATE STRETCH ENERGY CODE
- NATIONAL ELECTRICAL CODE NFPA 70 2014 EDITION
- NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: Type 5a
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

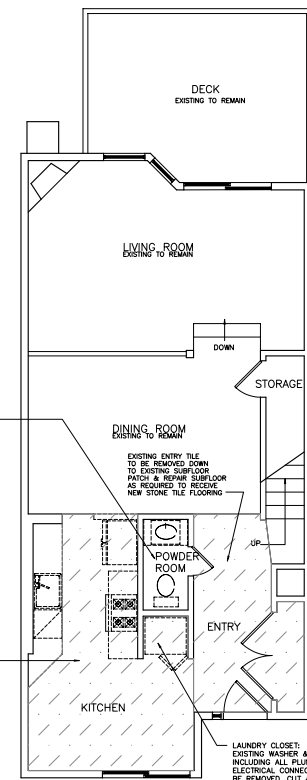
SAFETY GLAZING:
GLASS SURFACES (WINDOWS & SHOWER ENCLOSURES) LOCATED IN ANY HAZARDOUS AREAS MUST BE FULLY TEMPERED GLASS. HAZARDOUS AREAS INCLUDE: STAIR LANDINGS; WALKING AREAS WHERE GLASS IS LESS THAN 16" ABOVE THE ADJACENT FLOOR AREA and WET AREAS SUCH AS SHOWERS AND BATHTUBS.

NO.	DATE	REMARKS
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INTERIOR and EXTERIOR ALTERATIONS
BELTRANO RESIDENCE
61 RIDGEWAY DRIVE IRVINGTON, NY

FIRST FLOOR DEMOLITION and CONSTRUCTION PLANS
DATE : SEPT 22, 2022
SCALE : AS NOTED

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689



POWDER ROOM DEMOLITION

EXISTING VANITY CABINETS AND SINK TO BE REMOVED AND REPLACED IN-HAND (EX TOILET TO REMAIN). ADJUST PLUMBING AS REQUIRED TO ACCOMMODATE NEW FIXTURES.

PREPARE EXISTING WALL FINISHES TO RECEIVE NEW PAINTED FINISH.

EXISTING FLOORING TO BE REMOVED DOWN TO EXISTING SUBFLOOR. PATCH / REPAIR AND LEVEL SUBFLOOR TO RECEIVE NEW STONE TILE FLOOR AS DIRECTED BY OWNER.

MAINTAIN EXISTING LIGHT FIXTURES INCLUDING EXISTING EXHAUST FAN.

ALL EXISTING ELECTRICAL FIXTURES AND DEVICES TO BE REPLACED WITH NEW -SEE CONSTRUCTION PLAN & ELEVATIONS.

KITCHEN DEMOLITION

ALL EXISTING CABINETS AND APPLIANCES TO BE REMOVED THROUGHOUT. -SAVE APPLIANCES FOR RE-USE AS DIRECTED BY OWNER.

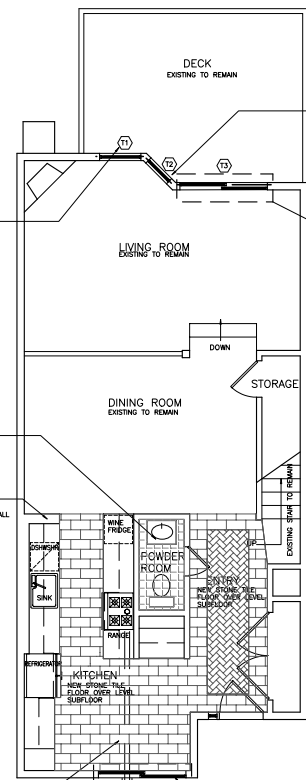
MODIFY & RELOCATE PLUMBING AND ELECTRICAL SERVICES AS REQUIRED BY NEW FIXTURE AND APPLIANCE LOCATIONS -SEE CONSTRUCTION PLAN & ELEVATIONS.

ALL WALL AND CEILING FINISHES TO BE REMOVED - PATCH & REPAIR AS REQUIRED TO PROVIDE NEW LEVEL FINISH AND PREPARE AS NEEDED TO RECEIVE NEW FINISHES AS DIRECTED.

EXISTING FLOORING TO BE REMOVED DOWN TO EXISTING SUBFLOOR BELOW PATCH / REPAIR AND SUBFLOOR AS REQUIRED TO RECEIVE NEW STONE TILE FLOORING AS DIRECTED BY OWNER.

ALL EXISTING ELECTRICAL FIXTURES AND DEVICES TO BE REMOVED INCLUDING ALL BRING BACK TO EXISTING SERVICE PANEL.

NEW KITCHEN INSTALLATION NOTE :
ALL NEW KITCHEN CABINETS AND APPLIANCES SHALL BE PROVIDED BY OWNER'S KITCHEN SUPPLIERS.
CONTRACTOR SHALL ACCEPT DELIVERY AND INSTALL CABINETS PER SUPPLIER'S DIRECTION. CONTRACTOR SHALL PROVIDE ALL ELECTRICAL, PLUMBING AND VENT HOOK-UPS FOR ALL NEW APPLIANCES IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTION. COORDINATE ALL REQUIREMENTS WITH OWNER AND SUPPLIER.



PROVIDE AND INSTALL - NEW TRANSOM WINDOWS ABOVE EXISTING WINDOWS AND DOORS - NEW TRANSOMS TO MATCH EXISTING - SEE ELEVATIONS

POWDER ROOM VANITY & SINK AND NEW TILE FLOORING. MAINTAIN EXISTING TOILET, LIGHT FIXTURES AND MIRROR - SEE ELEVATIONS & DETAILS

CONTRACTOR TO INVESTIGATE CONDITIONS OF THIS WALL. REDUCE DIMENSIONS OF THE WALL TO PROVIDE MAXIMUM OPENING -VERIFY CONDITIONS IN FIELD

CONTRACTOR TO CONFIRM - EXISTING EXHAUST DUCT ROUTE TO EXTERIOR. PROVIDE ANY NECESSARY REPAIRS TO DUCT AND VENT CAPS BEFORE CONNECTING TO NEW EXHAUST HOOD

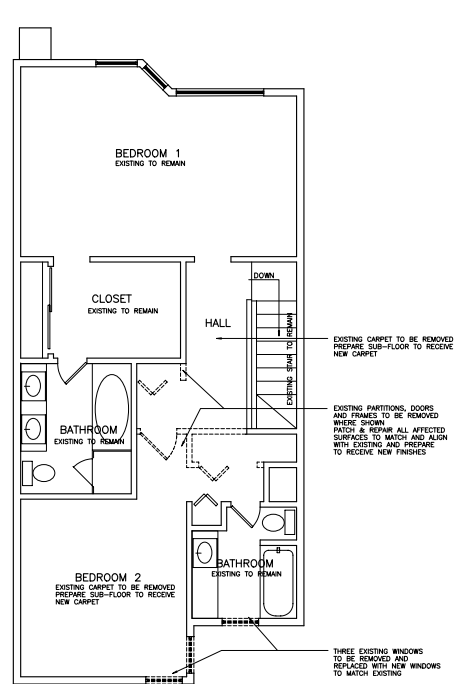
RE-FRAME EXISTING OPENINGS TO ACCEPT NEW TRANSOM WINDOWS. EXISTING HEADERS TO BE RE-USED IN NEW LOCATIONS (BASIC TRANSOMS). PROVIDE NEW EXTENDED JACK STUDS TO SUPPORT RELOCATED HEADERS - VERIFY CONDITIONS IN FIELD (TYPICAL AT 3 LOCATIONS)

EXISTING SLIDING GLASS DOOR TO BE REMOVED. REPAIR ALL DAMAGED SURFACES. RE-LEVEL AND RE-INSTALL DOOR.

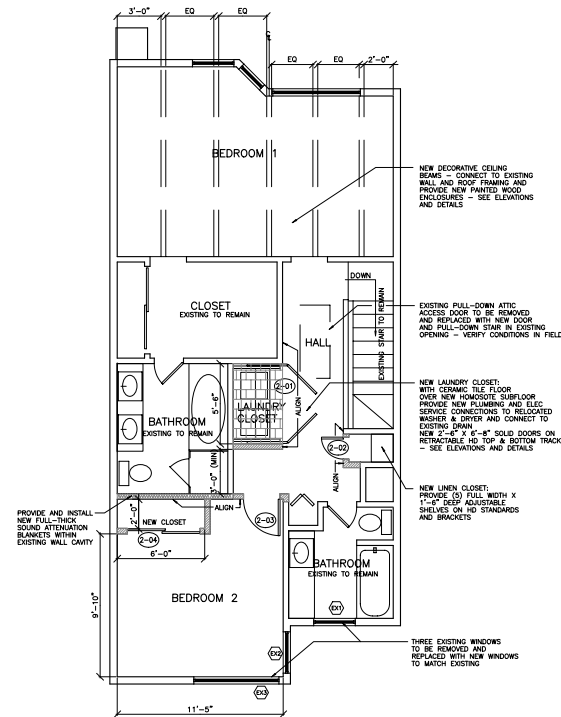
EXISTING SLIDING GLASS DOOR TO BE REMOVED AND REPLACE WITH NEW ALUMINUM & GLASS SLIDING DOOR TO MATCH EXISTING.

FIRST FLOOR -
DEMOLITION PLAN
SCALE : 1/4" = 1'-0"

FIRST FLOOR -
CONSTRUCTION PLAN
SCALE : 1/4" = 1'-0"



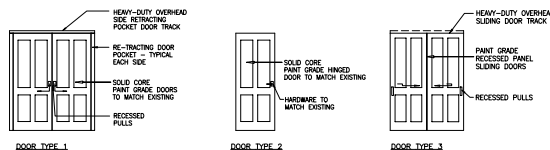
SECOND FLOOR - DEMOLITION PLAN
SCALE : 1/4" = 1'-0"



SECOND FLOOR - CONSTRUCTION PLAN
SCALE : 1/4" = 1'-0"

DOOR SCHEDULE						
No.	FRAME SIZE (W x H)	TYPE	DOOR	FRAME	SADDLE	REMARKS
2-01	5'-0" x 6'-8"	1	WOOD	WOOD	STONE	(1) PAIR RETRACTING POCKET DOORS ON HEAVY-DUTY TRACKS
2-02	1'-6" x 6'-8"	2	WOOD	WOOD	—	SINGLE HINGED DOOR TO MATCH EXISTING
2-03	2'-6" x 6'-8"	2	WOOD	WOOD	—	SINGLE HINGED DOOR TO MATCH EXISTING
2-04	5'-0" x 6'-8"	3	WOOD	WOOD	—	(1) PAIR SLIDING CLOSET DOORS ON HEAVY-DUTY TRACKS

DOOR NOTES :
ALL INTERIOR DOORS SHALL BE SOLID-CORE, RASSED PANEL, PAINT-GRADE DOORS TO MATCH EXISTING (UNLESS NOTED OTHERWISE).
ALL HINGED DOORS TO RECEIVE (1) PAIR BUTT HINGES (STANLEY OR EQUAL) PER LEAF - AND RESIDENTIAL GRADE LATCH / LOCKSETS FINISH HARDWARE STYLE AND FINISH TO MATCH EXISTING OR AS SELECTED BY OWNER - PROVIDED AND INSTALLED BY CONTRACTOR
CONTRACTOR SHALL PREPARE DOORS TO RECEIVE NEW SEM-GLOSS PAINTED PRIMER OR STAIN AS DIRECTED BY OWNER
ALL NEW DOOR CASINGS AND TRIMS SHALL MATCH EXISTING
CONTRACTOR SHALL VERIFY SIZE AND TYPE IN FIELD



SYMBOLS LEGEND

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• 2020 NEW YORK STATE ENERGY CONSERVATION CONSTRUCTION CODE
• NATIONAL ELECTRICAL CODE, NFPA 70-2014 EDITION
• NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

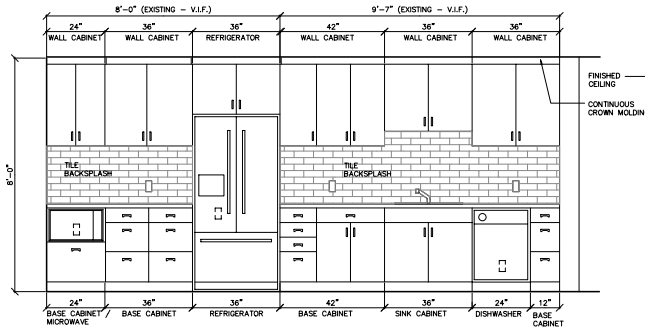
SAFETY GLAZING:
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NO.	DATE	REMARKS
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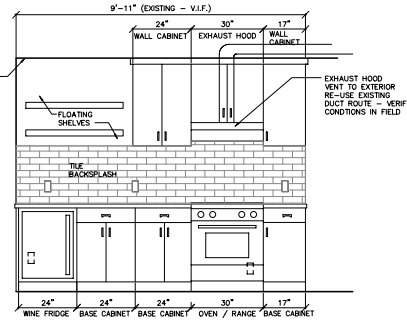
INTERIOR and EXTERIOR ALTERATIONS:
BELTRANO RESIDENCE
61 RIDGEWAY DRIVE IRVINGTON, NY

SECOND FLOOR
CONSTRUCTION & DEMOLITION PLANS
SCALE : AS NOTED

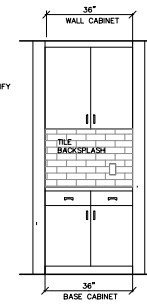
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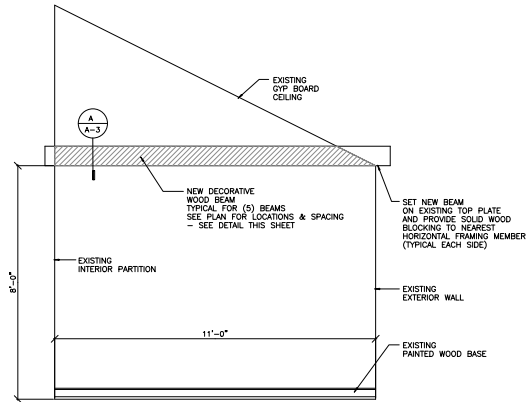
KITCHEN — ELEVATION #1
SCALE : 1/2" = 1'-0"



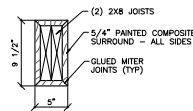
KITCHEN — ELEVATION #2
SCALE : 1/2" = 1'-0"



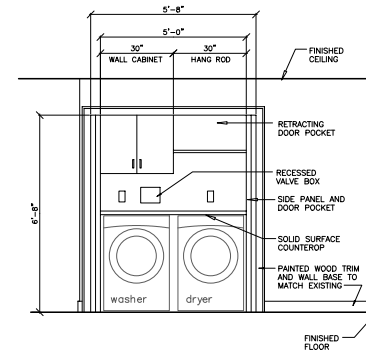
KITCHEN — ELEVATION #3
SCALE : 1/2" = 1'-0"



BEDROOM — DECORATIVE BEAM ELEVATION
SCALE : 1/2" = 1'-0"

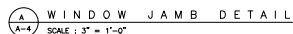
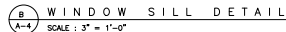
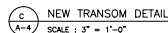
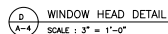


DECORATIVE BEAM DETAIL
SCALE : 1 1/2" = 1'-0"



LAUNDRY CLOSET ELEVATION
SCALE : 1/2" = 1'-0"

NO.	DATE	REMARKS
INTERIOR and EXTERIOR ALTERATIONS: BELTRANO RESIDENCE 61 RIDGEWAY DRIVE IRVINGTON, NY		
INTERIOR ELEVATIONS and DETAILS		PROJ. NO. 410 DATE : SEPT 22, 2022 SCALE : AS NOTED
MATTHEW BEHRENS ARCHITECT 25 BEDFORD ROAD SLEEPY HOLLOW, NY 10591 914-391-1689		A-3



WINDOW NOTES :

CONTRACTOR TO CONFIRM ALL ROUGH OPENING SIZES PRIOR TO ORDERING
ALL NEW WINDOWS SHALL MATCH EXISTING STYLE, SIZE AND FINISH
WITH CLEAR INSULATED GLASS (ANDERSEN OR EQUAL)

INSTALLATION SHALL INCLUDE MANUFACTURER'S STANDARD SCREENS (GREY)
SASH LIFT AND LOCKING HARDWARE. (HARDWARE FINISH TO MATCH EXISTING)

ALL EXPOSED WOOD SURFACES OF WINDOWS SHALL BE PREPARED AS REQUIRED (BY CONTRACTOR IN FIELD) TO RECEIVE NEW PAINTED FINISH

INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S
RECOMMENDATIONS

CONTRACTOR TO PROVIDE AND INSTALL NEW PAINTED WOOD WINDOW CASING TRIM AND SILLS TO MATCH EXISTING AT ALL NEW WINDOW LOCATIONS

"EGRESS WINDOWS" MEET OR EXCEED THE FOLLOWING DIMENSIONAL CRITERIA AS REQUIRED BY NYS RESIDENTIAL CODE:

MINIMUM CLEAR OPENABLE AREA OF 5 SQ FT
MINIMUM CLEAR OPENABLE WIDTH OF 20"
MINIMUM CLEAR OPENABLE HEIGHT OF 24"
MAXIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR

INTERIOR and EXTERIOR ALTERATIONS:

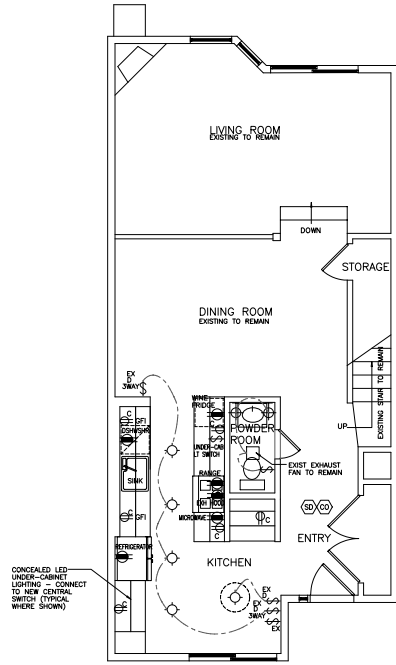
BELTRANO RESIDENCE

61 RIDGEWAY DRIVE

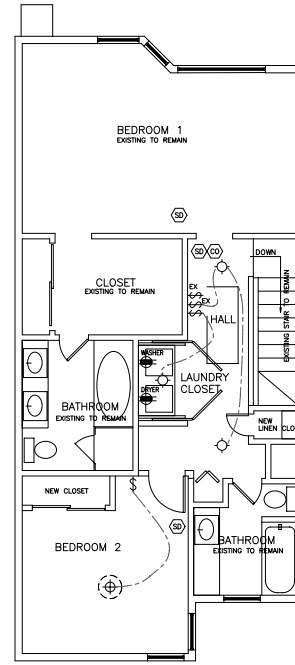
IRVINGTON, NY

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689

A-4










FIRST FLOOR –
POWER & LIGHTING PLAN
SCALE : 1/4" = 1'-0"





SECOND FLOOR –
POWER & LIGHTING PLAN
SCALE : 1/4" = 1'-0"

SYMBOLS LEGEND

-  DUPLEX COMMENCEMENT OUTLET MOUNTED @ 14" AFF (U.N.D.)
OUTLETS SHALL BE WHITE NYLON "200MA" OR EQUAL
GFI = GROUND FAULT OUTLET WHERE INDICATED
E = DENOTES EXISTING OUTLET LOCATION TO BE REPLACED WITH NEW DEVICE
-  DUPLEX OUTLET MOUNTED IN CABINETRY – OR BACKSPLASH
COLOR OF VISIBLE DEVICES & PLATES TO COORDINATE
WITH CABINET & BACKSPLASH COLOR
--COORDINATE LOCATIONS & REQ'S WITH CABINET DWGS
-  DESIGNATED SPECIALTY OUTLET AS NOTED
VERIFY REQUIREMENTS AND LOCATIONS WITH
EQUIPMENT MANUFACTURER
-  NEW RECESSED LED DOWNLIGHT
WITH MIN 75 WATT (EQUIVALENT) DIMMABLE LAMP –
4" APERTURE AND CLEAR REFLECTOR
--VERIFY FIXTURE TYPE & STYLE WITH OWNER
-  EXISTING SURFACE MOUNTED DECORATIVE
VANITY LIGHT FIXTURE TO BE REMOVED AND
REPLACED WITH NEW FIXTURE
FIXTURES SUPPLIED BY OWNER
CONTRACTOR TO VERIFY REQUIREMENTS
-  EXISTING CEILING MOUNTED DECORATIVE
PENDANT LIGHT FIXTURE TO BE REMOVED AND
REPLACED WITH NEW FIXTURE
FIXTURES SUPPLIED BY OWNER
CONTRACTOR TO VERIFY REQUIREMENTS
-  SINGLE POLE LIGHT SWITCH
WHITE NYLON "200MA" OR EQUAL
E = DENOTES EXIST SWITCH LOCATION WHERE NOTED
ALL EXISTING SWITCHES AND COVER PLATES
TO BE REPLACED WITH NEW
ALL NEW SWITCHES TO BE DIMMABLE
CONNECTING LINES INDICATE LIGHT SWITCH ASSIGNMENTS

CODE COMPLIANCE NOTE:

SMOKE and CARBON MONOXIDE DETECTOR NOTE:
PROVIDE NEW SMOKE / CARBON MONOXIDE
DETECTORS THROUGHOUT AS INDICATED –
ALL NEW DETECTOR DEVICES TO BE
INSTALLED PER NYS CODE AND INTER-CONNECTED
TO A HARD-WIRED MASTER DEVICE

-  NEW CEILING-MOUNTED BATTERY OPERATED
SMOKE DETECTOR / ALARM
-  NEW CEILING-MOUNTED BATTERY OPERATED
CARBON MONOXIDE DETECTOR / ALARM

NO.	DATE	REMARKS

INTERIOR ALTERATIONS and EXTERIOR ALTERATIONS:
BELTRANO RESIDENCE
61 RIDGEWAY DRIVE IRVINGTON, NY

FIRST and SECOND FLOOR
POWER and LIGHTING PLANS

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689

PROJ. NO. 410
DATE : SEPT 22, 2022
SCALE : AS NOTED