

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	874	Date:	11/07/2022
Job Location:	3 BEECHWOOD RD	Parcel ID:	2.130-67-32
Property Owner:	Michael Sirota	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Steven Basini	Georg Mourad
SJB Architecture + Design	Trifecta Construction
18 Lakeview Avenue EastCortlandt Manor NY 10567	35 Halley Street Yonkers New York 10704
9144867187	9146563122

Description of Work

Type of Work:	Retaining Wall	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	5000.00	Property Class:	1 FAMILY RES

Description of Work

Erection of unlock retaining wall along side yard as per site plan and associated plantings.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 3 BEECHWOOD RD

Parcel Id: 2.130-67-32

AFFIDAVIT OF APPLICANT

I **Steven Basini** being duly sworn, depose and says: That s/he does business as: **SJB Architecture + Design** with offices at: **18 Lakeview Avenue East Cortlandt Manor NY 10567** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I **Michael Sirota** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number _____ Owner email address _____

- ☐ _____ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85

• Inspection Fees (as applicable)

- | | |
|--|--|
| • Insulation: \$50 | • Footing: \$50 |
| • Solid Fuel: \$50 | • Preparation for concrete slabs and walls: \$50 |
| • Foundation and footing drain: \$50 | • Framing: \$50 |
| • Energy Code Compliance: \$50 | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50 | • Fire resistant construction and penetrations: \$50 |
| • Footing: \$50 | • Final Inspection for C.O.: \$50 |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50 |

Total Inspections _____

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)Total _____

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

11/7/2022

RE: Randi Bleichfeld-Sirota and Michael Sirota

3 Beechwood Rd

Irvington NY 10533

To Village of Irvington,

This letter authorizes Steven Basini to file for a permit on behalf of Randi Bleichfeld-Sirota and Michael Sirota of 3 Beechwood Rd Irvington NY 10533.

Sincerely,

A handwritten signature in blue ink, appearing to read "R. Bleichfeld-Sirota".

Randi Bleichfeld-Sirota



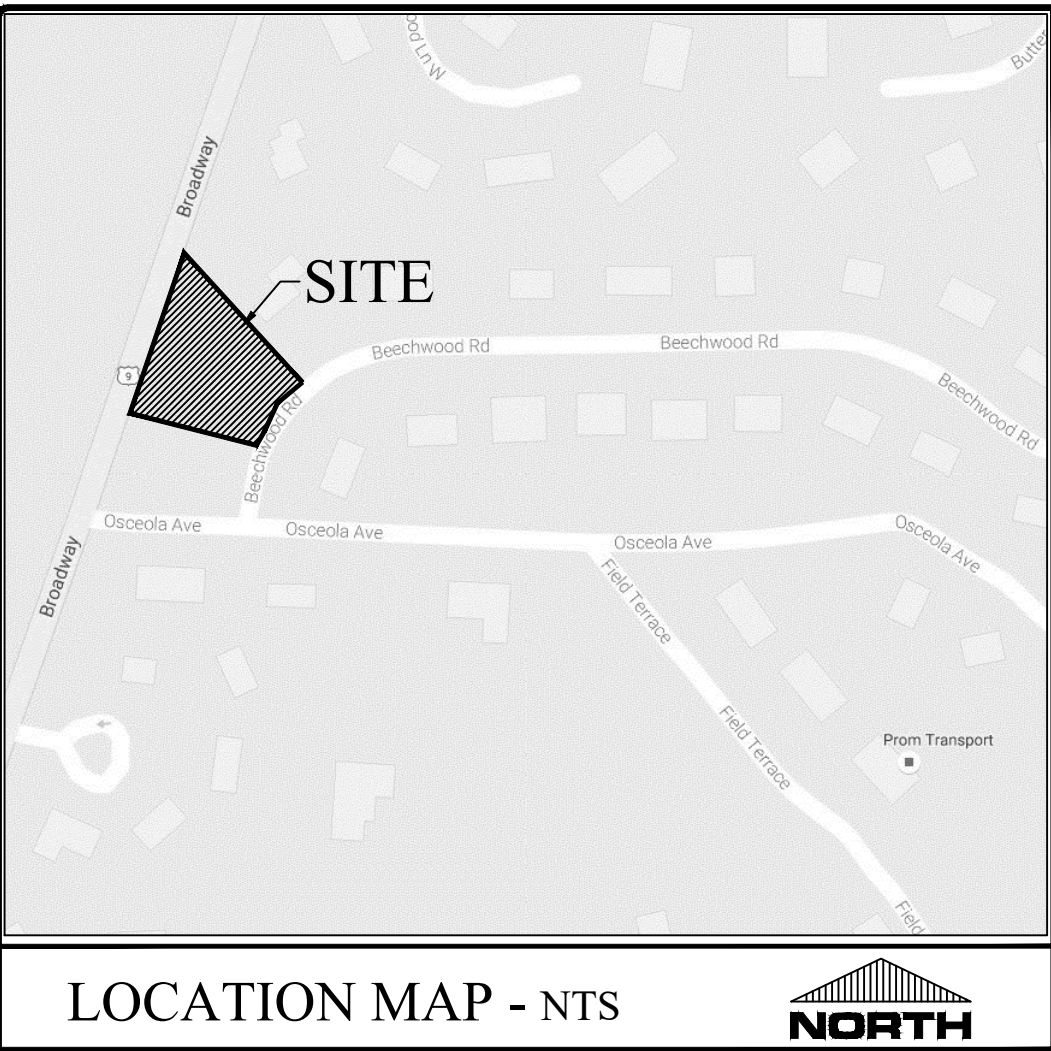
MANUFACTURER:
LIBERTYSTONE

STYLE:
CORNERSTONE 8"
STRAIGHTFACE

COLOR:
WILLOW

SIROTA RESIDENCE – 3 BEECHWOOD DRIVE, IRVINGTON, NY

(sample manufacturer image – not rendering)



PROJECT INFORMATION DATA:

- MUNICIPALITY: VILLAGE OF IRVINGTON
- VILLAGE TAX MAP DESIGNATION: SHEET: 2.130, BLOCK: 67, LOT 32
- TOTAL LOT AREA: 20,037.6 (0.46 ACRES)
- ZONING DISTRICT: 1F-20 (ONE FAMILY RESIDENCE)
- APPLICANT/OWNER: MICHAEL SIROTA & RANDI BLEICHFELD-SIROTA
- SITE LOCATION:
3 BEECHWOOD ROAD
IRVINGTON, N.Y. 10533
- SURVEY INFORMATION OBTAINED FROM SURVEY PREPARED BY:
EDWARD G MIHALCZO LAND SURVEYORS LLC
24 BERKSHIRE ROAD
YONKERS, N.Y. 10710
DATED FEBRUARY 3, 2015
- TOPOGRAPHIC INFORMATION FROM WESTCHESTER COUNTY GIS MAPS.

SPECIAL UNDERGROUND UTILITIES NOTE:

PRIOR TO ANY EXCAVATION ALL UNDERGROUND UTILITIES MUST BE LOCATED. CALL 1-800-962-7962, CODE RULE #753, www.digsafelynewyork.com

APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC AND WATER LINES ARE SHOWN ON THE SITE PLAN. CONTRACTOR SHALL NOT DISTURB EXISTING UTILITIES. PROVIDE SLEEVE AROUND WATER LINE THROUGH FOUNDATION WALL.

OIL TANK TO BE REMOVED AND RELOCATED AS STATED ON PLAN.

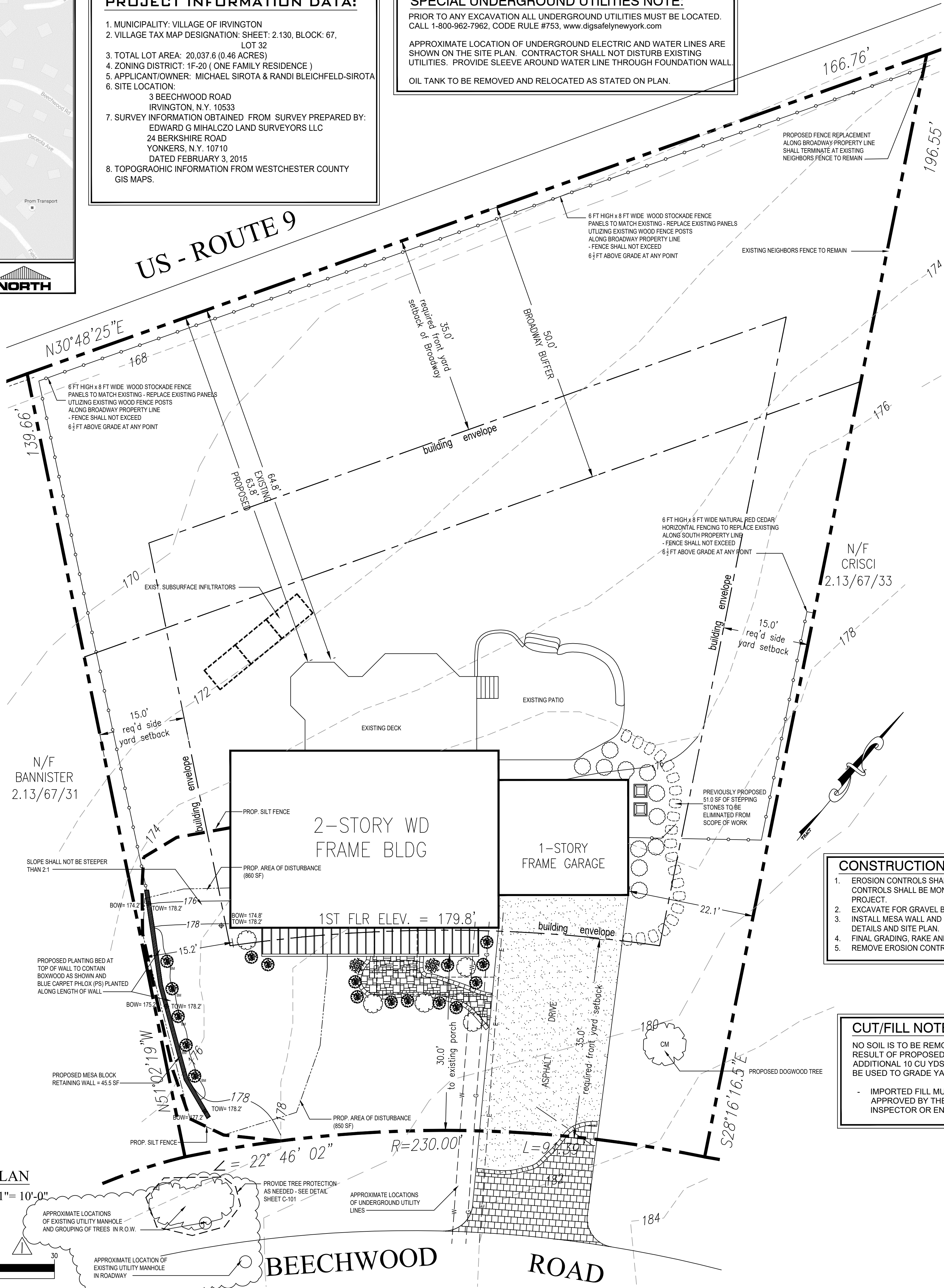


TABLE OF DIMENSIONAL REGULATIONS FOR 1F-20 ZONE				
ITEM	REQUIRED	EXISTING	PROPOSED	VARIANCE GRANTED
MINIMUM LOT AREA	20,000 S.F.	20,037.60 S.F.	20,037.60 S.F.	-
MINIMUM LOT WIDTH	100 FT.	90.70 FT.	90.7 FT.	-
MINIMUM LOT DEPTH	125 FT.	160.25 FT.	160.25 FT.	-
MINIMUM YARD SETBACKS				-
FRONT	35 FT.	30.9 FT.	30.0 FT.	5.0 FT. (Granted in 2021)
SIDE 1	15 FT.	15.02 FT.	15.02 FT.	-
SIDE 2	15 FT.	22.0 FT.	22.0 FT.	-
REAR (FRONT ON BROADWAY)	35 FT.	64.8 FT.	63.8 FT.	-
MAX. BUILDING COVERAGE	3,202 SF (16 %)	3,147.5 SF (15.7 %)	3,193 SF (15.9 %)	-
MAX. F.A.R.	4,007.5 SF (2)	2,907 SF (.145)	2,907 SF (.145)	-

BUILDING COVERAGE CALCULATION			
	EXISTING (SF)	ADDITION (SF)	EXIST. + ADDITION (SF)
HOUSE	1,897.0	0.0	1,897.0
REAR DECK + STAIRS	490.0	0.0	490.0
WALKWAY/STONES	100.0	0.0	100.0
PORCHES	165.0	0.0	165.0
AC	8.5	0.0	8.5
PATIO	487.0	0.0	487.0
RETAINING WALL	0.0	45.5	45.5
TOTAL	3,147.5	45.5	3,193.0
LOT AREA	20,037.6		20,037.6
BUILDING COVERAGE	15.7%		15.9 %

PROPOSED PLANTING SCHEDULE						
SYM.	SCIENTIFIC NAME	COMMON NAME	HEIGHT	SPREAD	PROPOSED	#
CM *	Cornus Rutgers	Stellar Pink Dogwood	15-30 ft	15-30 ft	2.5" caliper	1
BM	Buxus microphylla	Wintergreen Boxwood	2-4 ft	3-5ft	3 gallon	5
PS	Phlox Subulata	Blue Carpet Phlox	3-6 in	12-18 in	bareroot plant	20

* From previously approved Site Plan - to be planted on east side of Driveway to allow for proposed grading in front of house

GENERAL NOTES:

- INSPECTION OF EROSION CONTROLS BY THE VILLAGE BUILDING INSPECTOR IS REQUIRED PRIOR TO ANY EXCAVATION.
- PUBLIC ROADWAYS SHALL BE PROTECTED FROM MACHINERY AND DEBRIS.
- ANY CHANGES, ALTERATIONS, AND/OR MODIFICATIONS SHALL BE REVIEWED AND APPROVED BY THE VILLAGE BUILDING INSPECTOR, PRIOR TO PERFORMING SUCH WORK.

SPECIAL NOTES:

- THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL CONTACT THE OWNERS OF ALL UTILITIES AFFECTING THE SITE PRIOR TO THE START OF CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ASCERTAIN THE EXACT LOCATION OF UTILITIES FROM THE OWNERS PRIOR TO CONSTRUCTION. UNDERGROUND UTILITIES CALL CENTER OF NEW YORK (800-962-7962).
- CONTRACTOR SHALL AVOID ALL EXISTING UTILITIES, STRUCTURES, AND PLANTINGS THAT ARE TO REMAIN DURING CONSTRUCTION. ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE SHALL BE REPAIRED TO PROPERTY OWNER'S / UTILITY OWNER'S SATISFACTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL SITE CONDITIONS BOTH ABOVE AND BELOW THE SURFACE OF THE GROUND PRIOR TO COMMENCING WORK. FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.
- CONTRACTOR TO PROVIDE AND INSTALL ANY EROSION CONTROL DEVICES OR FACILITIES REQUIRED BY LOCAL JURISDICTIONS.

CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL APPLICABLE FEDERAL, STATE, AND VILLAGE OF IRVINGTON CODES, RULES AND REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ALL PERMITS AND PAYING ALL FILING FEES NECESSARY FOR THE PROPOSED WORK.
- IF CONTRACTOR ENCOUNTERS ANY WET AREA OF SOIL WHILE EXCAVATING OR DURING CONSTRUCTION HE SHALL NOTIFY THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING TRENCH WORK DURING CONSTRUCTION AGAINST COLLAPSE IN ACCORDANCE TO ALL APPLICABLE CODES, STANDARDS AND GOOD PRACTICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL PERSONS DURING CONSTRUCTION FROM HARM IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, AND GOOD PRACTICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING CONVENIENT ACCESS AND SAFE AND PROPER FACILITIES FOR THE INSPECTION OF ALL PARTS OF THE WORK.
- THE ENGINEER SHALL HAVE RIGHT TO ORDER THE REMOVAL OF DEFECTIVE WORK AND/OR MATERIAL AND UNAPPROVED WORK AND/OR MATERIAL. THE COST OF REMOVAL AND REPLACEMENT SHALL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING PROPERTIES AS A RESULT OF HIS WORK OR WORKMANSHIP. THE CONTRACTOR SHALL RESTORE TO EXISTING CONDITION ANY PROPERTY DAMAGED AS A RESULT OF HIS WORK OR WORKMANSHIP AT NO ADDITIONAL COST TO THE OWNER.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE ONLY AND SHALL BE DETERMINED EXACTLY IN THE FIELD BY THE CONTRACTOR PRIOR TO BEGINNING WORK.

VILLAGE NOTES:

- THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
- AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.

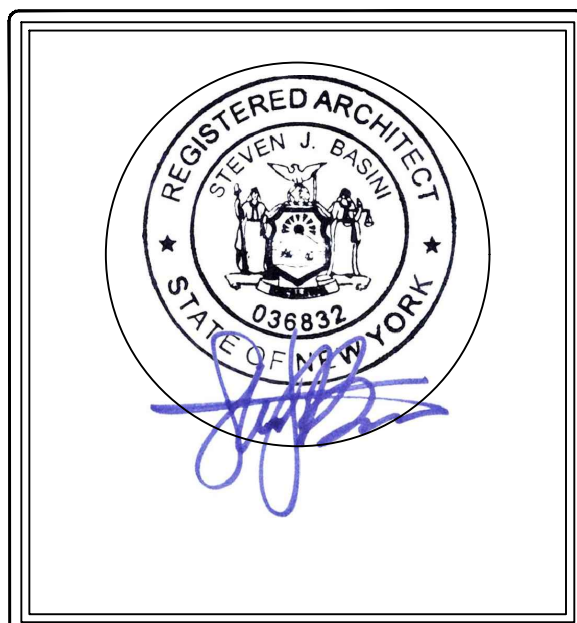
UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE N.Y.S. EDUCATION LAW.

THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ARCHITECT.

Drawn by: SJB
Checked by: SJB

Project #
Dwg. Date

Revisions
09/19/22 - PB REVISIONS



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF N.Y.S.

SJB
Architecture + Design
sjbarchdesign.com
914.402.1701
Cortlandt Manor, NY

Client:
Michael Sirota & Randi Bleichfeld-Sirota
3 Beechwood Road, Irvington, NY 10533

Project:
DECK ADDITION, PATIO AND FRONT PORCH

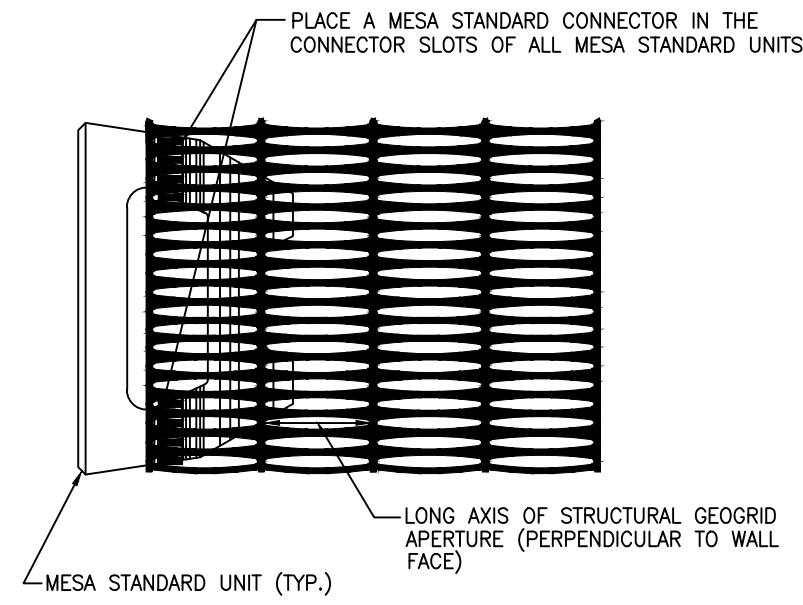
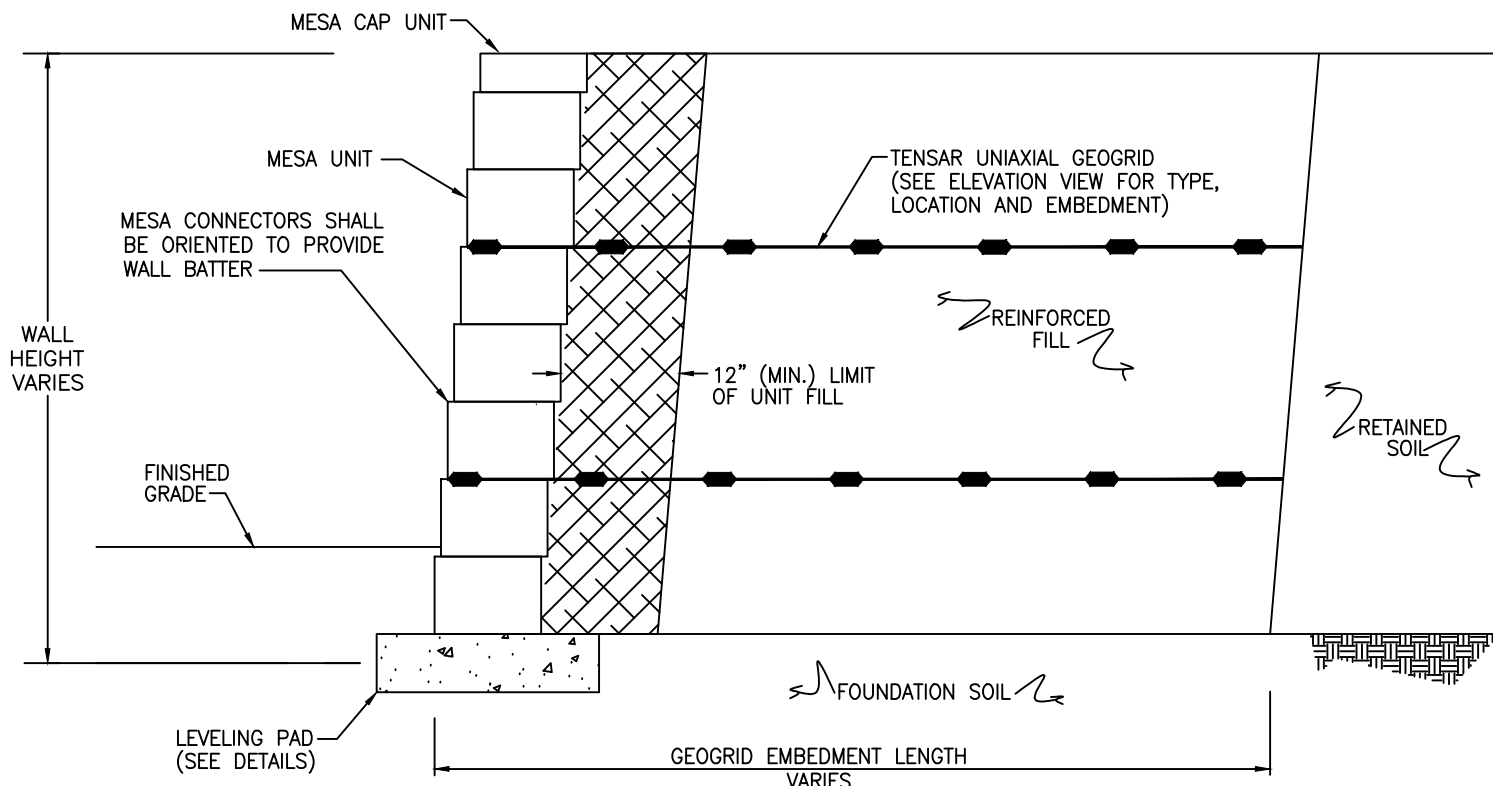
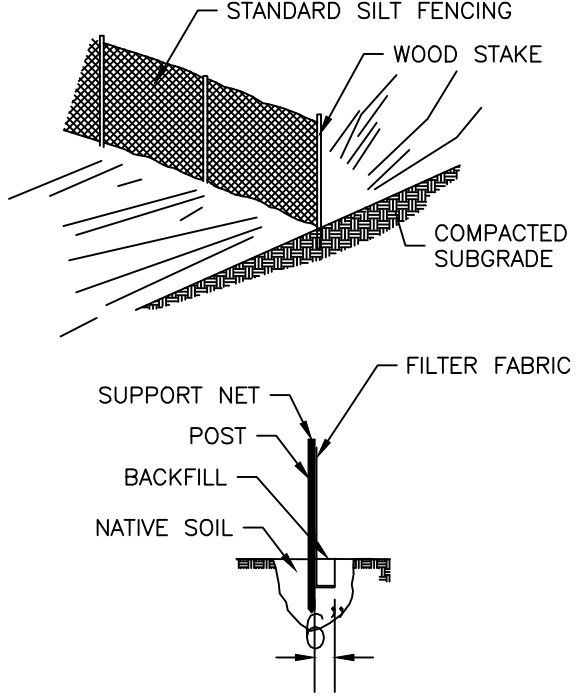
3 Beechwood Road
Irvington, NY 10533

Dwg. Name:
PROPOSED SITE PLAN
ZONING DATA
GENERAL NOTES

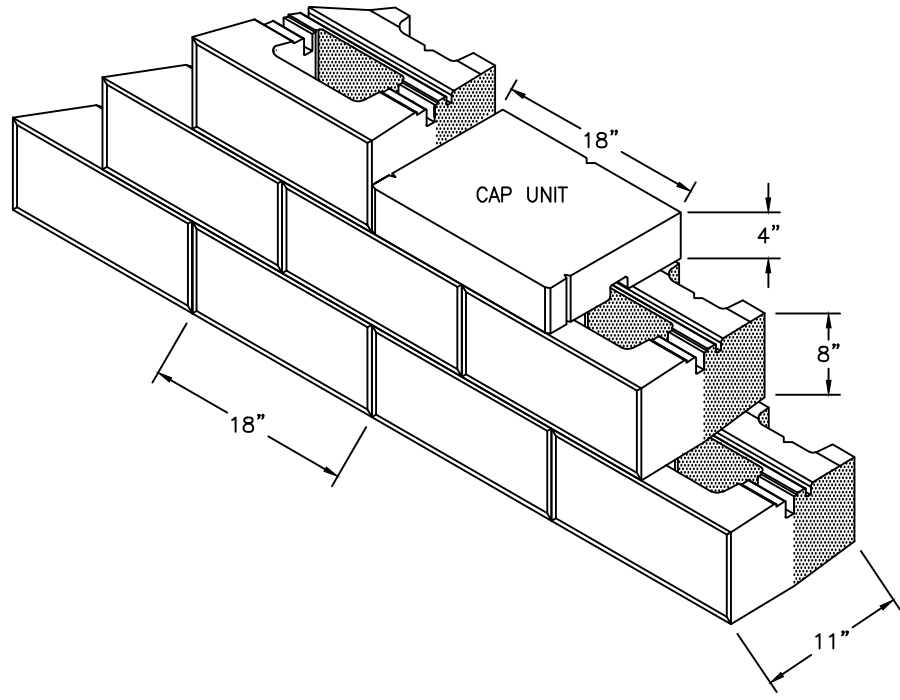
Sheet #:
C-100

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL NOTIFY THE VILLAGE BUILDING INSPECTOR THE START-UP DATE AT LEAST 5 DAYS PRIOR TO START OF ANY WORK.
2. PRIOR TO THE START OF CONSTRUCTION, EROSION CONTROL DEVICES SHALL BE IN PLACE AS SHOWN ON THESE PLANS. CONTRACTOR SHALL NOTIFY THE VILLAGE BUILDING INSPECTOR FOR AN INSPECTION AT LEAST 2 DAYS PRIOR TO COMPLETION OF THE INSTALLATION.
3. CONTRACTOR SHALL INSPECT EROSION CONTROL DEVICES AFTER EACH RAINFALL AND THEY SHALL BE CLEANED, REPAIRED OR REPLACED AS NECESSARY. INSPECTION SHALL BE DOCUMENTED IN WRITING AND SUBMITTED TO THE VILLAGE BUILDING INSPECTOR.
4. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL.
5. THE BUILDING INSPECTOR MAY AT HIS DISCRETION, REQUIRE ADDITIONAL EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION TO MITIGATE UNFORESEEN EROSION AND SILTATION.

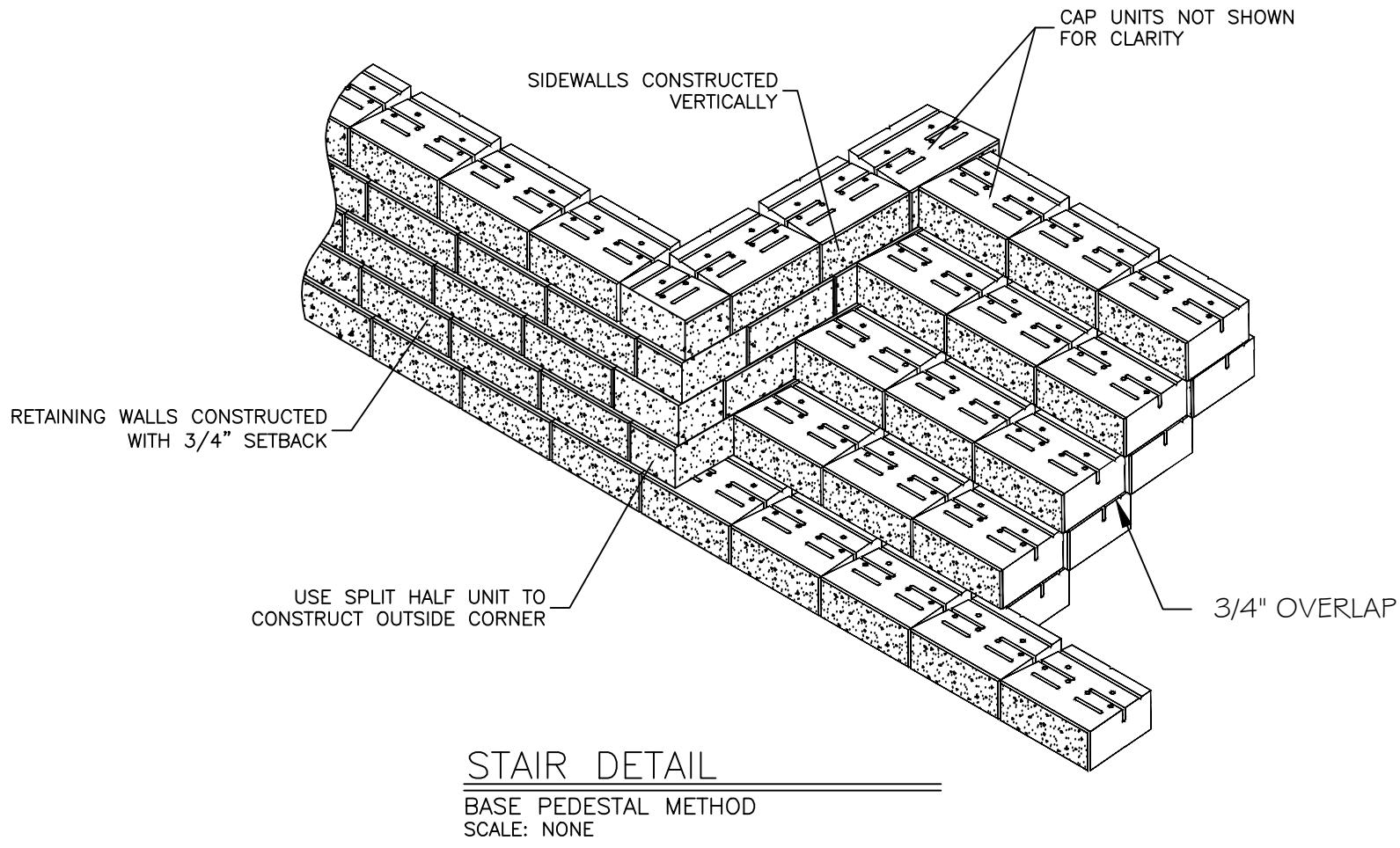


GEORGRID ORIENTATION
NOT TO SCALE

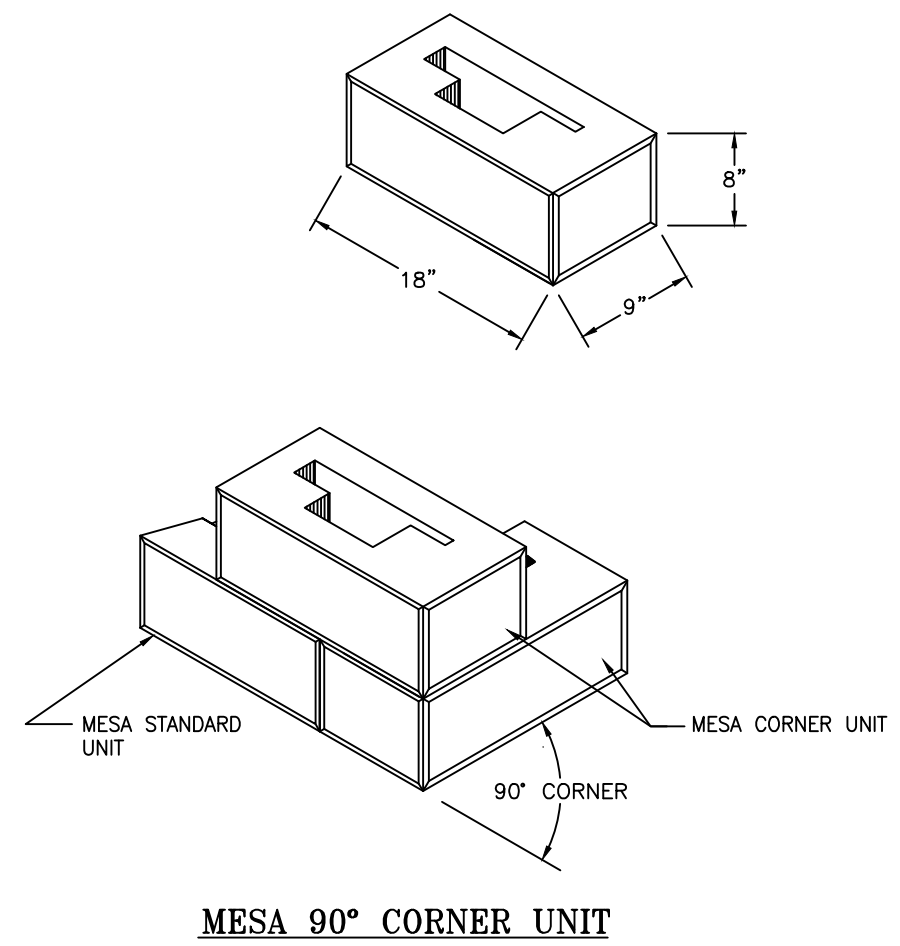
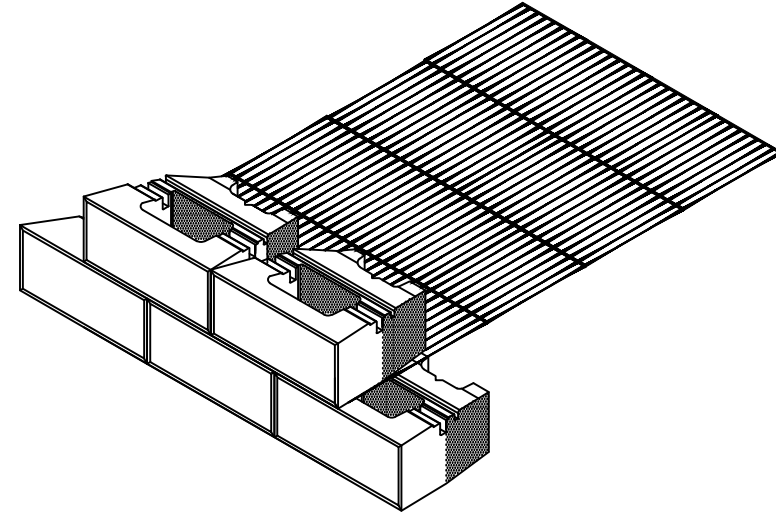
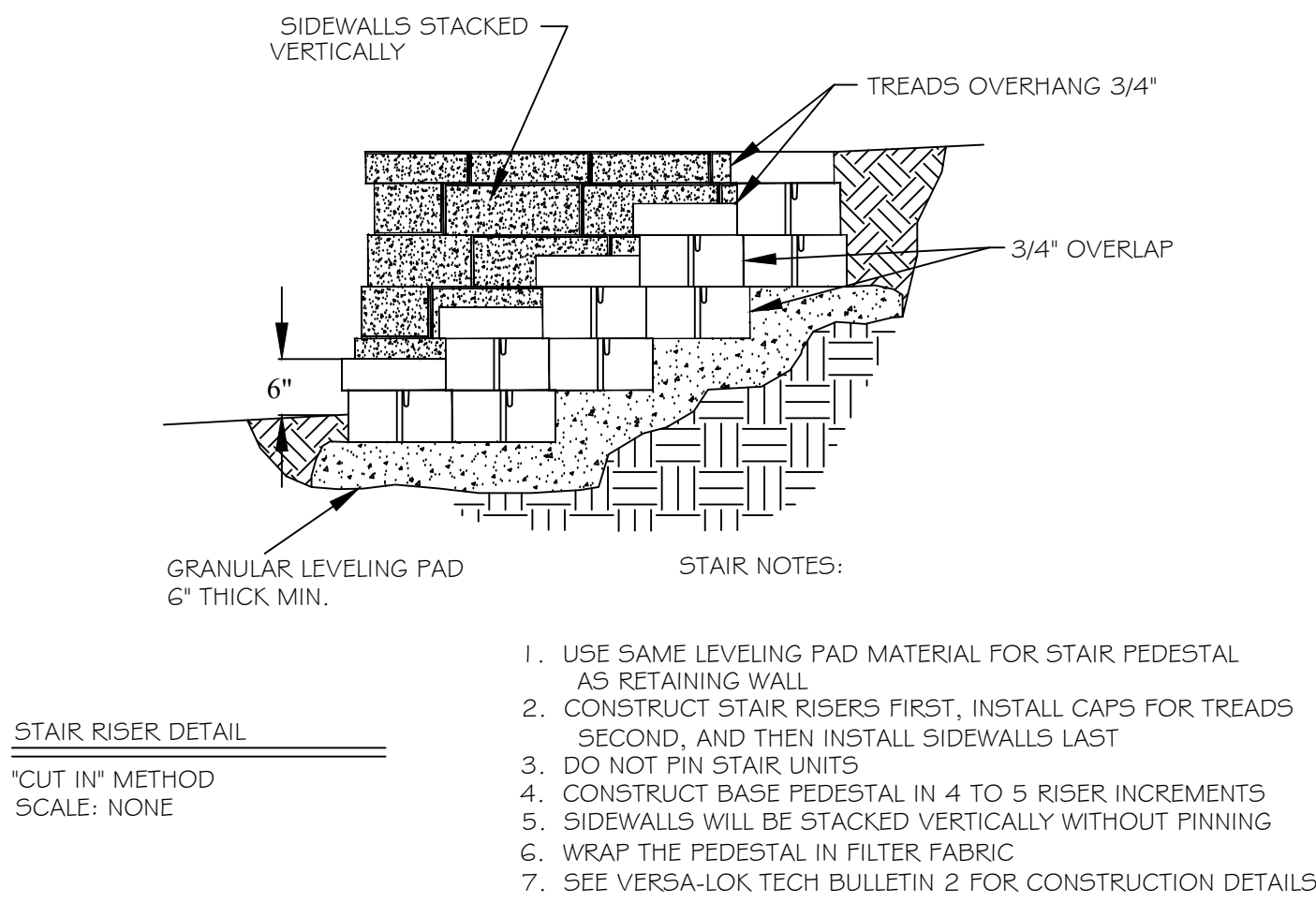


MESA STANDARD UNIT &
CAP UNIT ISOMETRIC
NOT TO SCALE

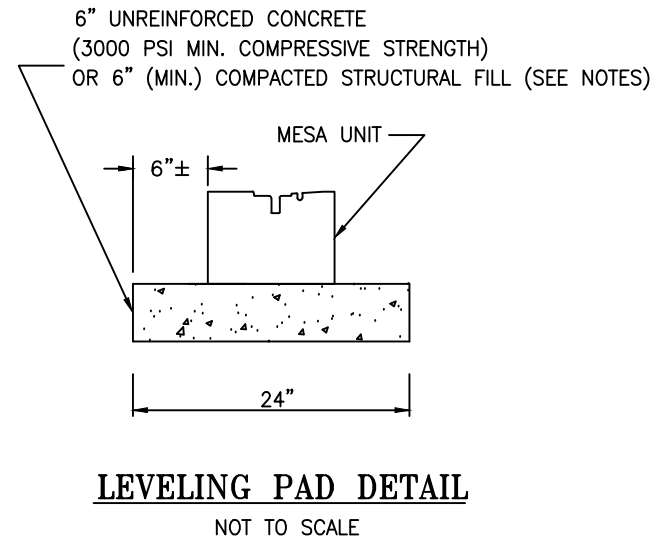
SILT FENCING
NTS



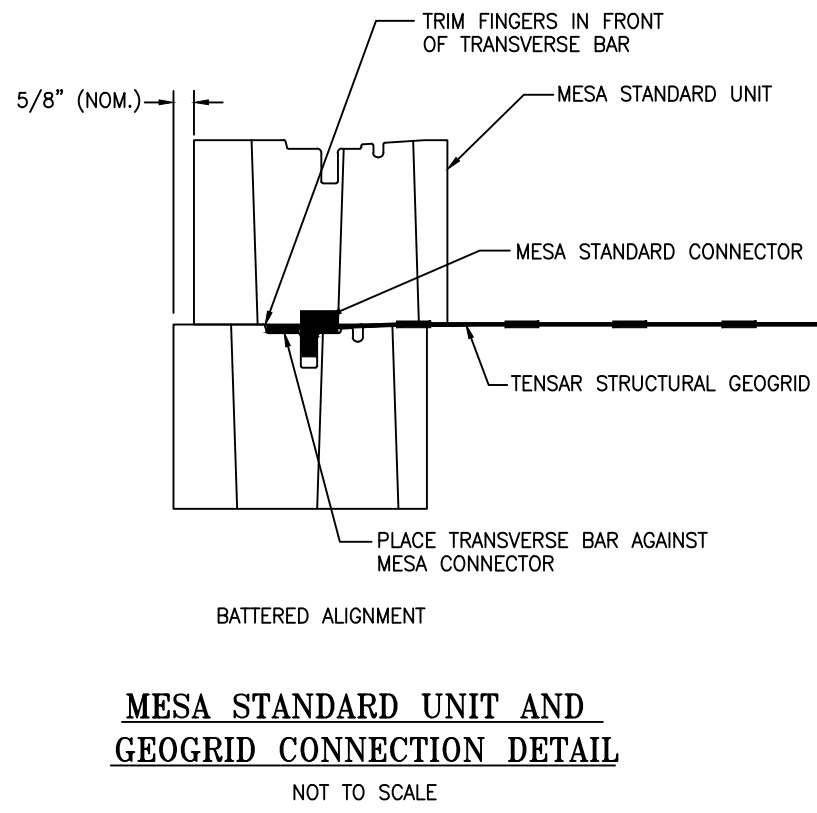
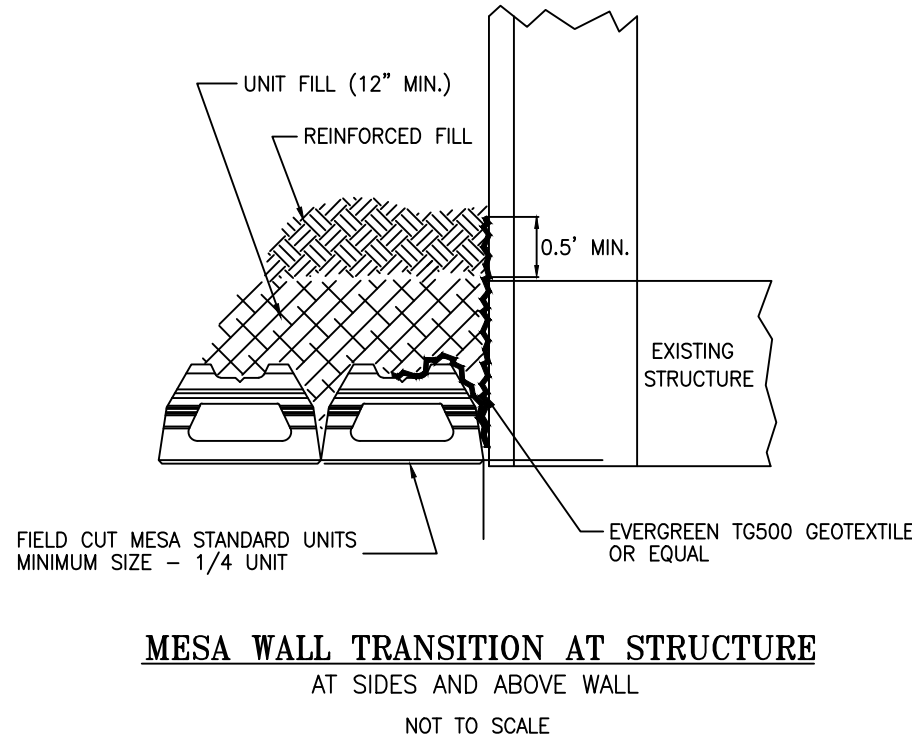
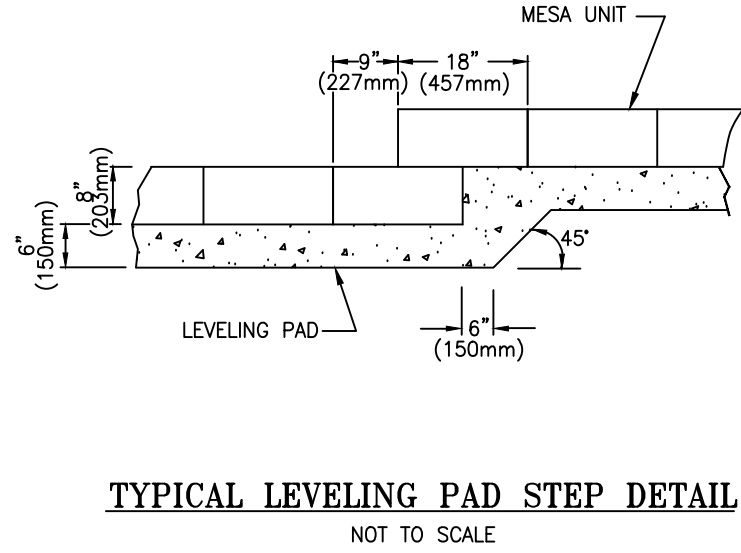
TYPICAL CROSS-SECTION
SCALE: 1 : 1



MESA 90° CORNER UNIT

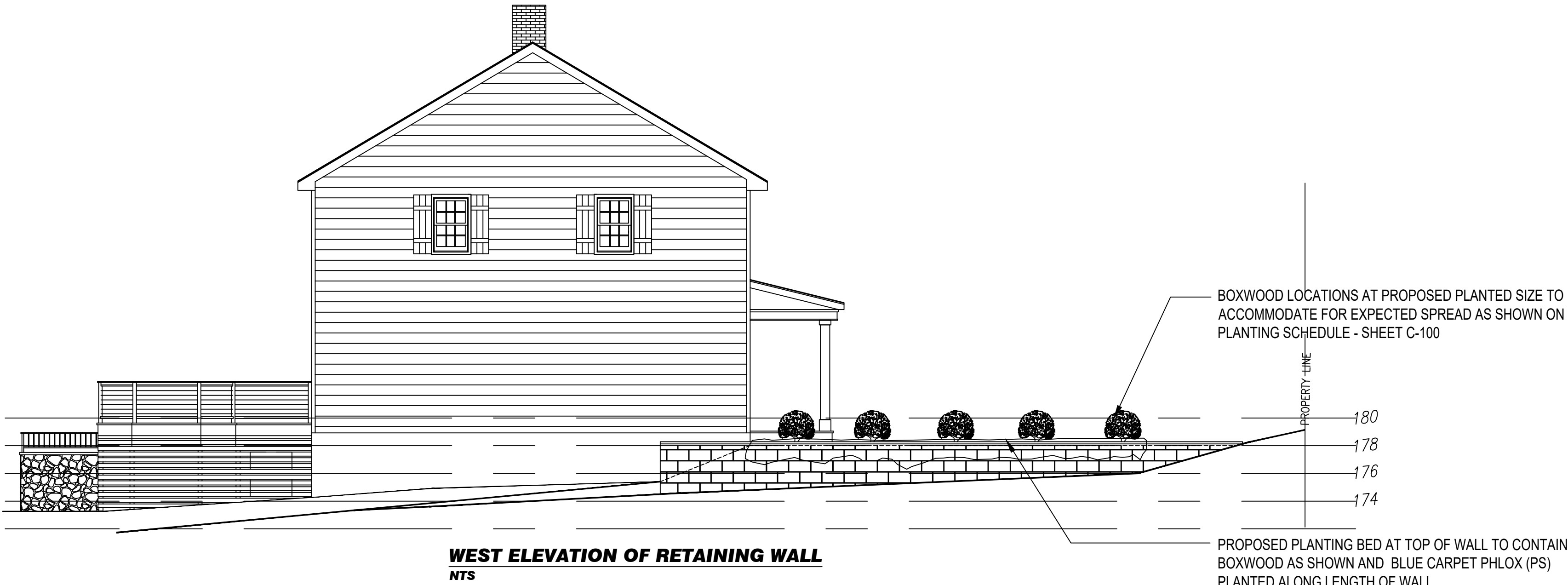
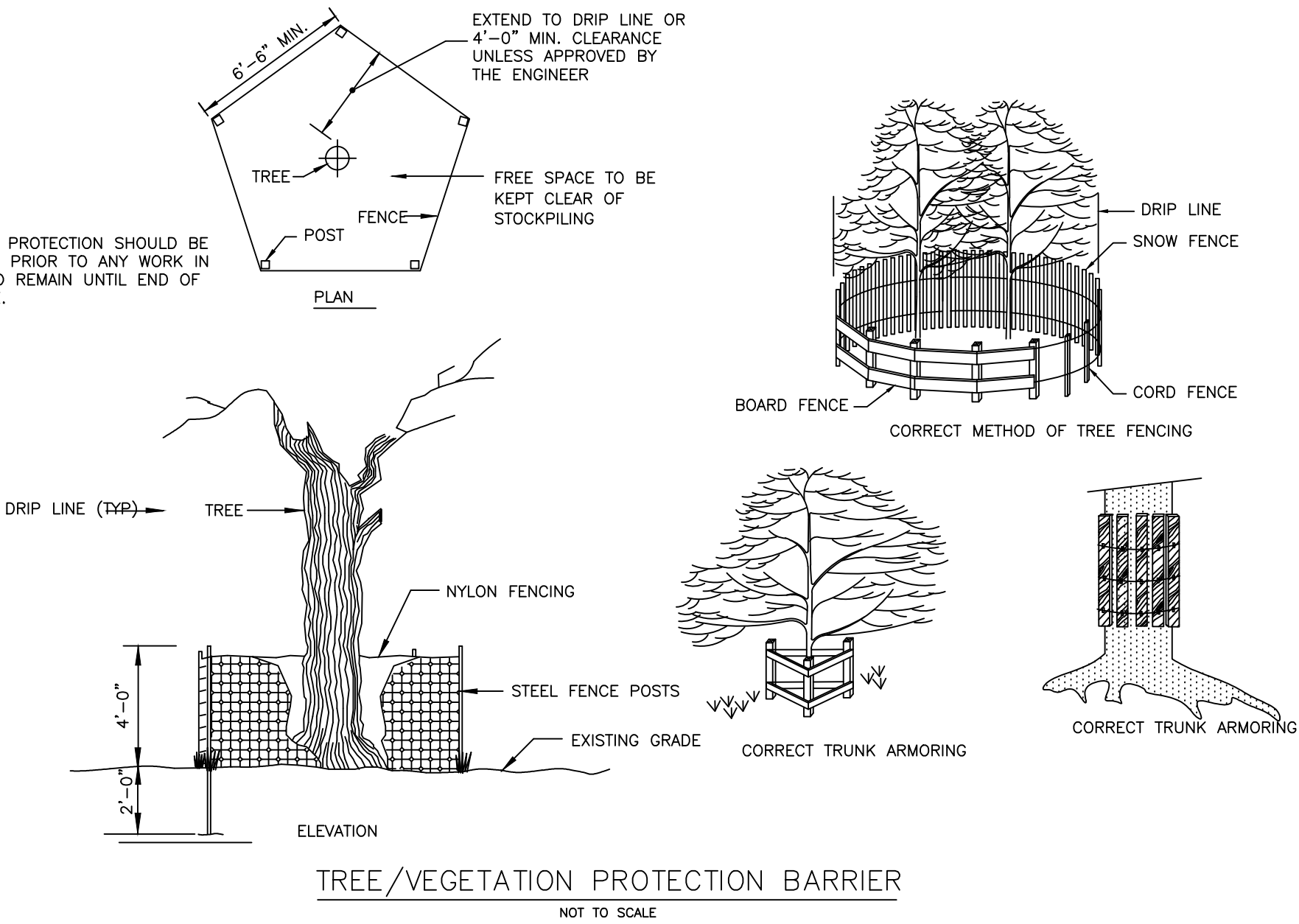


- NOTES:
- 1.) MAXIMUM WALL HEIGHT TO BE FOUNDED ON COMPACTED STRUCTURAL FILL SHALL BE DETERMINED BY THE ENGINEER PRIOR TO CONSTRUCTION.
 - 2.) THE LEVELING PAD FOR THE MESA RETAINING WALL SYSTEM SHALL BE CONSTRUCTED FROM THE SAME MATERIAL FOR THE ENTIRE WALL LENGTH. IN NO CASE SHALL A COMPACTED STRUCTURAL FILL PAD AND CONCRETE PAD BE USED IN THE SAME WALL.



NOTE:

THE TREE PROTECTION SHOULD BE INSTALLED PRIOR TO ANY WORK IN AREA, AND REMAIN UNTIL END OF ALL WORK.



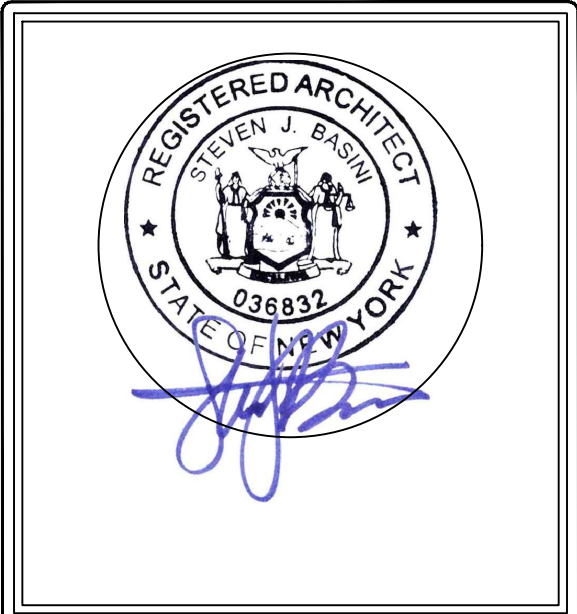
UNAUTHORIZED ALTERATIONS TO THIS DRAWING IS A VIOLATION OF SECTION 7209-2 OF THE N.Y.S. EDUCATION LAW.

THIS PLAN IS NULL AND VOID UNLESS IT BEARS THE ORIGINAL SEAL AND SIGNATURE OF THE ARCHITECT.

Drawn by: SJB
Checked by: SJB

Project #
Dwg. Date

Revisions	
△	09/16/22 - PB COMMENTS
△	-
△	-
-	-
-	-
-	-
-	-
-	-
-	-



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF N.Y.S.

SJB
Architecture + Design

sjbarchdesign.com
914.402.1701
Cortlandt Manor, NY

Client: Michael Sirota & Randi Bleichfeld-Sirota
3 Beechwood Road, Irvington, NY 10533

Project: PROPOSED RETAINING WALL
3 Beechwood Road
Irvington, NY 10533

Dwg. Name: MESA WALL DETAILS
SITE ELEVATION

Sheet #: C-101