

Date: November 4, 2022

Re: 116-118 Main Street - Proposed Garage Renovations
SBL 2.90-44-38/39/75

To: Village of Irvington Architectural Review Board
% Village of Irvington Building Department

To the Village of Irvington Architectural Review Board:

This application concerns proposed renovations to an existing two-car garage at the above-referenced property. The existing storage loft above the garage's parking bays will be converted to a studio space for use by the property manager, who resides in an apartment in the house on this same parcel.

Exterior modifications are proposed, comprising minor relocation of an existing exterior door, installation of an exterior sconce light fixture, and installation of two skylights in the garage roof.

The proposed renovations have been approved by the Village of Irvington Planning Board and Zoning Board of Appeals. This application is submitted now for review by the Village of Irvington Architectural Review Board.

The building permit application and Owner affidavits will be hand-delivered separate from this submission.

A handwritten signature in black ink, appearing to read 'Stephanie Bassler', with a stylized flourish at the end.

Stephanie Bassler, RA
Principal, North River Architecture & Planning, PC

Enclosures: Architectural Drawing Set, including Site Plan
Property Survey
Photographs of property & neighboring buildings
Application Data Sheet
Check for Building Permit fee, \$85

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	150	Date:	01/21/2022
Job Location:	116-118 MAIN ST	Parcel ID:	2.90-44-38
Property Owner:	116 Main Street Capital LLC	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
116 Main Street Capital LLC	116 Main Street Capital LLC
n/a	n/a
118 MAIN ST IRVINGTON 10533	118 MAIN ST IRVINGTON 10533
9142602483	9142602483

Description of Work

Type of Work:	Interior Renovation/ Repair	Applicant is:	Contractor
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	25000.00	Property Class:	1 FAMILY RES

Description of Work

Conversion of existing uninsulated garage attic to studio for home occupation. Studio will be used by the Resident Manager of the Bed and Breakfast at 116-118 Main Street. Renovations will include insulation; framing as needed for stair opening; electrical for lighting, convenience receptacles, and heating/cooling; sheetrock/paint; installation of mini-split heat pump; new stair; finishes; relocation of existing exterior door; (2) new skylights.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

VILLAGE OF IRVINGTON - APPLICATION DATA SHEET

www.irvingtonny.gov

Owner_ 116 MAIN STREET CAPITAL LLC	Owner Address_ 116 MAIN ST., IRVINGTON, NY 10533	Date _ 11/4/22
Tax Account Number (*)	Sheet_ 2.90 Block_ 44	Lot_ 38, 39, 75 Parcel_
Property Address_ 116-118 MAIN ST., IRVINGTON, NY	Phone #_ 914-260-2483	Fax #_

Architect or Engineer STEPHANIE BASSLER, NORTH RIVER ARCHITECTURE & PLANNING, PC	Email Address_ stephanie@nrivierarchitecture.com
Phone #_ 917-647-1696 Cell #	Fax # N Y S Lic. #_ 028013

Ref.	Existing	Proposed		Two Family 1F-5	Multi Family 1F-10	1F-20	1F-40	1F-60	1F-80	Coverage Information			
224-4	Zoning District	B/2F	n/a								Structures	2,579 SF	
224-10	Square feet of lot	21,693 SF	n/a	5,000	10,000	20,000	40,000	60,000	80,000		Decks	560 SF	
224-11	Front yard setback	26'-3"	no change	30	30	35	50	60	75		Patios, walks	700 SF	
224-11	Side yard setback 1	9'-7"		10	15	15	25	30	50		Porches		
224-11	Side yard setback 2	33'-6"		10	15	15	25	30	50		Floor overhangs		
224-11	Rear yard setback	106'-3"		30	30	35	40	60	75		Swimming pools		
224-10	Lot width	81'		50	85	100	150	200	250		Other	3,650 SF	
224-10	Lot depth	240'		100	100	125	150	200	200		Total (in Sq Ft)	7,489 SF	
224-13	Lot coverage	7,489 SF		24%	20%	16%	12%	8.33%	6.75%		Provide floor plan showing dimensions and Sq Ft		
				upto 5000 sqft	upto 10000sqft	upto 20000sqft	upto 40000sqft	upto 60000sqft	upto 80000sqft				
				over 5000 sqft	over 10000sqft	over 20000sqft	over 40000sqft	over 60000sqft	over 80000sqft				
224-13	Coverage Bonus over minimum lot size			treel line and 4 feet from all other property lines									
224-11	Patios, sidewalks and other impervious surfaces	4,350 SF								Additional information required (**) Survey showing all existing conditions All easments and restrictions Site plan showing all proposed improvements Location of all trees in affected areas			
224-149	View Preservation Overlay												
224-50	Aqueduct buffer	30'	no change										
224-51 B	Broadway buffer												
224-51 A	Cyrus Field Rd buffer												
224-134	Floor Area Ratio	5,108 SF	5,466 SF	(in sq ft - see Zoning Ordinance for definitions and exclusions)									

Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)
< 5,000	0.43	varies	21,000	0.198	4,158	38,000	0.164	6,232	55,000	0.1325	7,288	72,000	0.125	9,000
5,000	0.43	2,150	22,000	0.196	4,312	39,000	0.162	6,318	56,000	0.1305	7,308	73,000	0.125	9,125
6,000	0.39	2,340	23,000	0.194	4,462	40,000	0.1625	6,500	57,000	0.1285	7,325	74,000	0.125	9,250
7,000	0.36	2,520	24,000	0.192	4,608	41,000	0.1605	6,581	58,000	0.1265	7,337	75,000	0.125	9,375
8,000	0.33	2,640	25,000	0.19	4,750	42,000	0.1585	6,657	59,000	0.1245	7,346	76,000	0.125	9,500
9,000	0.3	2,700	26,000	0.188	4,888	43,000	0.1565	6,730	60,000	0.125	7,500	77,000	0.125	9,625
10,000	0.28	2,800	27,000	0.186	5,022	44,000	0.1545	6,798	61,000	0.125	7,625	78,000	0.125	9,750
11,000	0.2725	2,998	28,000	0.184	5,152	45,000	0.1525	6,863	62,000	0.125	7,750	79,000	0.125	9,875
12,000	0.265	3,180	29,000	0.182	5,278	46,000	0.1505	6,923	63,000	0.125	7,875	80,000 and above	0.125	10,000
13,000	0.2575	3,348	30,000	0.18	5,400	47,000	0.1485	6,980	64,000	0.125	8,000	F.A.R. Information Existing Proposed		
14,000	0.25	3,500	31,000	0.178	5,518	48,000	0.1465	7,032	65,000	0.125	8,125			
15,000	0.2425	3,638	32,000	0.176	5,632	49,000	0.1445	7,081	66,000	0.125	8,250	Basement Sq Ft		
16,000	0.235	3,760	33,000	0.174	5,742	50,000	0.1425	7,125	67,000	0.125	8,375	First Floor Sq Ft	2,039 SF	2,039 SF
17,000	0.2275	3,868	34,000	0.172	5,848	51,000	0.1405	7,166	68,000	0.125	8,500	Second Floor Sq Ft	1,654 SF	1,654 SF
18,000	0.22	3,960	35,000	0.17	5,950	52,000	0.1385	7,202	69,000	0.125	8,625	Attic Sq Ft	1,304 SF	1,304 SF
19,000	0.2125	4,038	36,000	0.168	6,048	53,000	0.1365	7,235	70,000	0.125	8,750	Other Sq Ft	111 SF	469 SF
20,000	0.2	4,000	37,000	0.166	6,142	54,000	0.1345	7,263	71,000	0.125	8,875	Total (in Sq Ft)	5,108 SF	5,466 SF
Provide floor plan showing dimensions and Sq Ft														

For additional information refer to 224-134 of the Village Zoning Code

(*) Tax ID Number available from Village Clerk (591-7070)

(**) The Village Zoning Regulations should be consulted for additional requirements.

116-118 Main Street - Photographs and Aerial View



116-118 Main Street: North Elevation of Main House



View of Neighboring Property: Old Croton Aqueduct State Historic Park



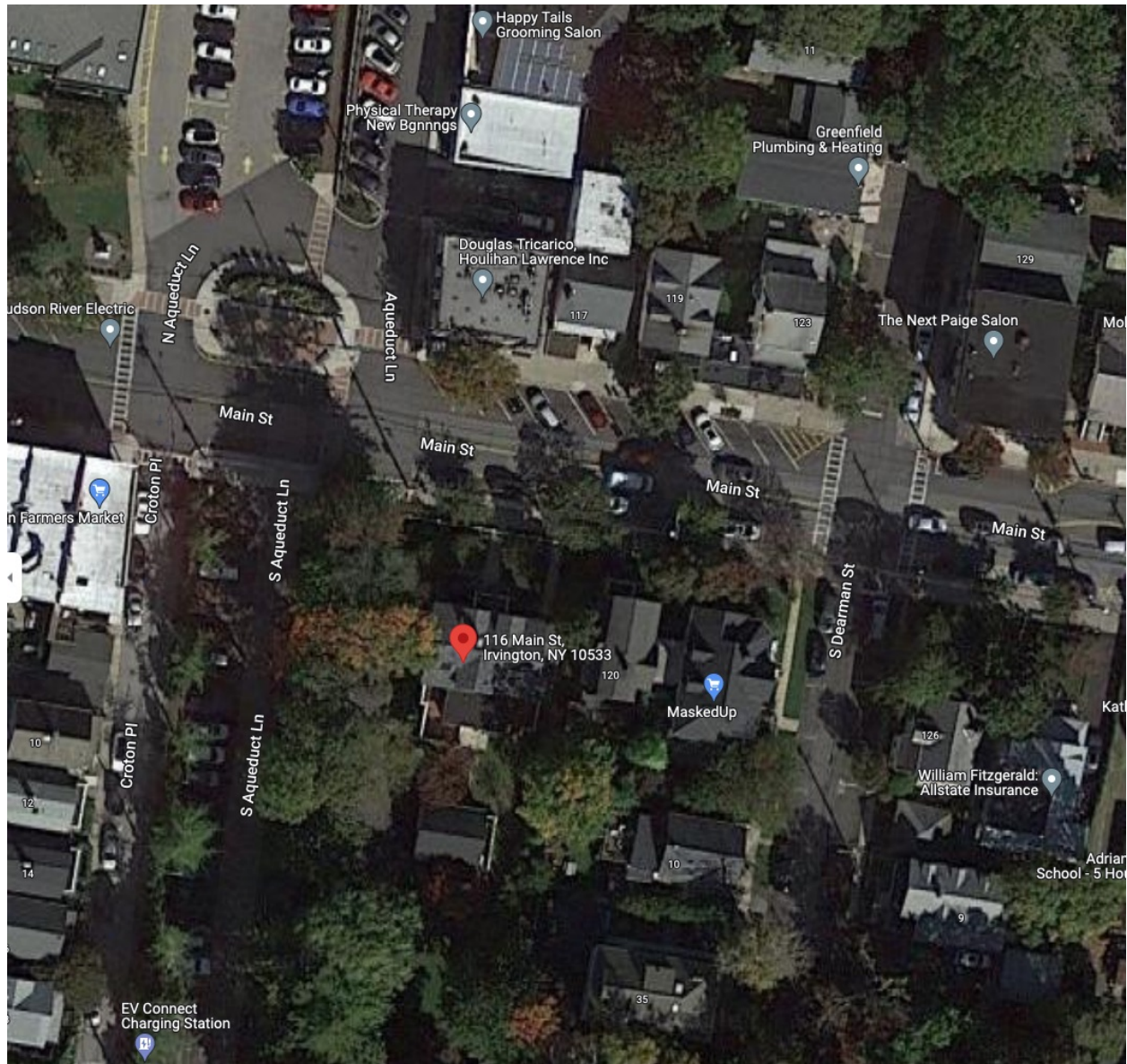
View of Neighboring Property: 120 Main Street



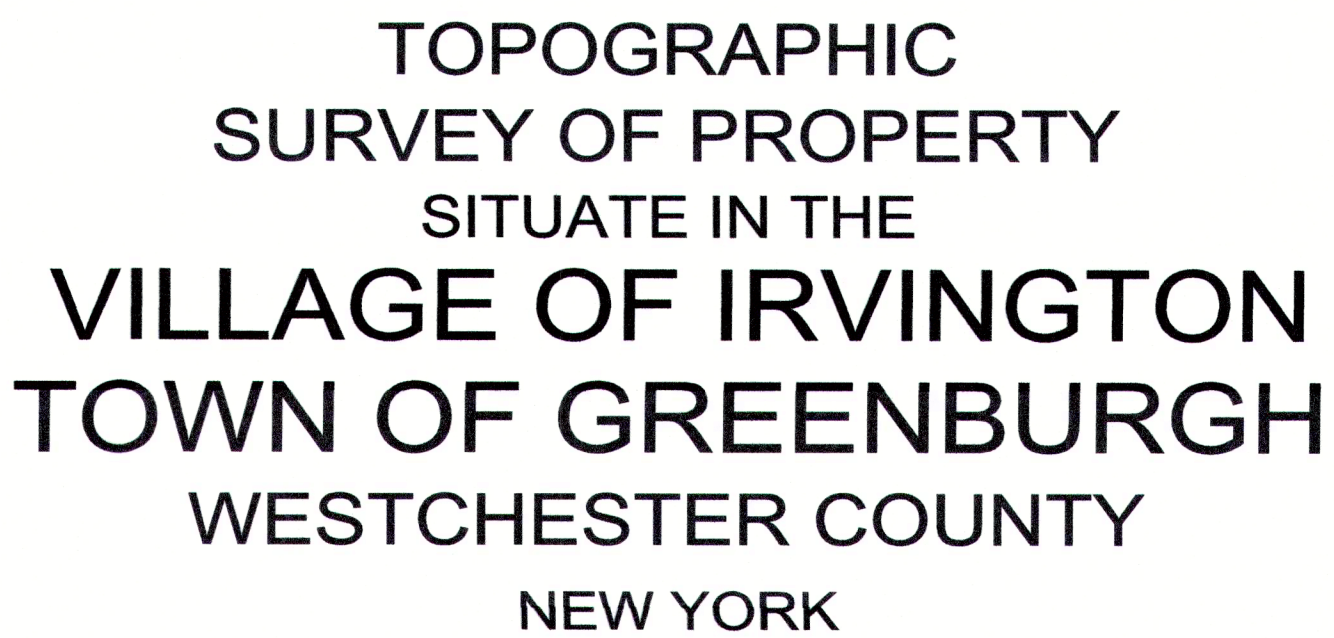
116-118 Main Street: North Elevation of Garage



116-118 Main Street: South Elevation of Garage



116-118 Main Street: Aerial Photograph

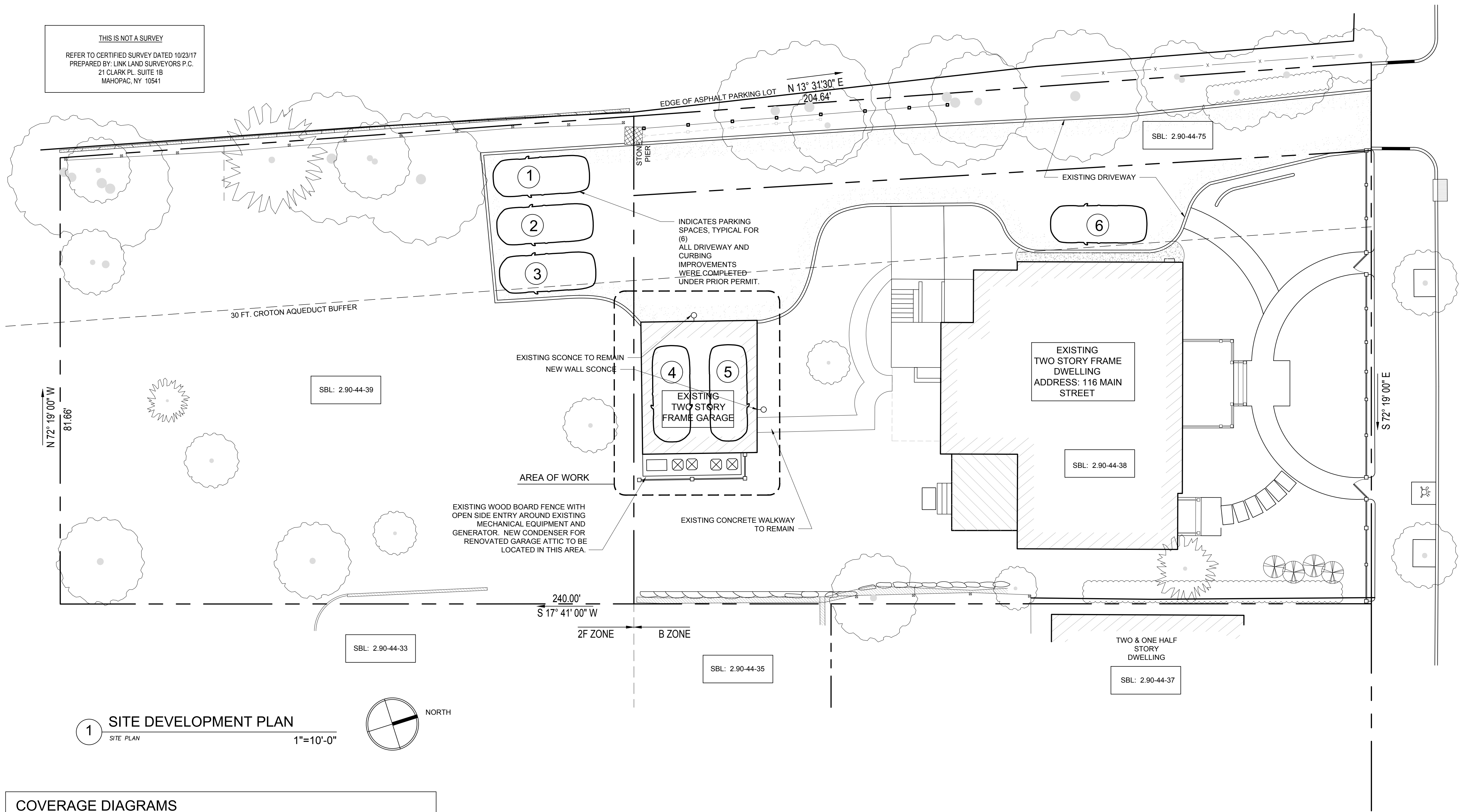


SURVEY UPDATED FOR FINAL A BUILT: OCTOBER 23, 2017

- PREPARED FOR: 116 MAIN STREET CAPITAL, LLC



THIS IS NOT A SURVEY
REFER TO CERTIFIED SURVEY DATED 10/23/17
PREPARED BY: LINK LAND SURVEYORS P.C.
21 CLARK PL., SUITE 1B
MAHOPAC, NY 10541

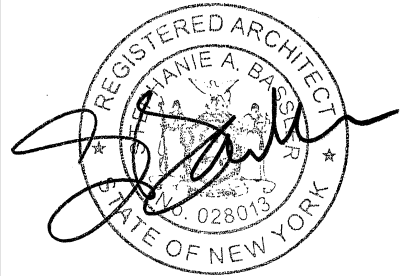


1 SITE DEVELOPMENT PLAN
SITE PLAN
1"=10'-0"

COVERAGE DIAGRAMS	
EXISTING	PROPOSED
<div>STRUCTURES 2579 INCL. MECH. PAD DECKS 560 WALKS 700 PATIOS --- PORCHES --- EXISTING COVERAGE 3839</div> <div><div>MECH. EQUIPMENT PAD 72 S.F.</div><div>GARAGE 511 S.F.</div><div>WALK 156 S.F.</div><div>WALK 10 S.F.</div><div>DECK 183 S.F.</div><div>EXISTING HOUSE 1996 S.F.</div><div>WALK 97 S.F.</div><div>DECK 171 S.F.</div><div>WALK 308 S.F.</div><div>WALK 129 S.F.</div><div>DECK 206 S.F.</div><div>PARKING AREA/ DRIVEWAY 3650 S.F.</div></div>	NO CHANGES PROPOSED

ZONING ANALYSIS			
GENERAL INFORMATION			
ADDRESS	116-118 MAIN STREET, IRVINGTON, NY		
ZONING DISTRICT	B/2F		
USE REQUIREMENTS- AS PER SECTION 224-36			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
USE	DWELLING / UNITS	2 DWELLING UNITS	ACCESSORY TO DWELLING
LOT REQUIREMENTS- AS PER SECTION 224-36			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
LOT AREA	7,500	21,693	NO CHANGE
LOT WIDTH	N/A	81'	NO CHANGE
LOT DEPTH	N/A	240'	NO CHANGE
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
FRONT YARD (NORTH)	4'0" MIN. (B)	26'-3"	NO CHANGE
SIDE YARD (EAST)	4'0" MIN. (B) / 10'0" MIN. (2F)	9'-7" / N/A	NO CHANGE
SIDE YARD (WEST)	4'0" MIN. (B) / 10'0" MIN. (2F)	33'-6" / N/A	NO CHANGE
REAR YARD (SOUTH)	30'0" MIN. (2F)	106'-3"	NO CHANGE
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
BUILDING COVERAGE	3,871 S.F.	3,839 S.F.	NO CHANGE

RESIDENTIAL FLOOR AREA RATIO REQUIREMENTS - AS PER ARTICLE XXII (SECTIONS 224-134 THRU 224-139): N/A			
FLOOR AREA CALCULATIONS:			
RESIDENCE FIRST FLOOR	2039		
RESIDENCE SECOND FLOOR	1654		
RESIDENCE ATTIC	1304		
GARAGE FIRST FLOOR	45 (SEE NOTE 1)		
LOFT STAIR	66		
LOFT / SECOND FLOOR	358		
FLOOR AREA	5466		
NOTE 1	GARAGE FLOOR AREA HAS BEEN REDUCED AS PER SECTION 224-137 D(1)		
RATIO	0.273		
BUFFER REQUIREMENTS- AS PER SECTION 224-51 C			
CATEGORY	REQUIRED / ALLOWED	EXISTING	PROPOSED
CROTON AQUEDUCT BUFFER	30'0"	33'-6"	NO CHANGE
ON SITE PARKING REQUIREMENTS- AS PER BUILDING PERMIT BP2019-0158			
CATEGORY	REQUIRED	EXISTING	PROPOSED
SPACES	6	6	NO CHANGE



116 Main Street - Garage Renovation

116 Main Street, Irvington, NY

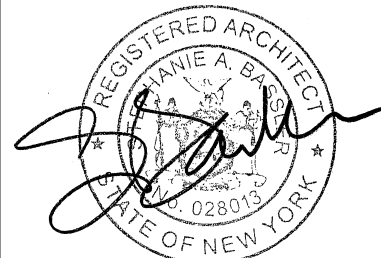
north river

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& PLANNING PC
3650 MAIN ST / PO BOX 720
STONE RIDGE, NY 12484
t 845.687.6242 f 845.687.6415

ISSUE:	
BUILDING DEPT.	1/21/22
IPB REVISION	7/19/22

ADDENDA:

SITE PLAN	
SCALE: 1" = 10'	SHEET #
DRAWN BY: ARB	A001
DATE: 7/19/22	
DRAWING NAME:	



116 Main Street - Garage Renovation

116 Main Street, Irvington, NY

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ISSUE:

BUILDING DEPT.	1/21/22
ZBA	10/7/22
ISSUE FOR BID	10/27/22

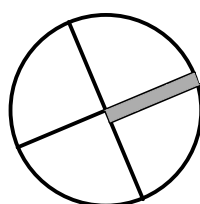
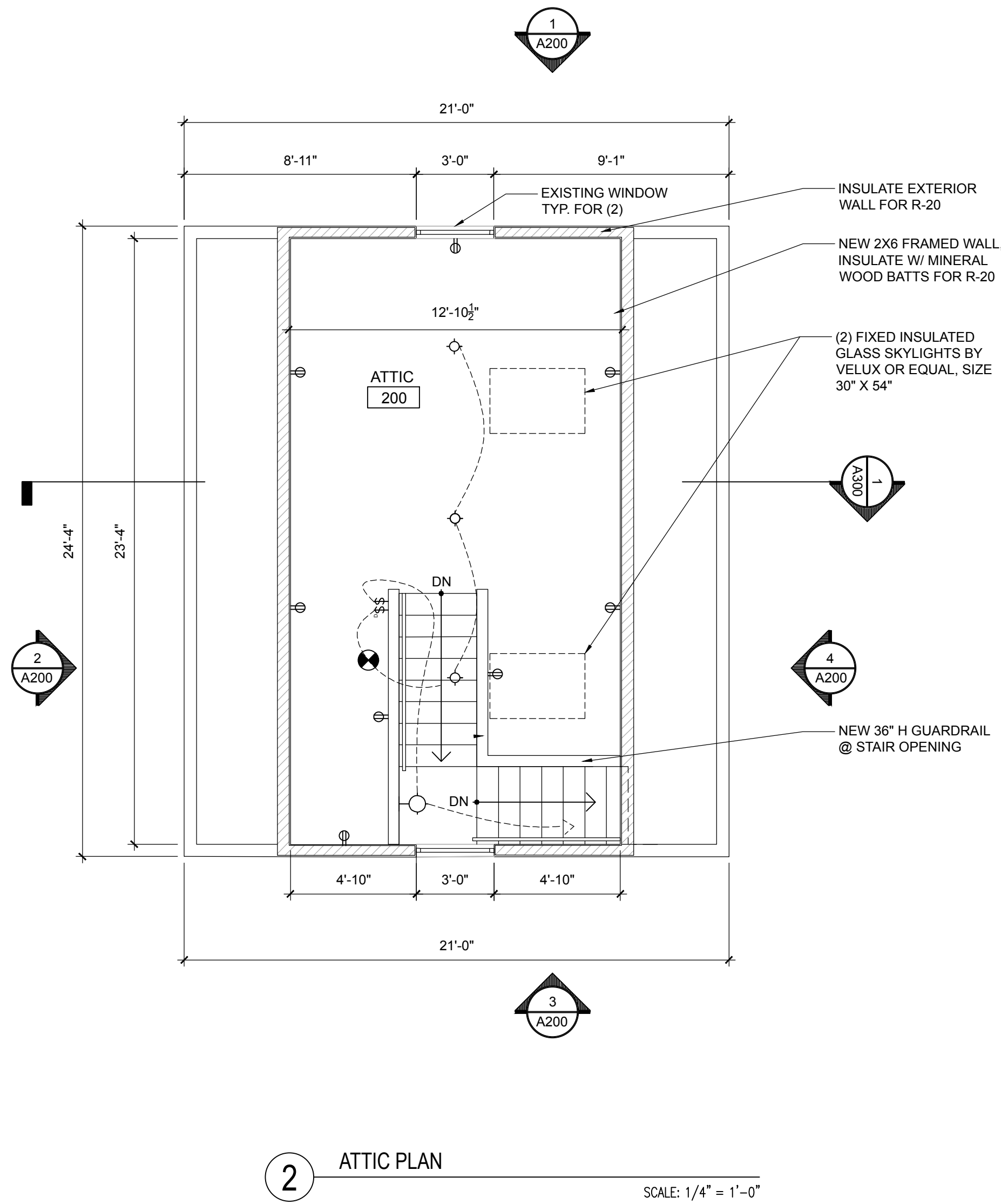
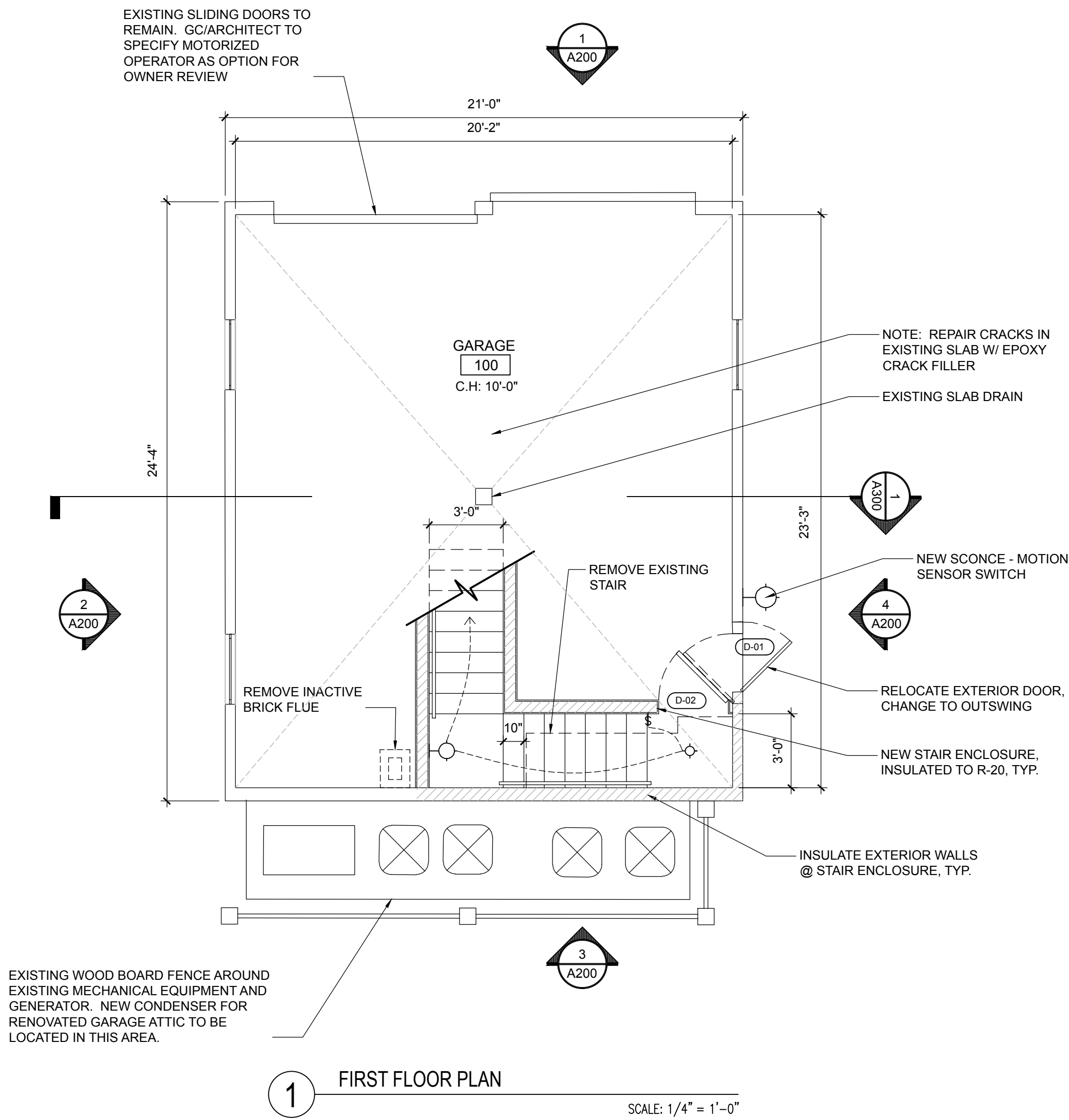
ADDENDA:

GARAGE
PLANS

SCALE: 1/4" = 1'-0"	SHEET #
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DATE: 10/27/22	
DRAWING NAME:	

LIGHTING & ELECTRICAL KEY	
	CEILING FIXTURE
	WALL SCONCE
	SMOKE DETECTOR/CO DETECTOR
	ONE WAY SWITCH
	THREE WAY SWITCH
	DIMMER
	DUPLEX WALL RECEPTACLE
	CAT 6 DATA
	COAX CABLE

- ELECTRICAL NOTES:
- LOCATE ALL TELEPHONE & CAT 6 RECEPTACLES PER OWNER'S REQUIREMENTS.
 - PROVIDE DEDICATED CIRCUITS AND ELECTRICAL RECEPTACLES AS REQ'D FOR INSTALLATION OF EQUIPMENT.
 - LOCATE THERMOSTATS PER HVAC CONTRACTOR'S RECOMMENDATION.
 - PROVIDE NEW RECEPTACLES AS INDICATED ON PLANS AND AS REQ'D FOR CODE COMPLIANCE.
 - OWNER WILL SUPPLY ALL FINISHED LIGHT FIXTURES
 - ALL LIGHT FIXTURES TO BE HIGH-EFFICIENCY LED
 - ALL OTHER MATERIALS AND CONTROLS WILL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR
 - SWITCHING SPECIFICATION TO BE LEVITON DECORA PANELS, LUTRON CLARO COVER PLATES
 - GC TO CONFIRM AVAILABLE AMPERAGE AT PANEL
 - GC TO COORDINATE WITH SOLAR INSTALLER TO PROVIDE ALL NECESSARY WIRING AND CONDUIT FOR FUTURE SOLAR PANEL INSTALLATION ON ROOFTOP, UNDER SEPARATE SOLAR PERMIT AND CONTRACT
 - CAT6 ETHERNET CABLE SHALL BE PROVIDED AT LOCATIONS INDICATED
 - COAXIAL CABLE SHALL BE INSTALLED FROM AVAILABLE SERVICE ONSITE





116 Main Street - Garage Renovation
116 Main Street, Irvington, NY

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ZBA	10/7/22
ISSUE FOR BID	10/27/22

ADDENDA:

GARAGE
PLANS

SCALE:
1/4" = 1'-0"

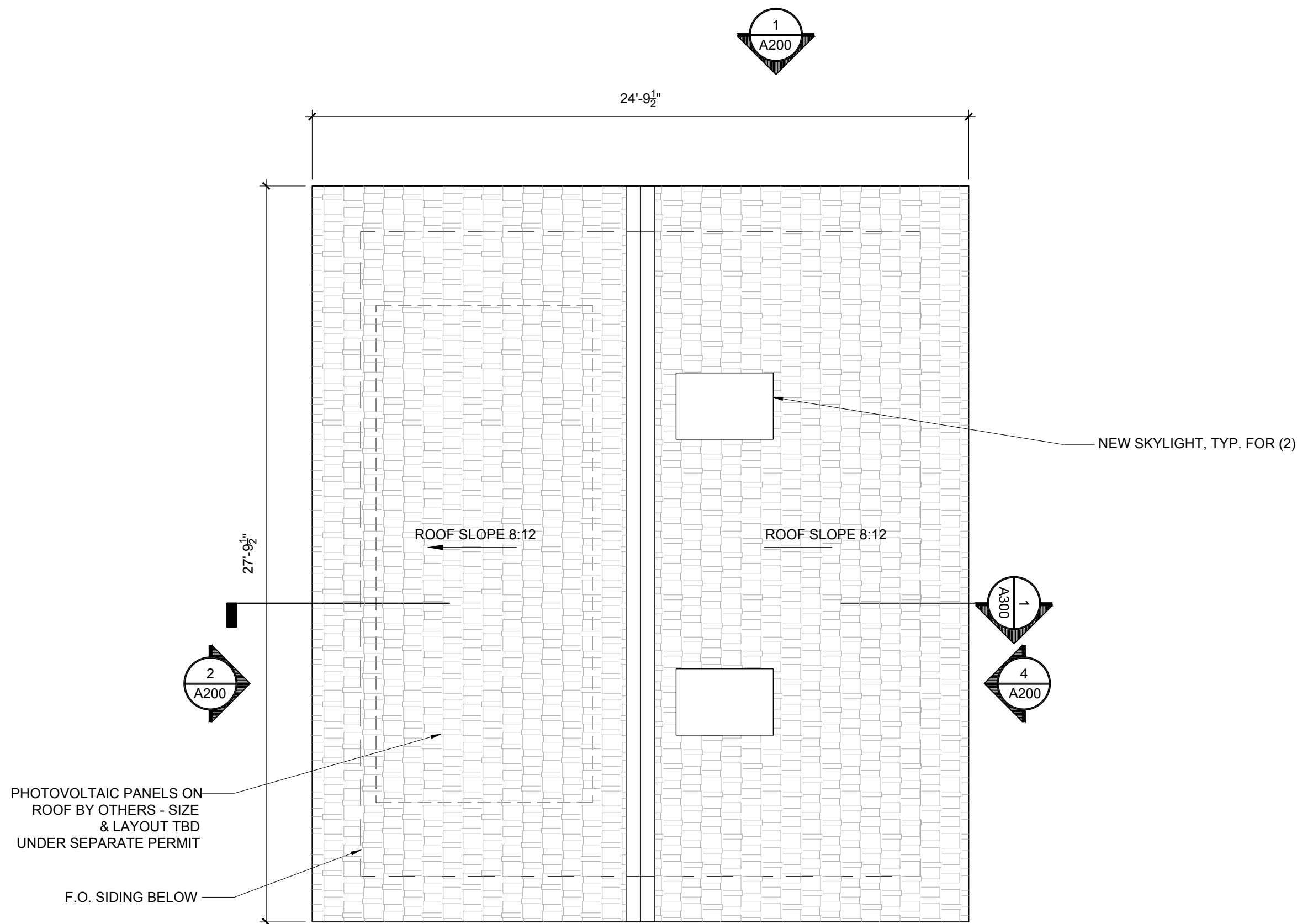
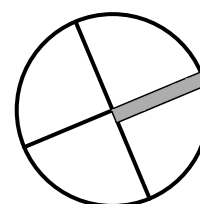
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10/27/22

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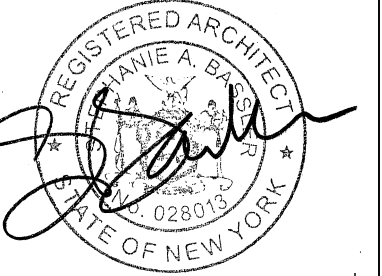
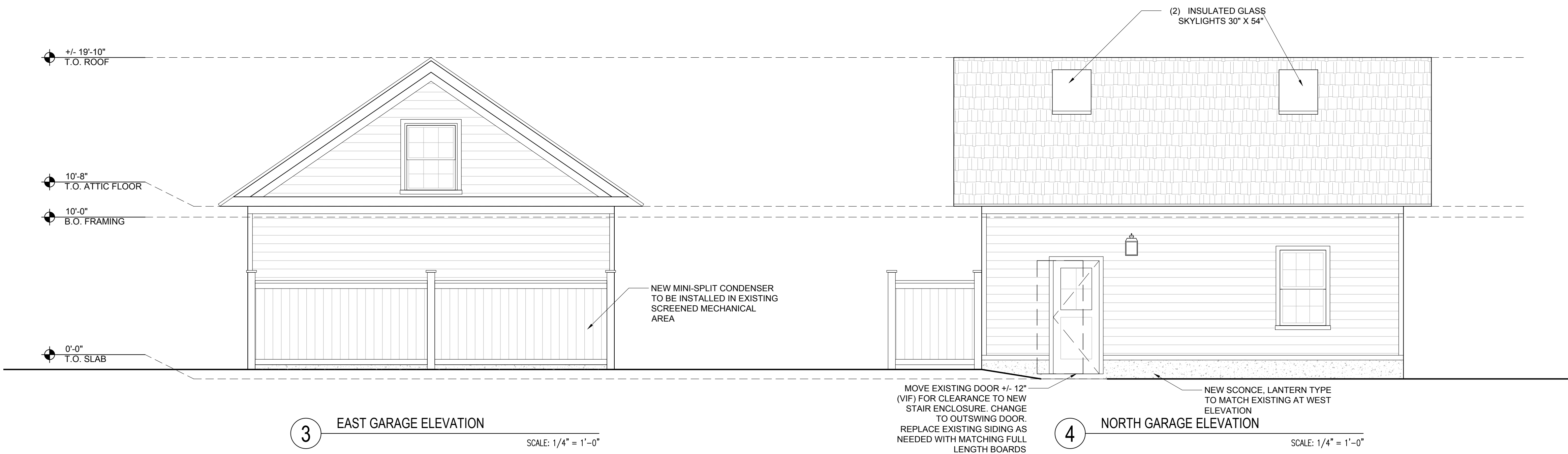
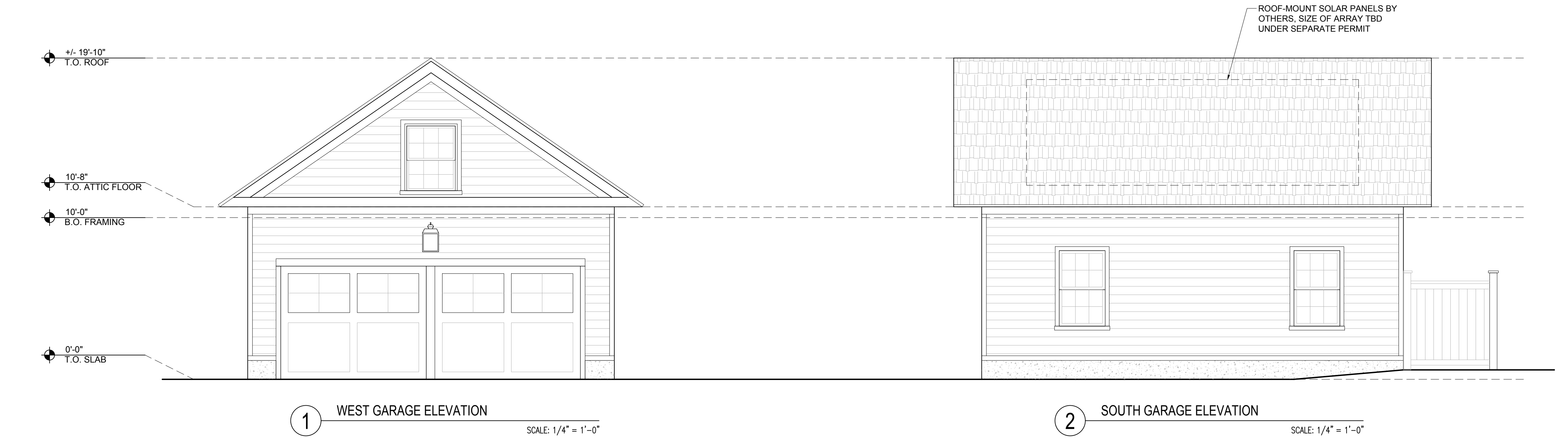
SHEET #

A102



1 ROOF PLAN

SCALE: 1/4" = 1'-0"



116 Main Street - Garage Renovation

116 Main Street, Irvington, NY

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ISSUE:

BUILDING DEPT.	1/21/22
ZBA	10/07/22
ISSUE FOR BID	10/27/22

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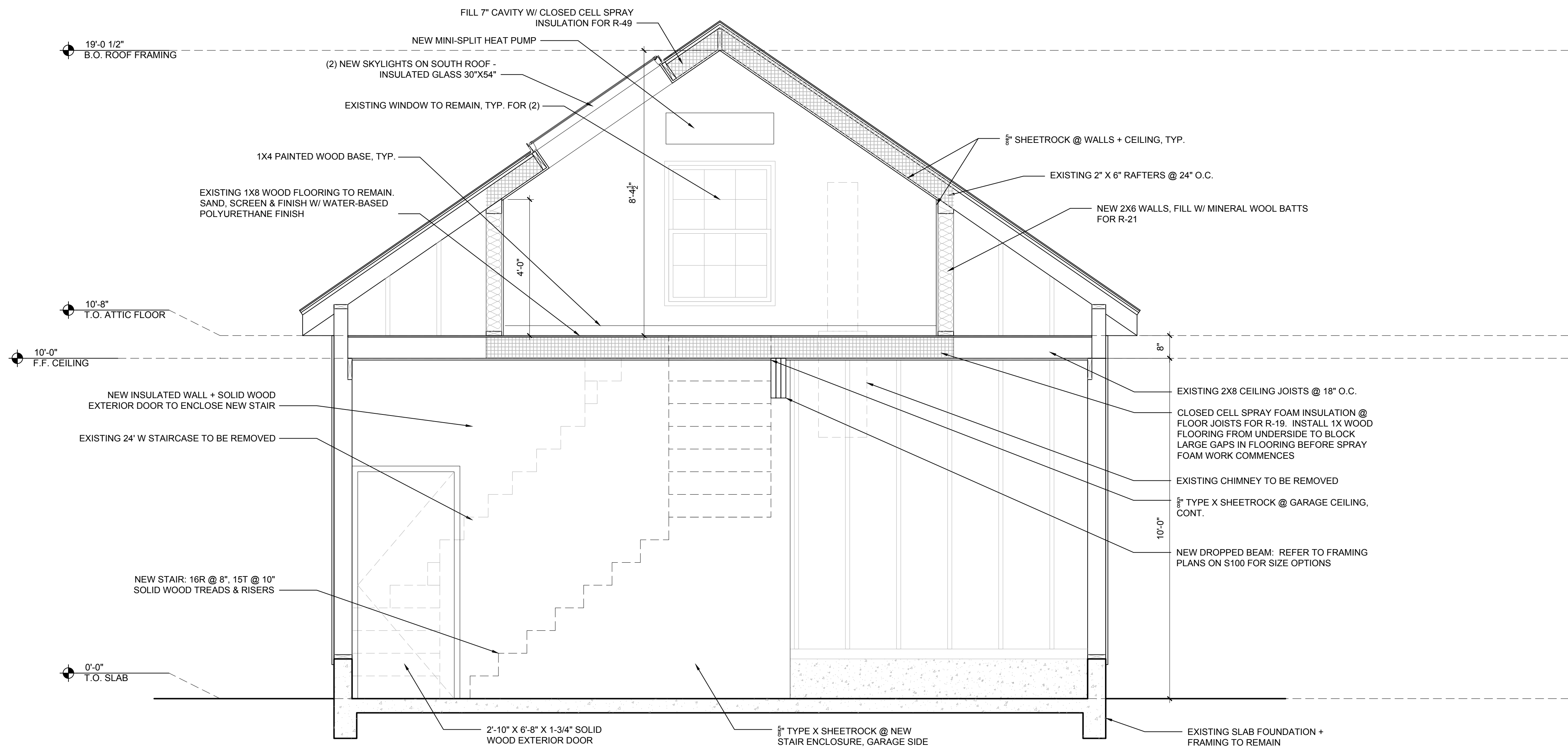
GARAGE
ELEVATIONS

SCALE: 1/4" = 1'-0" SHEET #

DRAWN BY: ARB A200

DATE: 10/27/22

DRAWING NAME:



1 GARAGE CROSS-SECTION
SCALE: 1/2" = 1'-0"



116 Main Street - Garage Renovation

116 Main Street, Irvington, NY

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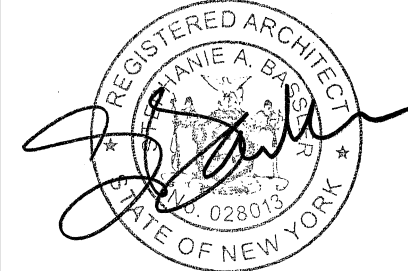
ISSUE:

BUILDING DEPT.	1/21/22
ISSUE FOR BID	10/27/22

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GARAGE
SECTION

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DATE: 10/27/22	
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116 Main Street - Garage Renovation

116 Main Street, Irvington, NY

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ISSUE:

ISSUE FOR BID 10/27/22

ADDENDA:

GARAGE
FRAMING
PLANS

SCALE:
1/4" = 1'-0"

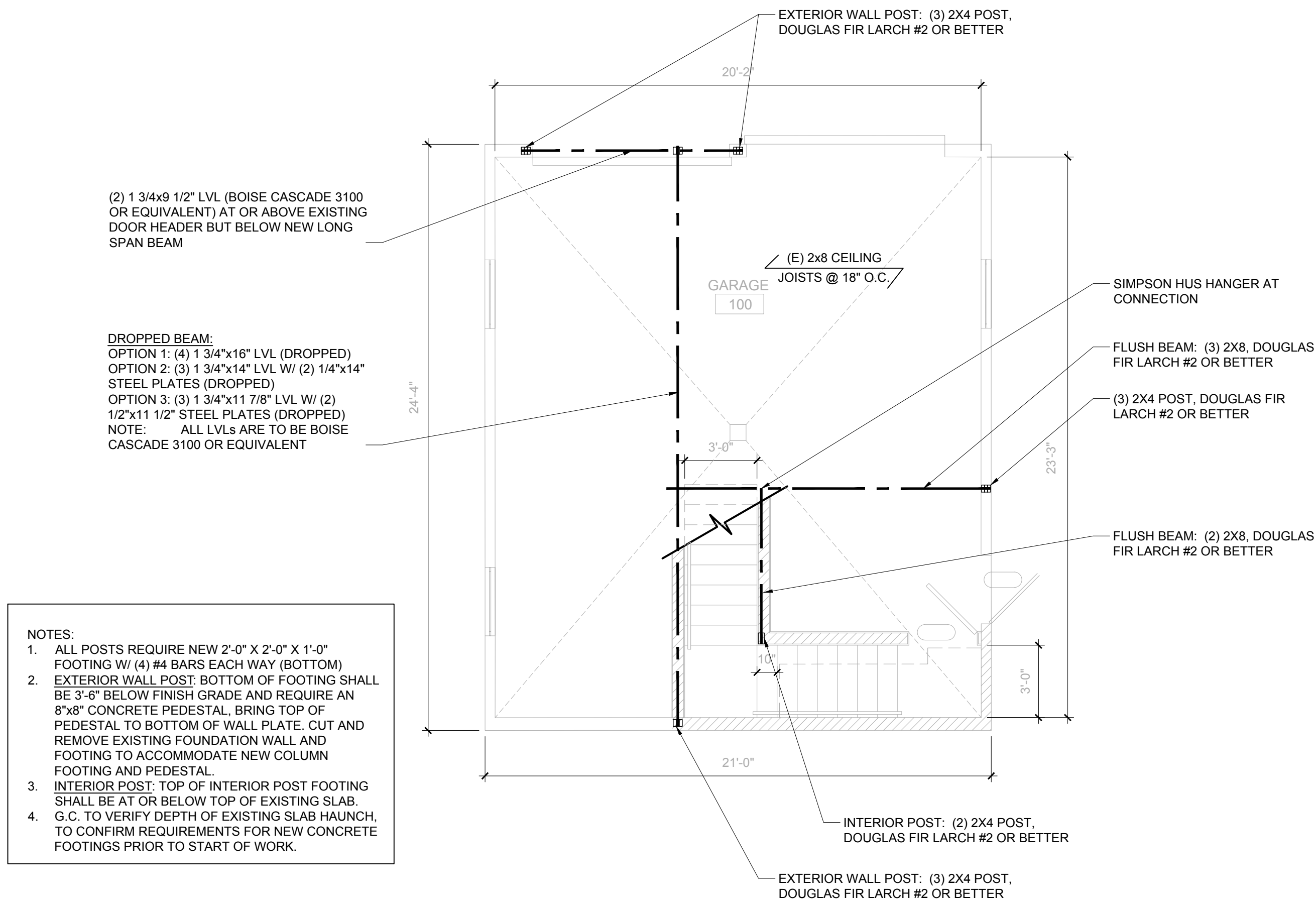
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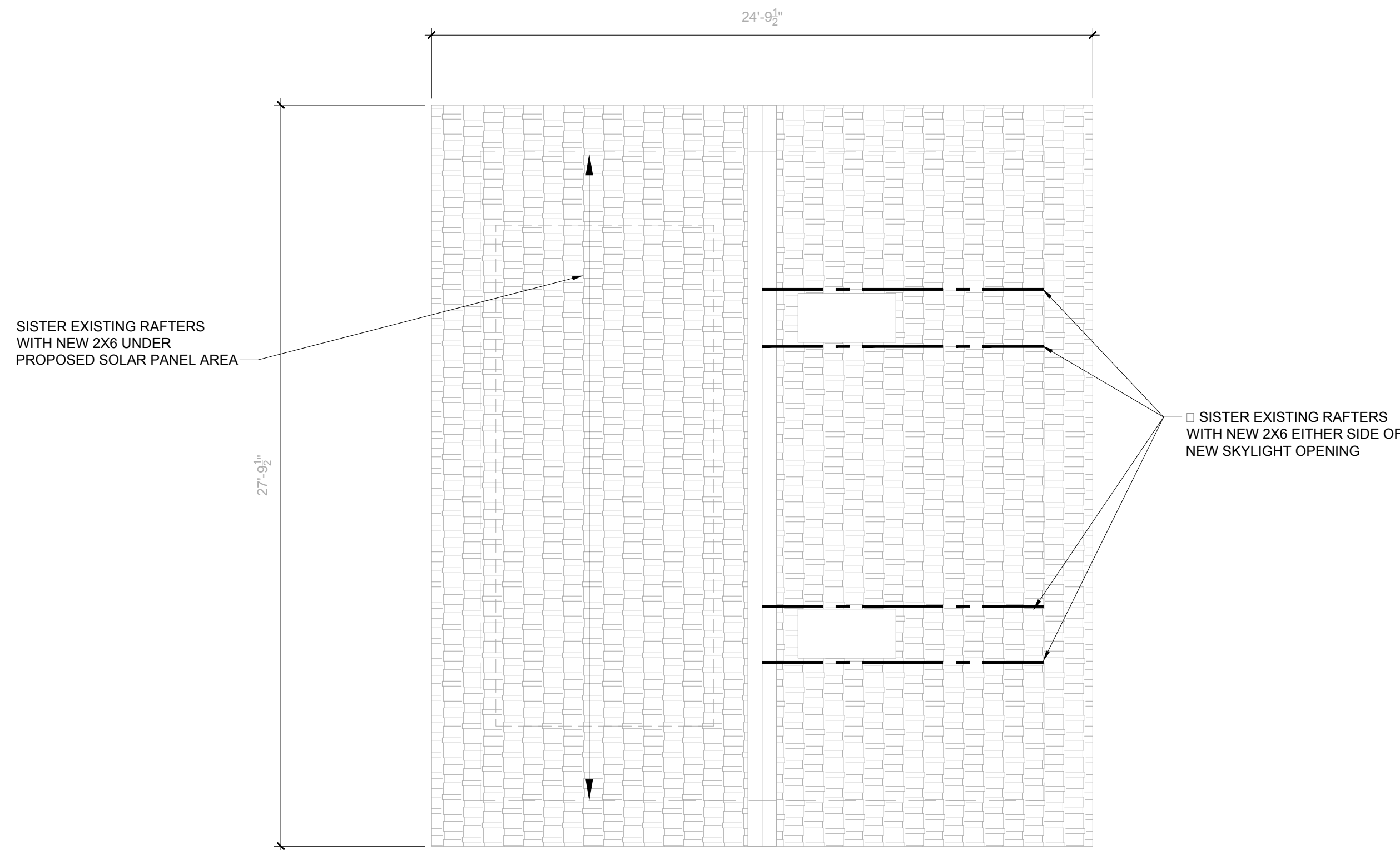
DATE:
10/27/22

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1 ATTIC FRAMING PLAN

SCALE: 1/4" = 1'-0"



2 ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

