

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	764	Date:	09/20/2022
Job Location:	100 ARDLSEY AVE W	Parcel ID:	2.160-69-9
Property Owner:	Ferrara Management	Property Class:	UNDERWATER VACANT LA
Occupancy:	Multi-Family	Zoning:	
Common Name:	UNDERWATER PARCEL DO NOT USE		

Applicant	Contractor
Frank Lofaro	Frank Lofaro
Canzone Plaster & Tile, Inc dba Canzone Contractin	Canzone Plaster & Tile, Inc dba Canzone Contractin
218 West Lincoln AvenueMount Vernon NY 10550	218 West Lincoln Avenue Mount Vernon NY 10550
914-879-8924	914-879-8924

Description of Work

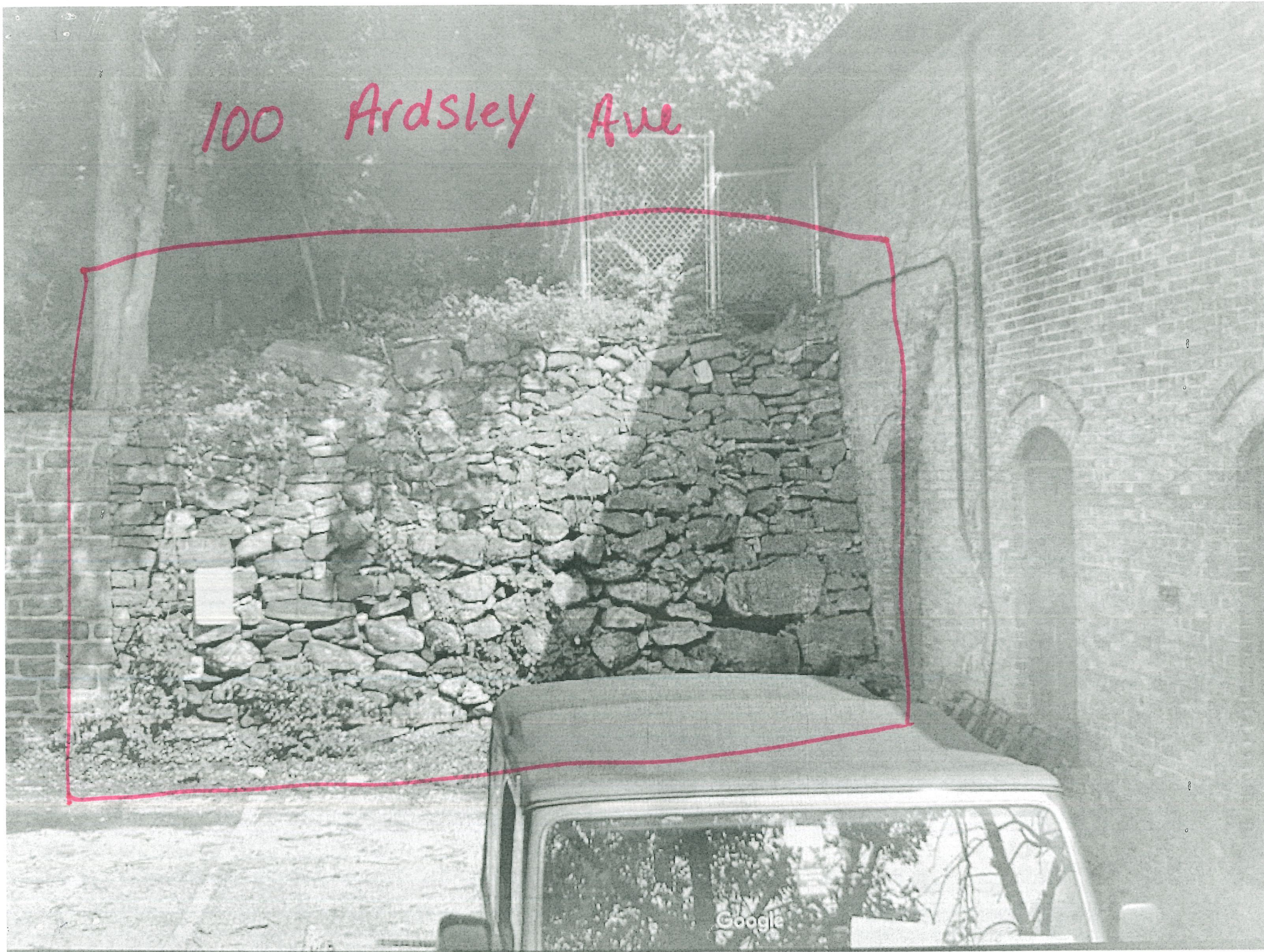
Type of Work:	Landscaping (with no increase of coverage or FAR)	Applicant is:	Contractor
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	58500.00	Property Class:	UNDERWATER VACANT LA

Description of Work

Removal of old stone wall replacing it with new concrete block.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

100 Ardsley Ave

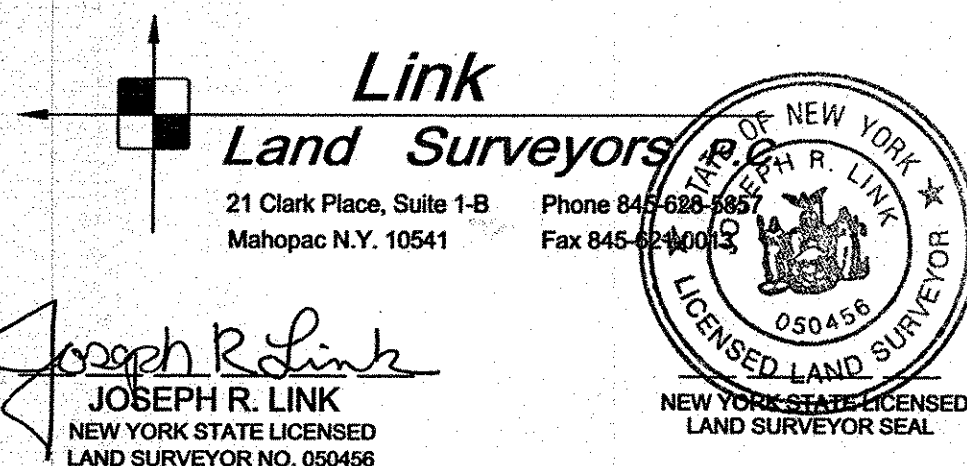




MAP SHOWING
PARCEL TO BE CONVEYED OUT
SITUATE IN THE
TOWN OF GREENBURGH
VILLAGE OF IRVINGTON
WESTCHESTER COUNTY
NEW YORK

SCALE: 1"= 60'
MAP PREPARED FEBRUARY 8, 2006

- PREMISES ARE DESIGNATED ON THE TAX MAPS FOR THE TOWN OF GREENBURGH / VILLAGE OF IRVINGTON SECTION; BLOCK; LOT;
- THIS MAP IS SUBJECT TO ANY STATE OF FACTS WHICH AN UP-TO-DATE TITLE EXAMINATION MAY DISCLOSE.
- ENCROACHMENTS BELOW GRADE AND/OR SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.
- UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAWS.
- ONLY COPIES FROM THE ORIGINAL OF THIS MAP MARKED WITH AN ORIGINAL OF THE LAND SURVEYOR'S SEAL SHALL BE CONSIDERED TO BE TRUE VALID COPIES.
- IMPROVEMENTS SHOWN HERE ON OF THE PROPOSED PARCEL "B" FIELD LOCATED FEB. 6, 2006 OTHER IMPROVEMENTS OF THE SUBJECT PROPERTY NOT LOCATED OR SHOWN HEREON.

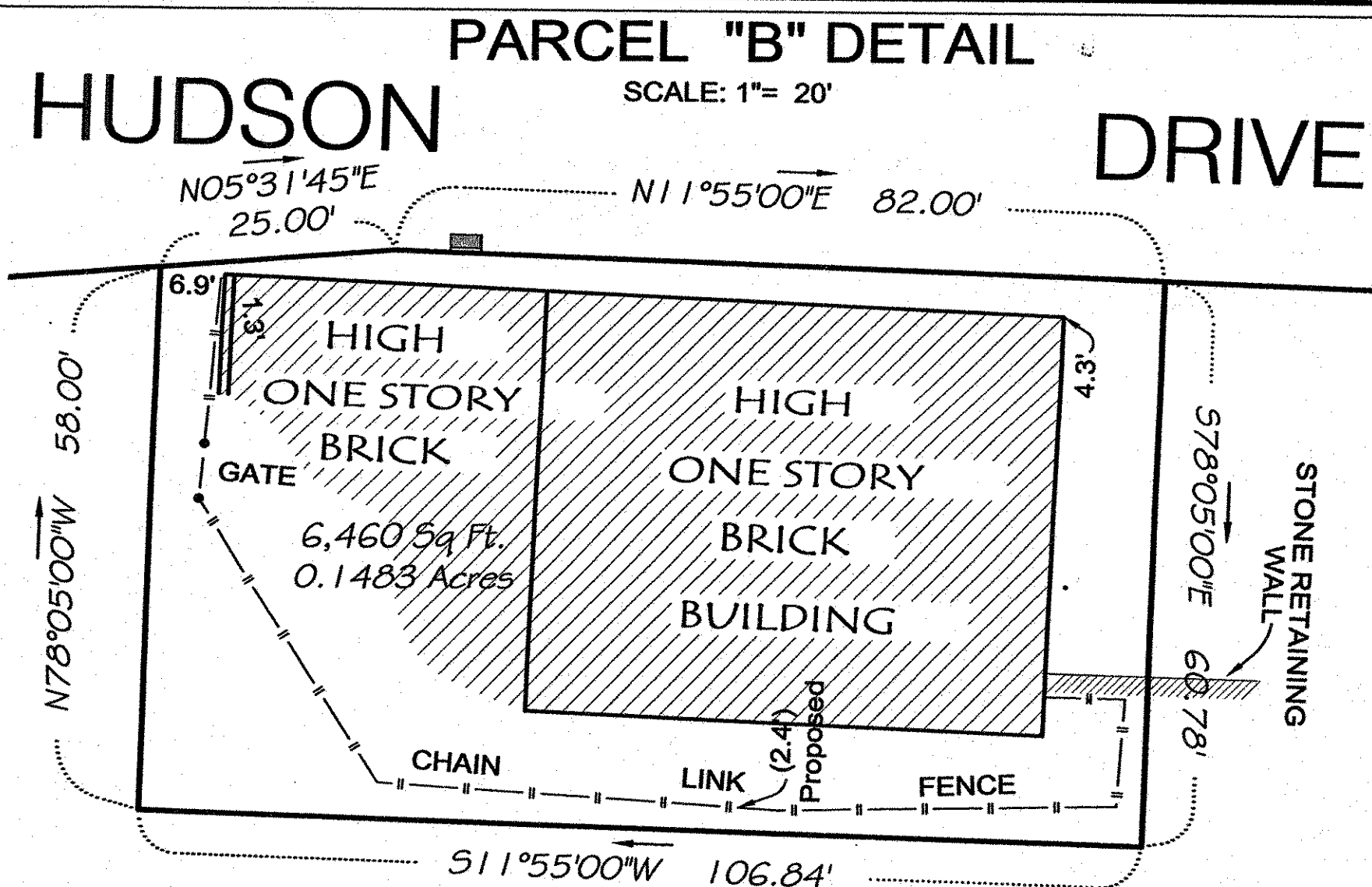
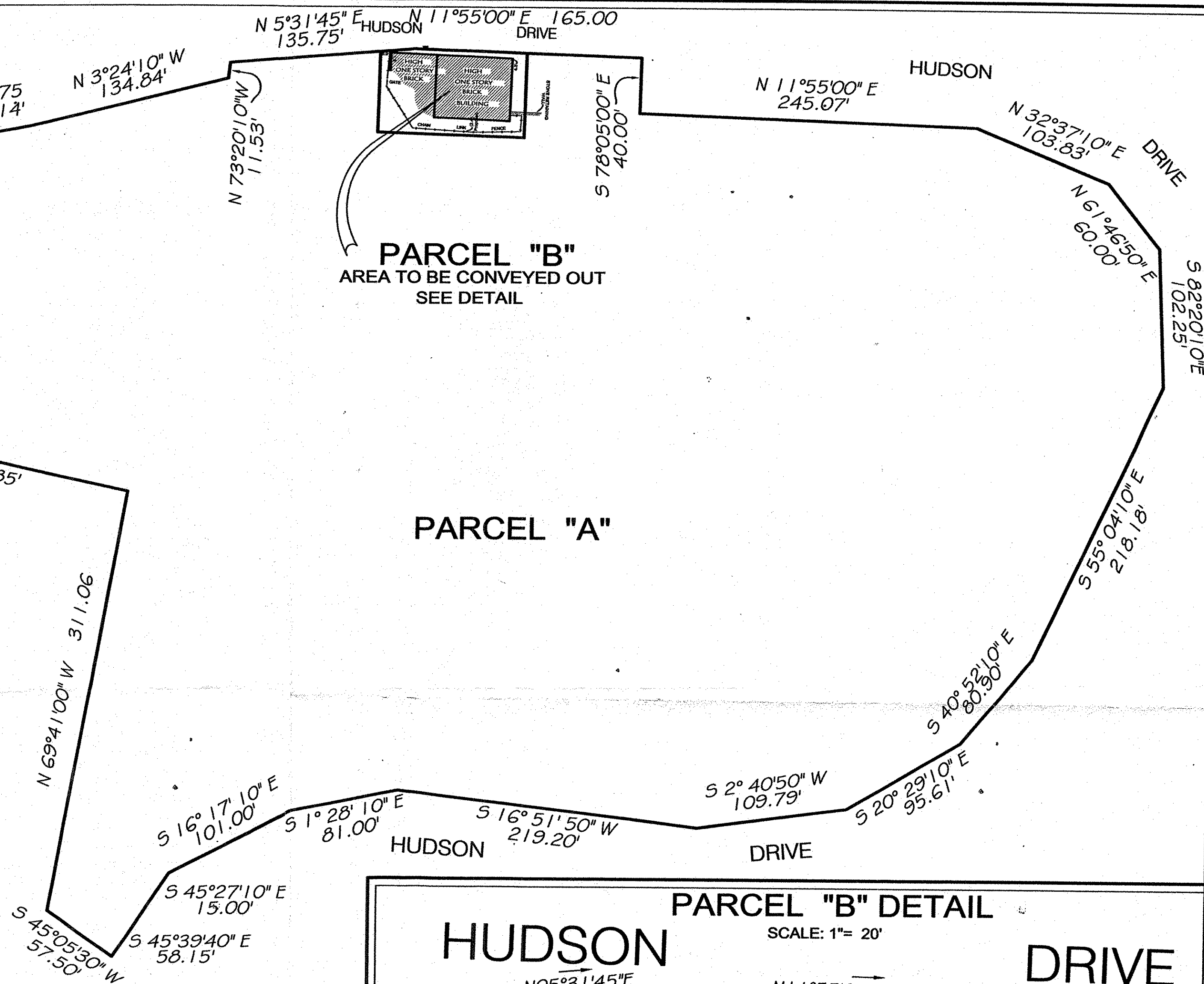


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EXISTING
TOTAL AREA OF PROPERTY = 10.4996 ACRES = 457,362 Sq. Ft.

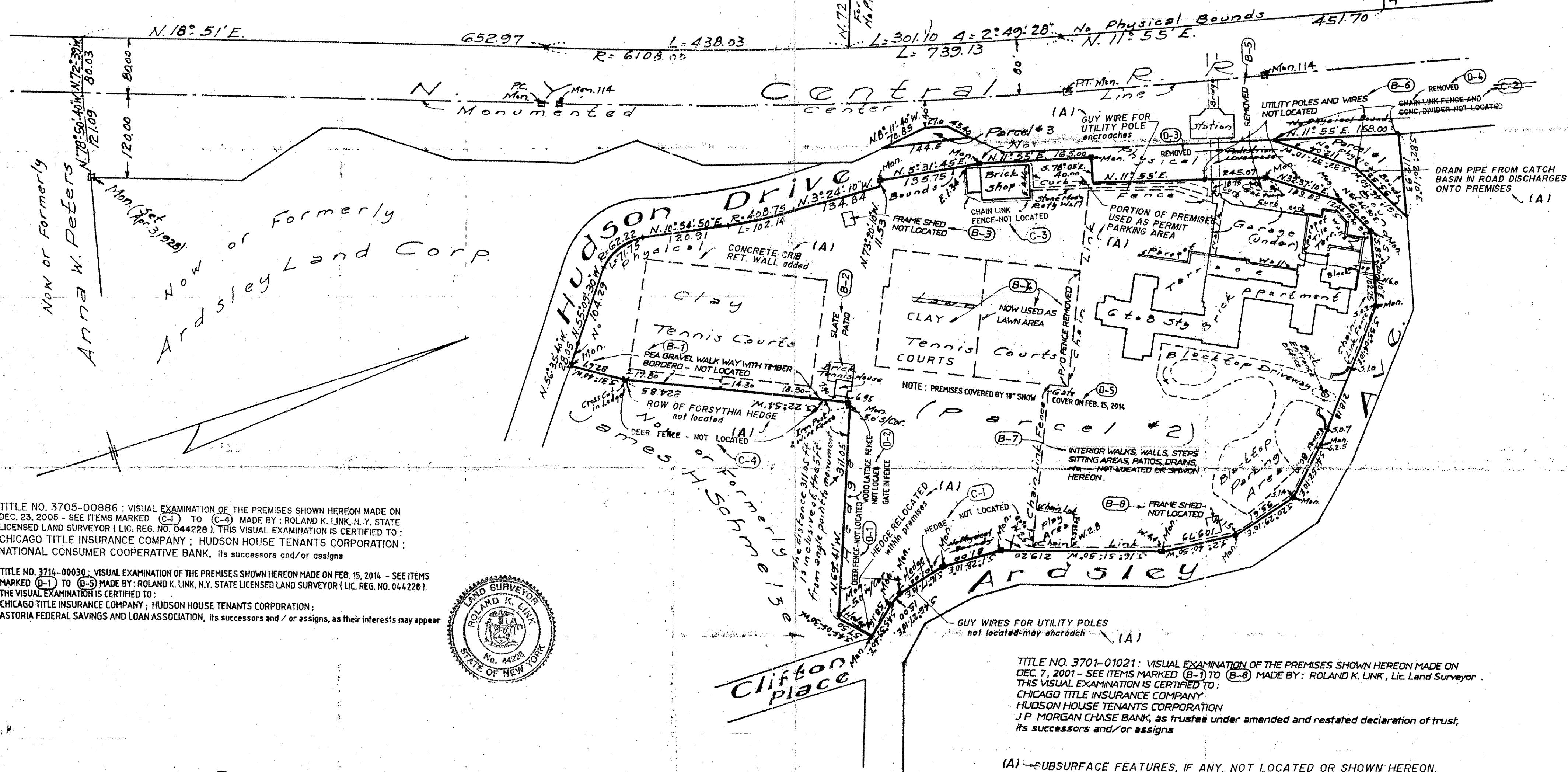
PROPOSED
AREA PARCEL "A" = 10.3513 ACRES = 450,902 Sq. Ft.

PROPOSED
AREA PARCEL "B" = 0.1483 ACRES = 6,460 Sq. Ft.



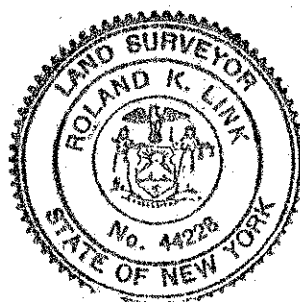
Hudson

River
Parcel No. 4 Entirely under water



TITLE NO. 3705-00886: VISUAL EXAMINATION OF THE PREMISES SHOWN HEREON MADE ON DEC. 23, 2005 - SEE ITEMS MARKED (C-1) TO (C-4) MADE BY: ROLAND K. LINK, N.Y. STATE LICENSED LAND SURVEYOR (LIC. REG. NO. 044228). THIS VISUAL EXAMINATION IS CERTIFIED TO: CHICAGO TITLE INSURANCE COMPANY; HUDSON HOUSE TENANTS CORPORATION; NATIONAL CONSUMER COOPERATIVE BANK, its successors and/or assigns

TITLE NO. 3714-00030: VISUAL EXAMINATION OF THE PREMISES SHOWN HEREON MADE ON FEB. 15, 2014 - SEE ITEMS MARKED (D-1) TO (D-5) MADE BY: ROLAND K. LINK, N.Y. STATE LICENSED LAND SURVEYOR (LIC. REG. NO. 044228). THE VISUAL EXAMINATION IS CERTIFIED TO: CHICAGO TITLE INSURANCE COMPANY; HUDSON HOUSE TENANTS CORPORATION; ASTORIA FEDERAL SAVINGS AND LOAN ASSOCIATION, its successors and / or assigns, as their interests may appear



TITLE NO. 3701-01021: VISUAL EXAMINATION OF THE PREMISES SHOWN HEREON MADE ON DEC. 7, 2001 - SEE ITEMS MARKED (B-1) TO (B-8) MADE BY: ROLAND K. LINK, Lic. Land Surveyor. THIS VISUAL EXAMINATION IS CERTIFIED TO: CHICAGO TITLE INSURANCE COMPANY; HUDSON HOUSE TENANTS CORPORATION; J.P. MORGAN CHASE BANK, as trustee under amended and restated declaration of trust, its successors and/or assigns

(A) - SUBSURFACE FEATURES, IF ANY, NOT LOCATED OR SHOWN HEREON.

VISUAL EXAMINATION OF PREMISES MADE FEB. 6, 1994 BY ROLAND K. LINK LICENSED NEW YORK STATE LAND SURVEYOR NO. 044228, 16 SPRING BROOK DR. MAHOPAC, N. Y. 10541. SEE 8 ITEMS MARKED (A)

THE VISUAL EXAMINATION MADE FEB. 6, 1994 IS CERTIFIED TO: CHICAGO TITLE INSURANCE COMPANY (FOR TITLE NO. 9410-0011)

REVISED 2/28/94 MORGAN GUARANTY TRUST COMPANY OF NEW YORK, AS SUB-TRUSTEE HUDSON HOUSE TENANTS CORPORATION

Certified to Hudson House Tenants Corporation

Survey of Property
prepared for
Hudson House Incorporated
at
Ardsley-on-Hudson
in the Village of
Irvington
Town of Greenburgh
Westchester Co., N.Y.
Scale 1"=100' Sept. 20, 1961
(Brought to date Feb. 4, 1963)

Certified to The Title Guarantee Company (Title No. 6085556 & 6093105)
and to the United States Trust Company and East River Savings Bank.

Ward Carpenter Engineers & Surveyors
Civil Engineers & Surveyors
White Plains, N.Y.

BL222 LT1 GREENBURGH

Job No. 18829-19842

5587X

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Printed on: Thursday, Jun 23, 2022 - 02:34:29 PM
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LIST OF DRAWINGS	
DRAWING NUMBER	DRAWING TITLE
FO-001.00	COVER SHEET AND GENERAL NOTES
FO-002.00	PROPOSED RETAINING WALL PLAN, ELEVATION, AND SECTIONS

100 ARDSLEY AVENUE

RETAINING WALL

ARDSLEY ON HUDSON, NEW YORK

GENERAL NOTES:

1. CONTRACTOR SHALL COORDINATE ALL WORK WITH OWNER'S REPRESENTATIVE AND PROVIDE UPDATED CONSTRUCTION SCHEDULE WEEKLY.

2. BASE PLAN IS DERIVED FROM TOPOGRAPHIC SITE SURVEY MADE BY LINK LAND SURVEYORS P.C. DATED JULY 25, 2013. SEE SITE SURVEY FOR LOCAL COORDINATE SYSTEM.

3. ELEVATIONS ARE IN FEET AND REFERENCED TO NORTH AMERICAN VERTICAL DATUM (NAVD 1988).

4. BUILDING EGRESS WILL NOT BE OBSTRUCTED. CONSTRUCTION WORK IS CONFINED TO PARKING AREAS ADJACENT TO THE BUILDING.

5. THE CONTRACTOR SHALL COMPLY WITH ALL INSURANCE AND WORK PROVISIONS INDICATED ON THE APPROVED PLANS.

6. THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF THE START OF THE WORK AT LEAST 48 HOURS IN ADVANCE OF ARRIVAL ON SITE.

7. THE CONTRACTOR SHALL OBTAIN ALL PERMITS AND LICENSES OF A TEMPORARY NATURE NECESSARY FOR THE PROSECUTION OF THE WORK. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES AND REGULATIONS REQUIRED TO CONDUCT THE WORK SPECIFIED.

8. THE CONTRACTOR SHALL PROVIDE MPT AS REQUIRED BY PERMIT.

9. THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EXISTING UNDERGROUND STRUCTURES PRIOR TO DEMOLITION AND EXCAVATION.

10. THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION SCHEDULE/WORK PLAN FOR REVIEW. THE CONTRACTOR SHALL SEQUENCE WORK SHOWN ON THE CONTRACT DRAWINGS WITH SITE ACCESS REQUIREMENTS.

11. THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS AND CHECK FOR CLEARANCES WITH EXISTING UTILITIES TO REMAIN, PRIOR TO COMMENCING THE WORK.

12. CONTRACTOR TO LAYOUT FINAL RETAINING WALL ALIGNMENT AS SHOWN ON THE CONTRACT DRAWINGS AND VERIFY WITH ENGINEER PRIOR TO CONSTRUCTION.

13. THE FO-SERIES DRAWINGS DO NOT ADDRESS SAFETY ISSUES RELATED TO THE RETAINING WALL WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY AND PROVIDE A SAFETY PLAN CONFORMING TO OSHA STANDARDS.
14. THE CONTRACTOR SHALL PROVIDE BARRIERS AND FENCING AROUND ALL EXCAVATIONS AND WORK AREAS PER LOCAL BUILDING CODE REQUIREMENTS.

15. THE CONTRACTOR SHALL MAINTAIN STABLE EXCAVATION SLOPES.

16. THE CONTRACTOR SHALL ENSURE THAT DUST IS CONTROLLED, AND THAT DISPOSAL OF CONSTRUCTION DEBRIS IS PERFORMED IN A MANNER AS NOT TO INTERFERE WITH SURROUNDING PROPERTIES. DEBRIS AND CONSTRUCTION MATERIALS WILL BE CONFINED TO THE CONSTRUCTION AND LAYDOWN AREAS.

17. THE CONTRACTOR SHALL ENSURE THAT NOISE IS LIMITED TO ACCEPTABLE LEVELS IN ACCORDANCE WITH LOCAL NOISE CONTROL CODES.

18. THE CONTRACTOR SHALL RESTORE SITE TO ORIGINAL CONDITION INCLUDING BUT NOT LIMITED TO LIGHTING, FENCING, PAVEMENTS & STRIPING, DRAINAGE BASINS AND PIPING.

19. SEE DRAWING FO-002.00 FOR RETAINING WALL AND BACKFILL REQUIREMENTS.

20. THE CONTRACTOR SHALL SUBMIT THE FOLLOWING TO THE ENGINEER FOR REVIEW AND APPROVAL AT LEAST 3 WEEKS IN ADVANCE OF STARTING WORK:

A. CONSTRUCTION WORK PLAN AND SCHEDULE

B. RETAINING WALL SHOP DRAWINGS AND DESIGN CALCULATIONS

C. BACKFILL MATERIAL

D. FILTER FABRIC

E. PAVEMENT MATERIALS

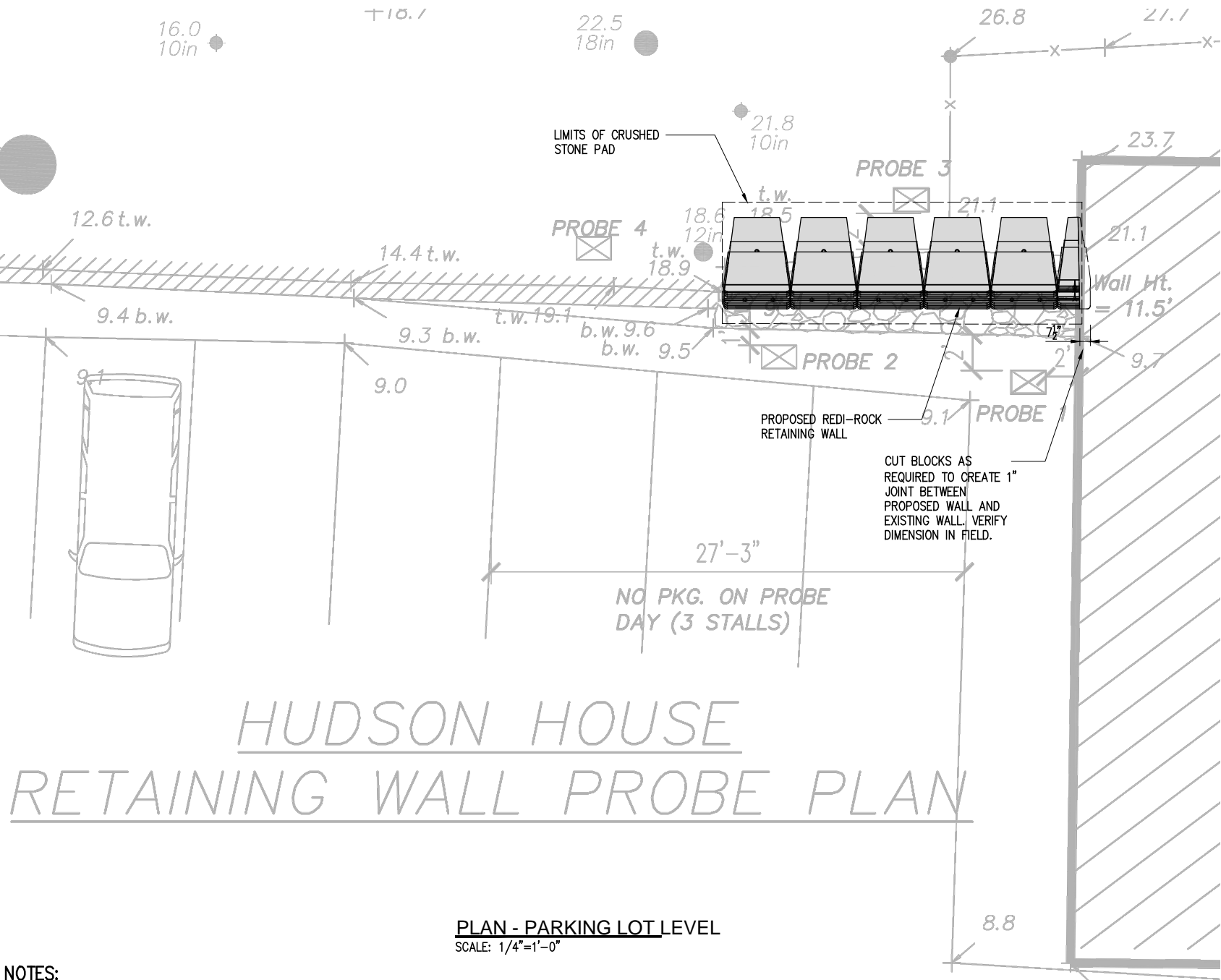
F. JOINT FILLER MATERIAL FOR JOINT BETWEEN RETAINING WALL AND EXISTING WALL & RETAINING WALL AND EXISTING BUILDING

SUBMITTAL B SHALL BE SIGNED AND SEALED BY A LICENSED PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF NEW YORK.

WARNING: IT IS A VIOLATION OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER ANY ITEM ON THESE PLANS IN ANY WAY. IF ALTERATIONS TO THESE PLANS ARE MADE, THE ALTERATIONS SHALL BE MADE IN ACCORDANCE WITH ARTICLE 145 - SECTION 7209.2 OF THE NEW YORK STATE EDUCATION LAW.

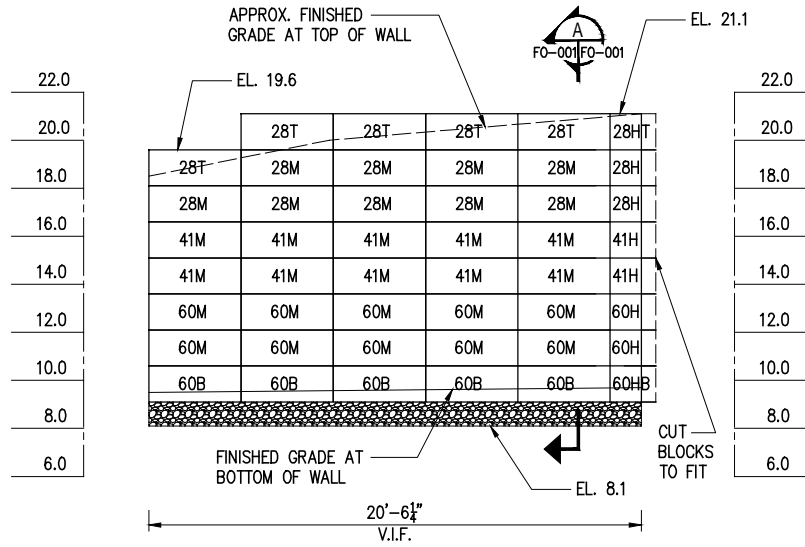
THIS DRAWING IS THE PROPERTY OF MUESER RUTLEDGE CONSULTING ENGINEERS (MRCE), IS FURNISHED SUBJECT TO RETURN ON DEMAND AND ON THE CONDITION THAT THE INFORMATION AND TECHNOLOGY EMBODIED HEREIN SHALL NOT BE DISCLOSED OR USED, AND THE DRAWING SHALL NOT BE REPRODUCED OR COPIED IN WHOLE OR IN PART EXCEPT AS PREVIOUSLY AUTHORIZED IN WRITING BY MRCE. ANY PERSON WHO MAY RECEIVE OR OBSERVE THIS DRAWING WILL BE HELD STRICTLY LIABLE FOR ANY VIOLATION OF THIS NOTICE, WHETHER WILLFUL OR NEGLIGENT.

REV.	DATE	BY	DESCRIPTION
100 ARDSLEY AVENUE RETAINING WALL			
ARDSLEY ON HUDSON			NEW YORK
HUDSON HOUSE TENANTS CORP. C/O THE FERRARA MANAGEMENT GROUP			
BEDFORD HILLS			NEW YORK
MUESER RUTLEDGE CONSULTING ENGINEERS			
14 PENN PLAZA - 225 W. 34TH STREET, NY, NY 10122			
SCALE AS NOTED	MADE BY: JSM CH'KD BY:	DATE: 06/23/2022 DATE:	FILE NUMBER 14361
COVER SHEET AND GENERAL NOTES			DRAWING NUMBER FO-001.00

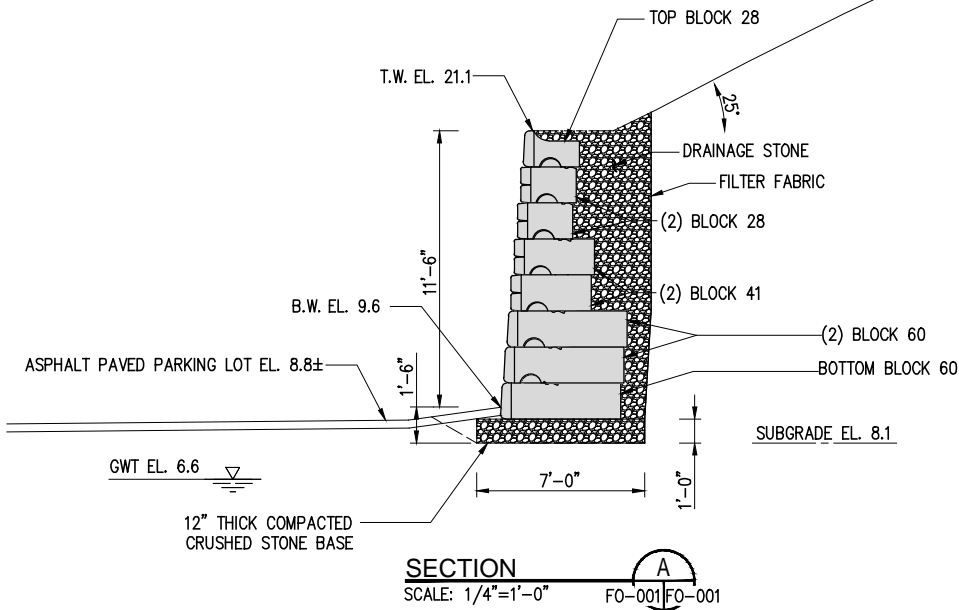


NOTES:

- FOR GENERAL NOTES SEE DRAWING NO. FO-001.
- PLANS AND SECTIONS SHOWN ON THIS DRAWING ARE FOR BIDDING PURPOSES ONLY. THE CONTRACTOR SHALL SUBMIT PROPOSED WALL DESIGN, CONCRETE OR STONE LEVELING PAD DESIGN LAYOUT AND DETAILS TO THE ENGINEER AND OWNER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- MINIMUM REQUIREMENTS FOR BACKFILL BEHIND WALL:
ANGLE OF INTERNAL FRICTION - 35° MINIMUM
DENSITY ? 120 PCF
95% MODIFIED COMPACTION (ASTM D-1557)
- LEVELING PAD SHALL CONSIST OF CRUSHED STONE (12 INCH MIN. THICKNESS). ALTERNATIVELY, UNREINFORCED CONCRETE LEVELING PAD WITH 28 DAY COMPRESSIVE STRENGTH OF 2500 PSI MAY BE USED.
- ALLOWABLE BEARING PRESSURE FOR DESIGN SHALL BE 2.5 KSF FOR FILL. UNSUITABLE SUBGRADE MATERIALS SHALL BE REMOVED. WALL CONSTRUCTION SHALL NOT PROCEED UNTIL FOUNDATION SUBGRADE IS APPROVED BY GEOTECHNICAL ENGINEER.
- PRECAST MODULAR BLOCK WALL SHALL CONSIST OF RETAINING WALL BLOCK UNITS MANUFACTURED BY REDI-ROCK INTERNATIONAL.
- CONSTRUCTION OF PRECAST MODULAR BLOCK WALL SYSTEM SHALL BE IN ACCORDANCE WITH REDI-ROCK INTERNATIONAL'S INSTALLATION GUIDE MANUAL & DESIGN RESOURCE MANUAL.
- FACTORS OF SAFETY FOR DESIGN:
A. SLIDING ≥ 1.5
B. OVERTURNING ≥ 2.0
C. INTERNAL STABILITY ≥ 1.5
D. BEARING CAPACITY ≥ 2.0
- THE PRECAST MODULAR BLOCK WALL SYSTEM SHALL BE DESIGNED FOR SURCHARGE APPLIED BY THE EMBANKMENT RETAINED BY THE WALL.
- CONTRACTOR MAY SUBMIT AN ALTERNATIVE RETAINING WALL SYSTEM FOR REVIEW AND APPROVAL OF ENGINEER.
- A 12" THICK ZONE OF DRAINAGE STONE SHALL BE PLACED BEHIND THE FACE OF THE WALL AND SHALL BE PROTECTED FROM BACKFILL BY FILTER FABRIC.



FRONT FACE ELEVATION
SCALE: 1/4"=1'-0"



SECTION
SCALE: 1/4"=1'-0"

REV.	DATE	BY	DESCRIPTION
100 ARDSLEY AVENUE RETAINING WALL			
ARDSLEY ON HUDSON NEW YORK			
HUDSON HOUSE TENANTS CORP. C/O THE FERRARA MANAGEMENT GROUP BEDFORD HILLS NEW YORK			
MUESER RUTLEDGE CONSULTING ENGINEERS PLLC 14 PENN PLAZA - 225 WEST 34TH STREET, NEW YORK, NY 10122			
SCALE AS NOTED	MADE BY: JSM CH'KD BY:	DATE: 06/23/2022 DATE:	FILE NUMBER 14361
PLAN VIEW, ELEVATION, AND SECTION VIEWS			DRAWING NUMBER FO-002.00

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