

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	827	Date:	10/16/2022
Job Location:	81 S BUCKHOUT ST	Parcel ID:	2.80-35-13
Property Owner:	George Antiaris	Property Class:	TWO FAMILY RES
Occupancy:	One/ Two Family	Zoning:	R1F-5
Common Name:			

Applicant	Contractor
Nestor Kyritsis	
Nestor Kyritsis Architect LLC	
52 Caroline PlaceGreenwich CT 06831	
9172083553	

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	\$0000.00	Property Class:	TWO FAMILY RES

Description of Work

New porch roof over the existing front porch. New structure to include code-compliant guards/ handrails and new lighting at the ceiling.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

VILLAGE OF IRVINGTON

85 MAIN STREET
IRVINGTON, NEW YORK 10533
TEL: (914) 591-7070 • FAX: (914) 591-4072
E-MAIL: office@irvingtonny.gov
WEB SITE: <http://irvingtonny.gov>



November 29, 2022

George Antiaris
81 South Buckhout Street
Irvington, New York 10533

Re: Application for a Variance; Sheet 2.80; Block 35; Lot 13

Dear Mr. Antiaris:

This will confirm that at its meeting last Tuesday night the Zoning Board of Appeals voted unanimously to grant your request for a variance from the provisions of §§224-11 (encroachment into front yard and side yard) and 224-13 (exceeds allowable coverage) and of the Irvington Zoning Code ("Code"), in order to build a front porch on existing coverage at the above referenced property.

The Board concluded that the benefit to you from granting the variance outweighed any detriment to the health, safety and welfare of the neighborhood or community. In particular, the Board found that granting the variance would not produce an undesirable change in the character of the neighborhood or a detriment to nearby properties. The variance requested would have minimal impact on neighboring properties.

The Board also found that the benefit that you seek could not feasibly be achieved by any method other than a variance. Finally, the Board found that your requested variance would not adversely affect the physical or environmental conditions of your neighborhood or district.

For these reasons, the Board voted to grant your request and your application is hereby granted to vary the requirements of the above cited sections of the Code in order to build a front porch on existing coverage at the above referenced property in accordance with plans submitted at the hearing and made a part of the record herein.

VILLAGE OF IRVINGTON - APPLICATION DATA SHEET

www.irvingtonny.gov

Owner GEORGE ANTIARAS Owner Address 81 S. BUCKHOUT ST Date OCT 16, 2022
 Tax Account Number (*)2317800 Sheet 2-80 Block 35 Lot 13 Parcel 54
 Property Address 81 S. BUCKHOUT ST Phone # 914-574-5651 Fax #
 Architect or Engineer NESTOR KYRITSIS ARCHITECT LLC Email Address NJKARCH11@GMAIL.COM
 Phone # Cell # 917-208-3553 Fax # NYS Lic. # 017046

Ref.	Zoning District	Existing	Proposed	Two Family	Multi Family	1F-5	1F-10	1F-20	1F-40	1F-60	1F-80	Coverage Information
224-4	Square feet of lot	4,600	n/a	5,000	10,000	30	30	20,000	40,000	60,000	80,000	Structures
224-10	Front yard setback	13.8	13.8	10	15	15	15	35	50	60	75	Decks
224-11	Side yard setback 1	3.7	3.7	10	15	15	15	25	25	30	30	Patios, walks
224-11	Side yard setback 2	7.8	7.8	30	30	30	30	35	40	60	75	Porch
224-11	Rear yard setback	37.1	37.1	50	85	100	100	100	150	200	250	Floor overhangs
224-10	Lot width	40	40	100	100	125	125	150	150	200	250	Swimming pools
224-10	Lot depth	100	100	100	100	125	125	150	150	200	250	Other
224-13	Lot coverage	2160	2160	24%	20%	16%	12%	12%	8.33%	6.75%	6.75%	Total (in sq ft)
224-13	Coverage Bonus over minimum lot size	992	992	upto 5000 sqft	upto 10000sqft	upto 20000sqft	upto 40000sqft	upto 60000sqft	upto 80000sqft	upto 100000sqft	over 80000sqft	Provide floor plan showing dimensions and sq ft

Ref.	Patios, sidewalks and other impervious surfaces	View Preservation Overlay	Aqueduct buffer	Cyrus Field Rd buffer	Applicable	Setback	15' from street line and 4 feet from all other property lines
224-11					yes	no	
224-149					yes	no	
224-50					yes	no	
224-51 B					yes	no	
224-51 A					yes	no	

224-134 Floor Area Ratio Existing 52.52 Proposed 52.52
 (in sq ft - see Zoning Ordinance for definitions and exclusions)

Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Lot Size	Max FAR	Floor Area (sf)	Floor Area (sf)
< 5,000	0.43	varies	21,000	0.198	4,158	38,000	0.164	6,232	55,000	0.1325	7,288	9,000
5,000	0.43	2,150	22,000	0.196	4,312	39,000	0.162	6,318	56,000	0.1305	7,308	9,125
6,000	0.39	2,340	23,000	0.194	4,462	40,000	0.1625	6,500	57,000	0.1285	7,325	9,250
7,000	0.36	2,520	24,000	0.192	4,608	41,000	0.1605	6,581	58,000	0.1265	7,337	9,375
8,000	0.33	2,640	25,000	0.19	4,750	42,000	0.1585	6,657	59,000	0.1245	7,346	9,500
9,000	0.3	2,700	26,000	0.188	4,888	43,000	0.1565	6,730	60,000	0.125	7,500	9,625
10,000	0.28	2,800	27,000	0.186	5,022	44,000	0.1545	6,798	61,000	0.125	7,625	9,750
11,000	0.2725	2,998	28,000	0.184	5,152	45,000	0.1525	6,863	62,000	0.125	7,750	9,875
12,000	0.265	3,180	29,000	0.182	5,278	46,000	0.1505	6,923	63,000	0.125	7,875	10,000
13,000	0.2575	3,348	30,000	0.18	5,400	47,000	0.1485	6,980	64,000	0.125	8,000	
14,000	0.25	3,500	31,000	0.178	5,518	48,000	0.1465	7,032	65,000	0.125	8,125	
15,000	0.2425	3,638	32,000	0.176	5,632	49,000	0.1445	7,081	66,000	0.125	8,250	
16,000	0.235	3,760	33,000	0.174	5,742	50,000	0.1425	7,125	67,000	0.125	8,375	
17,000	0.2275	3,868	34,000	0.172	5,848	51,000	0.1405	7,166	68,000	0.125	8,500	
18,000	0.22	3,960	35,000	0.17	5,950	52,000	0.1385	7,202	69,000	0.125	8,625	
19,000	0.2125	4,038	36,000	0.168	6,048	53,000	0.1365	7,235	70,000	0.125	8,750	
20,000	0.2	4,000	37,000	0.166	6,142	54,000	0.1345	7,263	71,000	0.125	8,875	

For additional information, please refer to the Village Zoning Ordinance.

(*) Tax ID Number available from Village Clerk (591-7070)

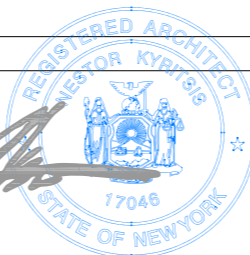
(**) The Village Zoning Regulations should be consulted for additional requirements.

81 South Buckhout St

New Front Porch
81 South Buckhout Street
Irvington NY 10533

NESTOR KYRITSIS ARCHITECT LLC

52 CAROLINE PLACE GREENWICH CT 06831
PH : 203-681-2279 Cell: 917-208-3553 NJKARCH11@gmail.com



81 South Buckhout Street

DATE: OCT 15, 2022

REV:

SCALE: NTS

Title Sheet

T1

81 S Buckhout St

Village of Irvington

DRAWINGS

- T1 TITLE SHEET
- T2 GENERAL NOTES- SITE PLAN
- N1 NEIGHBOORHOOD PHOTOS
- A1 FRONT ELEVATION & PLAN
- A2 SECTION A
- A3 MATERIALS
- A4 ROOF PLAN & REFLECTED CEILING

Scope of Work

81 S BUCKHOUT ST - SCOPE OF WORK

FIRST FLOOR - NEW FRONT PORCH STRUCTURE INCLUDING ROOF AND SUPPORT COLUMNS OVER EXISTING FRONT PORCH.

NYS Uniform Code

The proposed work is subject to the 2020 Residential Code of New York State Adopts with Amendments: International Residential Code 2018 (IRC 2018)This code is part of the New York State Uniform Fire Prevention and Building Code (the "Uniform Code").

In addition, the work is subject to the 2020 Energy Conservation Construction Code of New York State, referred to as the "ECCCNYS" which adopts with amendments the International Energy Conservation Code 2018 (IECC 2018).

2020 Residential Building Code of NYS

[NY] AJ301.4 Alterations—Level 1 Level 1 alterations include the removal and replacement or the covering of existing materials, elements, equipment or fixtures using new materials, elements, equipment or fixtures that serve the same purpose, without reconfiguring the space. Level 1 alterations shall comply with the provisions of Section AJ501.

[NY] AJ301.5 Alterations—Level 2 Level 2 alterations include the reconfiguration of space, the addition or elimination of any door or window, the reconfiguration or extension of any system, or the installation of any additional equipment. Level 2 alterations shall comply with the provisions of Section AJ501 for Level 1 alterations as well as the provisions of Section AJ601.

General Notes

- The Architect has recorded observable conditions only.
- The contract documents have been prepared in accordance with generally accepted practice Re: existing conditions & interface with new construction. Their is is no warranty for accuracy or completeness of existing conditions or existing drawings used as a reference
- It is a violation of the law for any person, unless acting under the direct supervision of the architect, to alter this drawing in any way.
- Written dimensions take precedence over scaled dimensions.
- Please be aware that all of these notes may not apply to this project.
- Contractor or any Subcontractors shall visit site and examine all the existing site conditions, and confirm all sizes and measurements prior to submitting a bid and performing work. Any discrepancies must be reported to the Owner.
- While every attempt has been made in preparation of these plans to avoid mistakes, the preparer cannot guarantee against human error. The contractor on the job must check and confirm all dimensions and details prior to construction and be responsible for same.
- Approval of these plans does not include supervision or inspection of construction of the building.
- Representative(s) of the local building department shall have the right to inspect, be notified in advance of footing construction, electrical and plumbing activities and be permitted access to all work performed at any time and as necessary for verification of construction compliance.
- Locations of doorways and windows may be revised as required by owner providing the span, studding and lintel arrangements remain as shown on these plans.
- The Contractor shall install all required temporary bracing and supports as needed based on the contractor's approach, means, and methods.
- The Contractor is responsible for safety bracing and protecting all work during construction against damage, collapse, breakage, misalignment, etc. as per applicable codes, standards, and good practice.
- All construction shall comply with all Federal, State, and local codes, ordinances, rules and local laws pertaining to construction, site safety labor, materials and use of site.
- The Contractor shall obtain all construction permits and inspections and approvals as required.

Demolition

- All demolition and carting to be performed in accordance with local rules and regulations and per requirements of the Owner.
- All debris shall be removed by the G.C. from the site and disposed of in a manner approved by all State, Local & Federal regulations.

Concrete

- The foundation was designed assuming an allowable soil bearing capacity of 2.0 tsf - direct bearing on hardpan or rock. Foundation to rest on undisturbed virgin soils or designed fill to meet the minimum allowable bearing capacity.
- Pour concrete for footings continuously and stiffly, with size as shown on drawing , footings- reinforced with (3) #4 re-bars and poured -minimum of 42" below grade or pinned to rock at all points.
- Concrete for footings to develop minimum compressive strength of 3,500 psi in 28 days.
- Foundation walls to be load bearing concrete block. Horizontal and corner reinforcing shall be provided.
- Concrete for slabs to be mixed with anti-hydro and to develop a minimum compressive strength 3,500 psi in 28 days.
- All slabs on grade shall be placed only after thorough compacting of the sub-grade. All reinforcement in slabs shall be placed 1" min. from all outer surfaces of concrete.
- Concrete slabs to be trowel finished and reinforced with 6x6, #10/10 welded steel wire mesh poured over 6 mil vapor barrier and minimum 4" gravel. All corners and column locations to be provided with double #4 bars placed diagonally at each corner.

Wood Construction

- All framing and lumber to be construct ion grade #1 Douglas Fir having modulus of elasticity of 1,700,000 and a normal duration design value of (f=1450) with maximum moisture content 19%.
- Lumber exposed to weather or in contact with concrete or close to soil must be preservative pressure treated.
- Pressure treated lumber to be graded #2 or better Southern Yellow Pine to be used for sill plates. Anchor sill plates with 1/2" x 8 " steel anchor bolts at 4' o.c. using minimum 2 bolts per plate.
- All non treated wood members to be minimum 12" above grade.
- All Steel and Wood columns to be taken to solid foundation and anchored to footings/ bearing walls w/ steel plates and anchor bolts.
- Provide sill seal continuous at the concrete block / wood sill interface.
- All studs in bearing walls are to be toe nailed at top and bottom with minimum Six 12D common nails. Stud maximum spacing 16" o.c. except as noted herein.
- All wall sheathing to be min. 1/2" DFPA 24-0 exterior grade CDX, all roof sheathing to be min. 5/8" DFPA 24-0 exterior grade CDX, supported and secured on all edges and at 10" on center along studs or rafters.
- Sub-flooring to be 3/4" T& G DFPA 32-16 secured with screw type nails.
- Provide solid wood or steel strap bridging at third points of all joists or as required by the drawings.
- Where flush framing occurs, use minimum 16 GA sheet metal joist hangers by Simpson or equal.
- Min. bearing for studs, joists, & beams shall be 3- 1/2".

Masonry & Steel

- All masonry construction to meet code ACI 530-99 "Building Code Requirements for Masonry Structures".
- Masonry cement to comply with ASTM C-91 requirements.
- Mortar to comply with ASTM C-270. Use Type "S" mortar U.O.N.
- Provide horizontal joint reinforcing at 16" o/c in conc. block walls, at 8" o/c in brick masonry walls.
- Provide vertical reinforcing in all conc. block and brick masonry walls #4 re- bar at 16" o/c unless otherwise noted.
- All anchor bolts, metal ties, nuts, washers and other hardware to be hot dipped galvanized.
- All beams to be A -36 bear on steel column, concrete foundation or other steel beams only.
- All Steel and Wood columns to be taken to solid foundation and anchored to footings/ bearing walls w/ steel plates and anchor bolts.

Finishes- Painting

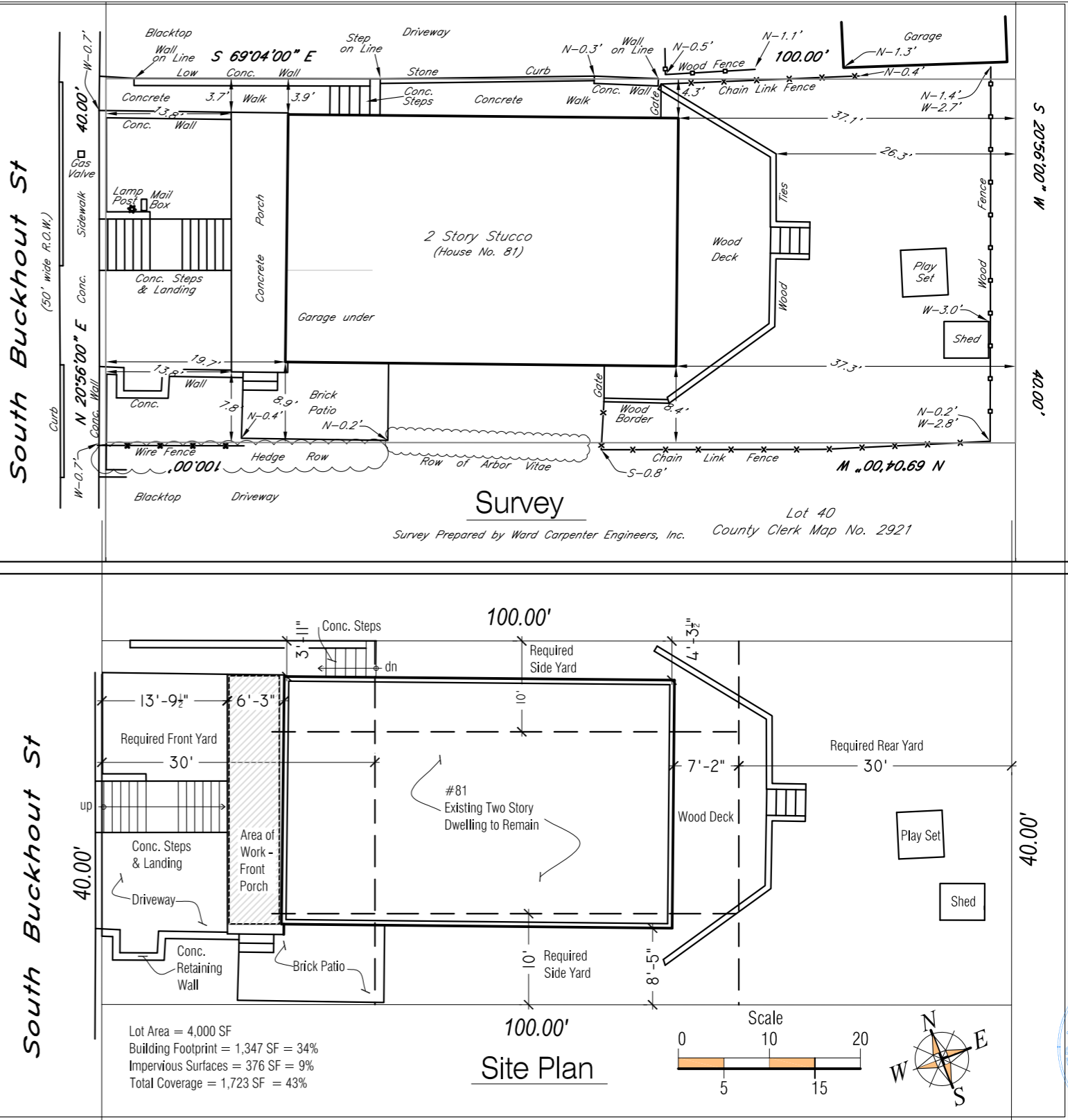
- It is the intent of these specifications to provide a complete finish. All painted surfaces must be fully covered in a uniform manner to be acceptable.
- Exterior wood surfaces- apply to lightly sanded surfaces, doors, doors, frames, trim. bases, etc. one coat wood filler and two coats non yellowing polyurethane or semi gloss paint -color by owner.
- Gypsum Board- Min. one coat primer & two coats flat paint.
- All materials to be of best quality- Pratt & Lambert, Cabots, Benjamin Moore, Pittsburgh, or equal.
- Contractor is to provide samples of all paints & stains for Architect's and/ or Owner's approval.

Electrical

- All work shall comply with the National Electrical Code and all State, Local, & Utility company codes & regulations.
- All circuits shall be min. 15 Amp.
- Power wiring shall be min. 14 AWG.
- Exterior Convenience outlets shall be located 12" above finished floor & all switches to be located 36" A.F.F. unless otherwise noted.
- Lighting- all lighting shall be installed to develop a minimum 35 foot candles at work table height. Additional table and area lighting shall be installed as required by Owner

Underground Utilities

- The Contractor is Hereby Notified That Underground Utilities May Exist at the Site.
- Verification and Field Marking of the Location(s) of Existing Utilities is Required Prior to Commencement of the Work and is the Responsibility of the General Contractor.
- Any Damage or Disturbance to Existing Utilities During the Duration of the Contract is to be Repaired / Replaced "In Kind" By contractor at His/ Her own Expense.
- After Verification, The Contractor is to Report Limitations, Including Underground Utilities, Affecting the Proposed Work.



CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA (2016)													
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP.	ICE BARRIER UNDERLAYMENT	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP.
30 PSF	SPEED	TOPO-GRAPHIC EFFECTS	SPECIAL WIND REGIONS	WIND-BORN DEBRIS	C	WEATHER-ING	FROST LINE DEPTH	TERMITE	7° F	REQUIRED YES	FIRM MAP 36119C0261F 9-28-2007	1500 OR LESS	51.6° F
	SPECIAL	NO	YES	NO		SEVERE	42"	MODERATE TO HEAVY					

- Tax ID # 2.80-35-13

ZONING NOTES

ZONE R1F-5 Village of Irvington- One Family Residence District - 81 S Buckhout St

	FLOOR AREA RATIO (LESS THAN 5,000 SF)	BUILDING HEIGHT		BUILDING LENGTH (FT)	COVERAGE					LOT WIDTH	LOT DEPTH	YARDS				
		STORIES	FEET		BUILDINGS	IMPERVIOUS SURFACES	LOT AREA (SF)	LOT AREA PER D.U.	FLOOR AREA PER D.U. (S.F.)			FRONT	SIDE		REAR	
														FIRST		
MAXIMUM	0.43	2.5	35	---	20%		5,000	5,000	(VARIES)	50	100	30	10	10	30	---
EXISTING	0.47	2.5	25		34%		4,000	4,000	N/A	40	100	13.8	3.7	7.8	37.1	
PROPOSED	0.47	2.5	25		34%		4,000	4,000	N/A	40	100	13.8	3.7	7.8	37.1	
CONFORMING	YES- I.	YES	YES		YES- I.		YES- I.	YES- I.	N/A	YES- I.	YES	YES- I.	YES- I.			

NOTES

- The Existing Dimensions Are Pre Existing Non Complying Conditions. NO Increase of Non Conforming Conditions is Proposed.
- The Architect has Recorded Observable Existing Conditions Only. The Contract Documents Have Been Prepared In Accordance With Generally Accepted With New Construction. There is No Warranty for the Accuracy or Completeness of Existing Conditions or Existing Drawings Used as a Reference.
- No Person May Alter This Drawing in Any Way Unless Acting Under the Direction of the Licensed Architect.
- Based on a Survey Dated August 29, 2022 Prepared by Ward Carpenter Engineers Inc.

Notes - Site Plan

81 S Buckhout Street

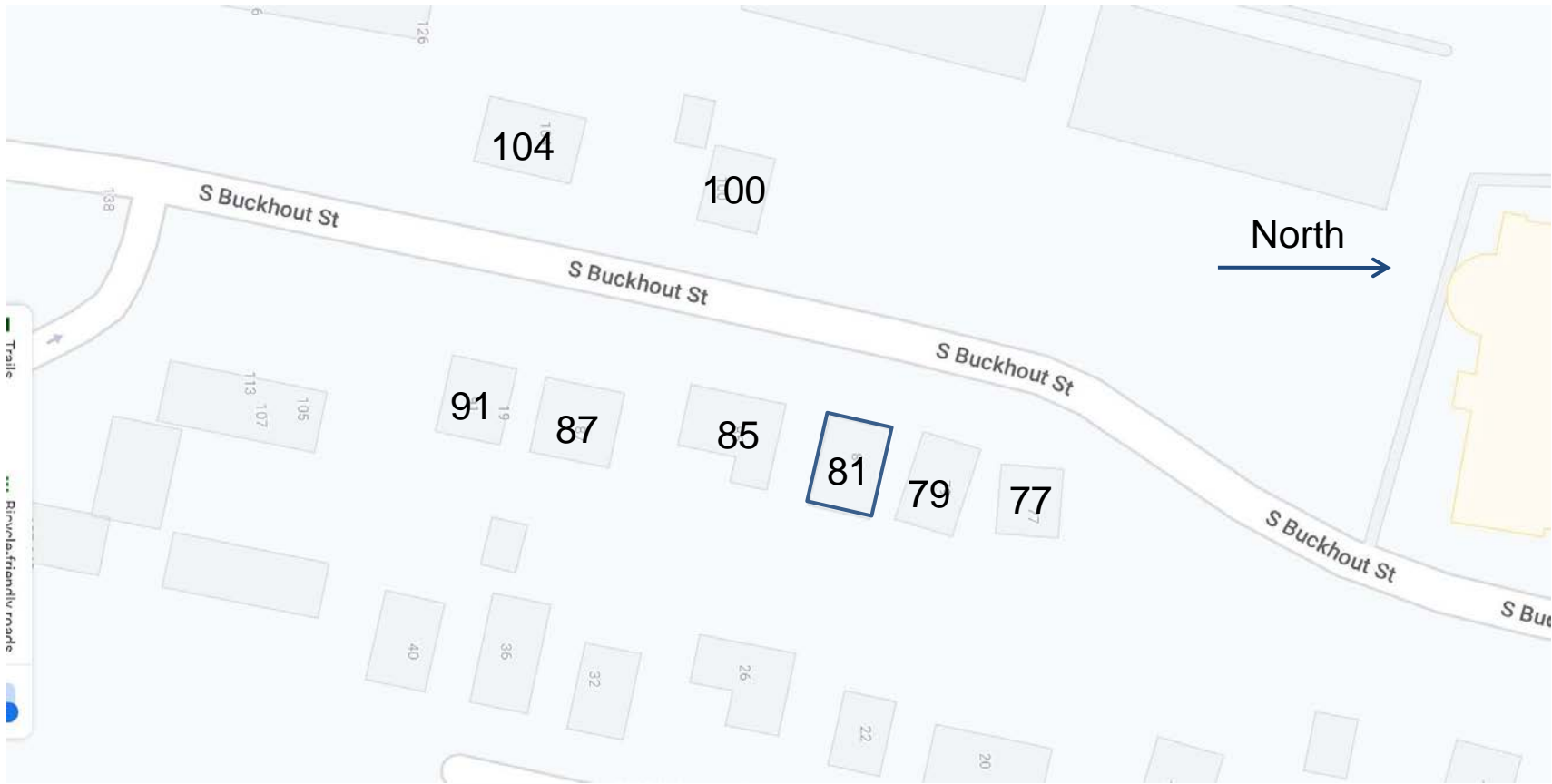
DATE: OCT 15, 2022
SCALE: AS NOTED



NESTOR KYRITSIS ARCHITECT LLC

52 CAROLINE PLACE GREENWICH CT 06831
PH: 203-681-2279 Cell: 917-208-3553 NUKARCH11@gmail.com

T2



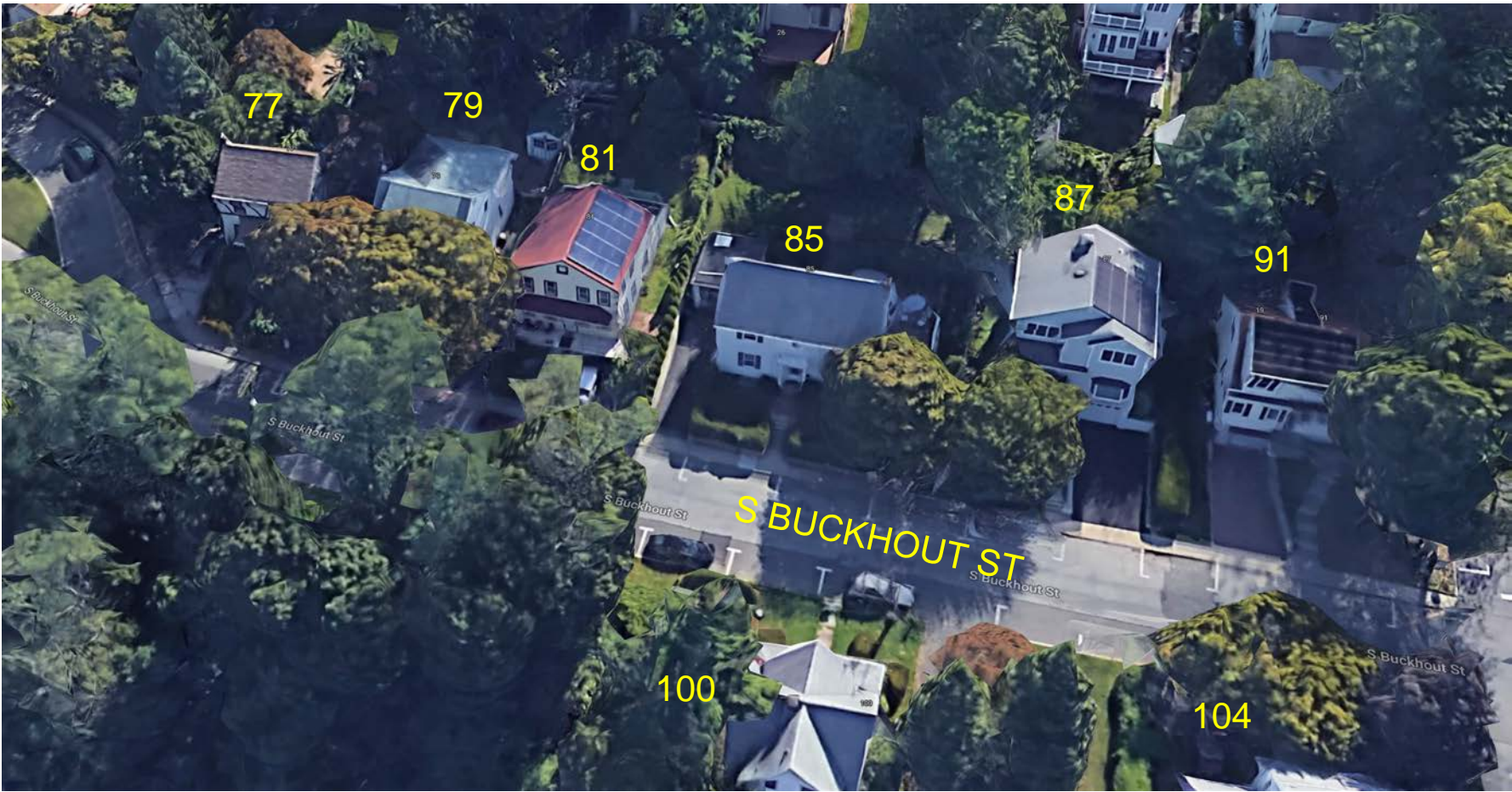
STREET MAP



S BUCKHOUT ST 77 79 81



S BUCKHOUT ST 79 81 85



BIRDS'S EYE VIEW – S BUCKHOUT STREET



87 91 CORNER OF WEST CLINTON AVE

NESTOR KYRITSIS ARCHITECT, LLC

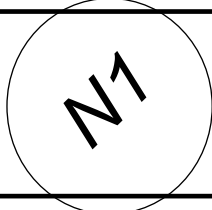
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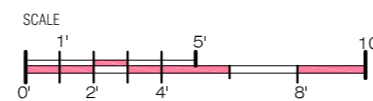
DATE: OCT 15, 2022 REVISION:
SCALE : AS NOTED

Neighborhood Photos

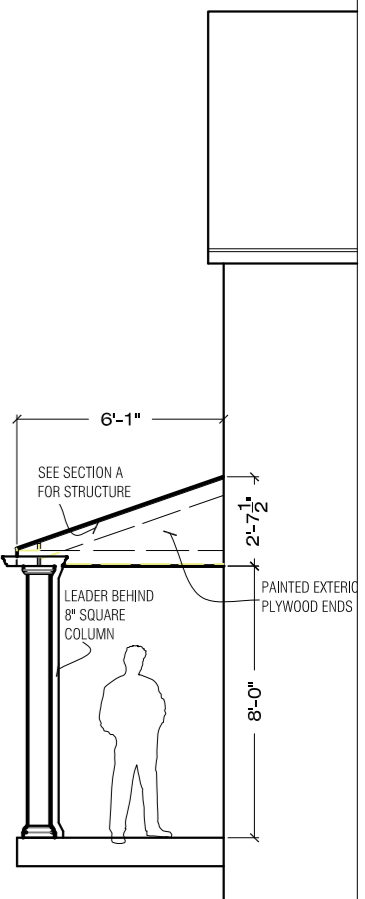




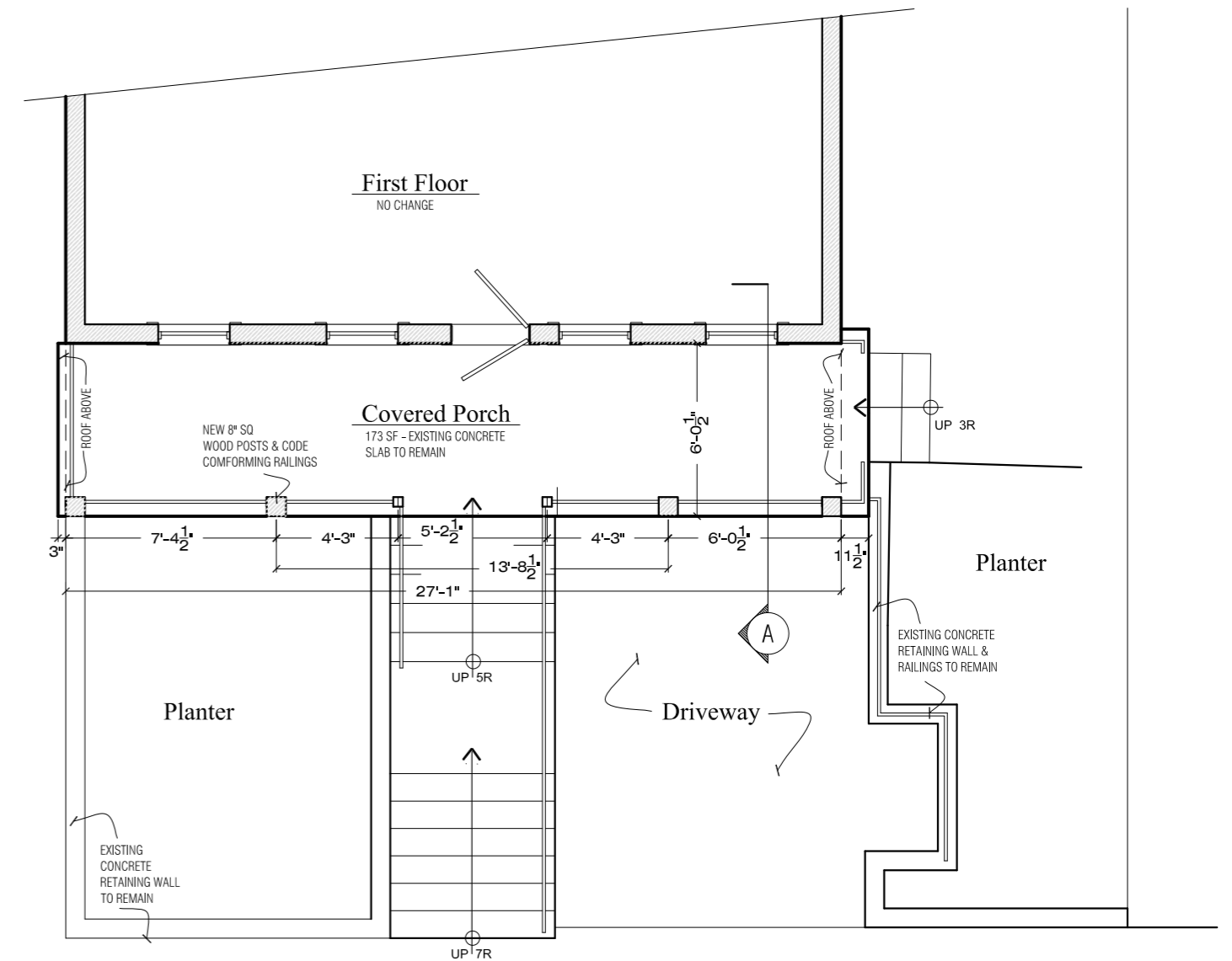
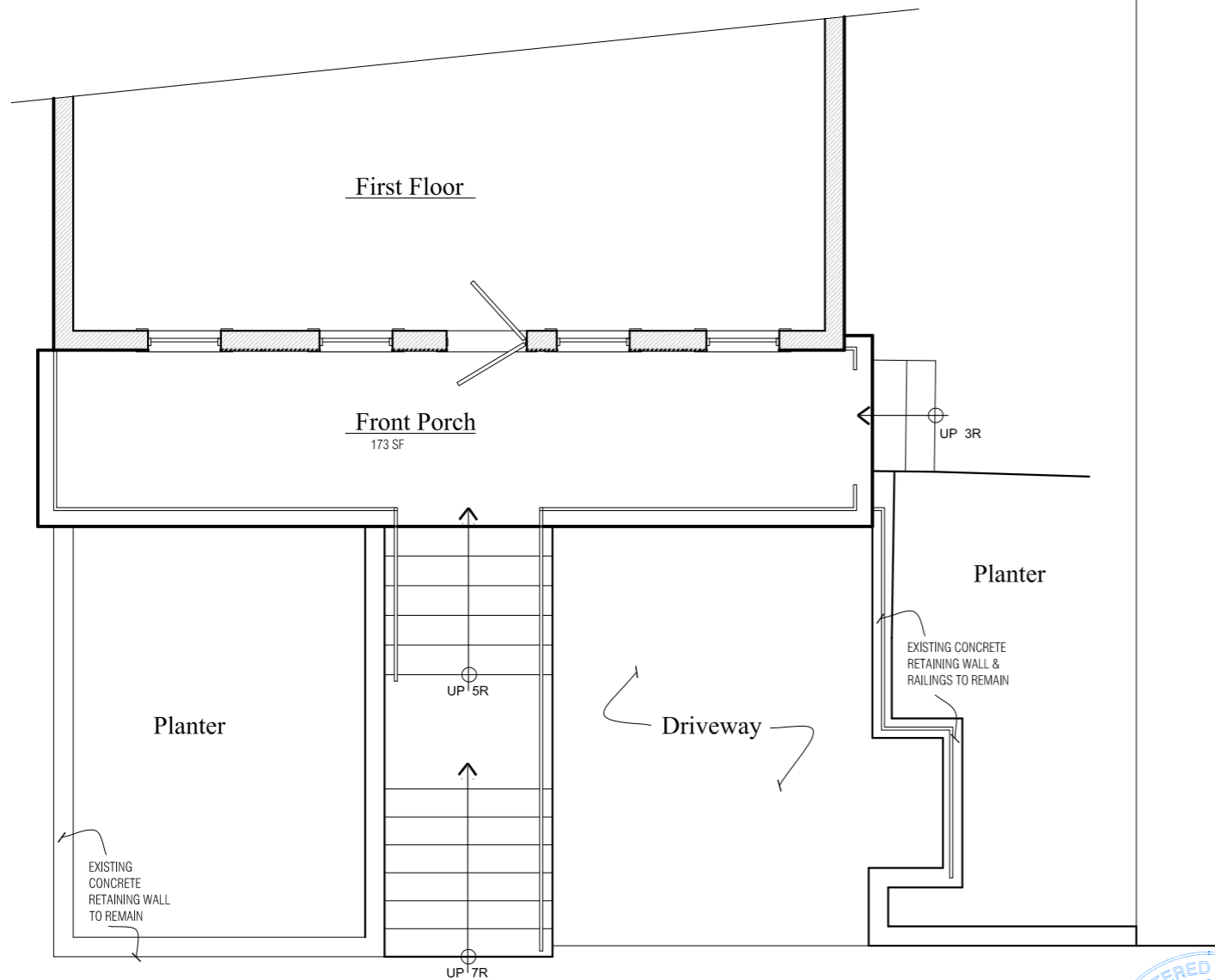
Existing Elevation



Proposed Elevation



Side Elevation



NESTOR KYRITSIS ARCHITECT LLC
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81 South Buckhout Street
DATE: OCT 15, 2022 REV:
SCALE: AS NOTED

Front Elevation & Plan

A1

NOTE
NEW HANDRAIL & GUARDS TO COMPLY
WITH TABLE R 301.5 -200 LB LATERAL
LOAD, GUARDS & HANDRAILS

TYPICAL ROOF CONSTRUCTION

30 YEAR, 3 TAB ASPHALT/ FIBERGLASS
ROOF SHINGLES W/30# ASPHALT
IMPREGNATED ROOFING FELT ON 5/8"
CDX PLYWOOD SHEATHING

COATED ALUMINUM DRIP FLASHING

ICE & WATER SHIELD UP MIN. 30" PAST

SEAMLESS ALUM GUTTER-CONNECT
TO LEADERS

3/4" CDX PLYWOOD FASCIA & SOFFIT

8 X 8 PRE FABRICATED WOOD SQUARE
POST ENCLOSURE

RAILING CONSTRUCTION

1- 3/4" X 1-3/4" COMPOSITE RAILING
SYSTEM W/ COMPOSITE BALUSTERS

1- 3/4" X 1-3/4" BOTTOM RAIL , 2-1/2"
ABOVE DECKING

CONSTRUCTION at EXISTING CONC. DECK

18 GA METAL COLUMN BASE PLATE W/
5/8" ANCHOR BOLTS, MIN. 9" INTO
EXISTING CONC. DECK- USE SIMPSON
#ABU44 W/ CONC. FASTENERS IN EPOXY
GROUT BEYOND.

PORCH STRUCTURE

2 X 8 @ 16" O/C RAFTERS W/ BLOCKING
& SIMPSON H2 HURRICANE TIE TO
BEAM-TYPICAL

EXISTING WINDOW SILL BEYOND

14 GA COPPER FLASHING SECURED
W/ COPPER BRADS 6" O/C AT EXISTING
SHEATHING & NEW ROOF

2 X 5.5" LVL BEAM / 2.1 E- GANG
NAILED W/ TWO ROWS OF 16D - 12" O/C

TRIM MOLDING AT COLUMN & SOFFIT

18 GA HOT DIPPED GALVANIZED
COLUMN POST CAP-SIMPSON #BC4
W/16d NAILS

2 X 6 @ 16" O/C PORCH CEILING
JOISTS W/ 1/2 CDX PAINTED PLYWOOD

4 X 4 TREATED WOOD POST INSIDE 8 X 8
SQUARE COLUMN ENCLOSURE

18 GA METAL JOIST
HANGERS ON 2X 8 LEDGER
-USE SIMPSON LUS28 HOT
DIPPED GALVANIZED
W/10d NAILS NAILED INTO
EXISTING STRUCTURE
-TWO ROWS 16" O/C
STAGGERED

EXISTING EXTERIOR WALL
& WINDOWS BEYOND

EXISTING CONC. DECK & TILE

Section A



NEW RAILING POST ENCLOSURE W/ 4 X
4 POST ANCHORED TO EXIST CONC.
SLAB BELOW- SEE COLUMN SECTION

EXISTING STEPS & RAILINGS TO REMAIN

EXISTING PLANTER TO REMAIN

Elevation

NESTOR KYRITSIS ARCHITECT LLC

52 CAROLINE PLACE GREENWICH CT 06831

PH : 203-681-2279 Cell: 917-208-3553 NJKARCH11@gmail.com



81 South Buckhout Street

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REV:

SCALE: 1/2" = 1'-0"

Section A & Elevation

A2



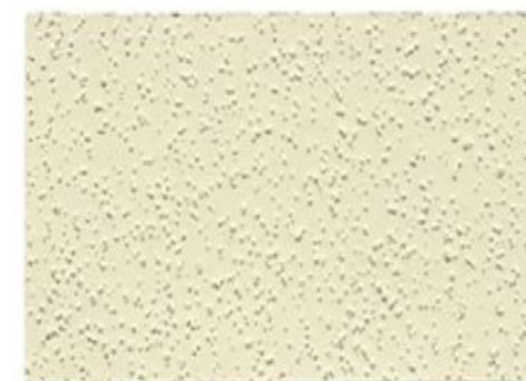
Proposed Elevation



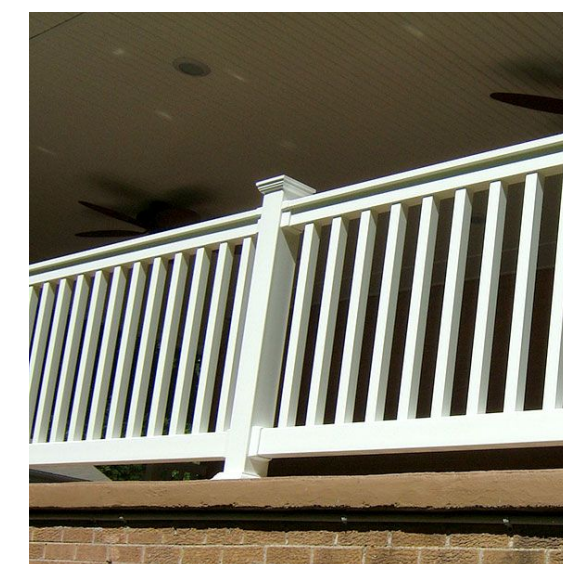
Owens Corning 30 Year
Asphalt Shingle in
Oakwood Desert Tan



5 In White Aluminum
Gutter –Cove Molding,
Inside Bracket Mounted
w/ Leaf Screens



139-1P Wiccan Earth
Stucco Finish Color –
Behr Wiccan Earth



USA Vinyl PVC Code
Compliant Railing, Post
and Newel System



EI & EI Wood Products Plain
8 x 8 Square PermaCast
Column with Tuscan Cap
and Base- 8'-0" H

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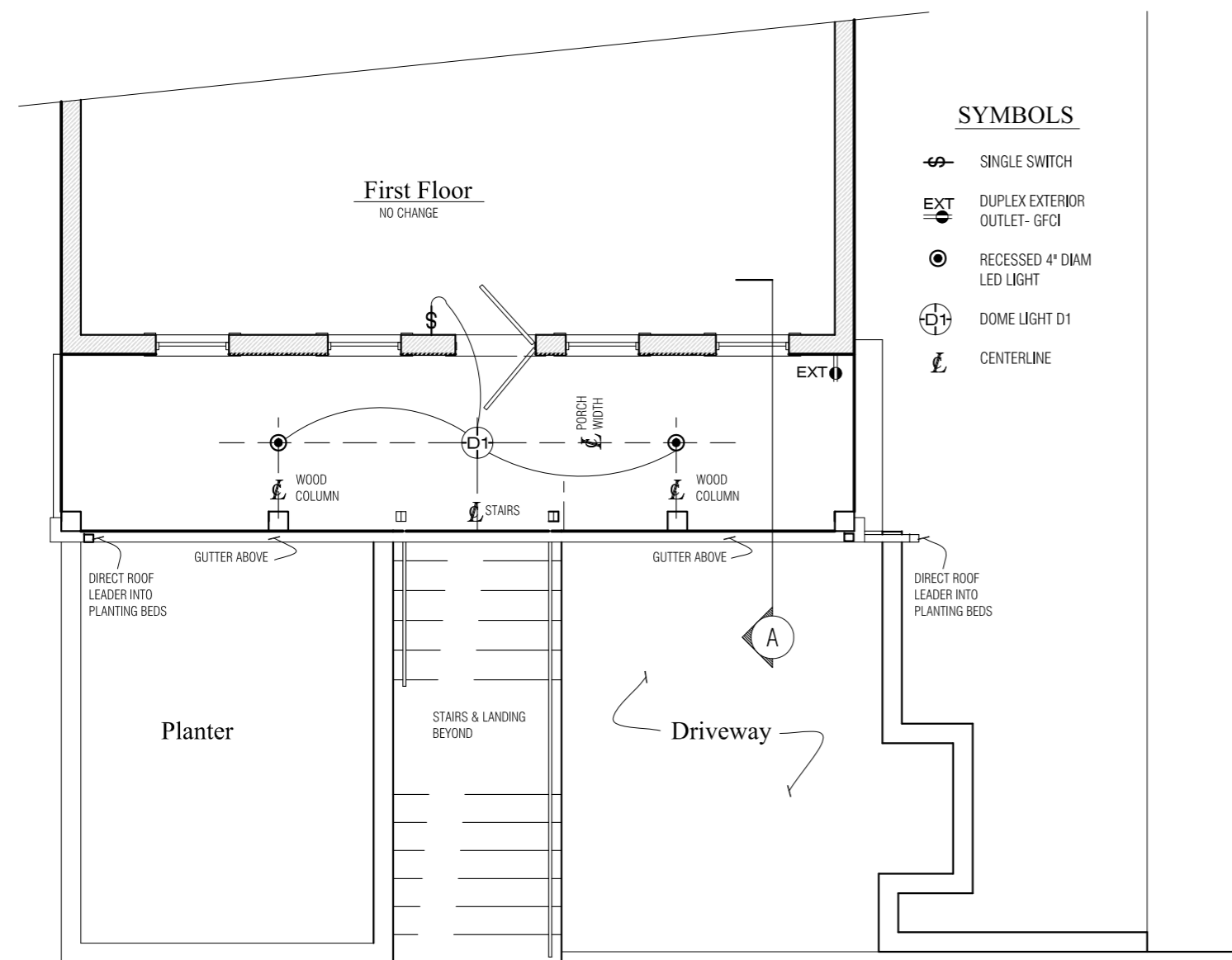
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REVISION:

SCALE : AS NOTED

Elevation - Materials

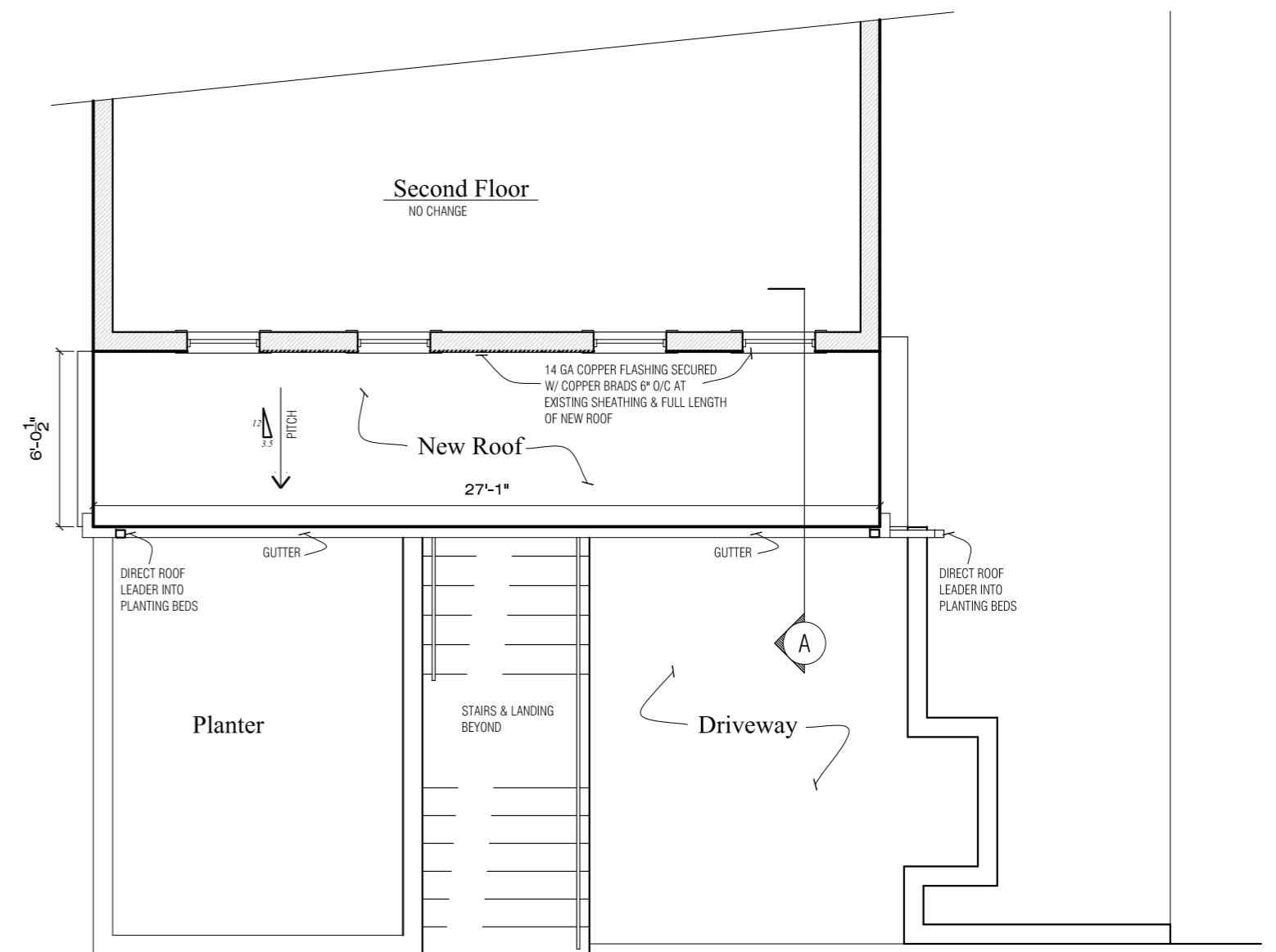
A3



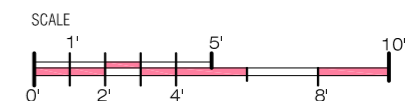
SYMBOLS

- SINGLE SWITCH
- DUPLEX EXTERIOR OUTLET- GFCI
- RECESSED 4" DIAM LED LIGHT
- DOME LIGHT D1
- CENTERLINE

Reflected Ceiling Plan

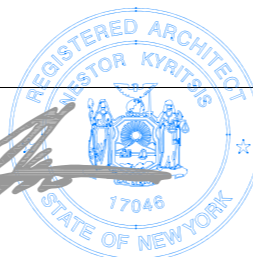


Roof Plan



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81 South Buckhout Street

DATE: OCT 15, 2022
SCALE: AS NOTED

REV:

Reflected Ceiling & Roof Plan

A4