

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	207	Date:	02/14/2022
Job Location:	1 LANGDON AVE	Parcel ID:	2.170-83-1
Property Owner:	Jessica Soare	Property Class:	1 FAMILY RES
Occupancy:		Zoning:	
Common Name:			

Applicant	Contractor
Jessica Soare	Georg Ivanoff
N/A	Sunrise Building and Remodeling, Inc.
1 LANGDON AVEIRVINGTON NY 10533	510 North State Road Briarcliff Manor NY 10510
845-642-4237	914-762-8453

Description of Work

Type of Work:	Windows/ Doors Replacement	Applicant is:	Owner
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	18000.00	Property Class:	1 FAMILY RES

Description of Work

Installation of 2 egress window wells including:

Excavation for 2 window wells

Removal of current windows

Framing for 2 windows

Installation of 2 high performance Anderson 400 casement windows, white with screens and grills with standard white traditional hardware

-Installation of Boman and Kemp window wells with escape ladder and safety grate

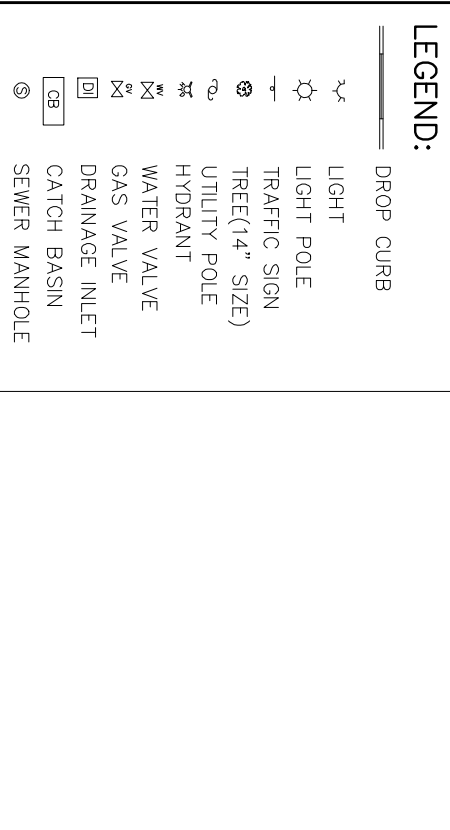
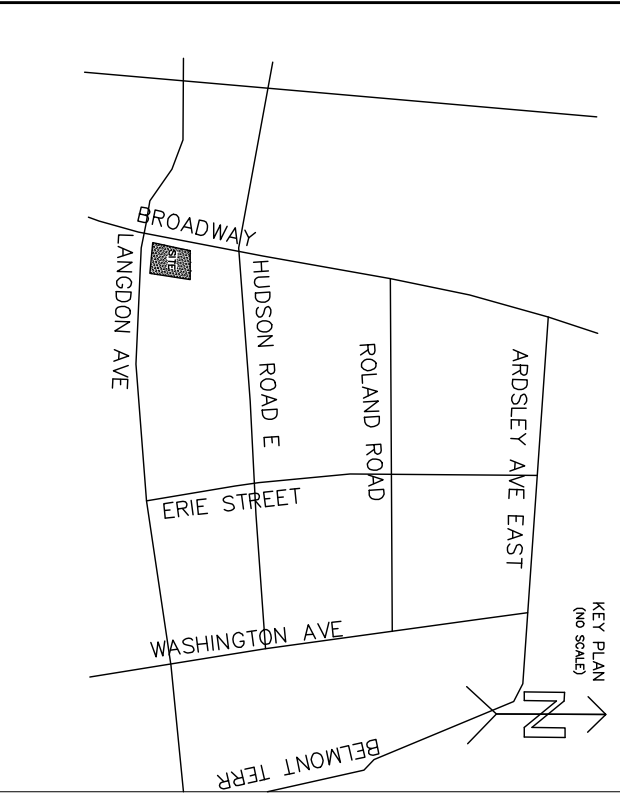
-Trimming of 2 new windows

-Installation of insulation

-Sheetrock

Please Note: Completing the application does not constitute a permit to commence construction. To obtain

- NOTE:
- ELEVATIONS SHOWN HEREON ARE IN NAVD 1988 VERTICAL DATUM.
 - THE INFORMATION GIVEN ON THIS SURVEY PERTAINING TO UTILITIES AND OR SUBSTRUCTURES IS NOT CERTIFIED FOR ACCURACY OR COMPLETENESS.
 - SEWER MANHOLE RIM AND INVERT ELEVATIONS SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS.(NO SEWER LINES FOUND)
 - WATER, ELECTRIC AND GAS LINES SHOWN HEREON ARE TAKEN FROM FIELD MARKING AND MUST BE VERIFIED BEFORE ANY DESIGN.
 - CONSULT THE APPROPRIATE UTILITY COMPANY PRIOR TO DESIGNING IMPROVEMENTS.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY STATE OF FACTS THAT MAY BE REVEALED BY AN EXAMINATION OF SUCH.
- CALL BEFORE YOU DIG:
PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION CALL 1800-272-4480.



LOT AREA= ±10,650 Sq Ft OR ±0.24 Ac

GRAPHIC SCALE



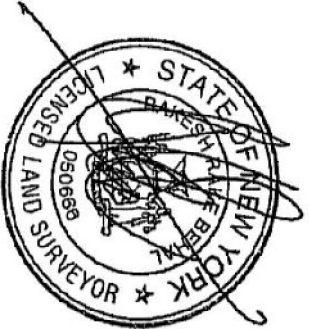
SCALE: 1"=15'
Measured to U.S. Standard
DATE: MAY 14, 2022

JOB # WCROV67P704(TOP)

REVISIONS		
NO.	DATE	DESC.

BELOW SURFACE ENCROACHMENTS ARE NOT SHOWN. THE EXISTENCE OF RIGHT OF WAY AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN HEREON, ARE NOT CERTIFIED.
A TITLE REPORT OF THE SUBJECT PROPERTY WAS NOT PROVIDED. A DEED OF THE SUBJECT PROPERTY WAS NOT PROVIDED.
UNAUTHORIZED ALTERATION OR ADDITIONS TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS VIOLATION OF 7205, SUB-DIVISION 2, OF NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL, NOT BE CONSIDERED TO BE A TRUE AND VALID COPY.

Certifications indicated are limited only to the person for whom this survey was prepared and on his or her behalf to the title company, governmental agency and lending institution for the title number listed hereon. The certifications are not transferable.
(NOT FOR TITLE TRANSFER)



This is to certify that this map and the survey on which it is based were made in accordance with the "Minimum Standard" Detail Requirements for the New York State Association of Land Surveyors.
Rakesh R. Behal, L.S. New York State License Number 050666.

Summit Land Surveying P.C.
21 Drake Lane
White Plains NY 10607.
Tel. 9146297758

TOPOGRAPHICAL SURVEY OF
TAX LOT 1 IN BLOCK 83, SECTION 2.170
AS SHOWN ON THE OFFICIAL TAX MAPS OF
VILLAGE OF IRVINGTON
LOCATED AT
VILLAGE OF IRVINGTON
TOWN OF GREENBURGH
WESTCHESTER COUNTY STATE OF NEW YORK.
1 LANGDON AVENUE, IRVINGTON, N.Y.
COPYRIGHT ©2022 SUMMIT LAND SURVEYING P.C.

ARCHITECTURAL REVIEW BOARD APPLICATION :
1 LANGDON AVENUE IRVINGTON, NY 10533

BUILDING CODE AND REFERENCE STANDARDS:

THE 2020 RESIDENTIAL CODE OF NEW YORK STATE, AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTION SHALL GOVERN THE DESIGN AND CONSTRUCTION OF THIS PROJECT. REFERENCE TO A SPECIFIC SECTION IN THE CODE DOES NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE ENTIRE MATERIALS REFERENCE STANDARDS. THE LATEST EDITION OF THE MATERIALS REFERENCE STANDARDS SHALL BE USED. EXISTING BUILDING SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.

DETAILS SCOPE OF WORK DESCRIPTION

EXISTING SINGLE FAMILY RESIDENCE -LEVEL 2 ALTERATION PERMIT PLANS SCOPE:

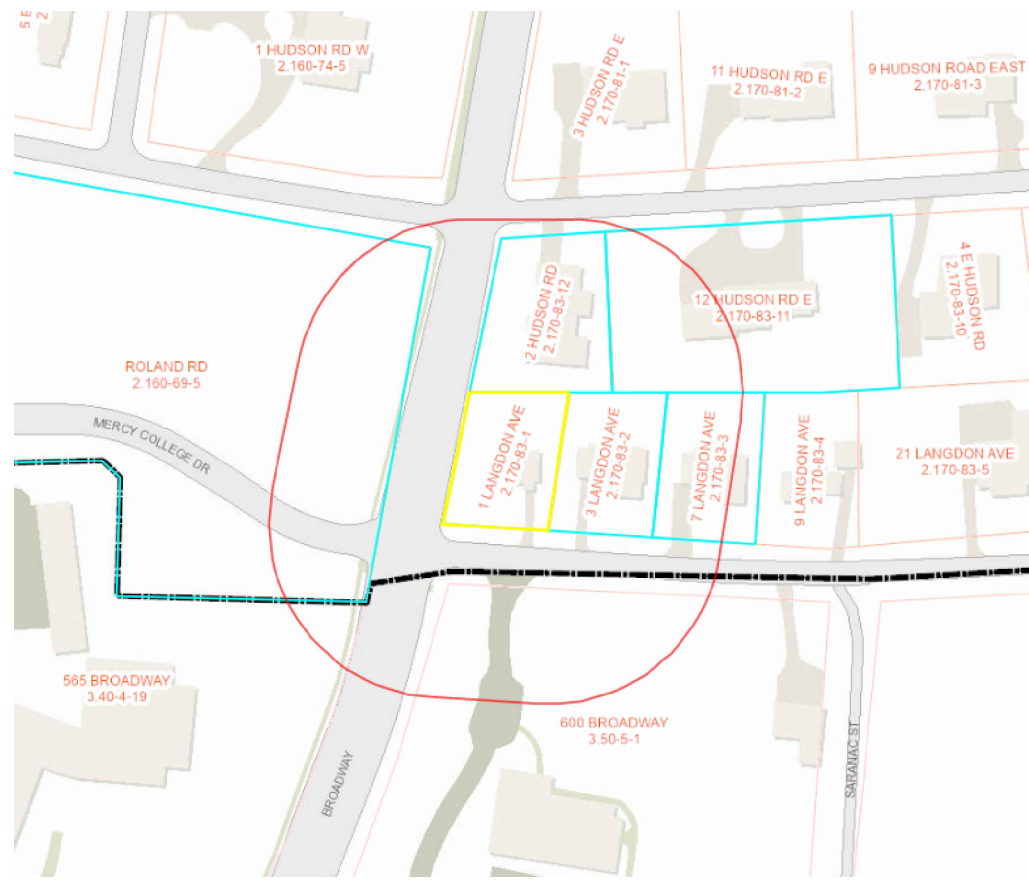
- 1. PROPOSED FINIHSED BASEMENT WITH NEW EGRESS WINDOW WELLS

CLASSIFICATION OF WORK- ALTERATION LEVEL 2

THE WORK PERFORMED ON THE EXISTING SINGLE FAMILY RESIDENTIAL DWELLING SHALL BE CLASSIFIED AS AN ALTERATION - LEVEL 2 (A301.5), WHICH INCLUDES THE RECONFIGURATION OF SPACES AS DEFINED IN THE WORK DESCRIPTION. THE USE CLASSIFICATION SHALL BE RESIDENTIAL GROUP R3 WITH CONSTRUCTION TYPE V. EXISTING BUILDINGS SHALL COMPLY WITH [NY] APPENDIX J FOR EXISTING BUILDINGS AND STRUCTURES.



A1 AERIAL VIEW
SCALE: NTS

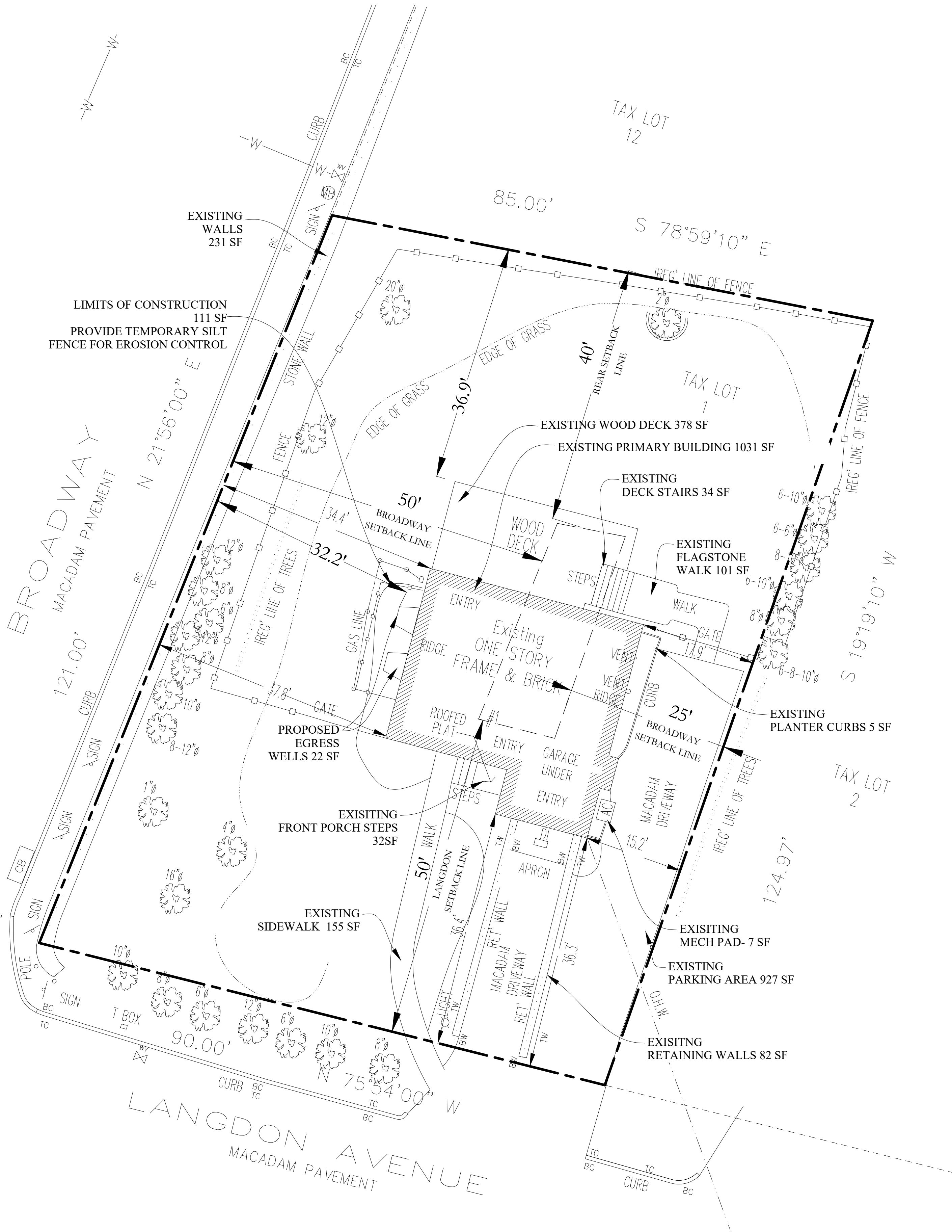


G GIS VIEW
SCALE: NTS

Owner	Prop Address	Printkey
SOARE, JESSICA E.	1 LANGDON AVE	2.170-83-1
HAIDER, JAWAD	12 HUDSON RD E	2.170-83-11
DONEHOWER, ROBERT	2 HUDSON RD	2.170-83-12
MERCY COLLEGE	ROLAND RD	2.160-69-5
SCHAEFER, PAUL	7 LANGDON AVE	2.170-83-3
HARTNETT, JILLA A.	3 LANGDON AVE	2.170-83-2

O ADJACENT PROPERTY INFORMATION
SCALE: NTS

S-1 SITE PLAN
1" = 10'-0"



Allowable Setbacks

Parameter	Existing	Proposed	Allowable
Zoning District	1F-40	1F-40	1F-40
Lot Area (SF)	10650	10650	40,000
Front Yard Setback (FT)	36.3	36.3	50
Side Yard Setback 1 (FT)	34.4	34.4	25
Side Yard Setback 2 (FT)	15.2	15.2	25
Rear Yard Setback (FT)	36.9	36.9	40
Lot Width (FT)	85	85	150
Lot Depth (FT)	121	121	150

Zoning Reference Table									
2F	MF	1F-5	1F-10	1F-20	1F-40	1F-60	1F-80		
5,000	10,000	5,000	10,000	20,000	40,000	60,000	80,000		
30	30	30	30	35	50	60	75		
10	15	10	15	15	25	30	50		
10	15	10	15	15	25	30	50		
30	30	30	30	35	40	60	75		
50	85	50	85	100	150	200	250		
100	100	100	100	125	150	200	200		

Buffers	Applicability	Existing	Proposed	Allowable	Reference
Old Croton Aqueduct	No			30	\$224-50, All properties along OCA
Broadway "Existing" Lot	Yes	34.4	32.2	50	\$224-51 B, Properties along Broadway
Broadway "New" Lot	No			125	\$224-51 B, Properties along Broadway
Cyrus Field Road	No			75	\$224-51 A

¹ "New" Lot shall be any new subdivisions, tear downs, or any development involving a modification of more than 50% of an existing structure

Overlay Districts	Applicability	Reference
View Preservation	No	\$224-149, All properties west of Broadway
Historic District	No	\$224-196, As shown on Zoning Map
Historic Building	No	\$224, Appendix A

Allowable Height (\$224-3)

Parameter	Existing	Proposed	Allowable
Stories	2	2	2.5
HP Elevation ¹	176.26	176.26	-
HP Elevation ²	150.2	150.2	-
Height (HP-MP)	26.06	26.06	35 (or 40) ³
Height from AEG ⁴	5	5	35

¹ HP - Highest Point of the surface of the roof, except as noted in \$224-3 Height A (2).

² MP - Measuring Point, the lowest point at the foot of any portion of the building at the lower of: (a) the finished grade; and (b) the grade prior to construction, filling or grading. \$224-3 Height B (2).

³ If building envelope grade criteria are met, \$224-3 Height B (3), 40-feet may be used.

⁴ Only apply if building envelope grade criteria are met, \$224-3 Height B (3), Height from Average Existing Grade (AEG). See below.

Average Existing Grade, \$224-3 Height B (3)

Notes: Business District see 224-3 Height B, (1), Exception in accordance with 224-3 Height B (3), below:

Parameter	Value	Unit	Notes
Area within Building Envelope (BE)	2982	SF	
Area of envelope with Steep Slopes >15% (SS)	0	SF	Provide Slope Diagram
Percent of SS (BE-SS x 100)	0.0	%	Must be <50%
In roof pitch for 80% of roof area, of 5' on 12'	No		Provide Roof Sketch
Average Existing Grade (AEG) Elevation at Periphery of Building	151	ft	Provide AEG Calculations
Criteria Satisfied?	NO		

Licensed Professional: John M. Scavelli, PE
Signature: *John M. Scavelli* Date: 11/5/2022

I represent that I am wholly and completely responsible for the accuracy of the information above as the NYS Licensed Registered Architect or Professional Engineer, and to the best of my knowledge it is in accordance with Section 224 of the Village Code. I understand that engaging in acts of gross incompetence or gross negligence, permitting or aiding an unlicensed person to perform activities requiring a license, or practicing beyond the scope of the profession is considered professional misconduct and punishable in accordance with NYS Educational Law.



Z ZONING
SCALE: NTS

ALLOWABLE COVERAGE BY LOT SIZE

Zoning District	Two Family SF	Multi Family	1F-40	1F-60	1F-80
S	24%	20%	10%	12%	8.75%
Lot Coverage	24% (max 10,000 sq ft)	20% (max 10,000 sq ft)	10% (max 10,000 sq ft)	12% (max 10,000 sq ft)	8.75% (max 10,000 sq ft)
Coverage Bonus	16% (over 5,000 sq ft)	12% (over 10,000 sq ft)	8% (over 20,000 sq ft)	4% (over 40,000 sq ft)	2% (over 60,000 sq ft)
over maximum lot size	over 5,000 sq ft	over 10,000 sq ft	over 20,000 sq ft	over 40,000 sq ft	over 60,000 sq ft

Zoning Dist.	Lot Size	Base Allowable Coverage (SF)	Bonus Allowable Coverage (SF)	Total Allowable Coverage
1F-40	10,000	1,276	0	1,276 SF

LOT COVERAGE WORK SHEET

	EXISTING COVERAGE		PROPOSED COVERAGE- ADDITIONAL ONLY		PROPOSED AREA REQUIRING DRAINAGE	
	SQ. FT.	PERCENTAGE	SQ. FT.	PERCENTAGE	SQ. FT.	PERCENTAGE
PRIMARY BUILDING	1,031	9.7%	0.0%	0.0%	0	0.0%
ACCESSORY BUILDING	0.0%	0.0%	0.0%	0.0%	0	0.0%
OTHER BUILDING	0.0%	0.0%	0.0%	0.0%	0	0.0%
OTHER BUILDING	0.0%	0.0%	0.0%	0.0%	0	0.0%
DRIVEWAY	927	8.7%	0.0%	0.0%	0	0.0%
PARKING AREA (IF NOT PART OF DRIVEWAY)	155	1.5%	0.0%	0.0%	0	0.0%
SIDE WALK (1)	0.0%	0.0%	0.0%	0.0%	0	0.0%
SIDE WALK (2)	0.0%	0.0%	0.0%	0.0%	0	0.0%
SIDE WALK (3)	0.0%	0.0%	0.0%	0.0%	0	0.0%
FRONT PORCH (STEPS)	27	0.3%	0.0%	0.0%	0	0.0%
PATIO (1)	0.0%	0.0%	0.0%	0.0%	0	0.0%
PATIO (2)	0.0%	0.0%	0.0%	0.0%	0	0.0%
MECHANICAL EQUIPMENT PADS (1)	7	0.1%	0.0%	0.0%	0	0.0%
MECHANICAL EQUIPMENT PADS (2)	0.0%	0.0%	0.0%	0.0%	0	0.0%
WALLS	231	2.3%	0.0%	0.0%	0	0.0%
GARDEN WALLS	0.0%	0.0%	0.0%	0.0%	0	0.0%
RETAINING WALLS	82	0.8%	0.0%	0.0%	0	0.0%
POOL	0.0%	0.0%	0.0%	0.0%	0	0.0%
POOL PATIOS	0.0%	0.0%	0.0%	0.0%	0	0.0%
POOL EQUIPMENT	0.0%	0.0%	0.0%	0.0%	0	0.0%
Rear Wood Deck	378	3.5%	0.0%	0.0%	0	0.0%
Rear Deck Stairs	34	0.3%	0.0%	0.0%	0	0.0%
Planter Curbs	5	0.0%	0.0%	0.0%	0	0.0%
Rear Flagstone Walk	101	1.0%	0.0%	0.0%	0	0.0%
Proposed Egress Wells	22	0.2%	22	0.2%	22	0.2%
Individual Total	2,982	0.0%	22	0.2%	22	0.2%
Total Proposed Coverage	3,005	28.2%				
Greater than Allowable	1,727	155.1%				
Greater than Existing	22	0.2%				

LOT COVERAGE CHECK LIST

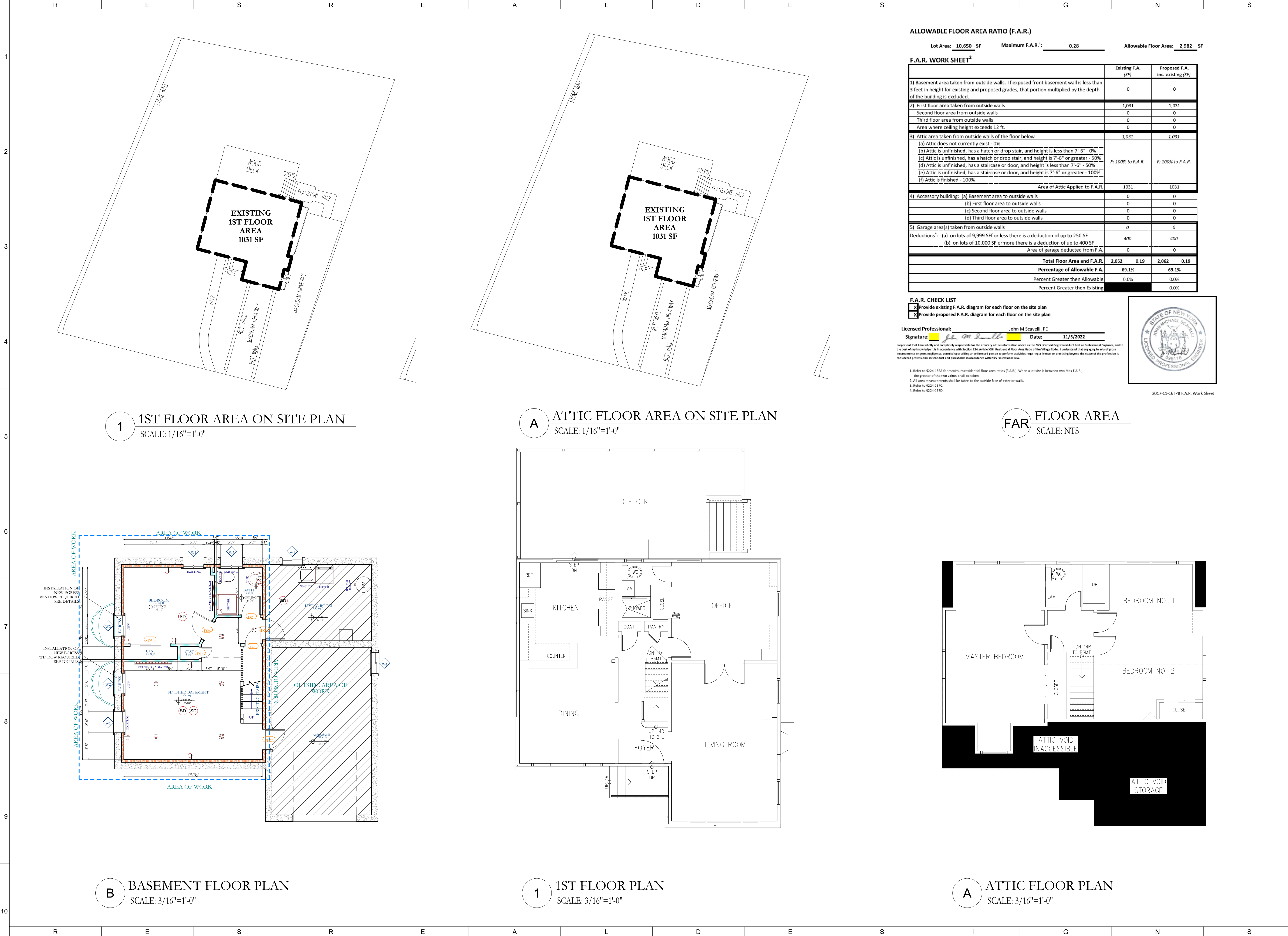
- ☐ Provide existing coverage diagram on site plan
- ☐ Provide proposed coverage diagram on site plan

Licensed Professional: John M. Scavelli, PE
Signature: *John M. Scavelli* Date: 11/5/2022

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\$ 224-13 COVERAGE

- A. General provisions. Except as provided in Subsection B, the sum of all areas covered by all principal and accessory buildings in one family residence districts shall not exceed the following: (a) lot area (b) lot area (c) lot area (d) lot area (e) lot area (f) lot area (g) lot area (h) lot area (i) lot area (j) lot area (k) lot area (l) lot area (m) lot area (n) lot area (o) lot area (p) lot area (q) lot area (r) lot area (s) lot area (t) lot area (u) lot area (v) lot area (w) lot area (x) lot area (y) lot area (z) lot area (aa) lot area (ab) lot area (ac) lot area (ad) lot area (ae) lot area (af) lot area (ag) lot area (ah) lot area (ai) lot area (aj) lot area (ak) lot area (al) lot area (am) lot area (an) lot area (ao) lot area (ap) lot area (aq) lot area (ar) lot area (as) lot area (at) lot area (au) lot area (av) lot area (aw) lot area (ax) lot area (ay) lot area (az) lot area (ba) lot area (bb) lot area (bc) lot area (bd) lot area (be) lot area (bf) lot area (bg) lot area (bh) lot area (bi) lot area 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ALLOWABLE FLOOR AREA RATIO (F.A.R.)

Lot Area: 10,650 SF Maximum F.A.R.: 0.28 Allowable Floor Area: 2,982 SF

F.A.R. WORK SHEET ²	Existing F.A. (SF)	Proposed F.A. inc. existing (SF)
1) Basement area taken from outside walls. If exposed front basement wall is less than 3 feet in height for existing and proposed grades, that portion multiplied by the depth of the building is excluded.	0	0
2) First floor area taken from outside walls	1,031	1,031
Second floor area from outside walls	0	0
Third floor area from outside walls	0	0
Area where ceiling height exceeds 12 ft.	0	0
3) Attic area taken from outside walls of the floor below	1,031	1,031
(a) Attic does not currently exist - 0%		
(b) Attic is unfinished, has a hatch or drop stair, and height is less than 7'-6" - 0%		
(c) Attic is unfinished, has a hatch or drop stair, and height is 7'-6" or greater - 50%		
(d) Attic is unfinished, has a staircase or door, and height is less than 7'-6" - 50%		
(e) Attic is unfinished, has a staircase or door, and height is 7'-6" or greater - 100%		
(f) Attic is finished - 100%		
Area of Attic Applied to F.A.R.	1031	1031
4) Accessory building: (a) Basement area to outside walls	0	0
(b) First floor area to outside walls	0	0
(c) Second floor area to outside walls	0	0
(d) Third floor area to outside walls	0	0
5) Garage area(s) taken from outside walls	0	0
Deductions*: (a) on lots of 9,999 SF or less there is a deduction of up to 250 SF	400	400
(b) on lots of 10,000 SF or more there is a deduction of up to 400 SF		
Area of garage deducted from F.A.	0	0
Total Floor Area and F.A.R.	2,062	2,062
Percentage of Allowable F.A.	69.1%	69.1%
Percent Greater than Allowable	0.0%	0.0%
Percent Greater than Existing	0.0%	0.0%

- F.A.R. CHECK LIST
- ☒ Provide existing F.A.R. diagram for each floor on the site plan
- ☒ Provide proposed F.A.R. diagram for each floor on the site plan

Licensed Professional: John M Scavelli, PE
Signature: *[Signature]* Date: 11/5/2022

I represent that I am wholly and completely responsible for the accuracy of the information above as the NYS Licensed Registered Architect or Professional Engineer, and to the best of my knowledge it is in accordance with Section 234, Article 90B, Residential Floor Area Ratio of the Village Code. I understand that engaging in acts of gross incompetence or gross negligence, permitting or aiding an unlicensed person to perform activities requiring a license, or practicing beyond the scope of the profession is considered professional misconduct and punishable in accordance with NYS Educational Law.

1. Refer to §224-136A for maximum residential floor area ratios (F.A.R.). When a lot size is between two Max F.A.R., the greater of the two values shall be taken.
2. All area measurements shall be taken to the outside face of exterior walls.
3. Refer to §224-137C.
4. Refer to §224-137D.



2017-11-16 IPB F.A.R. Work Sheet

RESREAL DESIGNS
Architecture & Engineering Services
For Homes

www.ResReal.com
(914)-330-7712

361 Route 202 - Suite #7
Somers, NY 10589

PROPERTY INFORMATION:
PREPARED BY: JMS ENGINEERING SERVICES, PC
PROJECT LOCATION: 1 LANGDON AVENUE
PROJECT TOWN: IRVINGTON, NY
BUILDING DEPARTMENT: VILLAGE OF IRVINGTON
PROPERTY IDENTIFICATION: 2.170-83-1
OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R1-40

ISSUE:	DATE:	BY:	CHECKED:	APPROVED:
0	11/05/2022	JMS	JMS	JMS

SEAL &
SIGNATURE:

JOHN M. SCAVELLI, PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

IT IS A VIOLATION OF STATE LAW FOR ANY PERSON
UNLESS DIRECTED BY A REGISTERED ARCHITECT
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM
IN ANY WAY.

PROJECT:
1 Langdon Avenue
Irvington, NY 10533

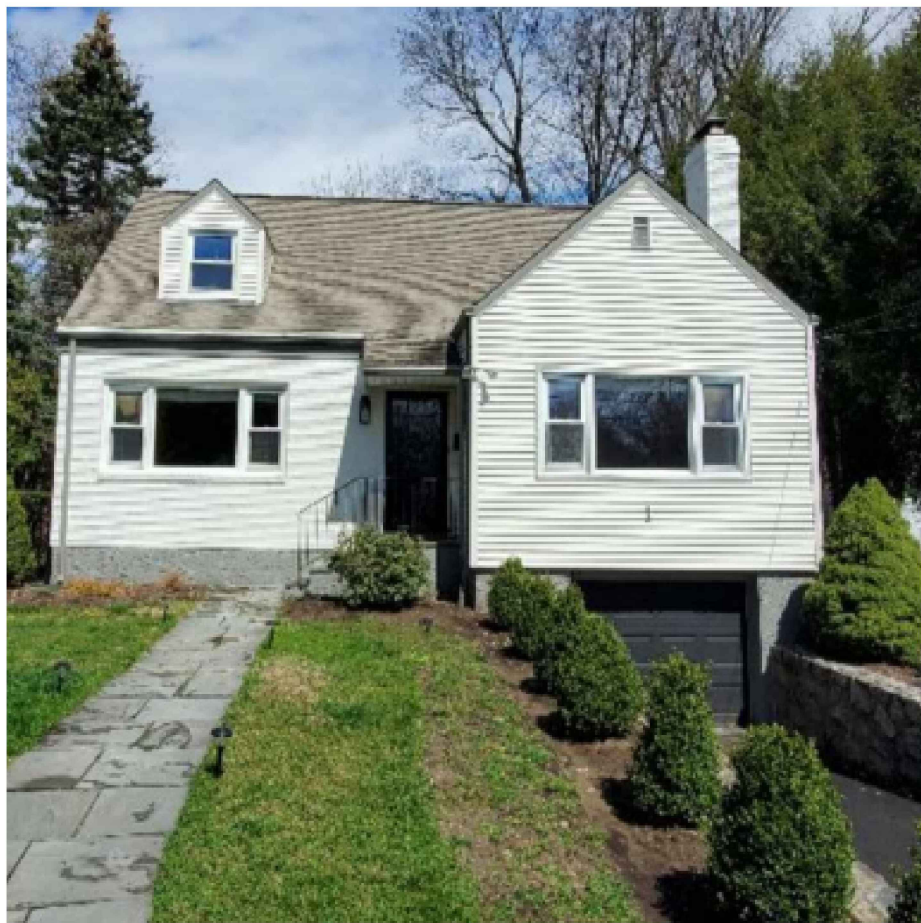
DRAWING TITLE:
ARB
SHEET 2

ARB-102

NOTES:



FRONT LEFT



FRONT FACADE



FRONT RIGHT



REAR RIGHT



REAR FACADE



REAR LEFT

E EXISTING ELEVATIONS
SCALE: NTS

CONSTRUCTION SCHEDULE
1 LANGDON AVE LARCHMONT

ESTIMATED COMPLETION IN 3 WEEKS

	DATE	2/1/2023	2/2/2023	2/3/2023	2/4/2023	2/5/2023	2/6/2023	2/7/2023	2/8/2023	2/9/2023	2/10/2023	2/11/2023	2/12/2023	2/13/2023	2/14/2023	2/15/2023	2/16/2023	2/17/2023	2/18/2023	2/19/2023	2/20/2023	2/21/2023	2/22/2023
IRVINGTON PLANNING & ZONING APPROVAL	2/1/2023																						
EXCAVATION	2/6/2023																						
DEMOLITION	2/11/2023																						
ROUGH FRAMING	2/16/2023																						
INSTALLATION	2/21/2023																						
INTERIOR TRIM & CLEANUP	2/26/2023																						
INSPECTION	3/2/2023																						

C ESTIMATED CONSTRUCTION SCHEDULE
SCALE: NTS

CUT/ FILL VOLUMES	
VOLUME OF CUT [CUBIC FEET]	88
VOLUME OF CUT [CUBIC YARDS]	3.26
VOLUME OF FILL [CUBIC FEET]	0
VOLUME OF FILL [CUBIC YARDS]	0

1. THERE IS NO PROPOSED USED OF FILL AS PART OF PROPOSED WORK.
2. THERE WILL BE EXCAVATION REQUIRED FOR PROPOSED WINDOW WELL INSTALLATION.
3. CUT/FILL MATERIAL SHALL NOT BE IMPORTED TO OR EXPORTED FROM SITE.

C CUT/FILL VOLUMES
SCALE: NTS

ISSUE:	DATE:	BY:	CHECKED:	APPROVED:
0	11/05/2022	JMS	JMS	JMS

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PROJECT:

1 Langdon Avenue
Irvington, NY 10533

DRAWING TITLE:

ARB
SHEET 3

ARB-103

NOTES:

ISSUE:	DATE:	BY:	CHECKED:	APPROVED:
0	02/14/2022	JMS	JMS	JMS

JOHN M. SCAVELLI PE LICENSE # 095178
JMS ENGINEERING SERVICES, PC

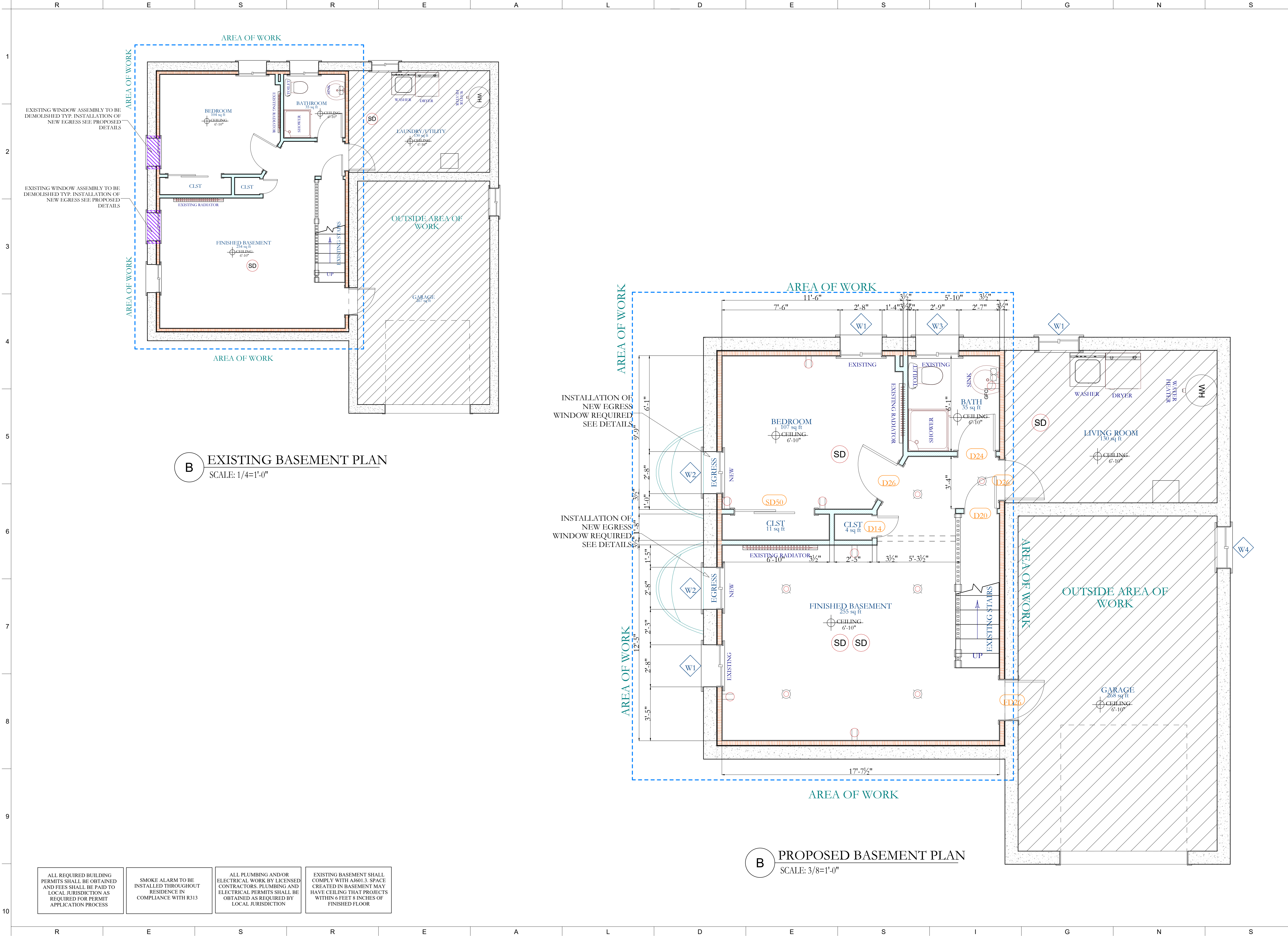
NOTES:

G GIS VIEW
SCALE: NTS

NOTE: NOT ALL SYMBOLS LISTED MAY BE USED UNDER THIS DRAWING PACKAGE

ROOM FINISH SCHEDULE																
ROOM NAME	FLOOR					WALL				CEIL'G		DR. TRIM		WIND. TRIM		
	MAT'L	FINISH	CARPET VENEER DUR. TILE	MURAL PAPER PAINTED	PAINTED	MAT'L	FINISH	GUTTER IS. SILLING DUR. TILE	PRIME PAINTED	GROUT	M	FIN	MAT	FIN	MAT	FIN
LIVING ROOM		X X	X X	X X				X X	X X	X X	X X	X X		X X		X X
BEDROOM		X X	X X	X X				X X	X X	X X	X X	X X		X X		X X
BATHROOM		X X	X X	X X				X X	X X	X X	X X	X X		X X		X X







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OCCUPANCY: SINGLE FAMILY DWELLING
ZONING CODE: R1-40

ISSUE	DATE	BY	CHECKED	APPROVED
0	02/14/2022	JMS	JMS	JMS

SEAL &
SIGNATURE:

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JMS ENGINEERING SERVICES, PC

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UNLESS DIRECTED BY A REGISTERED ARCHITECT
OR PROFESSIONAL ENGINEER TO ALTER THIS ITEM
IN ANY WAY.

PROJECT:
**1 Langdon Avenue
Irvington, NY 10533**

DRAWING TITLE:
**PLANS & DETAILS
SHEET 2**

A-102

NOTES:

- ALL REQUIRED BUILDING PERMITS SHALL BE OBTAINED AND FEES SHALL BE PAID TO LOCAL JURISDICTION AS REQUIRED FOR PERMIT APPLICATION PROCESS
- SMOKE ALARM TO BE INSTALLED THROUGHOUT RESIDENCE IN COMPLIANCE WITH R313
- ALL PLUMBING AND/OR ELECTRICAL WORK BY LICENSED CONTRACTORS. PLUMBING AND ELECTRICAL PERMITS SHALL BE OBTAINED AS REQUIRED BY LOCAL JURISDICTION
- EXISTING BASEMENT SHALL COMPLY WITH AJ601.3. SPACE CREATED IN BASEMENT MAY HAVE CEILING THAT PROJECTS WITHIN 6 FEET 8 INCHES OF FINISHED FLOOR