

# APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	1153	Date:	11/30/2021
Job Location:	33 MAPLE ST	Parcel ID:	2.80-36-16
Property Owner:	Robert + Rachel Shupe	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

<b>Applicant</b>	<b>Contractor</b>
James Krapp	
studio PPARK	
1 Bridge Street, Suite 18Irvington NY 10533	
6464817081	

## Description of Work

Type of Work:	Ext. Elevation Changes	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	85000.00	Property Class:	1 FAMILY RES

## Description of Work

**Addition of dormers to allow for attic storage and new bathroom.**

**Please Note:** Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

# RSM - 33 MAPLE ST

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## Site Context / Existing Conditions

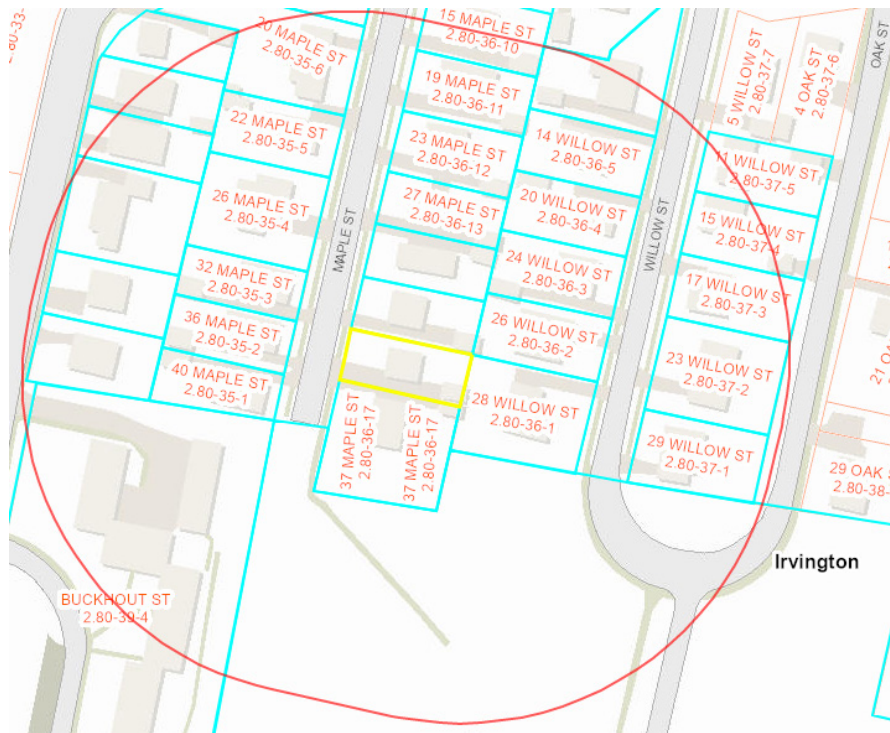
November 23, 2022

prepared by:

**studioPPARK**  
architecture + design



AERIAL WIDE ANGLE



AERIAL TAX MAP





29 Maple Street



15 Willow Street



37 Maple Street

AERIAL VIEW

RSM - SITE CONTEXT  
EXISTING CONDITIONS







31 MAPLE STREET



37 MAPLE STREET





40 MAPLE STREET



36 MAPLE STREET





40 MAPLE STREET



36 MAPLE STREET





33 MAPLE STREET



33 MAPLE STREET (REAR)



# SUBMISSION TO THE ARB

ISSUED: FEBRUARY 06, 2023

## EXISTING EXTERIOR PHOTOS



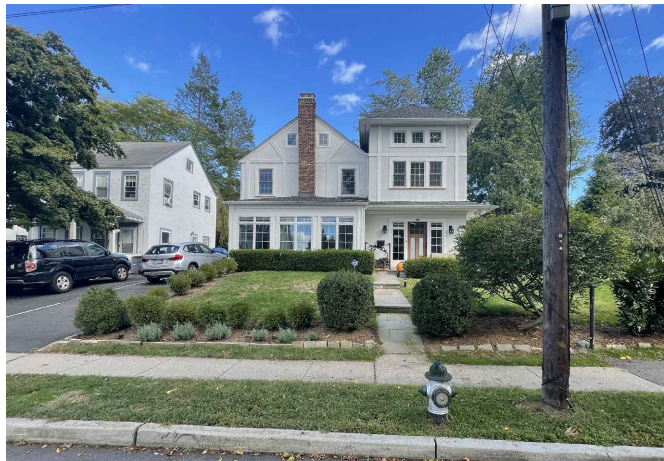
EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION



EXISTING EAST ELEVATION



NEIGHBOR - 37 MAPLE ST.



NEIGHBOR - 31 MAPLE ST.



EXISTING WEST ELEVATION

## TAX MAP

Address: 33 MAPLE ST

Print Key: 2.80-36-16

SBL: 00208000360160000000



Disclaimer: This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

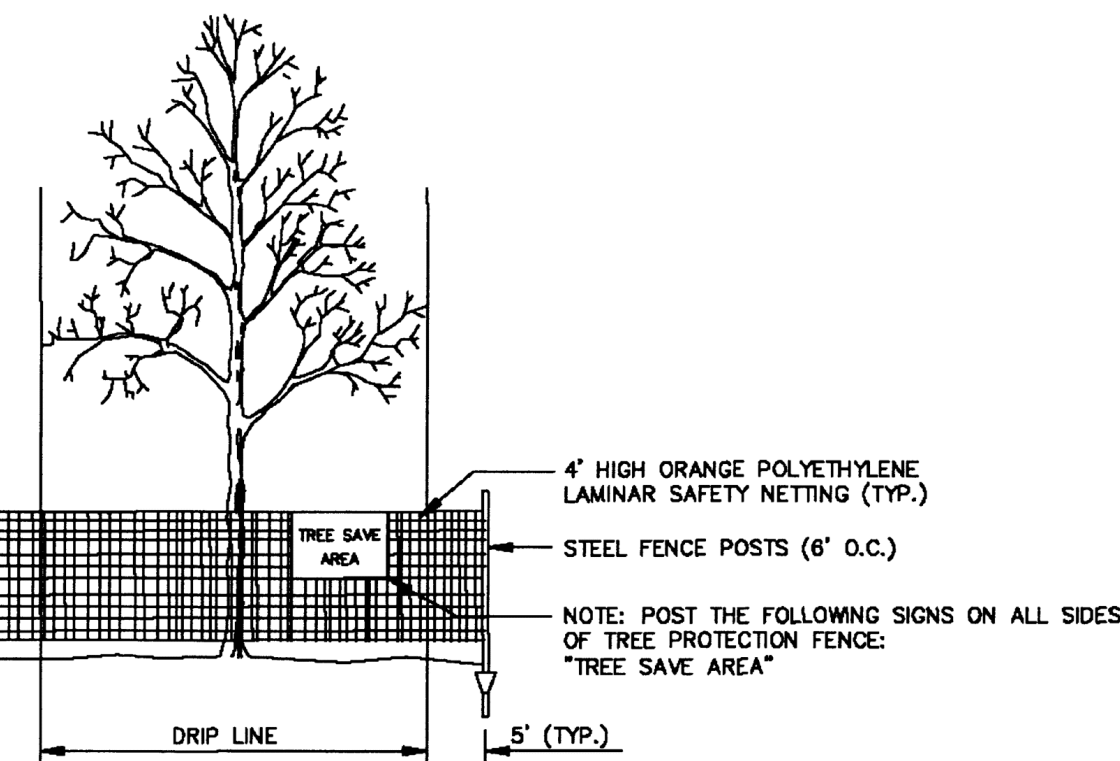
## LIST OF DRAWINGS

### ARCHITECTURAL

T100 COVER SHEET/SURVEY  
G100 GENERAL NOTES, WINDOW AND DOOR SCHEDULES  
A100 PROPOSED FLOOR PLANS  
A200 EXTERIOR ELEVATIONS  
A201 EXTERIOR ELEVATIONS

### ZONING/LOT INFORMATION

Map & Parcel 2.80 - 36- 16  
Current Zoning 1F-5  
Front Setback 30'  
Rear Setback 30'  
Side/Rear Setback 10'  
  
Lot Size 4,150 sq. ft.  
Min. Lot Size 5,000 sq. ft.  
Allowable B.C. 24% (996 sq. ft. ALLOWABLE)  
Maximum Height 2 1/2 Stories - 35 Feet Max.



### 01 TREE PROTECTION

SCALE: NTS

### USE REQUIREMENTS & CONSTRUCTION CLASSIFICATION

Per section 224-8

CATEGORY	REQUIREMENT	EXISTING	PROPOSED	ZONING	CLASS
USE	ONE FAMILY	ONE FAMILY	NO CHANGE	IF-5	UN-PROTECTED

### CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

R301.2 Climatic and geographic design criteria. Buildings shall be constructed in accordance with the provisions of this code as limited by the provisions of this section. Additional criteria shall be established by the local jurisdiction and set forth in Table R301.2(1).

Table R301.2(1)

GROUND SNOW LOAD	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			ICE BARRIER UNDER LAYMENT REQUIRED	FLOOD HAZARD
			Weathering	Frost line depth	Termite		
MODERATE TO HEAVY	100-110MPH	C	SEVERE	42"	YES	YES	NO

### Design loads:

Ground snow load: 30 PSF  
Basic wind speed: 100-110 MPH  
First floor: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total  
Second floor: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total  
Attic (with limited storage): 10 PSF (LL) + 10 PSF (DL) = 20 PSF total  
Roof: 30 PSF (LL) + 15 PSF (DL) = 45 PSF total  
Porches & decks: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total  
Quadrants & handrails: 200 PSF  
Quadrants in-fill components: 50 PSF  
Concrete walls: 3000 PSI  
basement slab: 4000 PSI  
Lumber: 950 PSI  
Assumed soil bearing capacity: 3000 PSF

### INSPECTIONS REQUIRED (AS APPLICABLE)

§ 90-5  
Work shall remain accessible and exposed until inspected and accepted by the Code Enforcement Officer or by an inspector authorized by the Code Enforcement Officer. The permit holder shall notify the Code Enforcement Officer when any element of work described in Subsection 9 of this section is ready for inspection.

- (1) Footing  
(2) Framing  
(3) Building systems, including underground and rough-in  
(4) Insulation  
(5) Final inspection

EROSION CONTROL: "The Building Inspector or Village Engineer may require erosion control measures if deemed appropriate to mitigate unforeseen situation and erosion of disturbed soils."

### ENERGY CODE

I, James Krapp, To the best of my knowledge, belief and professional judgment, believe this application is in compliance with the 2020 NYS Energy Conservation Code.

Per section C101.6 (Statutory limitations and exceptions) of the code this project is exempt. Should any items be found to not pertain to section C101.6 they will be made to comply as required.

### ATTESTATION

I, James Krapp, To the best of my knowledge, belief and professional judgment, believe this application is in compliance with the jurisdictional codes. All construction shall be performed in accordance with the New York State Residential Code (2020 edition) the November 2019 Addition, The NYS Uniform Fire Prevention and the regulations of the Village of Irvington currently in effect. I certify that no other codes, the stricter code shall always apply.

### VILLAGE OF IRVINGTON

#### Planning Board

85 Main Street

Irvington, New York 10533

Tel: (914) 591-8335 • Fax: (914) 591-5

Directions: Fill in highlighted cells.

ADDRESS: 33 Maple St. Irvington, NY 10533  
Parcel I.D. # 2.80 - 36 - 16

#### ALLOWABLE FLOOR AREA RATIO (F.A.R.)

Lot Area: 4,150 SF Maximum F.A.R.: 0.43 Allowable Floor Area: 1,785 SF

#### F.A.R. WORK SHEET<sup>2</sup>

	Existing F.A. (SF)	Proposed F.A. inc. existing (SF)
1) Basement area taken from outside walls. If exposed front basement wall is less than 3 feet in height for existing and proposed grades, that portion multiplied by the depth of the building is excluded.		
2) First floor area taken from outside walls	584	584
Second floor area from outside walls	584	584
Third floor area from outside walls		
Area where ceiling height exceeds 12 ft.		
3) Attic area taken from outside walls of the floor below	556	470
(a) Attic does not currently exist - 0%		
(b) Attic is unfinished, has a hatch or drop stair, and height is less than 7'-6" - 0%		
(c) Attic is unfinished, has a hatch or drop stair, and height is 7'-6" or greater - 50%		
(d) Attic is unfinished, has a staircase or door, and height is less than 7'-6" - 50%		
(e) Attic is unfinished, has a staircase or door, and height is 7'-6" or greater - 100%		
(f) Attic is finished - 100%		
Area of Attic Applied to F.A.R.	278	470
4) Accessory building: (a) Basement area to outside walls		
(b) First floor area to outside walls		
(c) Second floor area to outside walls		
(d) Third floor area to outside walls		
5) Garage area(s) taken from outside walls	180	180
Deductions*: (a) on lots of 9,999 SF or less there is a deduction of up to 250 SF	250	250
(b) on lots of 10,000 SF or more there is a deduction of up to 400 SF		
Area of garage deducted from F.A.	180	180
Total Floor Area and F.A.R.	1,446	1,638
Percentage of Allowable F.A.	81.0%	91.8%
Percent Greater than Allowable	0.0%	0.0%
Percent Greater than Existing		13.3%

#### F.A.R. CHECK LIST

- ☒ Provide existing F.A.R. diagram for each floor on the site plan  
☒ Provide proposed F.A.R. diagram for each floor on the site plan

Licensed Professional:

James Krapp

Signature: \_\_\_\_\_

Date: 11/23/2022

I represent that I am wholly and completely responsible for the accuracy of the information above as the NYS Licensed Registered Architect or Professional Engineer, and to the best of my knowledge it is in accordance with Section 224-8 of the Village Code. I understand that engaging in acts of gross incompetence or gross negligence, permitting or aiding an unlicensed person to perform activities requiring a license, or practicing beyond the scope of the profession is considered professional misconduct and punishable in accordance with NYS Educational Law.

1. Refer to §224-136A for maximum residential floor area ratios (F.A.R.). When a lot size is between two Max F.A.R., the greater of the two values shall be taken.  
2. All area measurements shall be taken to the outside face of exterior walls.  
3. Refer to §224-137D.  
4. Refer to §224-137D.



2017-11-16 IPB F.A.R. Work Sheet

### VILLAGE OF IRVINGTON

#### Planning Board

85 Main Street

Irvington, New York 10533

Tel: (914) 591-8335 • Fax: (914) 591-5870

Directions: Fill in highlighted cells.

ADDRESS: 33 Maple St. Irvington, NY 10533 Parcel I.D. # 2.80 - 36 - 16

#### ALLOWABLE COVERGE BY LOT SIZE

Zoning District	Two Family 1F-5	Multi Family 1F-10	1F-20	1F-40	1F-60	1F-80
Lot Coverage	24%	20%	16%	12%	8.33%	6.75%
Coverage Bonus over minimum lot area	up to 5,000 sqft: 16% over 5,000 sqft: 12%	up to 10,000 sqft: 12% over 10,000 sqft: 8%	up to 20,000 sqft: 8% over 20,000 sqft: 4%	up to 40,000 sqft: 4% over 40,000 sqft: 2%	up to 60,000 sqft: 2% over 60,000 sqft: 1%	up to 80,000 sqft: 1% over 80,000 sqft: 0%
Base Allowable Coverage (SF)	996	996	996	996	996	996
Bonus Allowable Coverage (SF)	0	0	0	0	0	0
Total Allowable Coverage	996	996	996	996	996	996

#### LOT COVERAGE WORK SHEET

	EXISTING COVERAGE SQ FT	PERCENTAGE	PROPOSED COVERAGE- ADDITIONAL ONLY SQ FT	PERCENTAGE	PROPOSED AREA REQUIRING DRAINAGE SQ FT	PERCENTAGE
PRIMARY BUILDING	586	14.1%	0	0.0%	0	0.0%
ACCESSORY BUILDING	180	4.3%	0	0.0%	0	0.0%
OTHER BUILDING	0	0.0%	0	0.0%	0	0.0%
OTHER BUILDING	0	0.0%	0	0.0%	0	0.0%
DRIVEWAY	0	0.0%	0	0.0%	894	21.5%
PARKING AREA (IF NOT PART OF DRIVEWAY)	0	0.0%	0	0.0%	0	0.0%
SIDE WALK (1)	0	0.0%	0	0.0%	0	0.0%
SIDE WALK (2)	0	0.0%	0	0.0%	0	0.0%
SIDE WALK (3)	0	0.0%	0	0.0%	0	0.0%
FRONT PORCH (STEPS)	170	4.1%	0	0.0%	0	0.0%
PATIO (1)	150	3.6%	0	0.0%	0	0.0%
PATIO (2)	0	0.0%	0	0.0%	0	0.0%
MECHANICAL EQUIPMENT PADS (1)	0	0.0%	0	0.0%	0	0.0%
MECHANICAL EQUIPMENT PADS (2)	0	0.0%	0	0.0%	0	0.0%
WALLS	0	0.0%	0	0.0%	0	0.0%
GARDEN WALLS	0	0.0%	0	0.0%	0	0.0%
RETAINING WALLS	0	0.0%	0	0.0%	0	0.0%
POOL	0	0.0%	0	0.0%	0	0.0%
POOL PATIO	0	0.0%	0	0.0%	0	0.0%
POOL EQUIPMENT	0	0.0%	0	0.0%	0	0.0%
EXG REMOVED WOOD DECK (C)	0	0.0%	0	0.0%	0	0.0%
EXG REMOVED BAY WINDOW	0	0.0%	0	0.0%	0	0.0%
EXG REMOVED POOL PATIO (A,B,D,E)	0	0.0%	0	0.0%	0	0.0%
NEW DECK	0	0.0%	0	0.0%	0	0.0%
NEW PAVERS	0	0.0%	0	0.0%	0	0.0%
Individual Total	1,116	26.9%	0	0.0%	894	21.5%
Total Proposed Coverage	1,116	26.9%	0	0.0%	894	21.5%
Greater than Allowable	120	2.9%	0	0.0%	0	0.0%
Greater than Existing	0	0.0%	0	0.0%	0	0.0%

#### LOT COVERAGE CHECK LIST

- ☒ Provide existing coverage diagram on site plan  
☒ Provide proposed coverage diagram on site plan

Licensed Professional:

James Krapp

Signature: \_\_\_\_\_

Date: 11/23/2022

I represent that I am wholly and completely responsible for the accuracy of the information above as the NYS Licensed Registered Architect or Professional Engineer, and to the best of my knowledge it is in accordance with Section 224-8 of the Village Code. I understand that engaging in acts of gross incompetence or gross negligence, permitting or aiding an unlicensed person to perform activities requiring a license, or practicing beyond the scope of the profession is considered professional misconduct and punishable in accordance with NYS Educational Law.

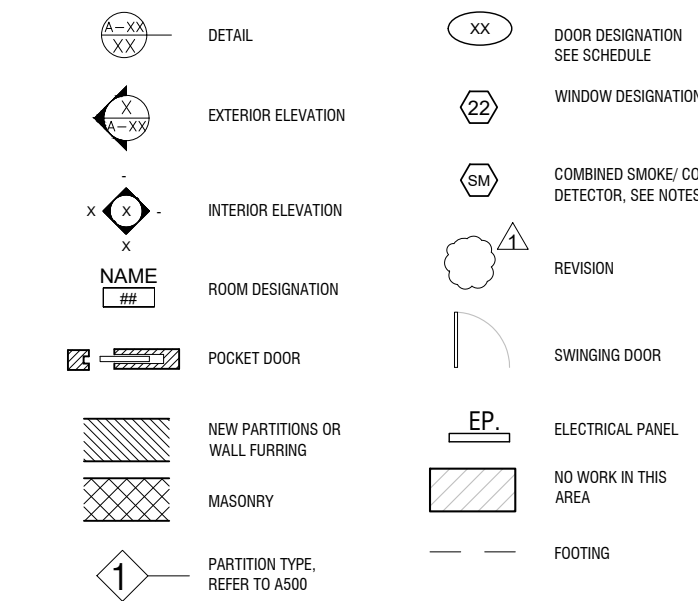
#### § 224-13 COVERAGE

- A. General provisions. Except as provided in following §224-8d hereof, the sum of all areas covered by all principal and accessory buildings in one family residence districts shall not exceed the following (see table above) (Amended 6-26-2020 by L.L. No. 7-2020)  
B. Overlaid lots. Notwithstanding Subsection A of this section, the sum of all areas covered by all principal and accessory buildings in lots located in 1F-5, 1F-10 and 1F-20 Districts shall not exceed that which would be permissible under Subsection A if the lot were located in the district having the largest minimum lot size smaller than the area of the lot, for example, the coverage permitted on a site of 80,000 square feet in an 1F-10 District would be determined by reference to the maximum coverage in the 1F-40 District and therefore would be 4,000 square feet (4,000, plus 4% of 80,000 minus 40,000).  
C. For the purposes of determining coverage, driveway shall not be considered as principal and accessory buildings



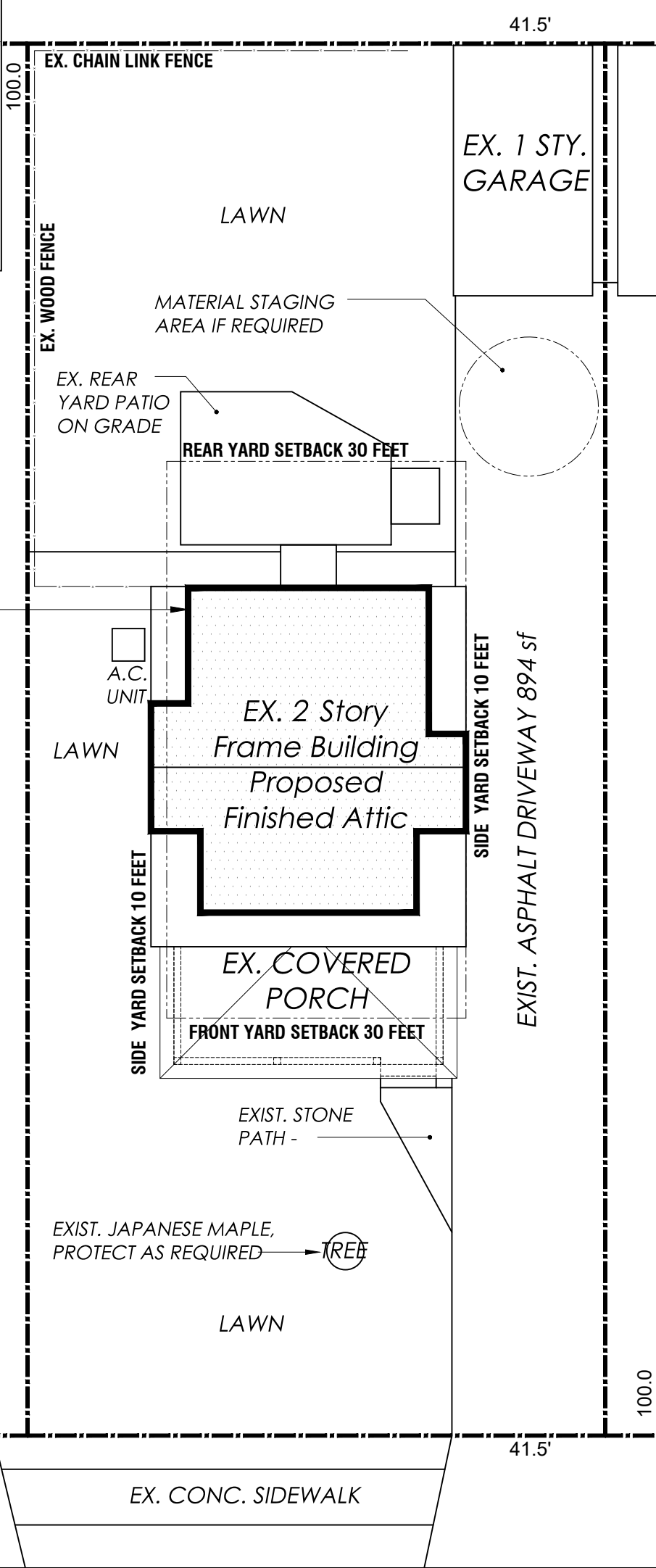
2017-11-21 IPB Coverage Work Sheet

## GENERAL LEGEND



## PLOT PLAN

1" = 10'



MAPLE ST  
ASPHALT PAVEMENT

## RSM

### SHUPE RESIDENCE

33 MAPLE ST  
IRVINGTON, NY 10533

#### OWNER

ROBERT AND RACHEL SHUPE  
33 MAPLE ST  
IRVINGTON, NY 10533

#### ARCHITECT

JAMES KRAPP, R.A.  
1 BRIDGE STREET, STE 18  
IRVINGTON, NY 10533  
646 481 7081

#### PROJECT DATA

33 MAPLE ST  
IRVINGTON, NY 10533

SECTION: 2.80  
BLOCK: 36  
LOT: 16

ZONING: 1F-5

#### ISSUE

23\_0206 - SUBMISSION TO ARB  
22\_1123 - PLANNING BOARD REVISION  
22\_0927 - PLANNING BOARD SUBMISSION  
21\_1026 - ARB SUBMISSION

#### COVER SHEET

T100

NO.



GENERAL NOTES
The following notes apply throughout. Exceptions are specifically noted on drawings and specifications.
1. All work shall conform to all applicable national, state and local building, plumbing, electrical, and life safety codes, even when not specified in the drawing, notes, or specifications. If any code is in conflict with these, the contractor shall report such to studioPPARK for review prior to bidding. In the event of conflict between applicable codes or regulations and reference standards of these plans and specification, the more stringent provisions shall govern.
2. The general contractor will be responsible for obtaining and/or paying for all permits, certificates, guarantees, etc. As required by local authorities having jurisdiction, and deliver these to the owner upon completion of the work. The general contractor shall arrange and coordinate inspection of or work by building officials. The general contractor shall be responsible for any violations arising from lack of permit, condemned work, or fines.
3. All work to be performed in accordance with the AIA general conditions for construction.
4. A registered surveyor shall be required to set all foundation corners, elevations and dimensions on site.
5. The contractor is responsible for contacting utility companies to ensure safe digging.
6. studioPPARK is contracted to serve as the owner's representative during construction. A representative of studioPPARK shall make periodic site visits to verify construction progress and will report findings to the owner and contractor in the form of a written report.
7. The general contractor (GC) Shall provide free access to the work to the owner, architect and/or designer, subcontractor, and their representatives at all times.
8. Drawings are representative documents to facilitate construction. Contractor should field verify all dimensions and conditions prior to construction. The heights of grade indicated on drawings are approximate and are provided for information only. Notify designer of any alterations or discrepancies immediately upon discovery and before proceeding with work.
9. Should the general contractor (GC) Discover any discrepancies or omissions of data that cause doubt as to the meaning of any drawings or specifications, the general contractor shall notify the architect and request clarification prior to proceeding.
10. Provide any apparatus, appliance, material, work, incidental accessory, or minor detail, which is necessary to make the work complete and perfect in every respect, at no additional cost to the owner. Those items not noted, but implied as necessary for the completion of the work are to be part thereof.
11. The contractor shall acknowledge that job sites are difficult and dangerous places to work by nature. As such, all necessary precautions will be taken to ensure the safety and general well being of his employees. Contractor shall provide guards, rails, barricades, fences, catch platforms, signage, decking, night lighting, etc. If required. The use of any stress and/or radius and the presence of pets of any kind are prohibited on the job site.
12. Contractor shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
13. The general contractor shall keep sufficient workmen on the job site to perform the work in the most expeditious manner consistent with good workmanship, sound business practice, and in the best interest of the owner. It is expected that enough labor will be provided so that activity for any given trade will not be limited to only one part of the total work area.
14. All workmen employed by the general contractor or any sub contractors shall be skilled at the work to which he is assigned.
15. Temporary work as necessary and required shall be part of the contract.
16. Include all trades' overtime costs in the bid proposal and perform such work at no additional cost to the owner.
17. All contractors and subcontractors involved in this work shall carry property damage and public liability insurance as req'd by governmental agencies having jurisdiction and comply with statutory requirements for disability and workmen's compensation.
18. The contractor shall provide to the owner and designer, prior to the commencement of work, a list of all subcontractors, the name of the principal contract. The address and phone number of each subcontractor shall be included in the list.
19. Each subcontractor shall be responsible to coordinate with the work of other subcontractors as req'd. Each trade will be expected to proceed in a fashion that will not delay the trades following them.
20. The contractor is to coordinate the work of all sub-contractors, including the timing and scheduling of their work and the layout of their systems. Each subcontractor should complete work on an expeditious and reasonable schedule, in a manner that does not delay other trades and subcontractors from completion of work. The contractor shall provide all sub-contractors with necessary power and access and connections through foundation walls as required.
21. The general contractor shall be responsible for the distribution of drawings to all trades under his jurisdiction.
22. The contractor and each subcontractor shall be required to coordinate with other subcontractors as necessary, including those hired under separate contract by the owner.
23. Approval of minor changes or clarification to plans may be accomplished by issuance of revised plans, partial sketch, or initialing and dating of change by the architect and/or designer on the existing plans.
24. No change by the architect and/or designer will be made by the general contractor unless authorized via change order, and signed by all parties, prior to affecting the change.
25. The architect and/or designer shall have no control over and shall have no responsibility for the construction means, methods, techniques or procedures. The architect and/or designer has no responsibility for any actions or omissions of the GC, or his subcontractors, or the failure of them to perform work according to the contract documents.
26. Verify dimensions and conditions shown on the drawings by field inspection, and by measurement at the project site. The contractor shall become familiar with the project site the work and the contract drawings of each trade. Adjust the work to suit all the conditions found as directed by the architect at the site.
27. All notes on all drawings of the architect, engineer and designers drawings and plans are to be considered part of the contract documents.
Drawings are not to be scaled. Use dimensions only. All dimensions and conditions shown and assumed on the drawings must be verified at the site by the contractor before ordering any material or doing any work.
29. The height of floor levels indicated on the plan drawings are approximate and are provided for information only. Install the work to maintain ceiling heights shown on the architectural drawings.
30. Shop drawings are to be submitted to the designer for approval before proceeding with all items which require fabrication.
31. Where manufacturer's names and product numbers are indicated on the drawings or specifications, it shall mean the establishing of quality and performance standards of such items. Any substitution must be submitted to the designer for approval.
32. The contractor shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, distortions, and off-alignments according to codes and standards of good practice. Any work which is damaged, hot, or solder prior to final acceptance shall be repaired at no additional cost to the owner.
33. The general contractor shall be responsible for all labor and materials and make good any defects therein which are discovered or occur within one year after the completion of the project. He shall be responsible for repairing or replacing any material or equipment considered part of the contract and under guarantee periods specifically noted by the manufacturer thereof.
34. All materials stored on the site shall be adequately protected against damage from other work in progress. Repair of completed work damaged in the course of the project will be the GC's responsibility.
35. The project site is to be kept reasonably clean at all times and broom sweep daily. Debris and loose trash is to be contained and emptied off the site on a daily basis. paint spots and excess caulking are to be removed.
36. All materials shall be new, unused, and of the highest quality in every respect unless otherwise noted.
37. The contractor shall furnish samples to the designer of all materials, together with finishes as specified and intended to be used in the project.
38. All work shall be erected and installed plumb, level, square and true, and in proper alignment to existing and new elements as shown on drawings.
39. Contractor shall perform all cutting and patching required to complete work or make parts fit together properly, without compromising quality of work.
40. All window frames and doors are to be protected during construction. Protection must not be permanently attached to window and door frames.
41. All nails and fasteners in areas prone to moisture shall be "hot dipped galvanized" unless noted otherwise.
42. All joint surfaces shall be free of any substances or material that would prevent the proper adhesion of the caulking upon application or would cause failure of the connection between the caulking and the wall joint. All caulking lines are to be even, smooth, and straight.
43. Upon completion of the work, the general contractors responsible for the final adjustments of windows, doors, hardware, devices, and these items deemed by the architect and/or designer to make the project habitable.
44. At all times the contractor will be responsible to maintain and protect all elements from the effects of adverse weather (rain, snow, cold, etc.) Within the areas of work under this contract at no additional cost to the owner.
45. All work shall be installed so that all parts req'd are readily accessible for inspection, operation, maintenance, and repair. Contractor shall maintain free and unobstructed access to all areas.
46. All stairs will comply w/ NYS 2020 section R311 Mean of egress

FRAMING NOTES
1. General contractor shall reduce waste by optimizing ordered lumber material to the actual amounts required according to plans or other documents. general contractor shall establish and submit a detailed lumber order as a record to the project.
2. All wooden framing members shall be iso- certified, reclaimed or finger-joint studs. All sheathing shall be iso-certified, reclaimed or contain a minimum of 25% postconsumer recycled material. Framing members shall be structural grade #2 or better.
3. All wood shall comply with the U.S. Department of commerce american lumber standards simplified practice and grading requirements of a recognized association under whose rules the lumber is produced.
4. Wood shall be free from knots, thoroughly seasoned, well-maintained and generally free from warpage that cannot be corrected by straighting or nailing.
5. Sizes of wood members are nominal sizes. All lumber shall be surfaced on four sides, unless noted otherwise.
6. Measure of lumber shall not exceed 19 % of the time of construction.
7. All plan dimensions are to outside of framing members and centerline of openings. Verify all rough openings with window and door schedule.
8. All exterior walls, and interior partition walls shall be 2x6 stud construction at 16" o.c. Typical. All other interior partition walls shall be 2x4 stud construction at 16" o.c. Typical. Walls shall have single shoe and double top plate.
9. Joist hangers shall be used at all flush-framed floor joists. Joists overlapping at a supporting beam, shall overlap 3" minimum.
10. Provide metal bridging at 1/3rd points at all floor joists. Blocking should be spaced 4'-0" o.c. Minimum and 8'-0" o.c. Maximum.
11. Double floor joists or blocking shall be provided below all interior partition walls.
12. Structural members shall not be impaled or undermined by improper cutting or drilling.
13. Corners shall be framed as 2-stud corners and allow for full corner insulation through the use of drywall clips, horizontal nailers or other means to support drywall.
14. The intersection of exterior walls shall be framed such that insulation is continuous in the exterior wall through the use of advanced leader i-wall framing or other technique.
15. Exterior and bearing wall construction shall include adequate resistance to wrinkling by the use of corner bracing or anchorage of structural sheathing to plates.
16. Install gable members with joints over supports, provide 1/2" airspace at ends and sides of gables framed into masonry or concrete. Wood shims under the ends of gables shall not be permitted.
17. Minimum bearing of joists framed into masonry shall be 4".
18. Joists extending over bearing partitions or beams may be butted and tied together, or nailed together with a min. overlap of 4".
19. Framing shall not include jack studs to support header. Header hangers or other support as required by code shall be used. If req'd, add 2x2 nailer flush to the exterior of window opening.
20. Window and door headers in exterior walls shall be framed with at least 1" inch of rigid foam insulation between the members. Bowed headers with insulation both are also acceptable.
21. Non-load bearing walls in exterior walls shall not have structural window and door headers.
22. Roof rafters and ceiling joists shall align within 2 inches of exterior wall studs such that a single top plate can transfer loads to the wall framing.
23. Sheathing shall be installed with gaps no larger than 0.25 inch and provide complete coverage.
24. Plywood shall comply with all applicable standards of the apa (american plywood association) and shall not contain urea-formaldehyde.
25. Exterior type hardware plywood, "technical" or "type 1", may be used for any part of the structure.
26. Structural interior type, "struct-int", plywood may be used for all interior work and exterior work not directly exposed to the weather.
27. Interior plywood, "int", or "type 2" may be used for interior work, except bathroom and shower enclosures.
28. Roof sheathing: 3/4" exterior grade "technical" plywood nailed at 10" o.c. With galvanized 10d common nails.
29. Floor sheathing: 3/4" structural "struct-int" plywood nailed at 10" o.c. With 10d common nails.
30. Exterior wall sheathing: 1/2" exterior grade "technical" plywood nailed at 6" o.c. With galvanized 6d common nails.
31. All other sheathing: 1/2" interior grade "int" plywood nailed at 6" o.c. With 6d common nails.
32. Frame all rafters opposite each other at ridge with ties or ridge board. The depth of the ridge board shall be no less than the cut of the rafters.

EXTERIOR FINISH NOTES
1. Exterior foundation to be 3-part stucco. Color TBD, general contractor to provide samples.
2. Decks shall use 1 x 4 multiplying, conform, flat cut with 1/4" regular spacing. All flooring and decking shall be treated '6% borated oil' 50 % cupriol and with a minimum of 50 mils shall be prevented over finished surfaces for the period of one week.
3. All outdoor decking and porches shall be constructed of lumber that has not been pressure treated with cca (copper chromium arsenate). Other types of pressure treated lumber or non-wood materials are eligible.
4. Exterior steps shall be equal to deck construction, trim and finish. See details for additional info.
5. All exterior steps shall land on a 2" concrete pad set on a 4" gravel natural on structurally compacted soil. Pad shall be 6" wide than steps and project from last riser 6" toward deck and 18" away from deck.
6. Porch ceilings shall be 1x8 cedar natural to weather, square groove.
7. Porch posts shall be 4x4 struct. core wrapped w/ 1x6 sp. Natural cedar trim.
8. Sidewalk shall be siding to match existing.
9. Exterior trim shall be specified as follows (all trim in metal clades to be coordinated w/ manufacturer): 9.1 Window and door jamb: See elevation. Heads to have continuous copper drip cap. 9.2 Window sills: When not used by manufacturer installed as required. See elevation. 9.3 Door sill: Installed by manufacturer. 9.4 Corner boards: See elevation. 9.5 Sill boards: See elevation. 9.6 Fascia boards: See elevation. 9.7 Sill/fascia trim boards: See elevation. 9.8 Fence boards: See elevation.
10. Exterior trim shall be painted on all four sides and have squared edges. Painted wood trim and siding shall be primed on all six sides.
11. Exterior brick shall meet standards of the brick institute of America (BIA) for exterior/weather use.
12. All cement or concrete used for poured or block installation shall have a fly-ash content of minimally 30%.

EXTERIOR FINISH NOTES - MOISTURE PROTECTION
1. Unless otherwise noted, building paper shall be installed over all exterior sheathing to resist moisture and wind infiltration. Walls shall have minimum 15# felt paper, roofs shall have minimum 30# asphalt impregnated felt paper, with not less than 4" overlap. Felt shall continue below all exterior trim, detailed and folded into openings.
2. Housewrap shall be installed according to the manufacturer's specifications. All seams must be cut properly and all edges taped to ensure a continuous air barrier.
3. A all gasket, spdm-type rubber, sheet metal or other suitable membrane shall be installed over the complete framed wall without a concrete foundation wall and all joints.
4. Exterior finish paper shall be installed as per mfr's written instructions with a minimum 25-year manufacturer's warranty. Warranty documentation must be provided to the owner.
5. Self-adhering sheet waterproofing shall be installed according to manufacturer's written instructions and shall be 60 mils.
6. Unless otherwise noted, all roofing materials shall have a solar reflectance of 90% or more.
7. A minimum width of 3 feet of ice flashing shall be installed over roof sheathing at eaves.
8. Metal drip edge shall be installed at all exposed roof decking.
9. All eaves, valleys and penetrations in the roofing system shall be reinforced with either metal flashing material or a self-adhesive underlayment designed and approved for use with the installed roofing system.
10. Barrier strips shall be installed on all sides of exterior door or window openings. Refer to typical diagrams.
11. Window caps or trim and all other projections at points where rain accumulates or runs off shall be provided with flashing. Flashing for red cedar shingles shall be copper. Each flashing shall extend a minimum of 6" up the wall under the sheathing paper and not less than 6" horizontally. Flashing shall be sufficient length to cover the course above without being punctured by nails.
12. Where applicable a continuous ridge vent shall be provided at all roof ridges, where required. Soffit venting shall be provided as indicated on detail drawings. Ridge vents shall be "core vent" or equal, extending along all ridge lines. Terminate ridge vents 12" from end of ridge. Covered w/ shingles. Cavities shall support proper venting, including the installation of baffles between all rafters. Keep all ventilation space unobstructed.
13. Provide step flashing at all chimney locations.
14. Roof gutter discharges shall be a minimum of 5 feet away from any foundation wall, or into a captured system, i.e. barrel or cistern where provided for in the design.
15. Refer to typical details and diagrams for further notes and information.

EXTERIOR FINISH NOTES - THERMAL PROTECTION
1. All exterior walls, ceilings and roofs or walls and ceilings between conditioned and unconditioned spaces shall be fully insulated and sealed as follows.
2. Areas and surfaces have to be clean and dry prior to insulation. Do not install insulation where it may be exposed to water. Install as per manufacturer's instructions and building code requirements. Provide insect screens or barrier at all vent openings.
3. Insulation shall be specified as follows: 3.1. Exterior walls: Minimum 5" R-19 batt insulation. Install 4 mil. Poly-polymer barrier at inside face of all exterior walls. 3.2. Roof: R-38 open cell spray foam insulation (isoyene or equal) 3.3. Interior walls and ceilings: 3" Rigid Sds 1" Densic batts 3.4. Foundation insulation: 4" rigid insulation secured to exterior face of wall
4. Where applicable flash & bat maximum VOC content of 150 g/L. First finish interior paints shall have a maximum VOC content of 90 g/L.
5. Non-specified insulation shall have minimum r-values in the locations installed as follows: walls ~19, floor overhangs ~30, roofs and ceilings in unconditioned spaces ~R8, bare just ~30, basement walls ~15, foundation walls ~10, slab-on-grade for conditioned spaces ~15, for unconditioned spaces ~5.
6. All sheathing gaps and penetrations, including condensation lines, electrical outlets and locations with broken or missing sheathing shall be sealed with sheathing and a proper sealant. Penetrations shall be sealed with an expanding spray foam or equivalent.
7. The space between the framing for window or door (including attic access) rough openings and the installed unit shall be sealed with non-expanding spray foam sealant, closed cell foam backer rod, spray applied insulation, or other suitable sealant. Cellulose, fiberglass or rock wool batt insulation is not acceptable as a sealant but can be used as a backing for a sealant (such as caulk). Thresholds for exterior doors shall be sealed to the subfloor.
8. All holes in the floor assembly for plumbing, wiring, ductwork, and other purposes connecting conditioned and unconditioned (and exterior) areas shall be sealed. Penetrations for flues and other heat-producing items shall be sealed with noncombustible sheet materials and high temperature sealant.
9. Penetrations through the bare joint (rim joint) area shall be sealed with sheathing and proper sealant such as holes drilled for hvac, plumbing and electric lines.
10. Bottom plates shall be sealed to floor or foundation with a proper sealant. An optional strategy is a foam gasket beneath the bottom plate in combination with a suitable sealant.
11. Drywall shall be sealed to top plate on ceilings separating unconditioned from conditioned space.
12. Framed spaces that connect conditioned areas to unconditioned attics, basements or crawl spaces (i.e. Chases for plumbing, duct work, chimneys and flues) shall be sealed with sheet material and sealant.
14. Breaks in framing and interior finish materials, such as for a dropped soffit and changing ceiling heights, that connect unconditioned and conditioned areas, shall be sealed with horizontal blocking or sheet material and sealant.
15. Tightly seal all shared surfaces between a garage and conditioned spaces, including all of the following: seal all penetrations, weatherstrip all doors, seal all connecting floor and ceiling joint bays, seal all cracks at garage wall base. Garage walls and ceilings to be primed and painted and must not be left unfinished.

PLUMBING NOTES
1. All plumbing/heating work shall comply with all applicable national, state and local codes, be performed by a licensed tradesperson, and be completed in accordance with the direction of local building code officials.
2. Subcontractors and tradespersons are responsible for obtaining required permits for their trade, scheduling and completing required inspections and operating on a reasonable and efficient schedule that does not delay the work or other trades.
3. Plumbing work shall include all labor and materials for all piping, fixtures, hot water heater, and sewer/septic connections. This includes connections for an sewerer in the refrigerator and all other appliances as indicated on plans and specifications.
4. All products, materials and fixtures shall be installed in a manner consistent with sound practice and quality workmanship.
5. All materials shall be sized in accordance with the proposed plans, allowing for future expansion if indicated. All work shall be installed so that required parts are readily accessible and available for inspection, operation, maintenance and repair.
6. Structural members shall not be impaired or undermined by improper cutting or drilling.
7. Branch lines from the central header to each fixture shall be a maximum of 1/4-inch nominal diameter.
8. No branch line from the water heater may exceed the length of 20 feet plus the ceiling height of each floor crossed by a vertical riser. Plumbing contractor shall alert designer immediately if these lengths can not be achieved.
9. No plumbing lines shall be located in exterior walls. Plumbing contractor shall alert designer immediately if this length can not be achieved.
10. Check valves must be furnished on branch piping to all faucets, tub spouts or showerheads having mixing valves.
11. All domestic hot and cold water piping shall have 4 insulation. Insulation shall be properly installed on all piping elbows to adequately insulate the 90-degree bend.
12. Plumbing work shall include all labor and materials for all piping, fixtures, hot water heater, and sewer/septic connections. This includes connections for an sewerer in the refrigerator, the dishwasher, and washers, as indicated on plans. The dishwasher sink shall have a garbage disposal where shown.
13. Heating work shall include all labor and materials, electrical/plumbing connections, and installation as they occur.
14. Unless otherwise noted, hot water heater shall be prepared fire tankless hot water heater, power vented.
15. Heat traps shall be installed at all water heaters.
16. Unless otherwise noted, heating system shall be divided into two zones. Thermostats shall be well enabled, digital and programmable.
17. Vent to the exterior all bathrooms which do not have operable windows.
18. Where applicable plumber shall furnish and install 500 gal. Underground propane storage tank, and all required piping to boiler, clothes dryer and kitchen range.
19. Where applicable unless otherwise noted, standard heating unit shall be prepared fire radiant hot water baseboard system with efficiency rating of 94 unit for the sidewall vented. Unit size shall be sized to accommodate the entire house at 78d at a 60d exterior temperature. Heating system shall be capable of operating at peak efficiency at a temperature of 72°.
20. Refer to engineer's drawings for further plumbing or heating work notes and specifications.

BUILDING CODE NOTES
1. The construction documents have been prepared under the 2020 residential code the November 2019 Addition of NYS Building Code.
2. The plans and specifications, are designed in accordance with the prescriptive energy requirements to the best of my knowledge, belief, and professional judgment comply with the applicable sections of the 2020 energy conservation code of nys, zone 4, weatherstar county.
3. The plans are designed in accordance with the National Electrical code NFPA 70: 2017 edition

ELECTRICAL NOTES
1. The contractor shall furnish and install a fully operational electrical system in accordance with all applicable national, state and local building and electrical codes. All work shall be performed in strict conformance with the requirements of the New York State Residential Code (2020 edition), NFPA 70 National Electric Code (2014 edition), the Building Department and local all authorities having jurisdiction.
2. Electrical contractor to obtain all required permits, inspectors and sign-offs.
3. Electrical contractor to provide engineering for circuitry, power requirements and distribution.
4. Electrical contractor to review proposed work and determine properly sized power supply. If power supply exist to site, electrical contractor shall confirm to designer if power supply is adequate before commencing the work.
5. Contractor must verify all future and device locations on elevation drawings. Do not scale off this plan.
6. Verify all necessary lights and housing sizes against ceiling structure and conditions, review on site w/ designer if discrepancies occur.
7. Duplex outlets within 6'-0" of sinks are to be gfi type.
8. All abandoned boxes with remaining wiring entering or leaving shall remain accessible w/ removable covers.
9. All receptacle switch or lamp holder boxes shall be set flush to final finished surface.
10. 1x2" extend, extend. Boxes to achieve continuous grounded metal surface to face plates.
11. Confirm all device and complete colors and styles w/ designer, assume standard colors and seamless plates. Lutron Claro or equal.
12. Wiring and installation of any wiring for cabs and telephones is included in the scope of the electrical contract. Do not splice cabs lines. All cabs outlets are to be tested prior to joining of walls to confirm proper working order.
13. All data communication wiring to be cabs homenum to new switch board in accessible location near apt. Phone and cable tv feeds.
14. Low voltage connections (phone, tv and data) to be grouped in knockout face plates to the furthest extent possible. Review all locations prior to installation

MECHANICAL NOTES
1. Any HVAC required will be approved under separate cover/application if needed. Refer to engineer's drawings for further mechanical work notes and specifications.
2. All mechanical work shall comply with all applicable national, state and local codes, be performed by a licensed tradesperson, and be completed in accordance with the direction of local building code officials.
3. Subcontractors and tradespersons are responsible for obtaining required permits for their trade, scheduling and completing required inspections and operating on a reasonable and efficient schedule that does not delay the work or other trades.
4. Mechanical contractor shall confirm that all have equipment specified is in compliance w/ aca manual j and all ductwork is laid out and installed in compliance w/ aca manual d.
5. Install air filters with a minimum efficiency reporting value (merv) of 13 or higher and ensure that air handlers can maintain adequate pressure and air flow. Air filter housings must be airtight to prevent bypass or leakage. (zone generators are not permissible as air cleaners.
6. All zones shall be equipped w/ digital and programmable thermostats with a standard energy star setting and label.
7. All exhaust fans shall be ducted directly to the exterior with rigid metal.
8. All bath fans shall be exhaust star. This rating requires that fans 50 cm or smaller be no louder than 2.0 sones and move a minimum of 1.4 cfm/watt. Fans 76 cm or larger must be no louder than 1.5 sones and move a minimum of 2.8 cfm/watt.
9. Any refrigerants used shall be leak checked. Mechanical contractor must execute refrigerant charge test and submit results as proof of proper refrigerant charge.
6. All transverse seams in supply and return ducts, including supply and return plenums and leakage sites in the air handler, shall be sealed with duct mastic and flanges reinforcing mesh.
7. Supply duct take-offs shall be spaced at least 6 inches apart from other with no duct take-offs originating from the cap of the supply plenum.
8. No supply or return ducts, boots or registers shall be located in exterior walls. This includes vaulted ceilings and insulated walls between conditioned and unconditioned space.
9. Insulate any ventilation and exhaust ductwork outside of the insulated envelope. Use at least r-6 insulation around ducts in unconditioned spaces.
10. Minimize the transmission of equipment or other noise to the diffusers. Sound transmissions shall be avoided by geometry of duct layout, only. Acoustical liners on the interior face of the duct shall not be acceptable.
11. Supply and return duct outlets shall be covered to stop construction trash and dust from contaminating new duct system.
12. An outdoor air intake duct shall be connected to the return side of each air handler to bring in fresh outside air for ventilation. The air shall be filtered and a damper (manometric or motorized) should close automatically when the air handler fan is not operating.
13. An energy recovery ventilator shall be installed according to the manufacturer's specifications.
14. Exhaust ventilation shall be considered part of the mechanical work. Provide exhaust fans in every bathroom (min 50cm), kitchen (min 100cm) and/or garage (min 100cm) according to asrae 62.2-2007/5.
15. Pre-occupancy flush: prior to occupancy, but after completion of construction, the entire house shall be flushed w/ outside air for 48 hours. Keep all interior doors open and run all fans and exhaust fans continuously. Replace or clean hvac air filter afterwards, as required.
16. A passive radon vent system shall be installed in compliance with gap guidelines for "model standards and techniques for control of radon in new residential buildings." general contractor shall conduct a radon test of house as per gap guidelines after final construction is complete and provide test results to home buyer. If test indicates greater than 4 picocuries per liter then construction, general contractor must follow gap guidelines to reduce radon levels.

RISER DIAGRAM - NTS
1. Paint to be latex base by Benjamin Moore or equal. Painted trim, millwork, door panels to be satin finish. Wall surfaces to be flat washable (low luster). Ceilings to be flat.
2. All surfaces shall be properly and thoroughly primed. Primer for GWS surfaces to be Benjamin Moore acrylic primer or equal. Primer for wood surfaces to be Benjamin Moore Aligned Enamel (waterbased) or equal.
3. All interior paints shall have a maximum VOC content of 150 g/L. First finish interior paints shall have a maximum VOC content of 90 g/L.
4. All existing walls and ceiling, when not flaking, peeling, powdering, scaling or cracking is present shall be scraped, wet brushed, plaster patched, etc. and sanded as necessary to provide a smooth level surface ready for painting.
5. All surfaces to be painted are to be cleaned of all dirt, oil or other foreign substance prior to painting.
6. Do not paint outlets, switches, plates, or other electrical devices unless they have previously been painted. Do not paint new hardware or unpainted existing hardware.
7. All colors to be applied to cover fully and completely to provide an opaque, smooth surface of uniform finish, color and appearance. Any substrate which is still visible at the completion of painting shall be considered unacceptable. All new surfaces receive a minimum of one primer coat and two finish coats.
8. All cans of individual color to be intended to assure uniform color throughout.
9. Provide up to 3 color samples on site per color for Architect's approval prior to application. For bidding purposes, the Painter shall assume that there will be at least (5) different colors in scope.
10. Make edges of paint adjoining other materials or colors sharp and clean, with no overlapping.
11. Each coating of paint shall be wiped free of dust prior to application of succeeding finishes.
12. Drips, roller marks, roller fuzz and mottled surfaces are not acceptable.
13. Upon completion of painting work, clean all surfaces of spatters or spilled paint. Painter shall leave any excess paint in properly sealed cans with superintendent; label each can clearly with number, finish and type.

FINISH NOTES - PAINT
1. Tight seal all shared surfaces between a garage and conditioned spaces, including all of the following: seal all penetrations, weatherstrip all doors, seal all connecting floor and ceiling joint bays, seal all cracks at garage wall base. Garage walls and ceilings to be primed and painted and must not be left unfinished.

GLAZING NOTES
1. All glazing within 18" of floor, 24" of door or within hazardous areas (stairs/showers) will be tempered for safety.
2. All shower enclosures will be 1/2" minimum thickness low iron tempered glazing.

SITE MANAGEMENT NOTES
1. The general contractor shall dedicate a site foreman or project manager to this project who will be on site daily and always available for communications with the designer.
2. The general contractor shall establish and maintain a well-organized site office throughout the construction process. This office shall consist of a desk large enough to spread the construction documents and a fax and/or laptop with a continuously open communication line to send faxes or emails to the site.
3. It shall be the responsibility of the general contractor to maintain a complete and current set of all construction documents and specifications in the field at all times. These shall be secured to the site office desk.
4. The general contractor shall have a printed copy of all sketches, lists, revised specifications or other communication in a well-organized binder secured to the site office desk.
5. Drawings are NOT TO BE SCALED FOR DIMENSIONS. Errors resulting from such actions shall be corrected at the sole expense of the general contractor.
6. Demolition and construction waste shall be directed to recycling or reuse to maximum degree. A waste management plan shall be established, identifying the possibilities for reuse or recycling, demolition or construction waste (metals, wood, concrete or other). Net waste (hailed to landfills or incineration) shall be reduced to a maximum level of 2.5 pounds or less of per square foot of conditioned floor area. general contractor must keep receipts and documentation of all separated waste hauls and submit as proof of the achieved goal.
7. The general contractor shall provide on-site separation of all waste material or arrange waste hauler and hauler who separate materials.
8. The general contractor shall educate each subcontractor of the waste management plan and be responsible for their abiding by the separation of waste.
9. The general contractor shall never block any path of egress including but not limited to the public stairs, fire stairs, or elevator doors at any time.
10. It shall be the responsibility of the general contractor and/or Subcontractor to confirm adequate accessibility for all items of the work into the work space, and into their installed locations.
11. At the end of each workday the general contractor shall clean the stairs, elevator, landings, and public spaces of the building so that it is in presentable condition as necessary due to the dirt and debris generated by the construction process.

BUILDING CODE NOTES
1. The construction documents have been prepared under the 2020 residential code the November 2019 Addition of NYS Building Code.
2. The plans and specifications, are designed in accordance with the prescriptive energy requirements to the best of my knowledge, belief, and professional judgment comply with the applicable sections of the 2020 energy conservation code of nys, zone 4, weatherstar county.
3. The plans are designed in accordance with the National Electrical code NFPA 70: 2017 edition

WINDOW SCHEDULE							
TAB	#	MFR.	SERIES	MODEL #	TYPE	HARDWARE	REMARKS
SECOND FLOOR							
100	1	ANDERSEN	400	OW12	D	WHITE	ADJUST FRAME TO NEW WINDOW. TEMPERED GLASS
ATTIC FLOOR							
200	2	ANDERSEN	400	OW12S	A	WHITE	FALSE RAIL TO SIMULATE A DOUBLE HUNG
201	2	ANDERSEN	400	OW12S	A	WHITE	FALSE RAIL TO SIMULATE A DOUBLE HUNG
202	1	ANDERSEN	400	OW12	C	WHITE	INSERT WINDOW
203	1	ANDERSEN	400	OW12S	B	WHITE	TEMPERED GLASS
203.1	1	ANDERSEN	400	OW12S	B	WHITE	TEMPERED GLASS
203.2	1	ANDERSEN	400	OW12S	B	WHITE	TEMPERED GLASS
204	1	ANDERSEN	400	OW12	C	WHITE	INSERT WINDOW
205	1	ANDERSEN	400	OW12	C	WHITE	INSERT WINDOW
206	1	VELUX	SOLAR POWER FRESH AIR		E	WHITE	
207	1	VELUX	SOLAR POWER FRESH AIR		E	WHITE	

## WINDOW/DOOR KEY

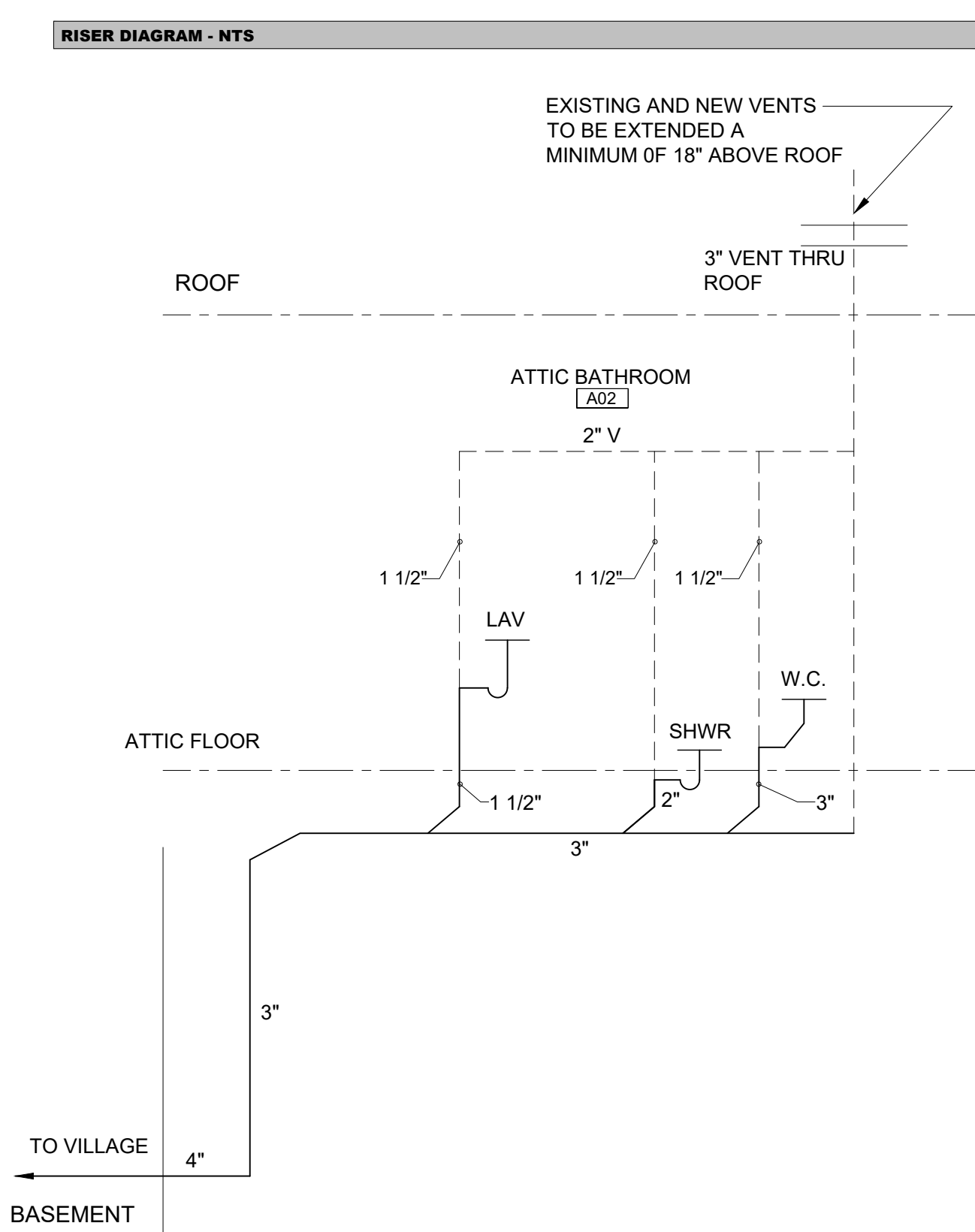
**TYPE:** 6/1 WITH FALSE RAIL  
**FINISH:** MATCH EXG  
**MODEL:** TBO  
**ACTION:** CASEMENT  
**MFRG:** ANDERSEN 400 SERIES



**TYPE:** 6 LITE - TEMPERED GLASS  
**FINISH:** MATCH EXG  
**MODEL:** TBO  
**ACTION:** JAWNING  
**MFRG:** ANDERSEN 400 SERIES

**TYPE:** 4 LITE  
**FINISH:** MATCH EXG  
**MODEL:** TBO  
**ACTION:** JAWNING  
**MFRG:** ANDERSEN 400 SERIES


**TYPE:** 4 LITE  
**FINISH:** MATCH EXG  
**MODEL:** TBO  
**ACTION:** JAWNING  
**MFRG:** ANDERSEN 400 SERIES

NOTES:
1. ALL WINDOWS TO BE SIMULATED DOUBLE LITE, AS INDICATED
2. ALL WINDOWS DIMENSIONED TO CENTER LINE
3. PROVIDE 6" MIN. CLEARANCE BOTH SIDES OF ROUGH WINDOW OPENING TO WALL (IF APPLICABLE)
4. FLASH AS PER MFR'S SPECIFICATIONS
5. TEMPERED WINDOWS AS REQUIRED BY CODE
EXTERIOR COLOR: MATCH EXG INTERIOR COLOR: FACTORY FINISH WHITE



PLUMBING SYMBOLS:	
	WASTE LINE
	VENT

NOTES:
1. WASTE AND VENT PIPING TO BE ABS-DWV PLASTIC MEETING ASTM D 2661

GENERAL LEGEND
 DETAIL

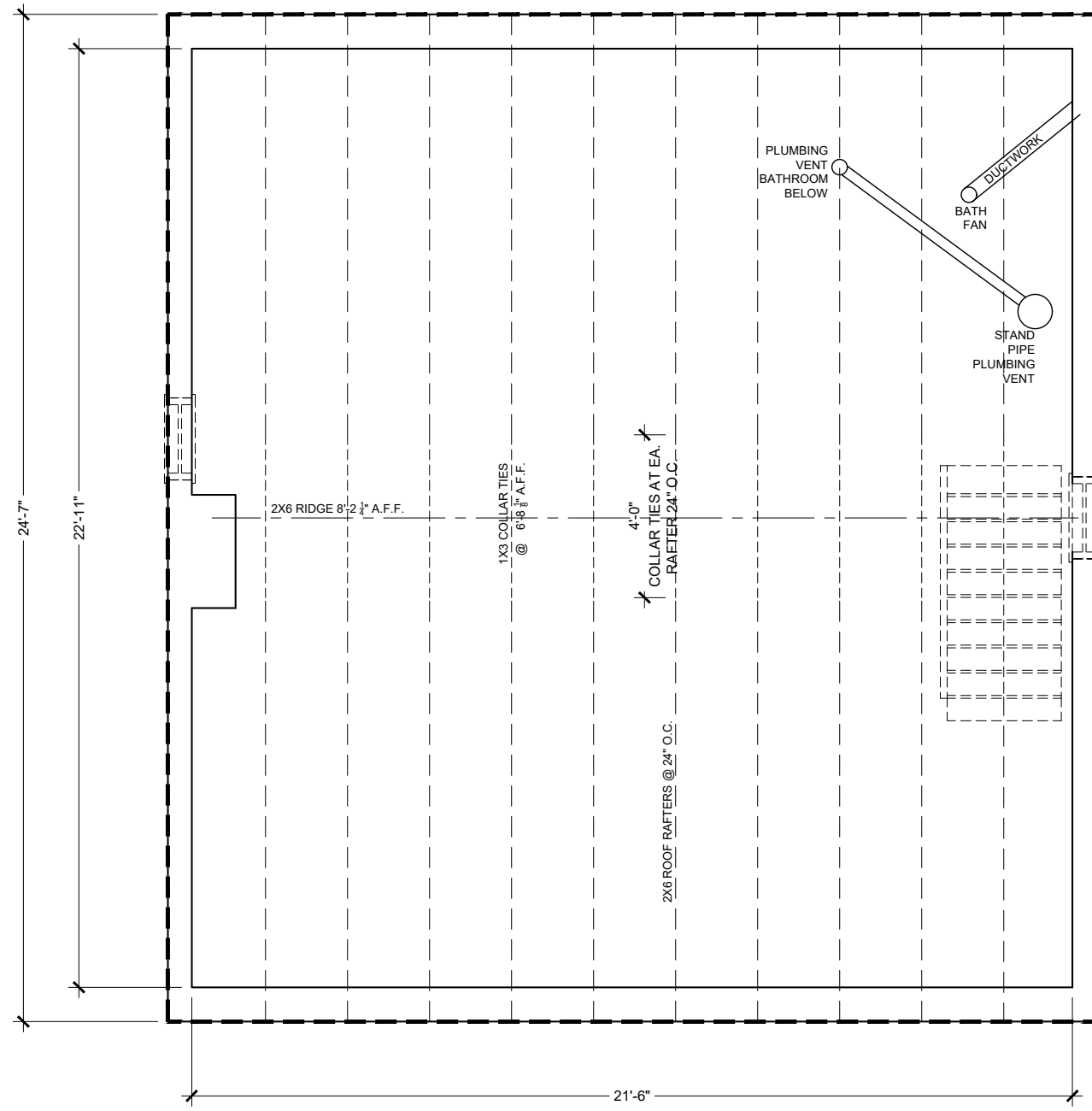


DEMOLITION LEGEND

- EXISTING WALL OR PARTITION
- WALL TO BE REMOVED
- LIMITED SCOPE OF WORK

DEMOLITION NOTES

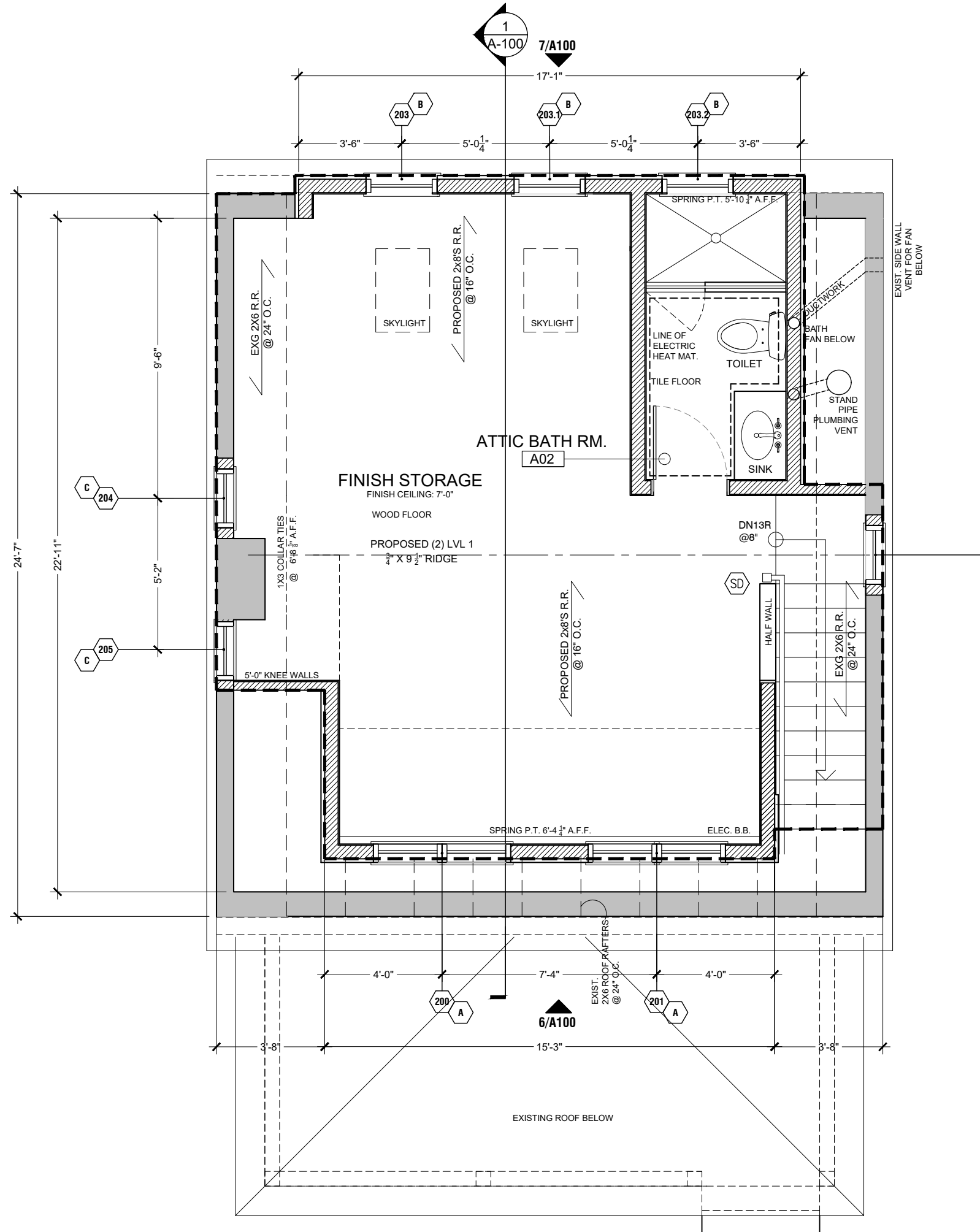
1. ANY DAMAGE TO NEW CONSTRUCTION OR EXG. CONDITIONS DURING CONSTRUCTION IS TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
2. CONTRACTOR SHALL RELOCATE, MODIFY AND/OR PATCH ANY EXIST. ITEMS INTERFERING WITH THE INSTALLATION OF NEW WORK WHETHER SHOWN OR NOT ON THESE DRAWINGS.
3. CONFIRM LOCATION OF EXISTING PLUMBING AND ELECTRIC IN ALL DEMOLISHED WALLS.
4. MAINTAIN INTEGRITY OF BUILDING STRUCTURE AT ALL TIMES
5. MAINTAIN INTEGRITY OF ALL WATERPROOFING ELEMENTS THROUGHOUT DURATION AND AFTER COMPLETION OF CONSTRUCTION.



1 ATTIC FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"

ATTIC AREA: 556 SQ.FT.



2 ATTIC FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"

ATTIC AREA: 470 SQ.FT.

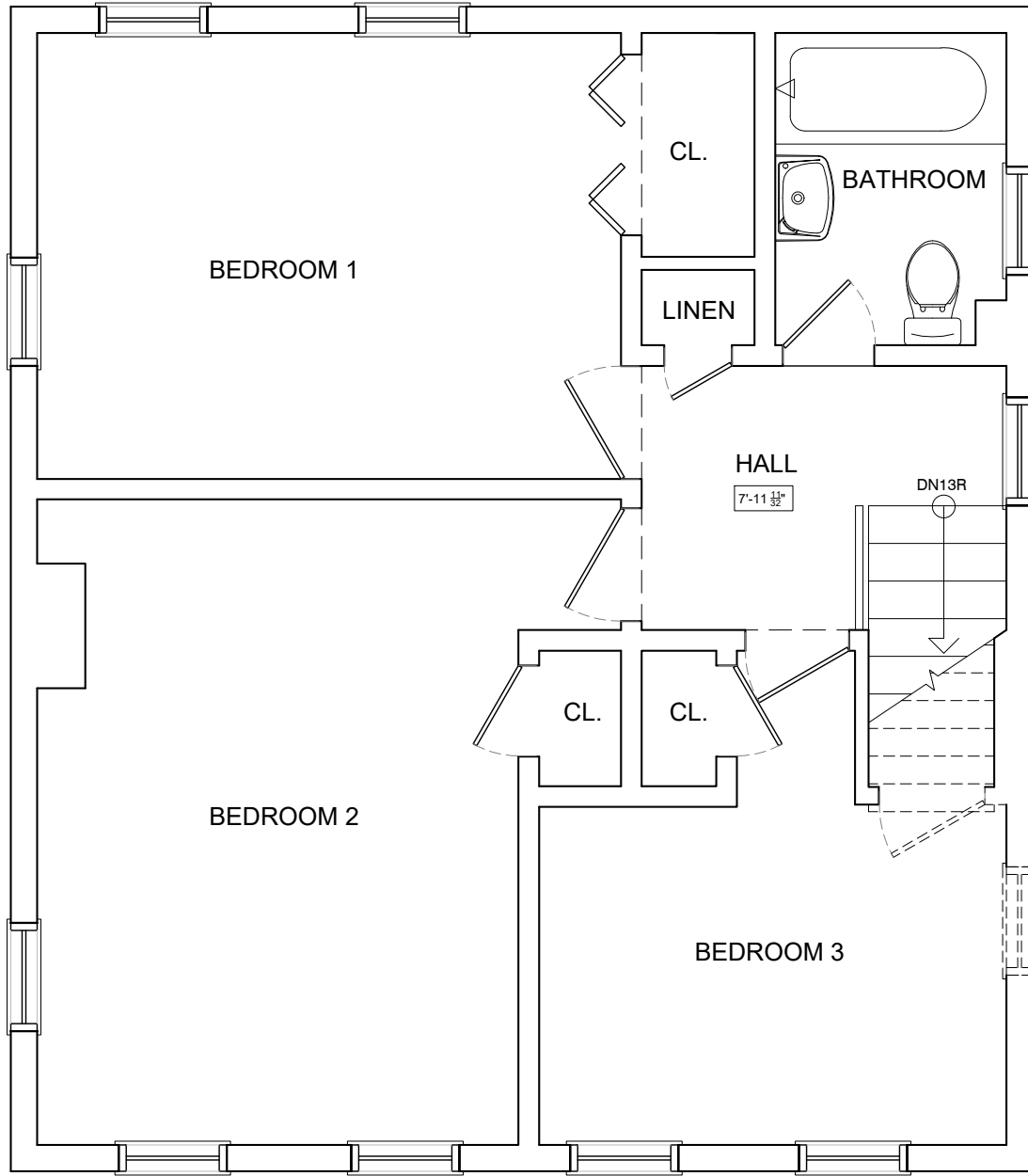
NO SITE WORK IS PROPOSED AS PART OF THE PROJECT

CONSTRUCTION LEGEND

- EXISTING WALL OR PARTITION
- NEW PARTITION OR WALL FURRING
- COSMETIC SCOPE ONLY
- NEW CUSTOM BUILT MILLWORK
- CEILING MOUNTED COMBINED CARBON MONOXIDE AND SMOKE DETECTOR MODEL T.B.D. - SEE RCP FOR LOCATIONS

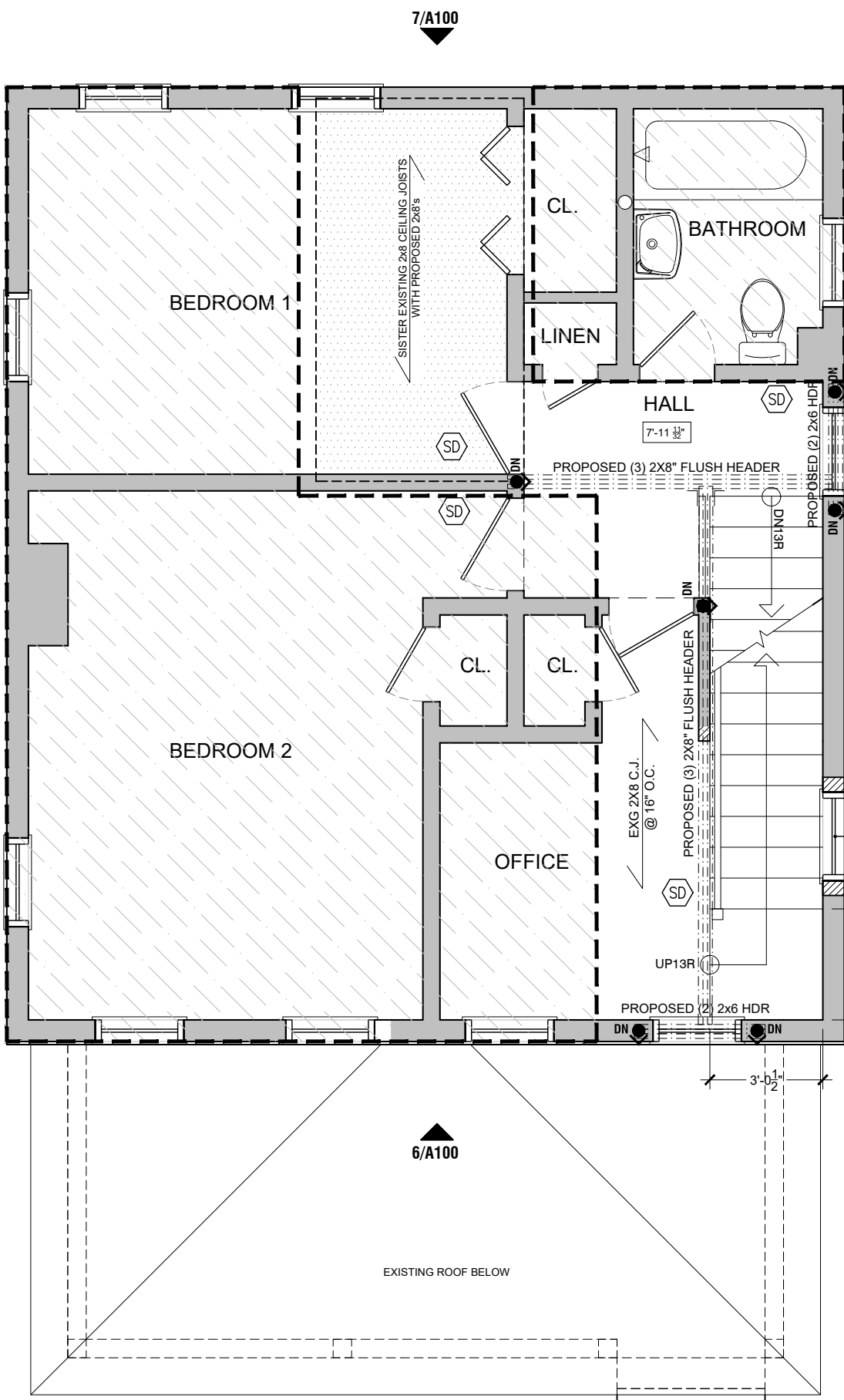
NOTE ON SMOKE DETECTORS & CARBON MONOXIDE ALARMS:

SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SECTION R314 AND R314.2.2 ALTERATION, REPAIRS AND ADDITIONS AND R314.3 LOCATION IN PARTICULAR. SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM, OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3' FROM A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT THE PLACEMENT OF A SMOKE ALARM REQUIRED BY SECTION R314.3. R314.4 INTERCONNECTION - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION R314.3 THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R315. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.



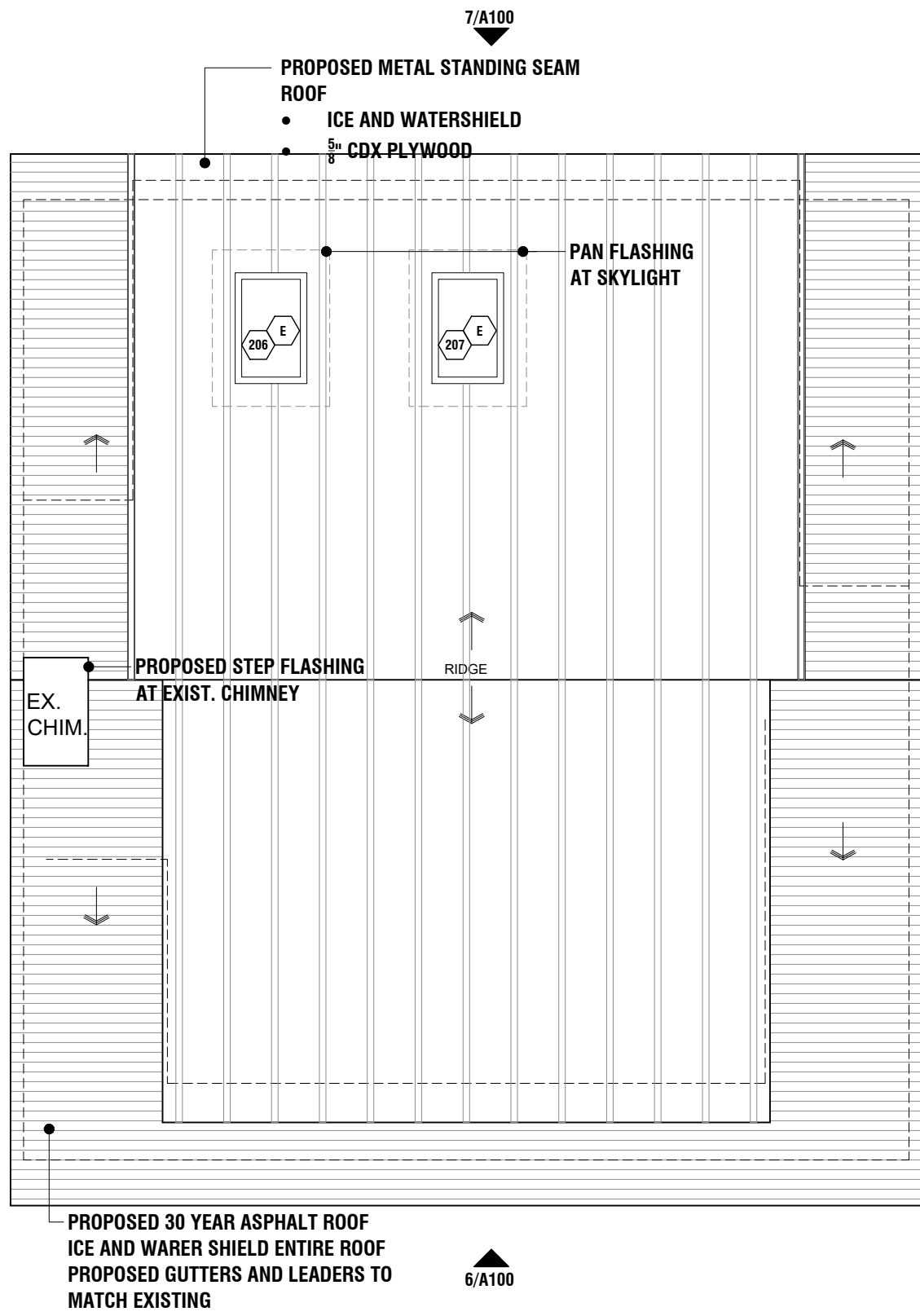
3 SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



4 SECOND FLOOR PROPOSED PLAN

SCALE: 1/4" = 1'-0"



5 PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

RSM  
SHUPE RESIDENCE

33 MAPLE ST  
IRVINGTON, NY 10533

OWNER

ROBERT AND RACHEL SHUPE  
33 MAPLE ST  
IRVINGTON, NY 10533

ARCHITECT

JAMES KRAPP, R.A.  
1 BRIDGE STREET, STE 18  
IRVINGTON, NY 10533  
646 481 7081

SEAL

PROJECT DATA

33 MAPLE ST  
IRVINGTON, NY 10533

SECTION: 2.80  
BLOCK: 36  
LOT: 16

ZONING: 1F-5

ISSUE

23\_0206 - SUBMISSION TO ARB  
22\_1123 - PLANNING BOARD REVISION  
22\_0927 - PLANNING BOARD SUBMISSION  
21\_1026 - ARB SUBMISSION

PROPOSED  
FLOOR PLANS

A100

RSM  
SHUPE RESIDENCE

33 MAPLE ST  
IRVINGTON, NY 10533

OWNER

ROBERT AND RACHEL SHUPE  
33 MAPLE ST  
IRVINGTON, NY 10533

ARCHITECT

JAMES KRAPP, R.A.  
1 BRIDGE STREET, STE 18  
IRVINGTON, NY 10533  
646 481 7081

SEAL

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33 MAPLE ST  
IRVINGTON, NY 10533

SECTION: 2.80  
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ZONING: 1F-5

ISSUE

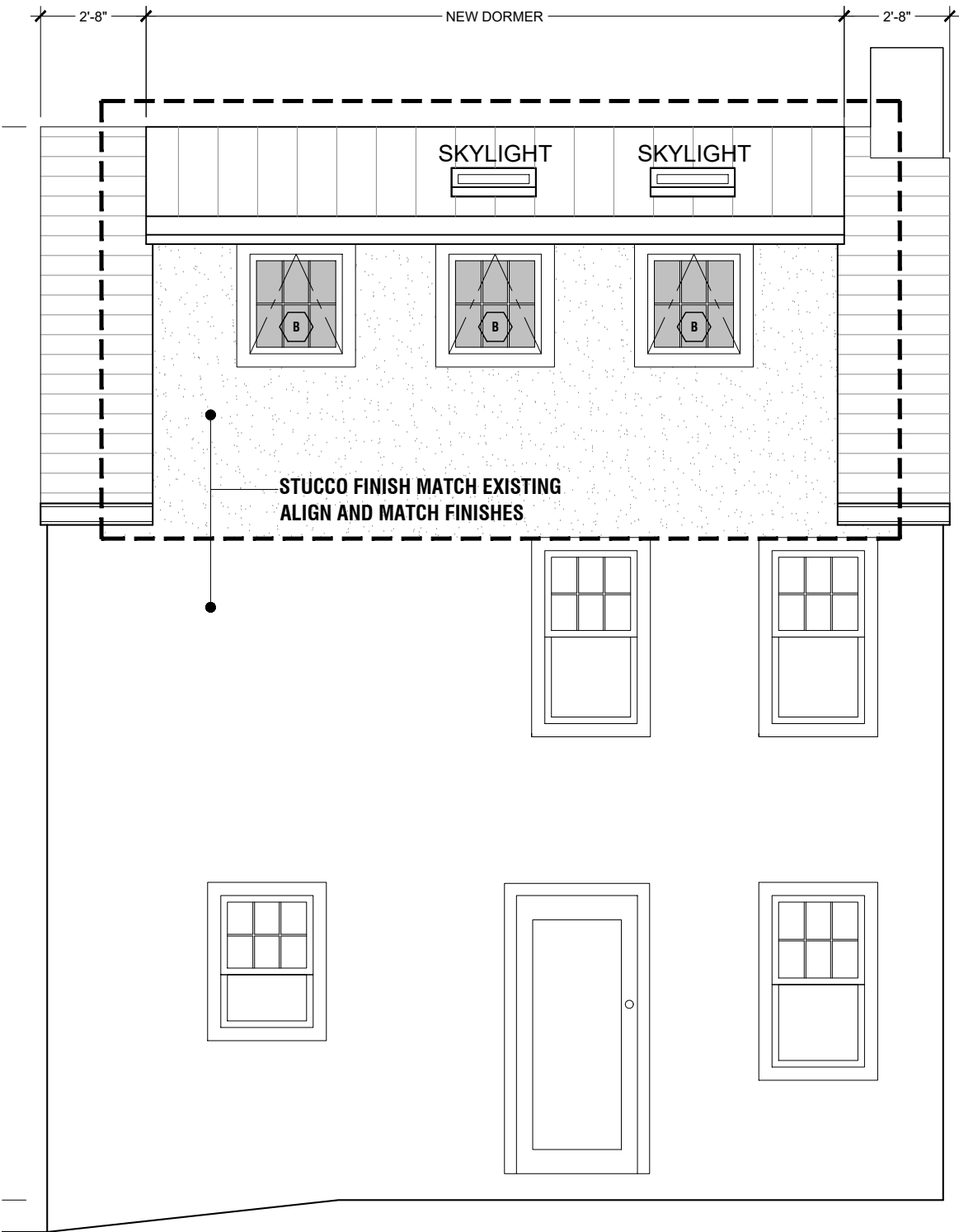
- 23\_0206 - SUBMISSION TO ARB  
22\_1123 - PLANNING BOARD REVISION  
22\_0927 - PLANNING BOARD SUBMISSION  
21\_1026 - ARB SUBMISSION

EXTERIOR  
ELEVATIONS

A200



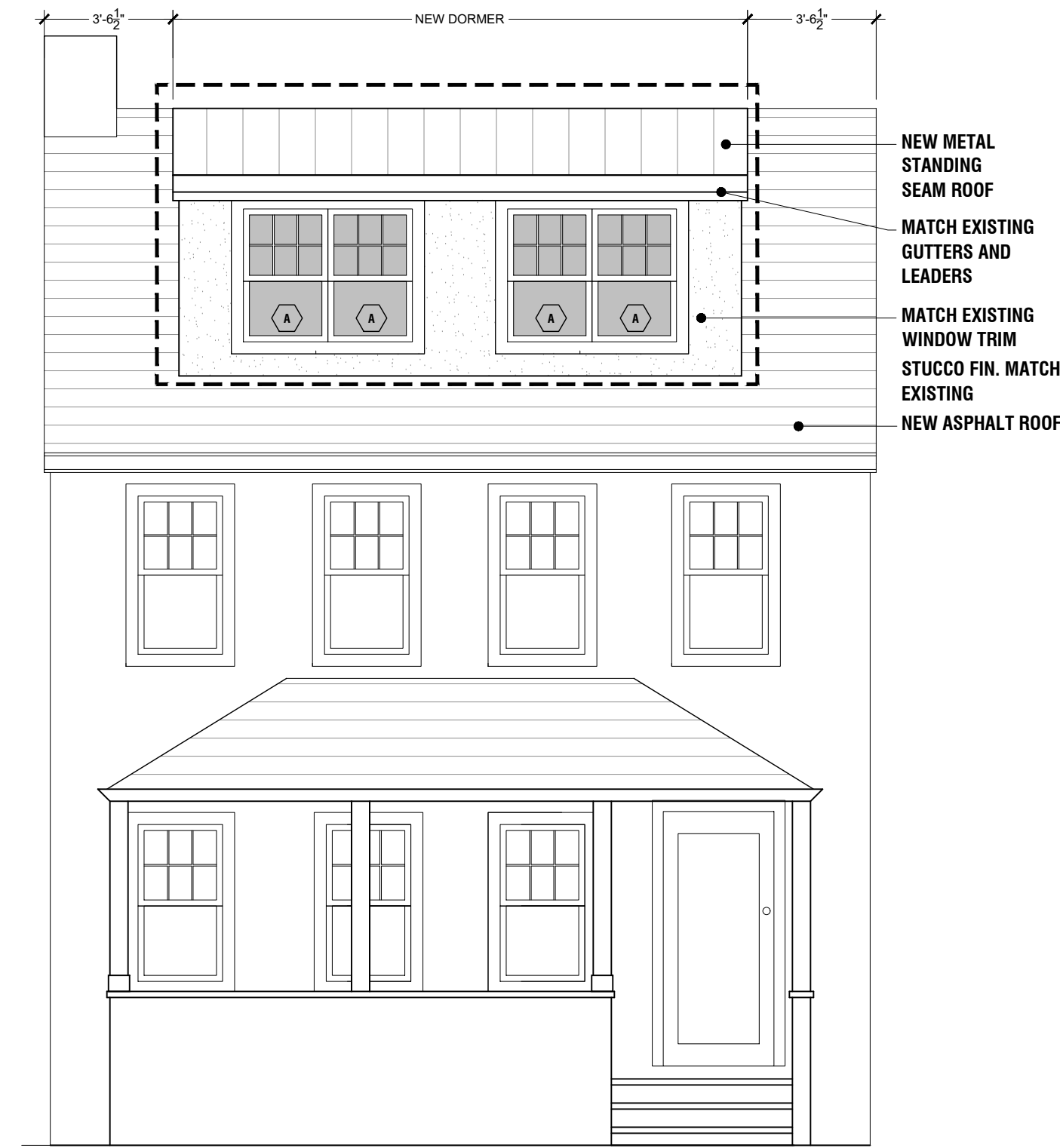
01 EXISTING EXTERIOR ELEVATION (EAST)  
SCALE: 1/4" = 1'0"



01 PROPOSED EXTERIOR ELEVATION (EAST)  
SCALE: 1/4" = 1'0"



02 EXISTING EXTERIOR ELEVATION (WEST)  
SCALE: 1/4" = 1'0"



02 PROPOSED EXTERIOR ELEVATION (WEST)  
SCALE: 1/4" = 1'0"



RSM  
SHUPE RESIDENCE

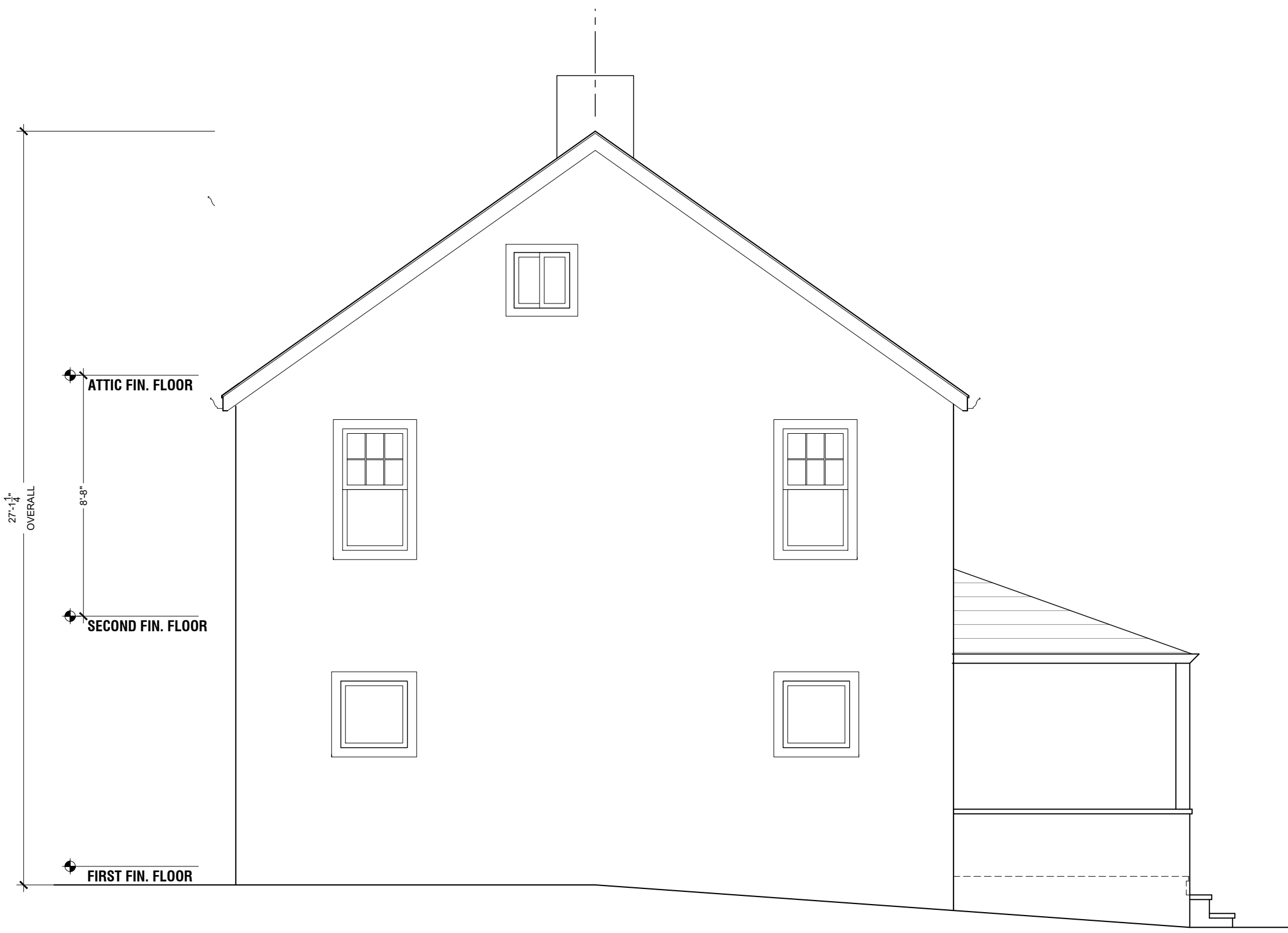
33 MAPLE ST  
IRVINGTON, NY 10533

OWNER

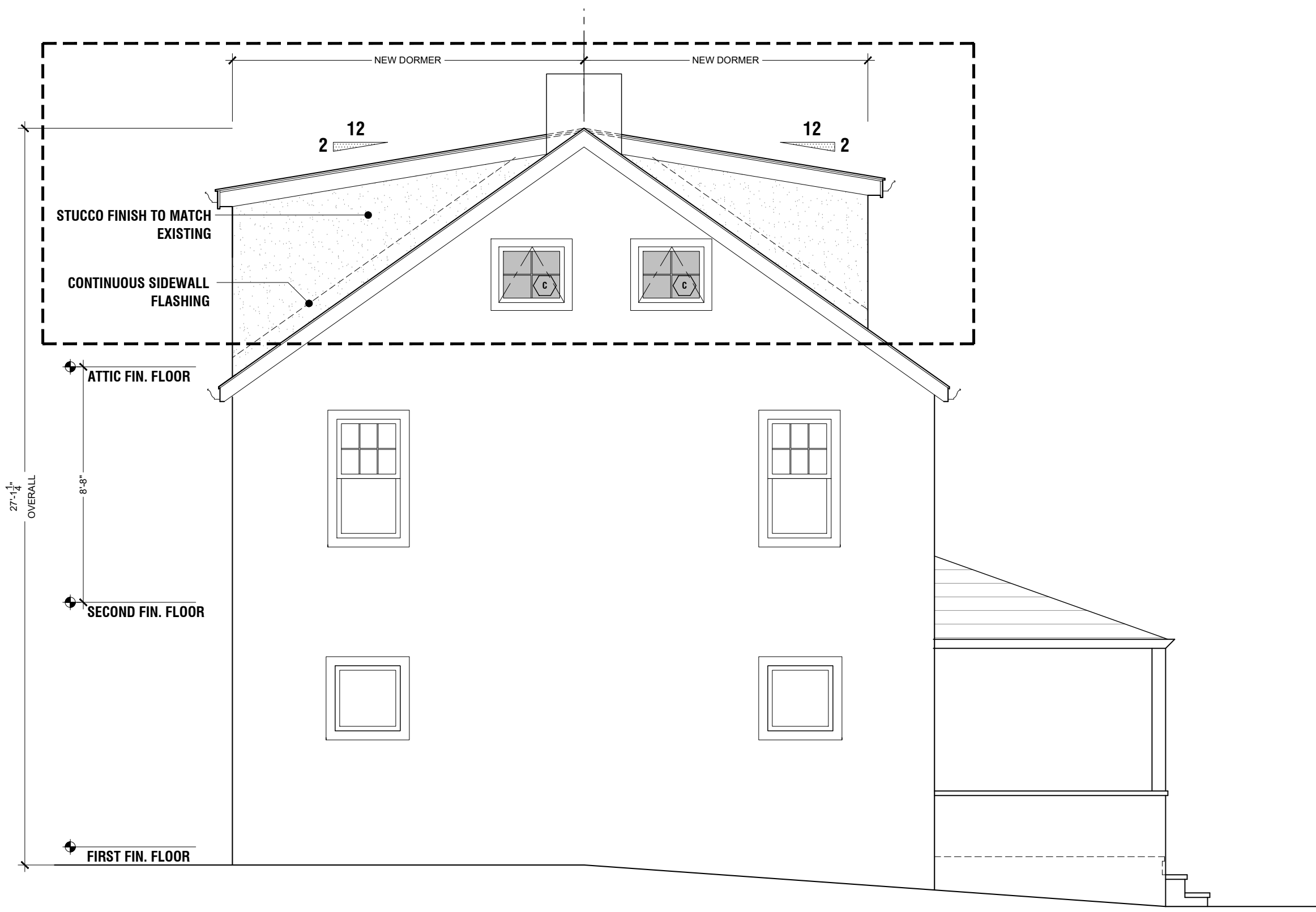
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ARCHITECT

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IRVINGTON, NY 10533  
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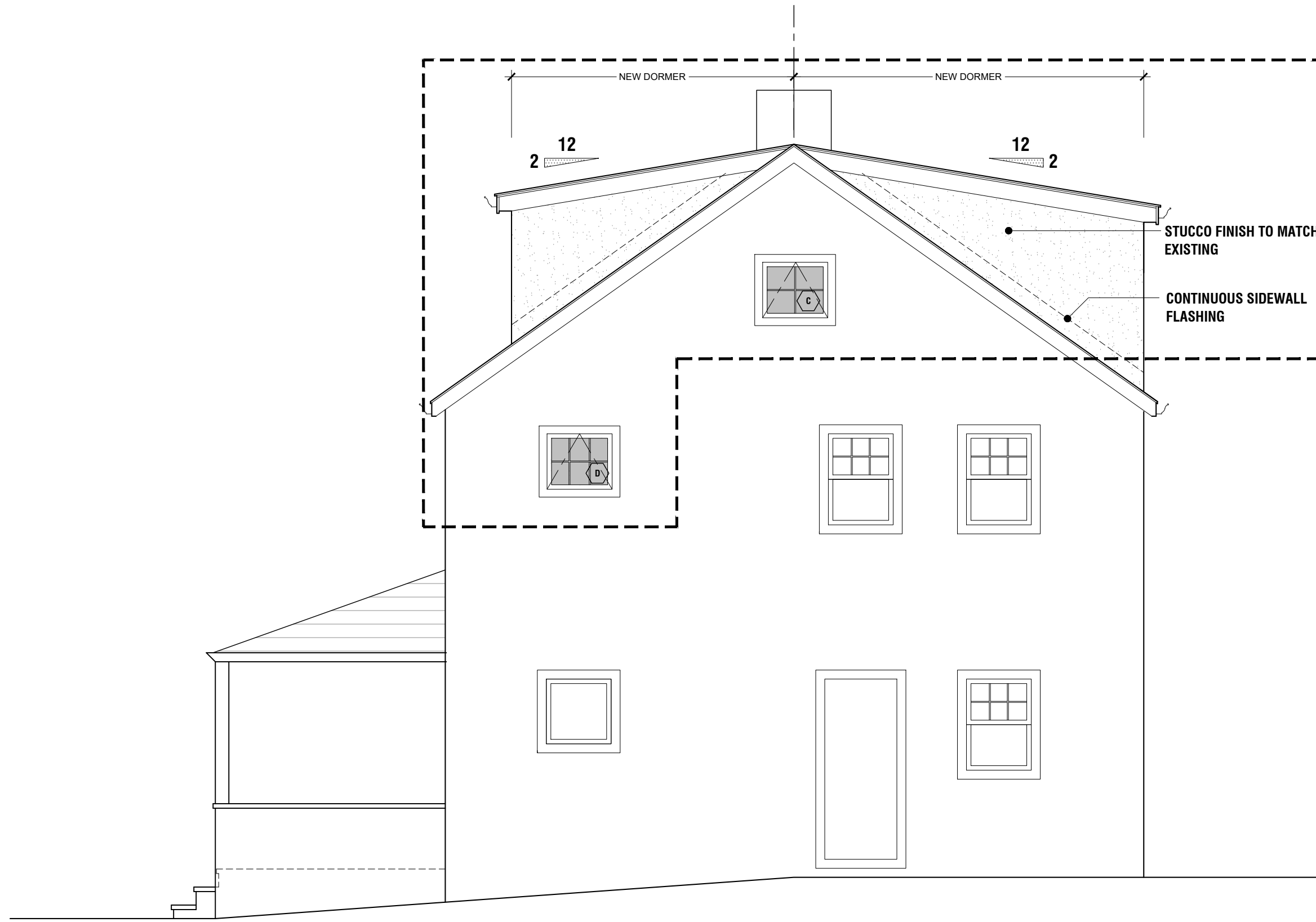
01 EXISTING EXTERIOR ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"



01 PROPOSED EXTERIOR ELEVATION (NORTH)  
SCALE: 1/4" = 1'-0"



02 EXISTING EXTERIOR ELEVATION (SOUTH)  
SCALE: 1/4" = 1'-0"



02 PROPOSED EXTERIOR ELEVATION (SOUTH)  
SCALE: 1/4" = 1'-0"

SEAL

PROJECT DATA

33 MAPLE ST  
IRVINGTON, NY 10533

SECTION: 2.80  
BLOCK: 36  
LOT: 16

ZONING: 1F-5

ISSUE

23\_0206 - SUBMISSION TO ARB  
22\_1123 - PLANNING BOARD REVISION  
22\_0927 - PLANNING BOARD SUBMISSION  
21\_1026 - ARB SUBMISSION

EXTERIOR  
ELEVATIONS