

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	509	Date:	03/03/2023
Job Location:	77 S BUCKHOUT ST	Parcel ID:	2.80-35-11
Property Owner:	Donna Gallagher	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
James Scully	James Scully
Scully Construction LLC	Scully Construction LLC
141 Lafayette AvenueNorth White Plains NY 10603	141 Lafayette Avenue North White Plains NY 10603
9146828088	9146828088

Description of Work

Type of Work:	New Construction	Applicant is:	Contractor
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	30000.00	Property Class:	1 FAMILY RES

Description of Work

Removal and replacement of existing enclosed sunroom with new expanded living space in the same location. Extension of enclosed space to go to the corners of the front of the house. New widened front porch steps.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 77 S BUCKHOUT ST

Parcel Id: 2.80-35-11

AFFIDAVIT OF APPLICANT

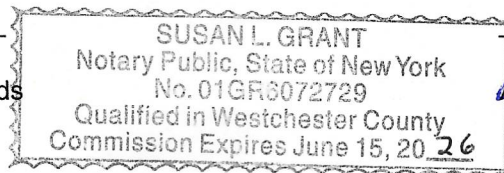
I **James Scully** being duly sworn, depose and says: That s/he does business as: **Scully Construction LLC** with offices at: **141 Lafayette Avenue North White Plains NY 10603** and that s/he is:

- ☐ The owner of the property described herein.
- ☒ The Owner of the New York Corporation Scully Construction with offices at: 141 Lafayette Ave No. White Plains NY 10603 duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 6th day of March of 2023

Susan L. Grant
Notary Public / Commission of Deeds



James Scully
Applicant's Signature

OWNER'S AUTHORIZATION

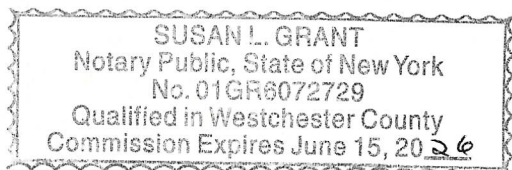
I **Donna Gallagher** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 914 591 8462 Owner email address Donna@Scullycorp.com

- ☒ Donna Gallagher I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 6th day of March of 2023

Susan L. Grant
Notary Public / Commission of Deeds



Donna Gallagher
Applicant's Signature

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEEs ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

- * Application fee \$85
* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

$$\begin{array}{r} 85 \\ \hline 510 \end{array}$$

• Inspection Fees (as applicable)

- Insulation: \$50
- Solid Fuel: \$50
- Foundation and footing drain: \$50
- Energy Code Compliance: \$50
- Sediment and erosion control: \$50
- Footing: \$50
- Preparation for concrete slabs and walls: \$50
- Footing: \$50
- Preparation for concrete slabs and walls: \$50
- Framing: \$50
- Building systems, including underground and rough-in: \$50
- Fire resistant construction and penetrations: \$50
- Final Inspection for C.O.: \$50
- State and local laws (per re-inspection): \$50

Total Inspections 350

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

30

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) Total **975**

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)











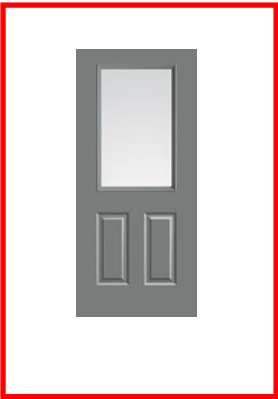
Traditions

TS1651
★★★★★ 4.7 (3)



Profiles™

132HD-RT
★★★★☆ 3.0 (4)



ENTRY DOOR

Traditions

TS206
★★★★★ 4.7 (3)



Profiles™

959HDXN
★★★★☆ 3.0 (4)





PRODUCTS AVAILABLE NEAR ZIP CODE:

10533

Some colors unavailable due to COVID-19 disruption, check with a local contractor for current options.



Due to variation in computer monitors and printers, the color samples seen on your computer screen may not exactly match the corresponding color. To verify actual product color, ask to see the actual product, available through a CertainTeed contractor or distributor.

When it comes to weathering the elements, XT 25 is quite simply at the top of its class. Built on a tough fiberglass base, each shingle provides exceptional resistance to blow-off and tearing and has a 10-year StreakFighter® warranty.

- Provides excellent durability and performance
- Backed by CertainTeed's industry-best manufacturer warranty
- Economically-priced and easy to install

About CertainTeed Roofing Technologies

As a result of our dedication to product improvements and manufacturing excellence, we've developed numerous valuable technologies that help contractors and homeowners build better, safer, more comfortable homes. This CertainTeed product features the following roofing technologies:

StreakFighter® technology provides reliable, long-term protection against the unsightly black streaks caused by algae formation. Featuring copper-infused surface granules that possess natural anti-algae properties, StreakFighter works to prevent algae from taking hold on shingles - helping roofs maintain their beauty and color. [Learn more.](#)

CertaSeal is a high-grade adhesive made from a proprietary blend of asphalts and polymers that seals shingles together on the roof to safeguard against wind uplift, shingle blow off, and moisture infiltration. Unlike harder sealants that can dry out and crack over time, it is designed to remain pliable and accommodate the slight structural shifts caused by years of temperature and weather changes. [Learn more.](#)

Due to variation in computer monitors and printers, the color samples seen on your computer screen may not exactly match the corresponding color. To verify actual product color, ask to see the actual product, available through a CertainTeed contractor or distributor.

PRODUCT OVERVIEW

- [Traditional Shingles Brochure - Northeast, Lake Central and North Central](#)
- [Roofing Products Guide - Northeast](#)
- [StreakFighter Algae-Resistant Shingles Brochure](#)
- [Top 5 Reasons to Choose CertainTeed Roofing](#)

TECHNICAL SPECS

- [XT 25 Data Sheet - Strip Shingles](#)
- [Miami-Dade NOA - XT25](#)
- [ICC-ES-ESR-1389](#)
- [FL-5444 - Asphalt Roofing Shingles](#)

[\(More Info\)](#)

WARRANTY

- [Asphalt Shingle Limited Warranty](#)
- [SureStart™ Warranty Brochure](#)
- [2022 International Warranty](#)

[\(More Info\)](#)

GET INSPIRED AND LEARN MORE

[VISIT THE RESIDENTIAL ROOFING LEARNING CENTER](#)

[VISIT THE RESIDENTIAL ROOFING INSPIRATION GALLERY](#)



ARTICLES, BLOG POSTS

[HOW ROOFING
SHINGLES ARE
MADE](#)



ARTICLES

[TYPES OF
ASPHALT
ROOFING
SHINGLES](#)



PHOTOS

[XT™ 25
SHINGLES](#)

TECHNICAL INFORMATION

- Fiberglass composition
- UL Class A fire resistance
- UL certified to meet ASTM D3462
- UL certified to meet ASTM 3018 Type I
- Miami-Dade Product Control Acceptance: Please see the Notice of Acceptance (NOA) to determine approved products by manufacturing location.

SPECS

- [XT 25 Data Sheet - Strip Shingles](#)
- [Miami-Dade NOA - XT25](#)
- [ICC-ES-ESR-1389](#)
- [FL-5444 - Asphalt Roofing Shingles](#)
- [UL Classified Brochure - US](#)
- [ICC-ES ESR-3537](#)

INSTALLATION

Applying a roof system correctly is essential to the warranty and performance of the roof. Please refer to the installation instructions for complete details. Available in both English and Spanish.

WARRANTY DETAILS

CertainTeed warrants that its shingles will be free from manufacturing defects, and provides the extra assurance of SureStart™ protection. Below are highlights of the warranty for XT™ 25. See CertainTeed's Asphalt Shingle Products Limited Warranty document for specific warranty details regarding this product.

- 25-year, limited transferable warranty
- 5-year SureStart™ warranty (100% replacement and labor costs due to manufacturing defects)

- 10-year StreakFighter® warranty (on available colors) against streaking and discoloration caused by airborne algae
- 5-year, 60 mph wind-resistance warranty

WARRANTY

- [Asphalt Shingle Limited Warranty](#)
- [SureStart™ Warranty Brochure](#)
- [2022 International Warranty](#)

EXPORT INFORMATION

XT™ 25 asphalt roofing shingles are available for Export. Please review the related Export documents for additional information.

EXPORT LINKS

- [Export Roofing Selection Guide](#)
- [Asphalt Roofing Shingle International Limited Warranty](#)
- [Declaration of Performance Documents](#)



400 SERIES DOUBLE-HUNG WINDOW

LEARN

DESIGN IT

TECH SPECS

Next, grilles

Choose a grille pattern or no grilles at all

Clear my choices ✕

Sizing

Interior

Hardware

Grilles

Exterior

Trim

Glass

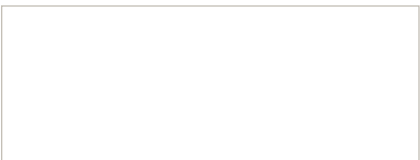
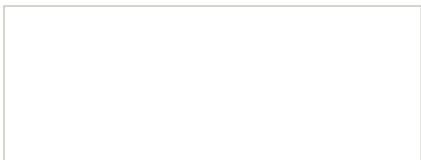
Summary

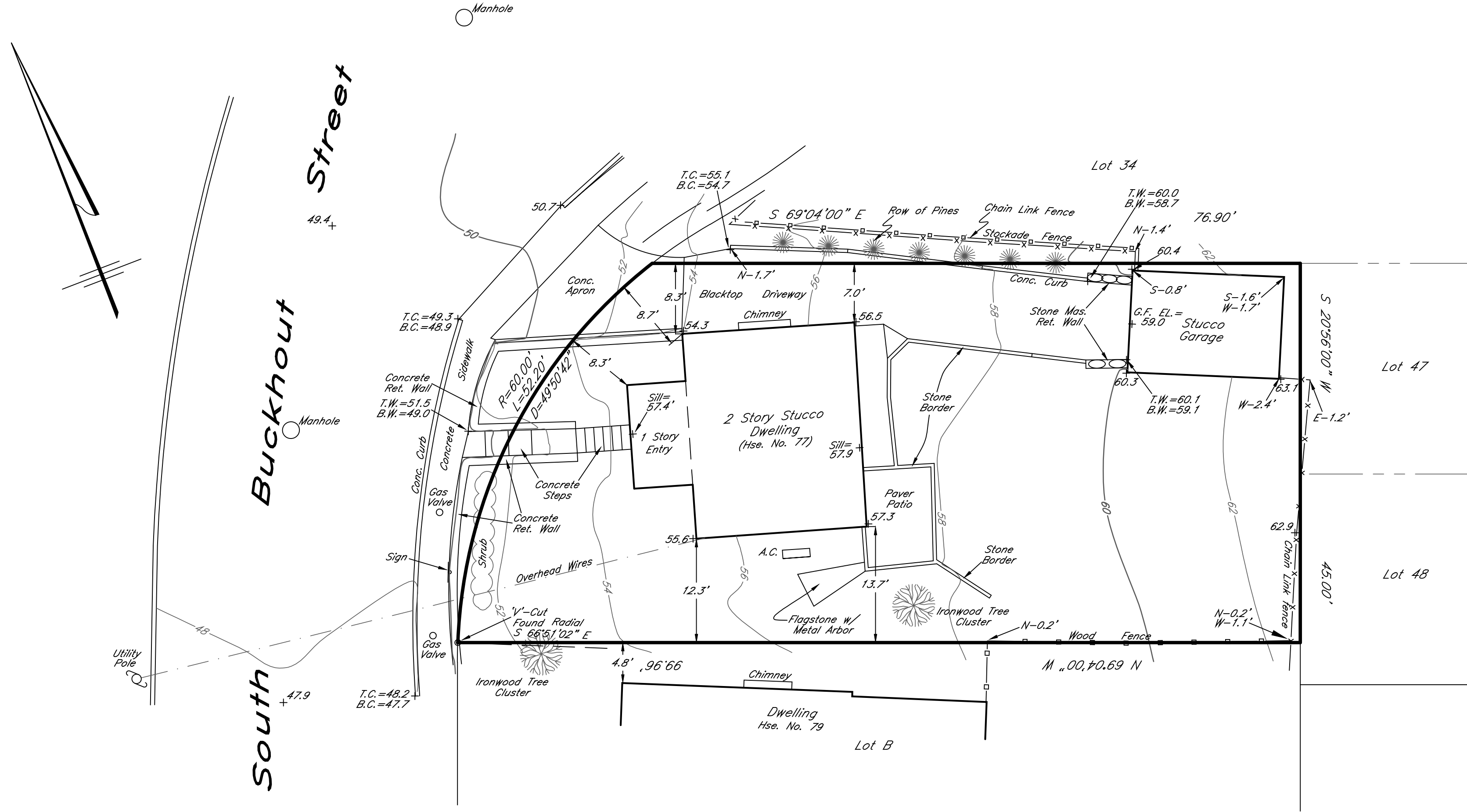


INTERIOR

EXTERIOR

Grilles





Survey of Property
prepared for
**Kevin & Donna Marie
Gallagher**
in the Village of
Irvington
Town of Greenburgh
Westchester County, N.Y.
Scale 1"=10' Aug. 30, 2021

Vertical Datum: NAVD 88

Lot Area = 4,169 sq. ft. or 0.0957 acres

Subsurface structures and their encroachments, if any exist, are not shown hereon.

"Unauthorized alterations or additions to a survey map is a violation of section 7209, sub-division 2, of the New York State Education Law.

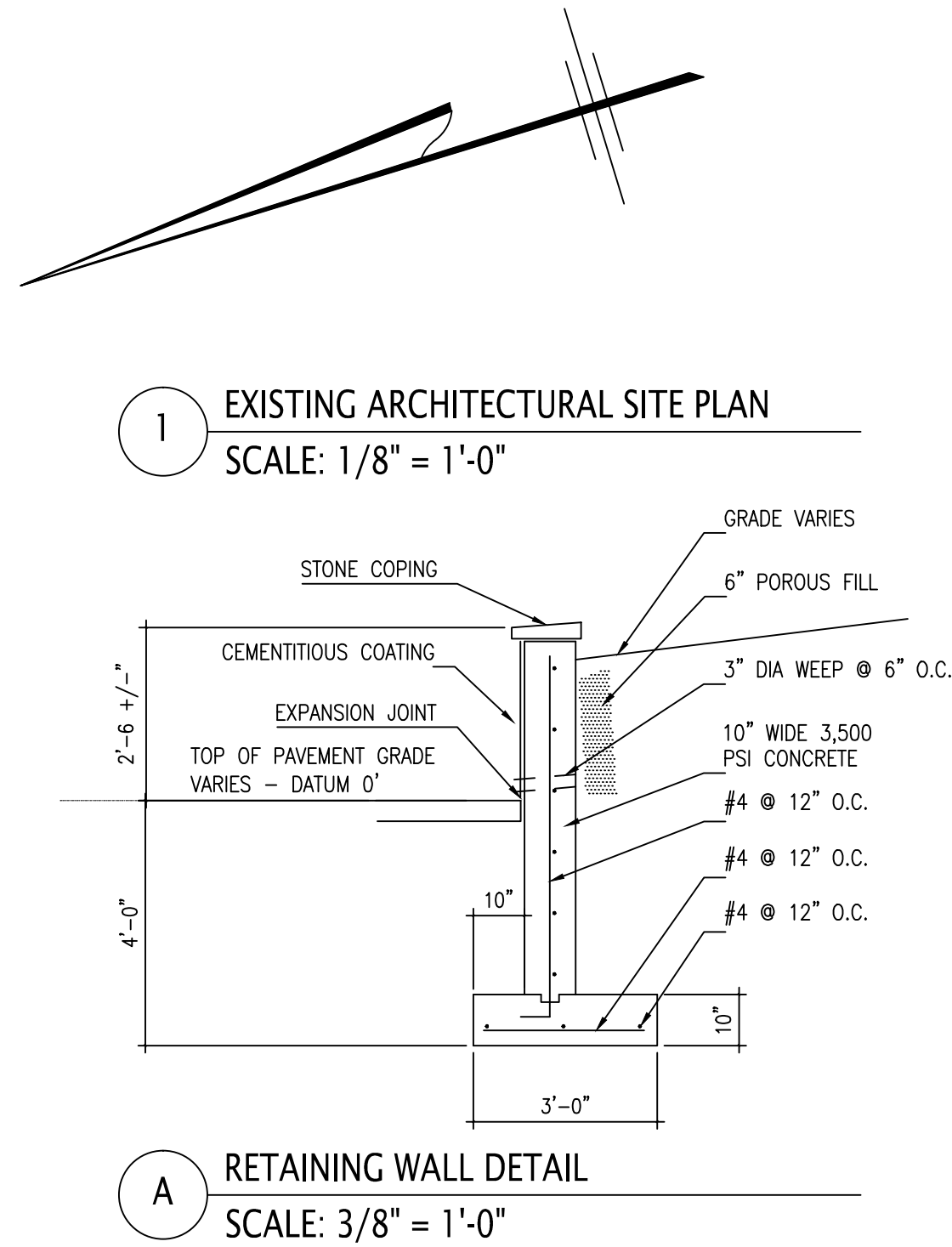
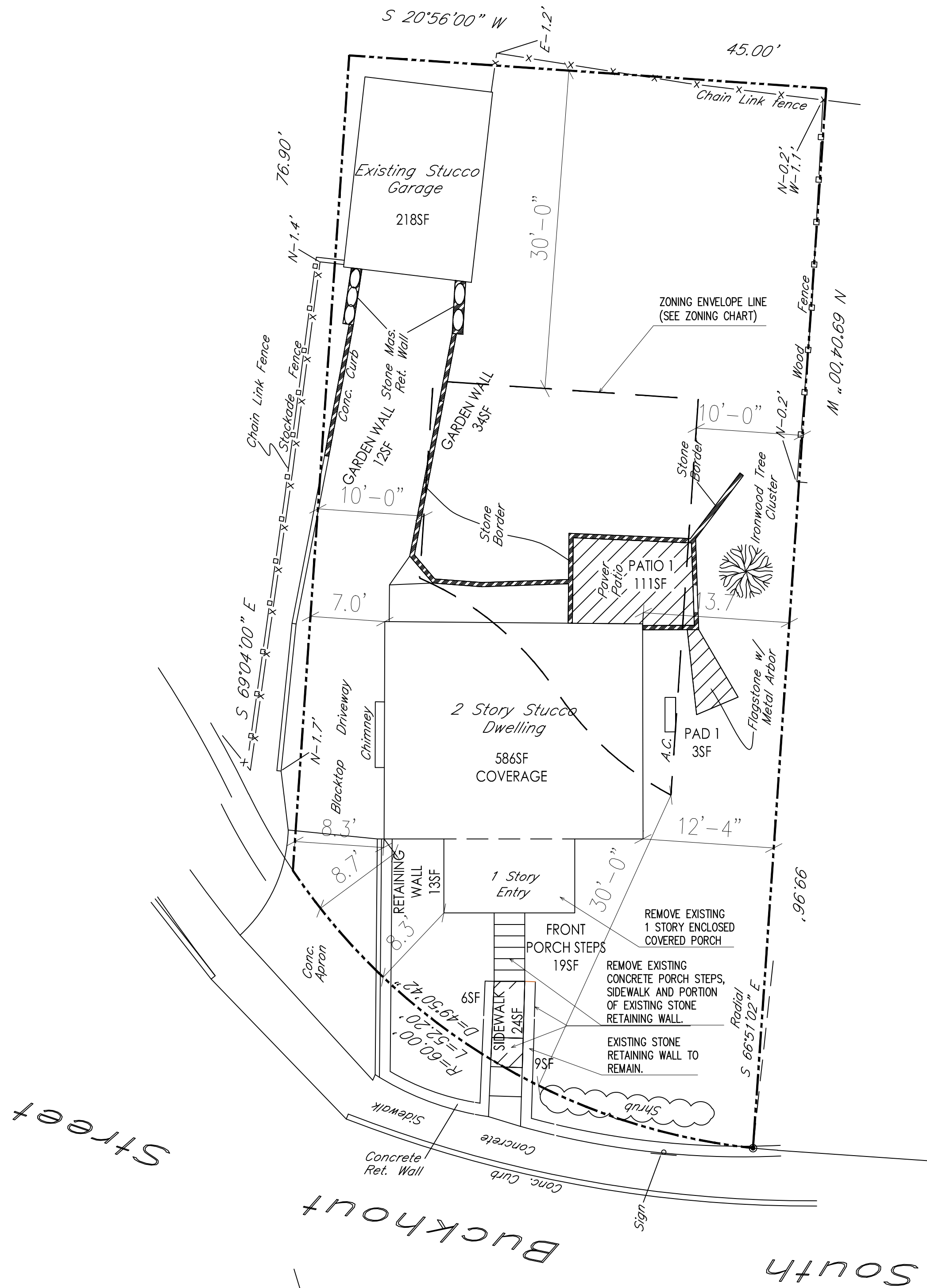
"Only copies of the original survey marked with the land surveyor's inked or embossed seal shall be considered a true and valid copy . "

"Certifications indicated hereon signify that this survey was prepared in accordance with the existing code of practice for Land Surveys adopted by the New York State Association of Professional Land Surveyors. Said certifications shall run to the person for whom the survey is prepared only, and on his behalf to the Title Company, governmental agency and lending institution listed hereon, and to the assignees of the lending institution . CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS . "

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The premises being Lot A as shown on map entitled "Re-Subdivision of Lots Nos. 35, 36, 37, 38 & 39 Spiro Park, prepared for S. Forbes Simpson in the Village of Irvington, Town of Greenburgh, Westchester Co. NY", dated June 30, 1928 and filed in the County Clerk's Office July 23, 1928 in Map Volume 67 Page 91.

Ward Carpenter Engineers, Inc.
76 Mamaroneck Avenue
White Plains, N.Y. 10601



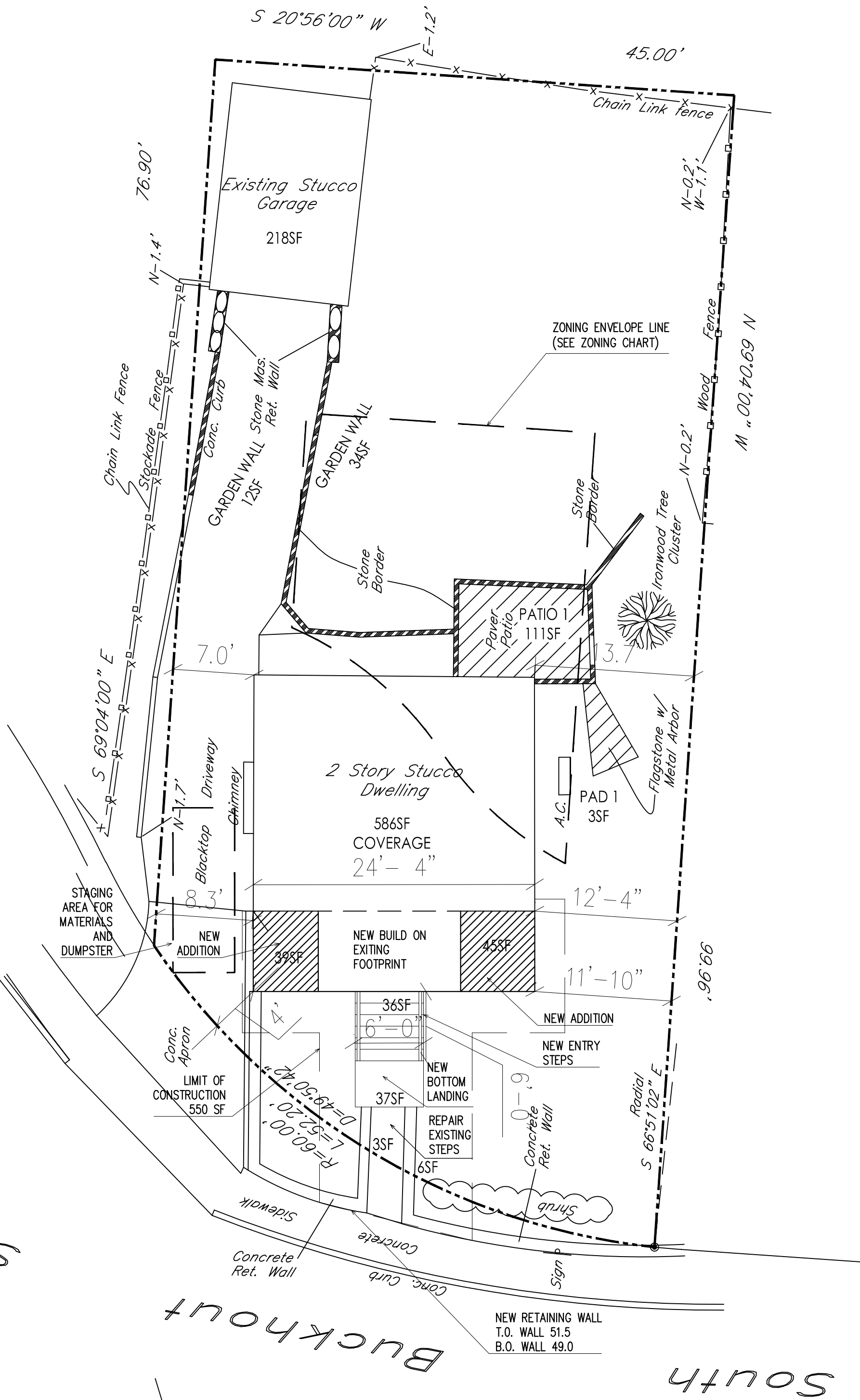
PROPERTY INFORMATION AS PROVIDED BY SURVEY
DATED AUGUST 30, 2021 PREPARED BY
WARD CARPENTERS ENGINEERS
76 MAMARONECK AVENUE
WHITE PLAINS, NY 10601

2 PROPOSED ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

IT IS NOT ANTICIPATED THAT UTILITIES WILL BE ENCOUNTERED
HOWEVER IF THEY ARE ENCOUNTERED, THEY WILL BE
RELOCATED. PRIOR TO DIGGING, UTILITIES WILL BE MARKED OUT.
CONTRACTOR TO CALL 811

NOTE: TO MY BELIEF AND KNOWLEDGE THESE PLANS COMPLY WITH THE 2020
IBC NYS RESIDENTIAL CODE AND 2020 NYS ENERGY CONSERVATION CODE

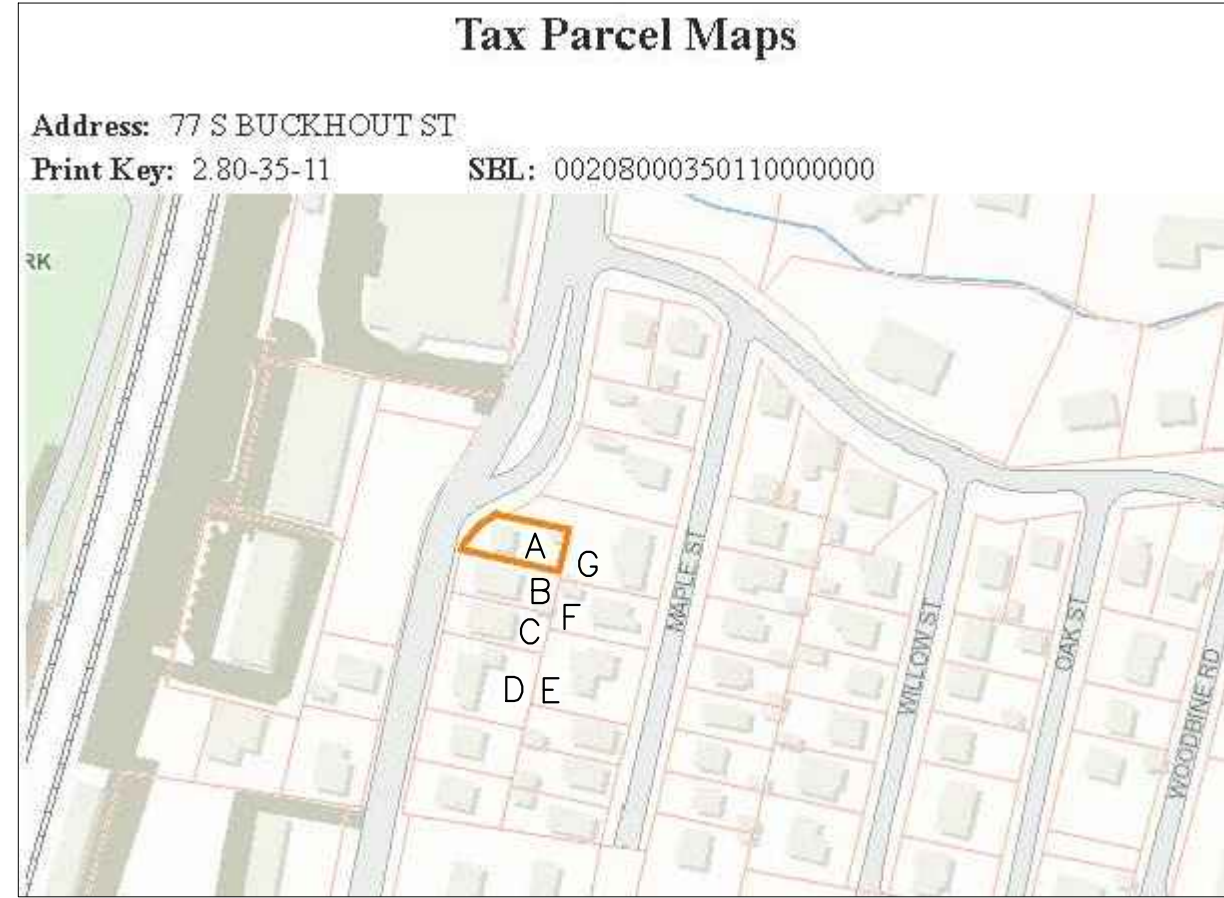
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA										
GROUND SNOW LOAD	WIND DESIGN				SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM:			CLIMATE ZONE	ICE BARRIER UNDERLAYMENT REQUIRED
	SPEED	TOPO EFFECTS	SPECIAL WIND REGION	WIND BORNE DEBRIS		WEATHERING	FROST LINE DEPTH	TERMITE		
30	120	NO	YES	NO	C	SEVERE	42"	MODERATE TO HEAVY	4A	YES



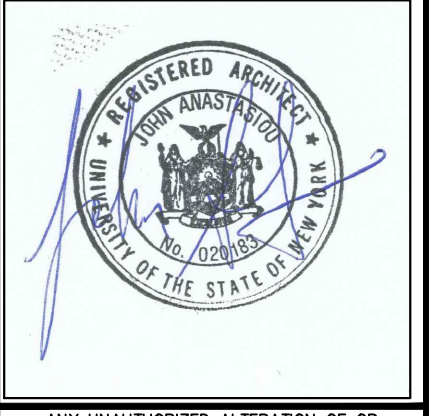
- NOTES:
- CUT/FILL MATERIAL SHALL NOT BE IMPORTED OR EXPORTED FROM THE SITE.
 - THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOILS.
 - AS BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE BUILDING INSPECTOR FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY.
 - THE RESTORATION WORK FOR THE WORK WITHIN THE VILLAGE RIGHT OF WAY SHALL BE PERFORMED TO THE SATISFACTION OF THE VILLAGE ENGINEER AND HIGHWAY DEPARTMENT.

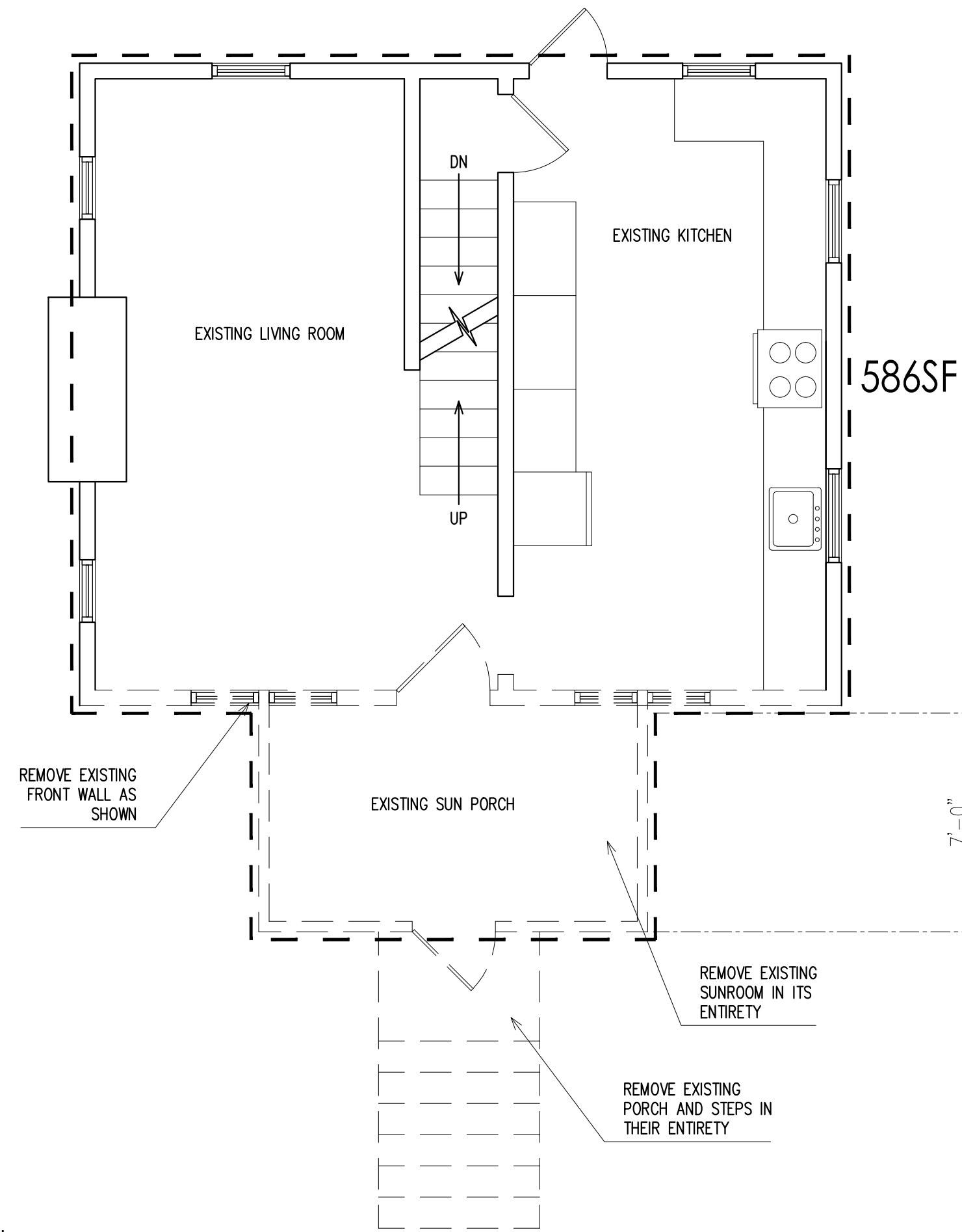
ZONING ANALYSIS OF ADJACENT PROPERTIES									
GENERAL INFORMATION									
TAG	ZONING DISTRICT	LOT INFORMATION		ADDRESS	COVERAGE				
		PARCEL ID	AREA		ALLOWED	EXISTING	ALLOWED	% EXIST	
A	1F-5	2.80-35-11	4,169	77 S BUCKHOUT	SEE COMPLIANCE CHART THIS DRAWING				
B	1F-5	2.80-35-12	3,485	79 S BUCKHOUT	836	1,811	24	51.97	
C	1F-5	2.80-35-13	3,920	81 S BUCKHOUT	941	1,971	24	50.28	
D	1F-5	2.80-35-14	7,405	75 S BUCKHOUT	1,549	2,130	20.9% COMBINED	28.76	
E	1F-5	2.80-35-4	7,405	26 MAPLE ST	1,549	2,909	20.9% COMBINED	39.28	
F	1F-5	2.80-35-5	4,792	22 MAPLE ST	1,150	1,444	24	30.13	
G	1F-5	2.80-35-6	12,197	20 MAPLE ST	2,352	2,229	19.3% COMBINED	18.28	

NOTE: COVERAGE IS 24% FOR FIRST 5,000 SF AND 16% FOR AREA ABOVE 5,000 SF IN 1F-5 DISTRICT

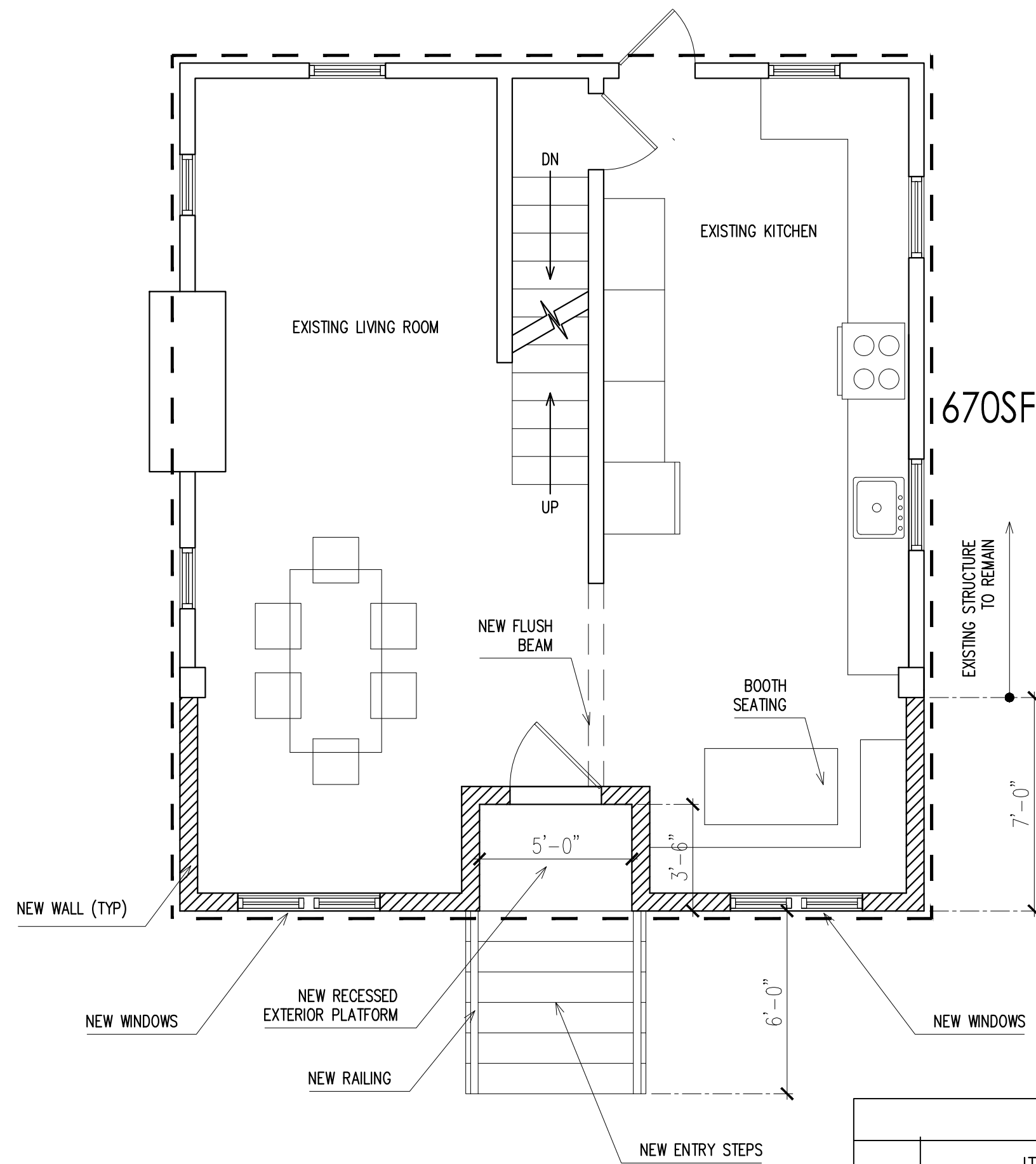


ZONING COMPLIANCE CHART - 77 SO. BUCKHOUT ST - SBL 2.80-35-11				
ZONING DISTRICT 1F-5				
	REQUIRED / PERMITTED	EXISTING	PROPOSED	VARIANCE REQUEST
LOT AREA	5,000 SF (MIN)	4,169 SF	NO CHANGE	
LOT WIDTH	50 FT (MIN)	45 FT	NO CHANGE	
LOT DEPTH	100 FT (MIN)	99.96 FT AT LONGEST POINT	NO CHANGE	
YARD DIMENSIONS				
FRONT YARD SETBACK	30 FT	8.3 FT	4.0' +/- FT	YES
SIDE YARD SETBACK	10 FT	7 FT	NO CHANGE	
REAR YARD SETBACK	30 FT (MIN)	48.3 FT +/-	NO CHANGE	
BUILDING COVERAGE	24 % FIRST 5,000 SF 1001 SF	24.82% 1035 SF	27.6% 1150 SF	YES
BUILDING HEIGHT	2 1/2 STORIES/35 FT		NO CHANGE	

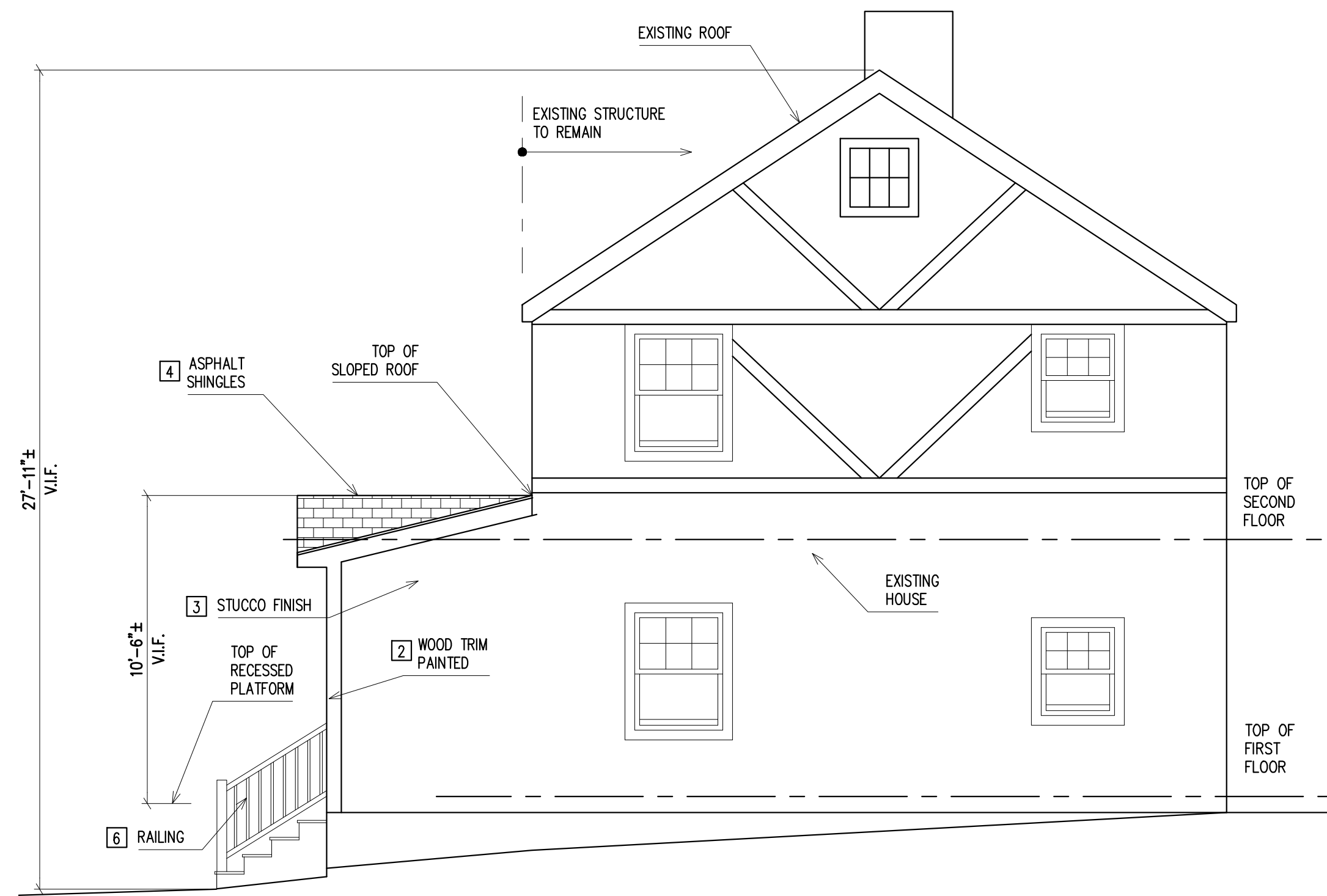
DATE	REVISION	#
03/03/23	ARB SUBMISSION	JPA
08/20/22	REVISED DESIGN, REISSUED FOR SITE PLAN REVIEW	JPA
08/22/22	REVISED AS PER VILLAGE CONSULTING ENGINEER COMMENTS	JPA
05/23/22	ISSUED FOR SITE PLAN REVIEW	JPA
DATE	DISTRIBUTION	BY
		
ANY UNAUTHORIZED ALTERATION OF OR ADDITION TO THIS DRAWING IS A VIOLATION OF SECTION 2209 (2) OF THE N.Y.S. EDUCATION LAW. SUCH AUTHORIZATION SHALL ONLY BE IN WRITING, SIGNED & SEALED BY THE ARCHITECT. THIS DRAWING AND INFORMATION CONTAINED HEREIN IS AN INSTRUMENT OF SERVICE. NO PART OF THIS SERVICE MAY BE REPRODUCED BY ANY MECHANICAL, PHOTOGRAPHIC, OR ELECTRONIC PROCESS OR IN THE FORM OF A PHOTOGRAPHIC RECORDING, NOR MAY IT BE STORED IN A RETRIEVAL SYSTEM, TRANSMITTED OR OTHERWISE COPIED FOR PUBLIC OR PRIVATE USE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.		
ARCHITECTURAL SITE PLANS		
GALLAGHER RESIDENCE 77 SOUTH BUCKHOUT STREET IRVINGTON, NEW YORK 10533 J. ANASTASIOU ARCHITECT A I A 320 KELLY STREET, HAWTHORNE, NY 10532 914-262-3695		
DRAWING NO.	A-1	SCALE: AS NOTED JOB NO. 3400.00 DATE: 11/08/20 DRAWN BY:



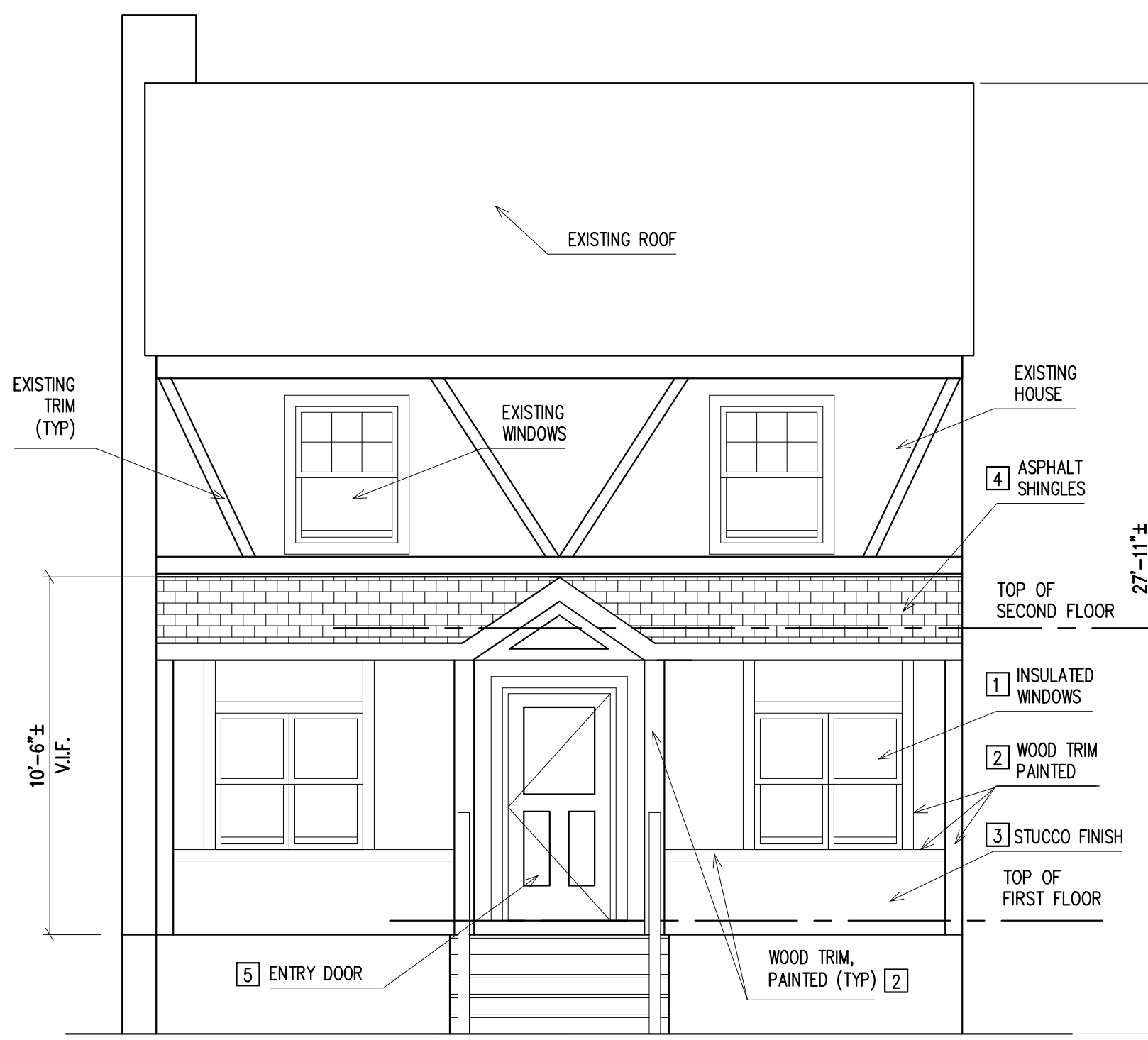
1 DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



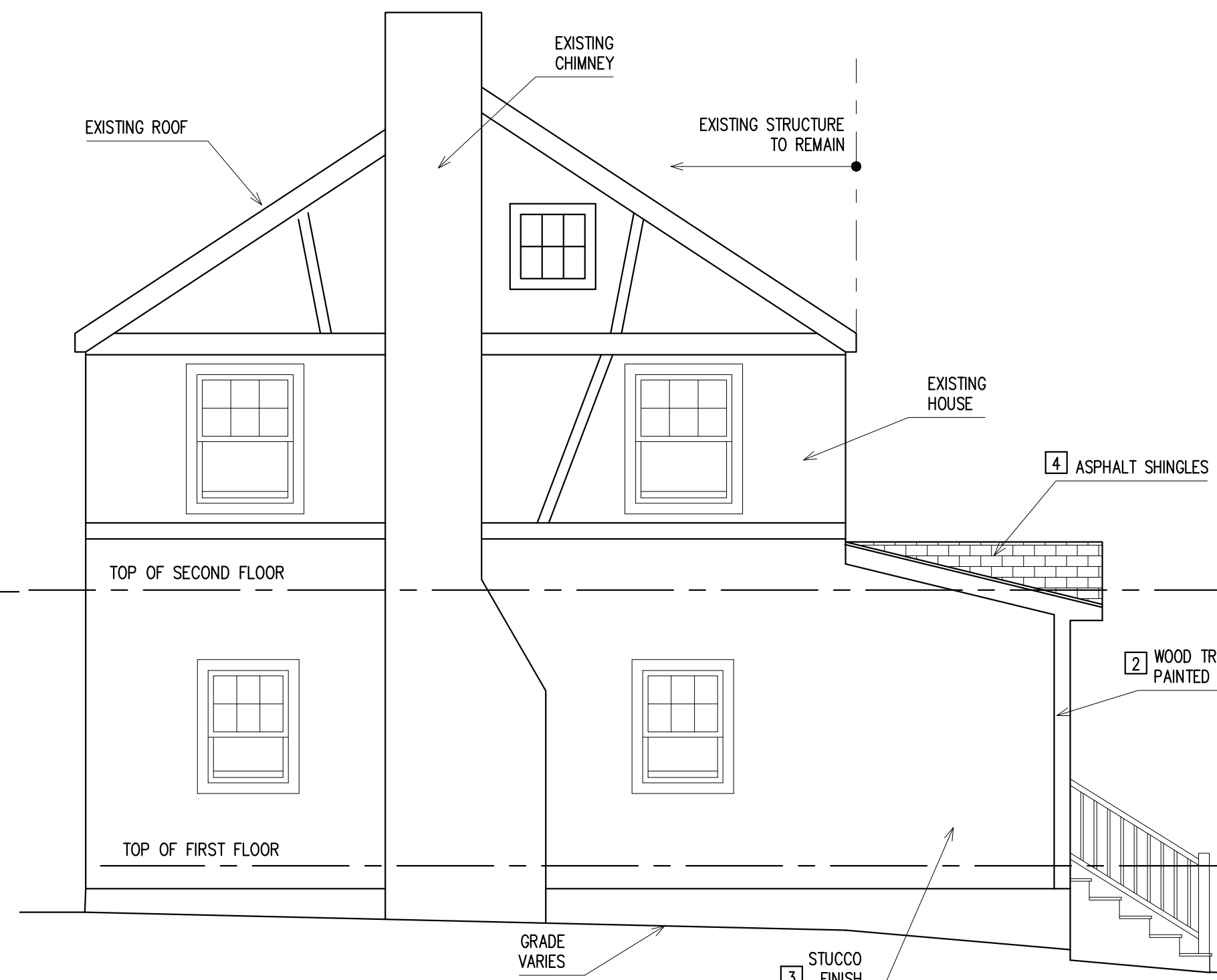
2 PROPOSED PLAN
SCALE: 1/4" = 1'-0"



3 SIDE ELEVATON
SCALE: 1/4" = 1'-0"



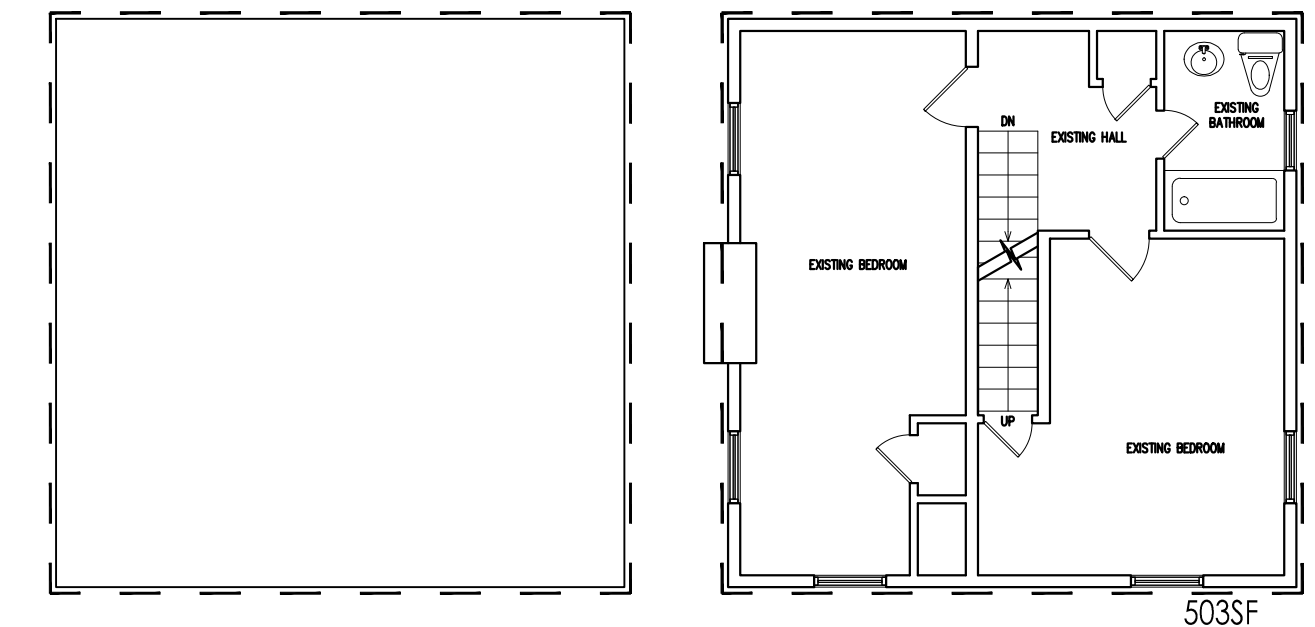
4 FRONT ELEVATON
SCALE: 1/4" = 1'-0"



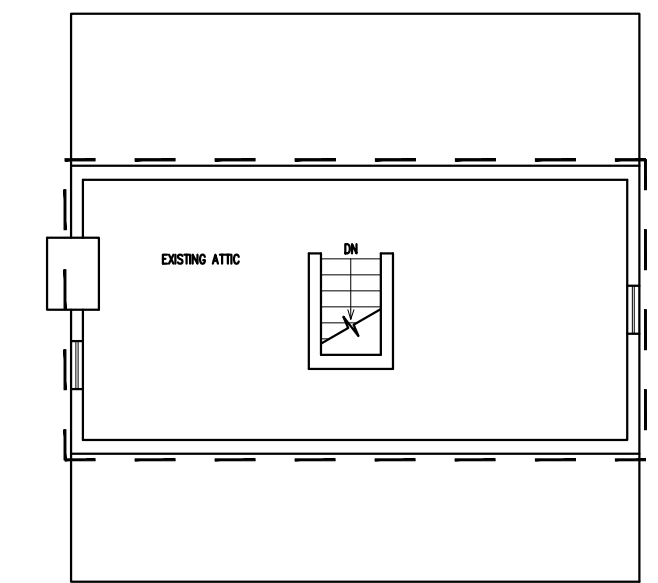
5 SIDE ELEVATON
SCALE: 1/4" = 1'-0"

FAR CHART		
	EXISTING	PROPOSED
BASEMENT	0	0
FIRST FLOOR	586	670
SECOND FLOOR	503	503
ATTIC	284/2 (142)	284/2 (142)

FAR DIAGRAMS – FIRST FLOOR PLANS
(SEE 1 & 2 THIS DRAWING)



EXTERIOR FINISHES SCHEDULE		
	ITEM	DESCRIPTION
1	WINDOWS	ANDERSEN 400 SERIES DOUBLE HUNG WINDOWS. COLOR WHITE TO MATCH EXISTING.
2	EXTERIOR TRIM	TRIM COLOR – SW 2808 ROOKWOOD DARK BROWN AS MFD. BY SHERWIN-WILLIAMS OR SIMILAR, TO MATCH EXISTING.
3	EXTERIOR WALL FINISH	CALIFORNIA STUCCO FINISH OR SIM. COLOR SW 2833, ROYCROFT VELLUM AS MFD. BY SHERWIN-WILLIAMS OR SIMILAR, TO MATCH EXISTING.
4	ROOFING	CEDAR BROWN SHINGLES, SERIES XT-25 AS MFD. BY CERTAINTED OR SIMILAR, TO MATCH EXISTING.
5	ENTRY DOOR	TRADITIONS AS MFD BY THERMA TRU, COLOR RED
6	RAILING	PRESSURE TREATED WOOD PAINTED SW 2808 ROOKWOOD DARK BROWN AS MFD. BY SHERWIN-WILLIAMS OR SIM.



ATTIC PLAN
SCALE: 1/8" = 1'-0"

DATE	REVISION	#
03/03/23	ARB SUBMISSION	JPA
08/20/22	REVISED DESIGN, REISSUED FOR SITE PLAN REVIEW	JPA
08/22/22	REVISED AS PER VILLAGE CONSULTING ENGINEER COMMENTS	JPA
05/23/22	ISSUED FOR SITE PLAN REVIEW	JPA
DATE	DISTRIBUTION	BY

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PLANS AND ELEVATIONS

GALLAGHER RESIDENCE
77 SOUTH BUCKHOUT STREET
IRVINGTON, NEW YORK 10533

J. ANASTASIO
ARCHITECT A I A
320 KELLY STREET, HAWTHORNE, NY 10532
914-262-3695

DRAWING NO. A-2

SCALE: AS NOTED
JOB NO. 3400.00
DATE: 11/08/20
DRAWN BY:

NOTE: TO MY BELIEF AND KNOWLEDGE THESE PLANS COMPLY WITH THE 2020 IBC NYS RESIDENTIAL CODE AND 2020 NYS ENERGY CONSERVATION CODE