

# APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	488	Date:	02/25/2023
Job Location:	16 N ECKAR ST	Parcel ID:	2.50-21-6
Property Owner:	WITTE, MARCUS P & PLONKA, DOROTA	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
WITTE, MARCUS P & PLONKA, DOROTA	
16 N ECKAR ST IRVINGTON 10533	

## Architect:

Matthew Behrens  
25 Bedford Road  
Sleepy Hollow, NY 10591  
914-391-1689  
[Mattb728@msn.com](mailto:Mattb728@msn.com)

## Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	60000.00	Property Class:	1 FAMILY RES

## Description of Work

**Interior and Exterior Renovations, including new Kitchen. Exterior Renovations include removal of existing deck stair, and new windows and doors on the Rear Elevation.**

**Please Note:** Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 16 N ECKAR ST

Parcel Id: 2.50-21-6

**AFFIDAVIT OF APPLICANT**

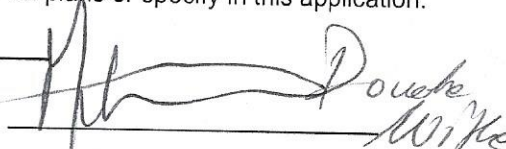
I **WITTE, MARCUS P & PLONKA, DOROTA** being duly sworn, depose and says: That s/he does business as: with offices at: **16 N ECKAR ST IRVINGTON 10533** and that s/he is:

- ☒ The owner of the property described herein.
- ☐ The \_\_\_\_\_ of the New York Corporation \_\_\_\_\_ with offices at: \_\_\_\_\_ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of \_\_\_\_\_ with offices \_\_\_\_\_ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_  
Notary Public / Commission of Deeds

  
Applicant's Signature

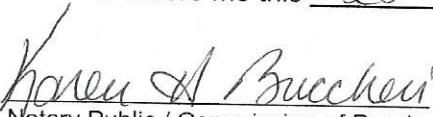
**OWNER'S AUTHORIZATION**


I **WITTE, MARCUS P & PLONKA, DOROTA** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number \_\_\_\_\_ Owner email address \_\_\_\_\_

- ☐ \_\_\_\_\_ I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 28<sup>th</sup> day of February of 2023

  
Notary Public / Commission of Deeds

  
Applicant's Signature

KAREN A. BUCCHIERI  
Notary Public, State of New York  
No. 01BU8109864  
Qualified in Westchester County  
Term Expires May 24, 2024



## INSTRUCTIONS REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site [www.irvingtonny.gov](http://www.irvingtonny.gov)) prior to submission).
7. Visit the Village of Irvington website [www.irvingtonny.gov](http://www.irvingtonny.gov) for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: [www.irvingtonny.gov](http://www.irvingtonny.gov).
9. Provide evidence that the application meets the NYS Energy code as described by [www.dos.state.ny.us/code/energycode/overview.htm](http://www.dos.state.ny.us/code/energycode/overview.htm)

### Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

### Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

### FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

\* Application fee \$85

\* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof  $\$17 \times 60 = 1,020$

85

#### • Inspection Fees (as applicable)

- |  |  |
|--|--|
| • Insulation: \$50                               | • Footing: \$50  |
| • Solid Fuel: \$50                               | • Preparation for concrete slabs and walls: \$50             |
| • Foundation and footing drain: \$50             | • Framing: \$50  |
| • Energy Code Compliance: \$50                   | • Building systems, including underground and rough-in: \$50 |
| • Sediment and erosion control: \$50             | • Fire resistant construction and penetrations: \$50         |
| • Footing: \$50                                  | • Final Inspection for C.O.: \$50                            |
| • Preparation for concrete slabs and walls: \$50 | • State and local laws (per re-inspection): \$50             |

Total Inspections 1 0 0

- \* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00
- \* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

60

- \* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50
- \* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) Total \$1,265

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit  
Any permit that expires will be subject to additional fees.)



## Witte Residence

16 North Eckar Street





## Witte Residence

16 North Eckar Street



GENERAL REQUIREMENTS

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES & ALL AUTHORITIES HAVING JURISDICTION. IN THE ABSENCE OF OTHER STANDARDS, THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE SHALL GOVERN.
- B. VERIFY ALL DIMENSIONS & CONDITIONS ON THE SITE & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. CLAIMS FOR EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL NOT BE ALLOWED.
- C. CONTR & SUB-CONTR'S SHALL MAINTAIN WORKMEN'S COMPENSATION AND LIABILITY INSURANCE IN ADEQUATE AMOUNTS TO RENDER THE OWNER & HIS AGENTS HARMLESS IN CASE OF ACCIDENTS TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. PROVIDE CERTIFICATES OF SAME TO OWNER.
- D. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING. PROVIDE TEMPORARY SHORING AS REQUIRED. PROVIDE TEMPORARY PROTECTIVE BUST FROM SECURITY & WEATHER - TIGHT ENCLOSURES WHEN & WHERE REQUIRED.
- E. THE WORK INCLUDES ALL CUTTING & PATCHING & RESTORATION OF AREAS & SURFACES DISTURBED DUE TO THE EXECUTION OF THIS CONTRACT. MATCHING OF KIND, COLOR, QUALITY, TEXTURE, & INSTALLED IN MATCHING PATTERN & COURSE WHERE APPLICABLE.
- F. THE CONTRACTOR SHALL SECURE & PAY FOR ALL PERMITS, AND INSPECTIONS OF LOCAL AUTHORITIES, & OBTAIN FINAL APPROVALS IF, AND/OR CERTIFICATES OF COMPLIANCE FOR ALL WORK UPON COMPLETION, AND/OR DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL PROVIDE A LABOR, MATERIALS & EQUIPMENT TO COMPLETE ALL WORK. ALL LABOR, MATERIAL & ASSEMBLIES SHALL BE OF GOOD WORKMANSHIP QUALITY, & SHALL CONFORM TO NATIONAL & LOCAL INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THEIR MFG'S. SPECIFICATIONS. THE CONTRACTOR SHALL CONVEY TO THE OWNER ALL APPLICABLE MFR'S. GUARANTEES AND/OR WARRANTIES ON MATERIALS & EQUIPMENT INSTALLED.
- G. THE BUILDING & GROUNDS SHALL BE KEPT CLEAN & SAFE AT ALL TIMES AND PLACE ALL DEBRIS INTO A RECEPTACLE AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL, IN STRICT ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS. IF OWNER IS TO OCCUPY THE EXISTING RESIDENCE DURING CONSTRUCTION, MAINTAIN CLEAR ACCESS TO THE SITE AT ALL TIMES.
- J. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR AFTER ACCEPTANCE BY THE OWNER OF SPECIFICALLY DESIGNATED EQUIPMENT OR PORTIONS OF THE WORK. THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR DESIGNATED PORTION THEREOF, IS THE DATE AGREED UPON BY THE OWNER & THE CONTRACTOR WHEN CONSTRUCTION IS SUFFICIENTLY COMPLETE, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THAT THE OWNER CAN OCCUPY OR UTILIZE WORK, OR DESIGNATED PORTION OF THE WORK, FOR THE USE FOR WHICH IT IS INTENDED. MFR'S. GUARANTEE/WARRANTY SHALL BE CONVEYED IN ACCORDANCE WITH I.F. ABOVE. IF ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS DURING THE GUARANTEE/WARRANTY PERIOD, THE CONTRACTOR SHALL PROMPTLY CORRECT SAME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER TO DO SO UNLESS THE OWNER HAS PREVIOUSLY GIVEN THE CONTRACTOR WRITTEN ACCEPTANCE OF SUCH CONDITION. THE OWNER SHALL GIVE SUCH NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITION.

CARPENTRY

- A. ROUGH CARPENTRY:-
- FRAMING LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER F#-850 PSI MINIMUM (SINGLE). F#-850 PSI MINIMUM (REPETITIVE). USE MAXIMUM MOISTURE CONTENT, AS STRESS-GRADED BY WEST COAST LUMBER INSPECTION BUREAU (WCLB) & WESTERN WOOD PRODUCTS ASSOCIATION (WWPA).
  - SHEATHING, EXTERIOR WALLS: 1/2" DOUGLAS FIR PLYWOOD CDX EXTERIOR - APA PLYWOOD.
  - ROOF SHEATHING: 3/4" DOUGLAS FIR PLYWOOD, CDX EXTERIOR APA. (DIMENSION AS NOTED ON DWGS)
  - SUB FLOOR: 3/4" DOUGLAS FIR PLYWOOD, C-D INTERIOR UNDERLAMENT: 5/8" PLYWOOD UNDERLAMENT GRADE.
  - INTERIOR - APA WITH EXTERIOR GLUE.
  - BLOCKING, BRIDGING, NAILERS, AND FURRING: #1 COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK. BRIDGING TO BE 1 1/4" X 3", OR APPROVED EQUAL, AT 8'-0" O.C. MAXIMUM. LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED TIGHTLY.
  - DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING.
  - ALL WOOD SILLS SET ON CONCRETE SHALL BE PRESSURE-TREATED ("WOLMANIZED", "FORMICA 4-33", OR EQUAL).
  - 2 X10'S OVER ALL OPENINGS UNLESS SHOWN OTHERWISE.
  - PROVIDE SOLID BLOCKING FOR BEARING POINTS OF ALL BEAMS AND COLUMNS. USE SHIMS OF SLATE OR STEEL FOR LEVELING WOOD MEMBERS ON CONCRETE OR MASONRY. BEARING FOR ALL BEAMS SHALL BE FULL WIDTH OF THE BEAM.
  - SOFFITS: 1/2" MEDIUM DENSITY OVERLAP PLYWOOD EXTERIOR GLUE WITH CONTINUOUS ALUMINUM SCREEN VENT.
  - MULING: ALL WALLS TO BE COMPLETED IN ACCORDANCE WITH NEW YORK STATE RESIDENTIAL CODE.
  - GANG-LAM LVL: GANG-LAM LVL'S SHALL BE AS MANUFACTURED BY PSI COMPONENTS OR APPROVED EQUIVALENT MEMBERS SHALL BE 2800 PSI MINIMUM IN BENDING. -2.0X GRADE.
  - NOTCHING AND HOLES IN JOISTS AND BEAMS: NOTCHING AND BORED HOLES IN JOISTS AND BEAMS FOR PLUMBING PIPING, HEATING PIPING, ELECTRICAL CONDUITS, ETC. ARE PERMITTED PROVIDED THAT THEY COMPLY WITH THE NEW YORK STATE BUILDING CODE MANUAL - PART 3, PAGE 91. VERIFY SIZES AND LOCATIONS OF EXCESSIVE NOTCHING AND BORED HOLES THAT MAY BE REQUIRED WITH ARCHITECT PRIOR TO CREATING THE PENETRATIONS.
  - ALL MULTIPLE-MEMBER BEAMS OR JOISTS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D NAILS @ 12" ON CENTER AT TOP AND BOTTOM.
  - ALL WINDOW & DOOR OPENINGS TO HAVE MINIMUM DBL JACK STUDS IN STRICT ACCORDANCE WITH STATE CODE PERMITS.

FINISH CARPENTRY

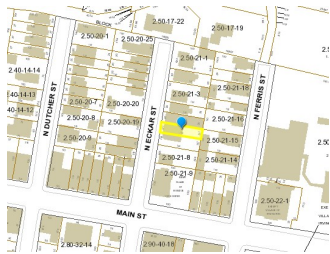
- INTERIOR AND EXTERIOR TRIM (MOLDINGS, CASINGS, CORNICES, BASES, ETC.), OTHER THAN STAINED OR PREFINISHED, SHALL BE NO. 1 KILN DRIED WHITE PENDEROSA PINE. MATCH EXISTING PROFILES OR INSTALL NEW AS NOTED ON DWGS.
- SURFACES OF INTERIOR PARTITIONS AND INTERIOR OF EXTERIOR WALLS AND CEILINGS SHALL BE 1/2" OPTIMUM BOARD TYPE X, FIRE CODE, WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY CODE. SCAINED WITH 1 1/4" TYPE W DRYWALL. SCREENS PER MANUFACTURER'S RECOMMENDATIONS, TAPED 3 COATS AND SANDED, READY FOR FINAL FINISH. PROVIDE METAL CORNER BEADS AND OTHER DRYWALL ACCESSORIES AS REQ'D.

DOORS, WINDOWS & HARDWARE

- A. DOORS: DOORS SHALL BE AS INDICATED ON DWGS. OR/AND AS MFR'D. BY MORGAN OR APPROVED EQUAL. STYLE AS NOTED ON DWGS. OR AS SELECTED BY OWNER.
- ALL EXTERIOR DOORS SHALL BE FITTED WITH ALUMINUM WEATHERSTRIPPING. PROVIDE COMBINATION ALUMINUM STORM/SCREEN DOOR AT ALL SWING TYPE EXTERIOR DOORS.
- B. DOOR HARDWARE SHALL BE SCHLAGE OR APPROVED EQUAL IN DESIGN & PATTERN AS SELECTED BY OWNER. CONTRACTOR SHALL COORDINATE SELECTION & BUDGET FIGURE WITH THE OWNER.

ELECTRICAL

- A. PROVIDE & INSTALL ALL ELECTRICAL WORK. ALL WORK SHALL CONFORM WITH THE N.E.C., LOCAL UTILITY COMPANY, & ALL CODES & REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL INSPECTION CERTIFICATES. FUTURE SELECTION BY THE OWNER, ALL ELECTRICAL WORK SHALL BE DONE BY AN ELECTRICIAN, LICENSED TO WORK IN WESTCHESTER COUNTY, N.Y.
- B. RELOCATE AND/OR REPLACE EXISTING WIRING, SWITCHES, OUTLETS & LIGHTING TO CONFORM TO NEW LAYOUT REQUIREMENTS, (OR AS CO-ORDINATED WITH OWNERS)
- C. VERIFY CAPACITY OF EXISTING INCOMING SERVICE & MAIN PANEL BOX. REWORK/REPLACE AS REQUIRED.
- D. CONTRACTOR SHALL FURNISH AND INSTALL ALL FIXTURES AS SPECIFIED ON DWGS. OR AS CO-ORDINATED WITH OWNER. CO-ORDINATE SELECTION & BUDGET FIGURE FOR SWITCHES AND RECEPTABLES WITH THE OWNER.



LOCATION PLAN

2020 ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

2020 STRETCH ENERGY CODE OF NEW YORK STATE

BUILDING TYPE:	EXISTING ONE FAMILY RESIDENCE
DESIGN DEGREE DAYS:	5,750 (WESTCHESTER COUNTY)
CLIMATE ZONE:	4

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT	MIN. R-VALUE	MAX. U-VALUE
FENESTRATION	N/A	U-0.27
SKYLIGHTS	N/A	U-0.50
CEILING	R-49	
WOOD FRAME WALLS	R-21 or 20+5 or 13+10	
MASS WALL (g)	R-5/20g	
FLOOR	R-30 or - full thickness but not less than R-19	
BASEMENT WALL	R- 15 / 19	
SLAB (R-VALUE / MIN DEPTH)	R-10 / 4 FEET	
CRAWL SPACE WALL	R-15 / 19	

I, MATTHEW BEHRENS, ARCHITECT, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE SECTIONS OF THE 2020 NEW YORK STATE ENERGY CONSERVATION AND CONSTRUCTION CODE - AS WELL AS THE 2020 STRETCH ENERGY CODE OF NEW YORK STATE.

DESIGN LIVE LOAD

MINIMUM REQUIREMENTS :

FIRST FLOOR :	40 PSF
SECOND FLOOR :	30 PSF
ATTIC FLOOR (WITH STORAGE) :	20 PSF
ROOF LOAD :	30 PSF
SOIL BEARING CAPACITY :	2 TONS / SQ FT

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2 (1)									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITES	DECAY			
45 PSF	90 - 100 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7° F	YES	NO

ALL PROPOSED WORK IS IN COMPLIANCE WITH NEW YORK STATE RESIDENTIAL CODE 2020 AND NYS SUPPLEMENT 2019

DRAWING LIST

- A-0 LOCATION PLAN / GENERAL NOTES
- A-1 DEMOLITION & CONSTRUCTION PLANS
- A-2 EXTERIOR ELEVATION / WINDOW & DOOR SCHEDULE
- A-3 INTERIOR ELEVATIONS / POWER & LIGHTING PLAN

CODE COMPLIANCE NOTE:

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTORS IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE.

ALL MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE.

TO THE BEST OF MY KNOWLEDGE, BELIEF and PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE CURRENTLY IN EFFECT.

- APPLICABLE CODES AND PROVISIONS:
- 2020 NEW YORK STATE BUILDING CODE and NOVEMBER 2019 ADDITION
  - 2020 NEW YORK STATE STRETCH ENERGY CODE
  - NATIONAL ELECTRICAL CODE NFPA 70 2014 EDITION
  - NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a

OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

NO.	DATE	REMARKS

INTERIOR and EXTERIOR ALTERATIONS

WITTE RESIDENCE

16 NORTH ECKAR STREET IRVINGTON, NY

LOCATION PLAN  
GENERAL NOTES

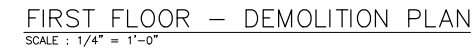
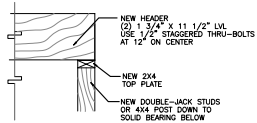
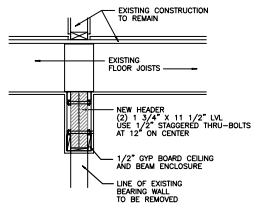
MATTHEW BEHRENS  
ARCHITECT  
25 BEDFORD ROAD  
SLEEPY HOLLOW, NY 10591  
914-391-1689

PROJ. NO. 416  
DATE : FEB. 22, 2023  
SCALE : AS NOTED

A-0



SCALE : NTS



EXISTING CONSTRUCTION TO REMAIN

\*\*\*\*\*

EXISTING CONSTRUCTION TO BE REMOVED

CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO REMOVAL OF ANY EXISTING ELEMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND FINISHING ALL SURFACES AFTER THE COMPLETION OF DEMOLITION

—SEE DEMOLITION NOTES SHEET 1—

NEW CONSTRUCTION

ALL EXTERIOR WALLS SHALL BE 2X8 WOOD STUDS AT 16" ON CENTER FROM FLOOR TO TOP OF PLATE. EXTERIOR FACE TO RECEIVE 3/4" X 1/4" WOOD SHEATHING. INTERIOR WALLS TO MATCH EXTERIOR WALLS. INTERIOR FACE SHALL RECEIVE 1/2" OF BOARD FINISHING AS REQUIRED TO MATCH EXTERIOR FINISH.

ALL EXTERIOR WALLS SHALL BE INSULATED WITH FILL FLACK 8" R-2 OPEN CELL SPRAY FOAM INSULATION

ALL NEW CONSTRUCTION SHALL MATCH AND ALIGN WITH EXISTENT SURFACES.

ALL WALLS SHALL BE FIRE-STOPPED WITH HORIZONTAL WOOD STUDS AT THE MID-POINT OF WALL HEIGHT

ALL DOOR SWABO, LETTER CORRESPONDS TO REFERENCE LETTER IN DOOR SCHEDULE

ALL WINDOW SWABO, LETTER CORRESPONDS TO REFERENCE LETTER IN WINDOW SCHEDULE

SECTION / DETAIL REFERENCE

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTION SYSTEM IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE.  
ANY MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF and PROFESSIONAL JUDGMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE CURRENTLY IN EFFECT

APPLICABLE CODES AND PROVISIONS:

- \* 2020 NEW YORK STATE BUILDING CODE and NOVEMBER 2019 ADDENDUM
- \* 2020 NEW YORK STATE STRETCH ENERGY CODE
- \* NATIONAL ELECTRICAL CODE NFPA 70 2014 EDITION
- \* NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a  
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

SAFETY GLAZING:  
GLASS SURFACES (WINDOWS &  
SHOWER ENCLOSURES)  
LOCATED IN ANY HAZARDOUS AREAS  
MUST BE FULLY TEMPERED GLASS  
HAZARDOUS AREAS INCLUDE: STAIR  
LANDINGS; WALKING AREAS WHERE  
GLASS IS LESS THAN 18" ABOVE THE  
ADJACENT FLOOR AREA AND WET AREAS  
SUCH AS SHOWERS AND BATHTUBS

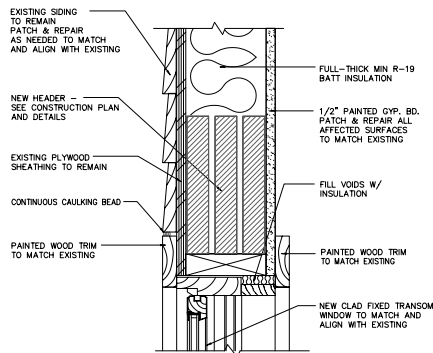
NO.	DATE	REMARKS	

INTERIOR and EXTERIOR ALTERATIONS  
**WITTE RESIDENCE**  
16 NORTH ECKAR STREET IRVINGTON, N.J.

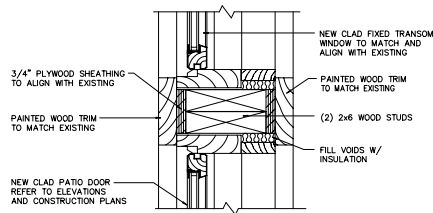
FIRST FLOOR CONSTRUCTION PLAN DEMOLITION PLAN	PROJ. NO. 416
	DATE : FEB 22, 20
	SCALE : AS NOTED

**MATTHEW BEHRENS**  
**ARCHITECT**  
25 BEDFORD ROAD  
SLEEPY HOLLOW, NY 10591  
914-391-1689

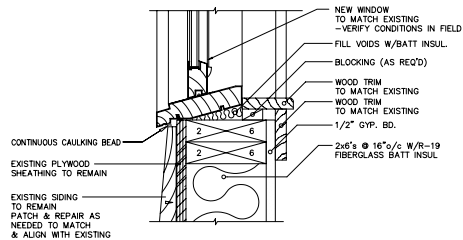




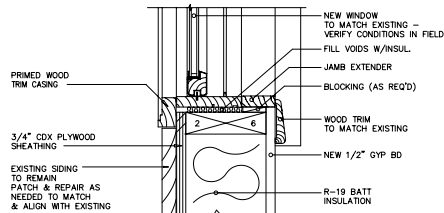
**D WINDOW HEAD DETAIL**  
SCALE : 3" = 1'-0"



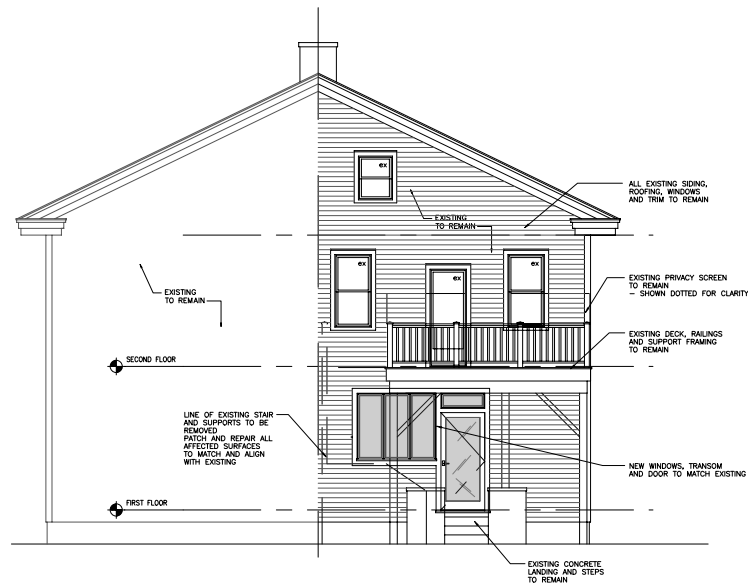
**C NEW TRANSOM DETAIL**  
SCALE : 3" = 1'-0"



**B WINDOW SILL DETAIL**  
SCALE : 3" = 1'-0"



**A WINDOW JAMB DETAIL**  
SCALE : 3" = 1'-0"



**REAR (EAST) ELEVATION**  
SCALE : 1/4" = 1'-0"

EXTERIOR WINDOW AND DOOR SCHEDULE			
No.	MFR / MODEL NUMBER	MIN ROUGH OPENING (W X H)	REMARKS
A	ANDERSEN 400 SERIES TRIPLE GLAZED WINDOW #BXN45	5'-1 1/2" X 4'-5 3/8"	CONTRACTOR TO VERIFY CONDITIONS AND SIZES IN FIELD PRIOR TO ORDERING
B	ANDERSEN 400 SERIES CLAD TRANSOM WINDOW #BXN410 ABOVE NEW PATIO DOOR	3'-0" X 1'-0 1/2" (VHF)	CONTRACTOR TO VERIFY CONDITIONS AND SIZES IN FIELD PRIOR TO ORDERING
1-01	ANDERSEN 400 SERIES HINGED PATIO DOOR #BXN116600	3'-1" X 6'-8 1/2" (VHF)	CONTRACTOR TO VERIFY CONDITIONS AND SIZES IN FIELD PRIOR TO ORDERING INSTALLATION TO INCLUDE FULL WEATHERSTRIPPING SURROUND AND ALUMINUM SIDDLE PROVIDE KEVED EXTERIOR LOCKING SYSTEM

**WINDOW and DOOR NOTES :**

CONTRACTOR TO CONFIRM ALL ROUGH OPENING SIZES PRIOR TO ORDERING

ALL NEW WINDOWS SHALL MATCH EXISTING STYLE, SIZE AND FINISH WITH CLEAR INSULATED GLASS (ANDERSEN OR EQUAL)

INSTALLATION SHALL INCLUDE MANUFACTURER'S STANDARD SCREENS (OBT) SASH LIFT AND LOCKING MECHANISM (UPVORKING FINISH TO MATCH EXISTING)

ALL EXPOSED WOOD SURFACES OF WINDOWS SHALL BE PREPARED AS REQUIRED (BY CONTRACTOR IN FIELD) TO RECEIVE NEW PAINTED FINISH

INSTALLATION SHALL BE IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

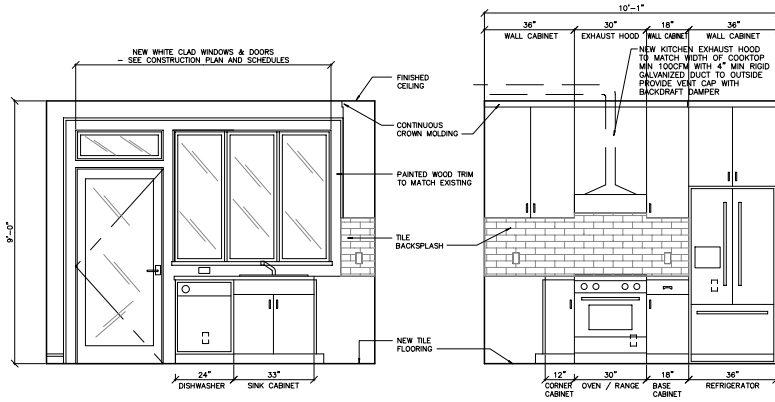
PROVIDE ALUMINUM DRIP CAPS, AND EXTENSION JAMBS AS REQUIRED

CONTRACTOR TO PROVIDE AND INSTALL NEW PAINTED WOOD WINDOW CASING TRIM AND SILLS TO MATCH EXISTING AT ALL NEW WINDOW LOCATIONS

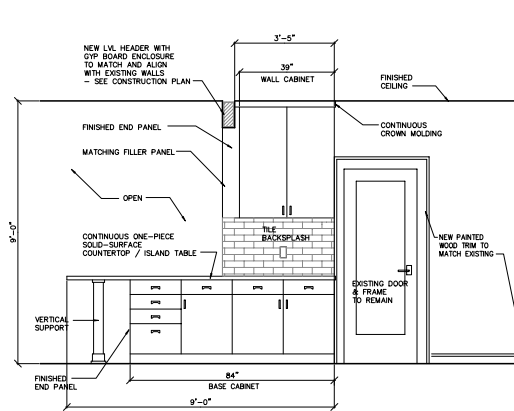
"GROSS WINDOWS" MEET OR EXCEED THE FOLLOWING DIMENSIONAL CRITERIA AS REQUIRED BY NYS RESIDENTIAL CODE:  
MINIMUM CLEAR OPENABLE AREA OF 5.50 FT  
MINIMUM CLEAR OPENABLE WIDTH OF 20"  
MINIMUM CLEAR OPENABLE HEIGHT OF 24"  
MINIMUM SILL HEIGHT OF 44" ABOVE FINISH FLOOR

NO.	DATE	REMARKS
INTERIOR and EXTERIOR ALTERATIONS <b>WITTE RESIDENCE</b> 16 NORTH ECKAR STREET IRVINGTON, NY		
EXTERIOR ELEVATION DOOR & WINDOW SCHEDULES and DETAILS		PROJ. NO. 416 DATE : FEB 22, 2023 SCALE : AS NOTED
<b>MATTHEW BEHRENS</b> <b>ARCHITECT</b> 25 BEDFORD ROAD SLEEPY HOLLOW, NY 10591 914-391-1689		<b>A-2</b>

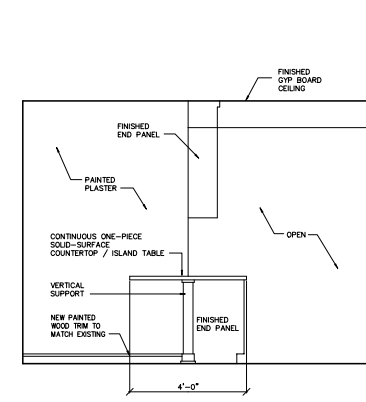




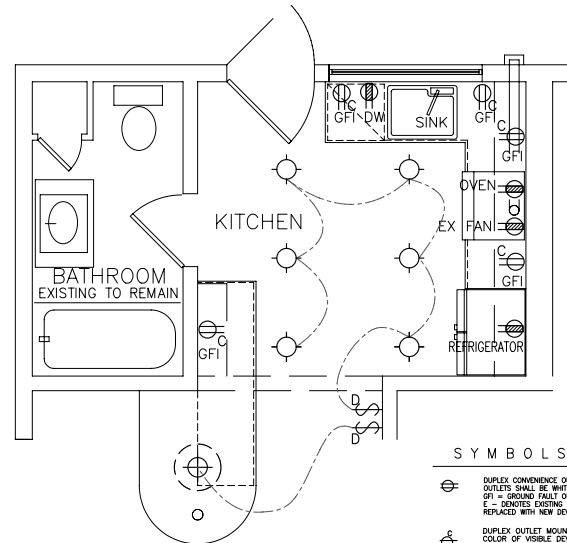
KITCHEN - ELEVATION #1  
SCALE : 1/2" = 1'-0"



KITCHEN - ELEVATION #2  
SCALE : 1/2" = 1'-0"



KITCHEN - ELEVATION #3  
SCALE : 1/2" = 1'-0"



POWER & LIGHTING PLAN  
SCALE : 1/2" = 1'-0"

#### SYMBOLS LEGEND

- DUPLEX CONVENIENCE OUTLET  
OUTLETS SHALL BE WHITE NYLON "DEORA" OR EQUAL  
GFI = GROUND FAULT OUTLET WHERE INDICATED  
E = DENOTES EXISTING OUTLET LOCATION TO BE REPLACED WITH NEW DEVICE
- DUPLEX OUTLET MOUNTED IN CABINETRY - OR BACKSPLASH  
COLOR OF VISIBLE DEVICES & PLATES TO COORDINATE WITH CABINET & BACKSPLASH COLOR  
-COORDINATE LOCATIONS & REQ'S WITH CABINET DWGS
- DESIGNATED SPECIALTY OUTLET AS NOTED  
VERIFY REQUIREMENTS AND LOCATIONS WITH EQUIPMENT MANUFACTURER
- SINGLE POLE LIGHT SWITCH  
WHITE NYLON "DEORA" OR EQUAL  
E = DENOTES EXIST SWITCH LOCATION WHERE NOTED  
TO BE REPLACED WITH NEW  
ALL NEW SWITCHES TO BE DIMMABLE
- CONNECTING LINES INDICATE LIGHT SWITCH ASSIGNMENTS
- NEW RECESSED LED DOWNLIGHT  
WITH MIN 75 WATT (EQUIVALENT) DIMMABLE LAMP -  
\* APPROPRIATE AND CLEAR REFLECTOR  
-VERIFY FIXTURE TYPE & STYLE WITH OWNER
- NEW CEILING MOUNTED DECORATIVE  
PENDANT LIGHT FIXTURE - PROVIDED  
BY OWNER  
CONTRACTOR TO VERIFY REQUIREMENTS

NO.	DATE	REMARKS
INTERIOR and EXTERIOR ALTERATIONS: <b>WITTE RESIDENCE</b> 16 NORTH ECKAR STREET IRVINGTON, NY		
INTERIOR ELEVATIONS POWER & LIGHTING PLAN		PROJ. NO. 416 DATE : FEB 22, 2023 SCALE : AS NOTED
<b>MATTHEW BEHRENS</b> ARCHITECT 25 BEDFORD ROAD SLEEPY HOLLOW, NY 10591 914-391-1689		A-3