APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	527	Date:	03/07/2023
Job Location:	27 N FERRIS ST	Parcel ID:	2.50-21-19
Property Owner:	GREDICK, KENNETH & GREDICK	Property Class:	TWO FAMILY RES
	MARA		
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Mitchell Koch	
Mitchell Koch Architects	
76 MAIN STREETIrvington NY 10533	
914-623-0230	

Description of Work

Type of Work:	Interior Renovation/ Repair	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	75000.00	Property Class:	TWO FAMILY RES

Description of Work

New 2nd floor bathroom and HVAC

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

1. ALL WORK SHALL CONFORM TO ALL LAWS, RULES, AND REGULATIONS, INCLUDING REFERENCES STANDARDS. OF THE 2020 RESIDENTIAL BUILDING CODE OF NEW YORK STATE, FIRE PREVENTION CODE. STRETCH ENERGY CODE. FIRE DEPARTMENT REGULATIONS. AND THE BEST TRADE PRACTICES. ALL MATERIALS AND EQUIPMENT USED IN THE PROJECT SHALL CONFORM TO, AND HAVE APPROVALS IN ACCORDANCE WITH THE LOCAL MUNICIPALITY, ALL REFERENCE SUBCODES, AND WITH ANY OTHER PUBLIC AUTHORITIES OR AGENCIES OR AGENCIES HAVING JURISDICTION OVER THE PROJECT.

2. BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS NECESSARY TO OBTAIN ALL PERMITS

REQUIRED BY GOVERNING NEW YORK AGENCIES. 3. THE CONTRACTOR SHALL BE LICENSED WITHIN THE COUNTY OF WORK.

4. THE CONTRACTOR SHALL PROVIDE WORKMEN'S COMPENSATION, LIABILITY, AND PROPERTY DAMAGE INSURANCES TO LIMITS AS REQUIRED BY THE LOCAL MUNICIPALITY AND/OR OWNER. AND SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS REQUIRED BY THE LOCAL BUILDING DEPARTMENT AND ARRANGING FOR ALL REQUIRED NOTIFICATIONS, TESTINGS,

INSPECTIONS, AND APPROVALS. 5. THE CONTRACTOR UPON COMPLETION OF THE WORK, SHALL APPLY AND ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS REQUIRED.

6. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH THE EXISTING SITE CONDITIONS. THE CONTRACTOR SHALL CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.

7. IN A RENOVATION OR RESTORATION PROJECT, ALL DIMENSIONS AND CONDITIONS SHOWN ARE APPROXIMATE, AS ALL NEW WORK MUST JOIN AND ALIGN WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL DETERMINE ACTUAL FINISHED DETAILS OF CONSTRUCTION RELATING TO HEIGHTS, SIZES, ETC. BASED ON FIELD MEASUREMENTS, ALL IN ORDER TO JOIN AND ALIGN NEW

TO EXISTING WORK. 8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED

ON THE DRAWINGS. 9. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS

REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.)

10. PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. 11. THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.

12. THE CONTRACTOR SHALL PROTECT AND BE RESPONSIBLE FOR THE SITE AND ADJOINING PROPERTIES, BUILDING STRUCTURES, EQUIPMENT, CONTENTS, PAVEMENTS, SIDEWALKS, STREETS, CURBS, LANDSCAPING, UTILITIES, AND IMPROVEMENTS WITHIN THE AREA OF OPERATIONS UNDER THE CONTRACT. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY CLOSURES, GUARD RAILS, BARRICADES, ETC., TO ADEQUATELY PROTECT ALL WORKMEN, OCCUPANTS, AND THE PUBLIC FROM POSSIBLE INJURY. IF NECESSARY, TEMPORARY PROTECTION AND A CHAIN LINK FENCE SHALL BE CONSTRUCTED TO PREVENT UNAUTHORIZED ACCESS TO THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY VANDALISM OR DAMAGE RESULTING FROM UNAUTHORIZED ACCESS TO THE SITE FOR THE DURATION OF THE PROJECT.

13. ALL EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNOBSTRUCTED AT ALL TIMES. 14. ALL PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED OR PLUGGED.

15. CONTRACTOR SHALL PROVIDE FOR THE LEGAL REMOVAL AND DISPOSITION OF RUBBISH AND DEBRIS, AND FOR THE GENERAL CLEANING FOR THE FOR THE DURATION OF THE PROJECT. THE SITE SHALL BE LEFT DAILY WITH ALL MATERIALS AND TOOLS STORED IN AN ORDERLY FASHION, WITH ALL AREAS BROOM SWEPT. NO ACCUMULATION OF DIRT OR DEBRIS SHALL BE PERMITTED. UPON PROJECT COMPLETION, THE CONTRACTOR SHALL LEAVE THE PREMISES FREE AND CLEAR OF ALL RUBBISH AND DEBRIS, AND IN A BROOM SWEPT CONDITION. 16. ALL EXPOSED FINISHED SURFACES SHALL BE TREATED, CLEANED, VACUUMED, OR POLISHED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

17. DISTURBANCE OR DAMAGE RESULTING DIRECTLY OR INDIRECTLY FROM THE OPERATION OF THE CONTRACTOR, INCLUDING DAMAGE TO PROPERTY INCLUDING BUILDINGS, EQUIPMENT, CONTENTS, LAWNS, PLANTINGS, OR OTHER LANDSCAPE ITEMS, SHALL BE PROMPTLY RESTORED, REPAIRED, AND/OR REPLACED TO THE COMPLETE SATISFACTION OF THE ARCHITECT AND OWNER AT NO ADDITIONAL COST TO THE OWNER.

19. UNLESS OTHERWISE PROVIDED, THE ARCHITECT AND ARCHITECT'S CONSULTANTS, INCLUDING EQUIPMENT MANUFACTURERS AND THEIR REPRESENTATIVES, SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, DISPOSAL OF, OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE. THIS INCLUDES, BUT IS NOT LIMITED TO: ASBESTOS, ASBESTOS PRODUCTS, POLYCHLORINATED BIPHENYL (PCB) LEAD PAINT CONTAMINANTS, OR ANY OTHER TOXIC SUBSTANCES OR CONTAMINATE. SHOULD ANY HAZARDOUS MATERIAL BE ENCOUNTERED OR SUSPECTED, THE CONTRACTOR SHALL CEASE WORK IMMEDIATELY AND REVIEW THE PROJECT CONDITIONS WITH THE ARCHITECT AND OWNER PRIOR TO PROCEEDING WITH ANY WORK OF THE CONTRACT.

20. EXCAVATION FOR UTILITY PIPING OR FOUNDATIONS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. CONTRACTOR SHALL NOTIFY THE LOCAL BUILDING DEPARTMENT AND/OR UTILITY COMPANY TO DETERMINE LOCATIONS OF ANY EXISTING UNDERGROUND UTILITIES, AND PROVIDE PROTECTION FOR SAME DURING EXCAVATION PROCEDURES.

21. THESE DRAWINGS AS ARTICLES OF SERVICE ARE PROPERTY OF THE ARCHITECT AND SHALL NOT BE USED FOR OTHER BUILDINGS, PROJECTS, OR PROPOSALS, OR PORTIONS THEREOF UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF THE ARCHITECT, TO ALTER THIS DOCUMENT IN ANY WAY. THE INFORMATION, CONCEPTS, IDEAS, AND DESIGN CONTAINED IN THESE DOCUMENTS ARE PROTECTED BY UNITED STATES COPYRIGHT LAWS.

1. EXAMINE DRAWINGS AND BECOME FULLY INFORMED OF THE EXTENT AND CHARACTER OF WORK TO BE PERFORMED. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.

2. SUPPLY AND INSTALL ALL ITEMS, ARTICLES, MATERIALS, & OPERATIONS INCLUDING ALL LABOR, EQUIPMENT, MATERIALS, & TOOLS NECESSARY TO COMPLETE ALL SYSTEMS SHOWN ON DRAWINGS, RENDERING A COMPLETE INSTALLATION.

3. OBTAIN ALL PERMITS REQUIRED. ARRANGE FOR INSPECTION OF THE WORK BY INSPECTION AUTHORITY, AND PAY ALL FEES. PROVIDE FINAL CERTIFICATE TO THE CLIENT/OWNER. 4. CONFORM TO THE REQUIREMENTS OF THE ELECTRICAL CODE AND THE RULES & BY-LAWS

OF ALL AUTHORITIES HAVING JURISDICTION. 5. ALL MATERIAL EQUIPMENT SHALL BE NEW, UL APPROVED, BEARING THE UL STAMP, AND BE COMMERCIAL GRADE UNLESS OTHERWISE NOTED.

6. PROVIDE TEMPORARY ELECTRICAL POWER FOR THE WORK OF OTHER TRADES AS REQUIRED BY THE GENERAL CONTRACTOR. 7. PROVIDE TYPED CIRCUIT DIRECTORIES FOR PANELBOARDS. 8. PROVIDE A CERTIFICATE OF GUARANTEE OF WORKMANSHIP AND MATERIAL FOR ONE YEAR FROM DATE OF ACCEPTANCE. SUBMIT "AS-BUILT" DRAWINGS WITH ONE SET OF MARKED UP PRINTS TO CLIENT/OWNER AFTER COMPLETION OF WORK.

PLUMBING AND DRAINAGE NOTES

ABBREVIATIONS

CABT. CABINET

BLDG BLKG

ACPLIANCE BASE BOARD BOARD

BETWEEN

BUILDING BLOCKING BEAM BY OTHERS BRICK

1. ALL PLUMBING AND GAS PIPING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF NEW YORK STATE PLUMBING CODE, AND ALL OTHER APPLICABLE COUNTY AND MUNICIPAL CODES.

2. PLUMBING CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH REGARD TO EXISTING FIELD CONDITIONS, AND NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS.

3. PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO THE PLANS DUE TO FIELD CONDITIONS OR COMPLIANCE WITH REQUIREMENTS OF THE APPLICABLE CODES. 4. PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND ALL REQUIRED SIGN-OFFS.

CEILING CLOSET CONCRETE MASONRY UNIT CLEAN OUT

L., FLR.

GALV

COLUMN

CONCRETE CERAMIC T

DRAWINGS

DRAWER

DEMOLITION NOTES

1. CONTRACTOR SHALL PERFORM ALL OPERATIONS OF DEMOLITION AND REMOVAL INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER. 2. ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER. 3. NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. LEGALLY DISPOSE OF MATERIALS OFF-SITE. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF

4. NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.

5. REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND OR LINES SHALL BE CUT TO A POINT OF CONCEALMENT BEHIND OR BELOW FINISH SURFACES, AND SHALL BE PROPERLY CAPPED OR PLUGGED. MAINTAIN EXISTING UTILITIES TO REMAIN AND PROTECT AGAINST DAMAGE DURING DEMOLITION. DO NOT INTERRUPT EXISTING BUILDING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY THE ARCHITECT AND/OR OWNER. 6. THE CONTRACTOR SHALL PROVIDE, ERECT, AND MAINTAIN ALL TEMPORARY BARRIERS AND GUARDS, AND ALL TEMPORARY

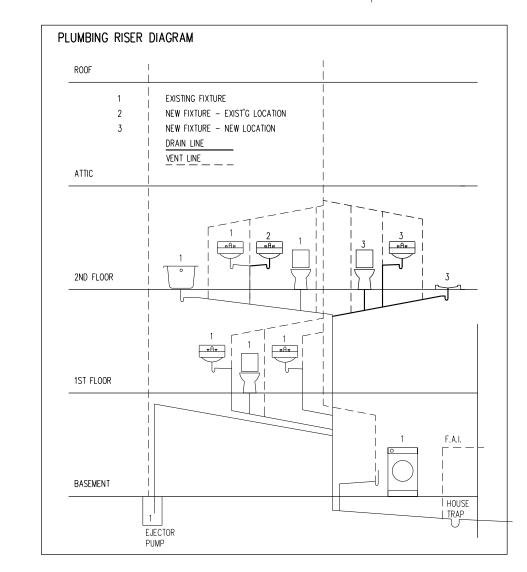
SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDINGS' RULES AND REGULATIONS. 7. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE

OF THE WORK. ALL OPENINGS SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION. 8. OWNER ASSUMES NO RESPONSIBILITY FOR ACTUAL CONDITION OF ITEMS OR STRUCTURES TO BE DEMOLISHED. 9. SCHEDULE FREIGHT ELEVATOR HOURS OF OPERATION (AS REQUIRED), DUMPSTER LOCATION, AND EXIT ROUTE WITH ARCHITECT

AND/OR OWNER IN ADVANCE. 10. DO NOT USE CUTTING TORCHES FOR REMOVALS.

11. IF UNANTICIPATED MECHANICAL, ELECTRICAL OR STRUCTURAL ELEMENTS CONFLICT WITH DEMOLITION, REPORT THE NATURE AND EXTENT OF THE CONFLICT TO THE ARCHITECT IN WRITTEN, ACCURATE DETAIL. PENDING RECEIPT OF INSTRUCTIONS, REARRANGE DEMOLITION SCHEDULE TO MAINTAIN PROGRESS.

12. IF ASBESTOS CONTAINING MATERIALS ARE ENCOUNTERED OR SUSPECTED, NOTIFY OWNER AND BUILDING MANAGEMENT. CEASE DEMOLITION WORK IN THE AFFECTED AREA UNTIL ARCHITECT AND/OR OWNER ISSUES INSTRUCTION TO RESUME WORK.



WALL TYPES

ON DEMO PLAN, REMOVE EXISTING. OTHERWISE DENOTES OVERHEAD ■ ■ ■ SHORING WALL

NEW REINF. MASONRY FDN WALL

NEW EXT WALL: SIDING TO MATCH EXIST, 1/2" CDX PLYWD, MATCH FRMG, MAX INSUL, 1/2" TYPE X GYP BD. NEW INT. PARTION: 2X4 FRMG, 1/2" GYP BD. BOTH SIDES -PROVIDE SOUND ATTENUATION BATT IN WALLS BORDERING BATH -USE <u>2X6 FRAMING</u> FOR ALL POCKET DOOR WALLS -USE CEMENTICIOUS BD. ON BATH SIDE.

REVISION CLOUD

ELECTRIC & LIGHTING LEGEND DEVICES - DIVA BY LUTON U.O,N.

OUTLETS NOT SHOWN. F&I , LOCATION & QTY PER ELECTRIC CODE U.O.N. DUPLEX OUTLET 15" AFF U.O.N DEDICATED DUPLEX OUTLET 15" AFF U.O.N. QUAD OUTLET 15" AFF U.O.N.

LIGHT SWITCH - MATCH HGT. OF EX'G U.O.N. **DIMMER SWITCH** USE ELV DIMMER AS REQ'D)) SURFACE MTD LIGHT

PENDANT LIGHT

OH WALL SCONCE

3000K MAX - COORD LOCATION PAN - VENT TO EXTERIOR SMOKE DETECTOR W 10 YR. LITHIUM BATTERY U.O.N. CO/SMOKE DETECTOR W 10 YR. LITHIUM BATTERY U.O.N. TV TV POWER AND SIGNAL OUTLET PROGRAMMABLE THERMOSTAT MOUNT @ 60" AFF U.O.N.

REM EX'G WINDOWS,

SIDING

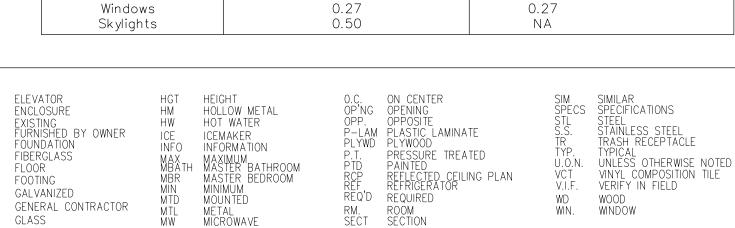
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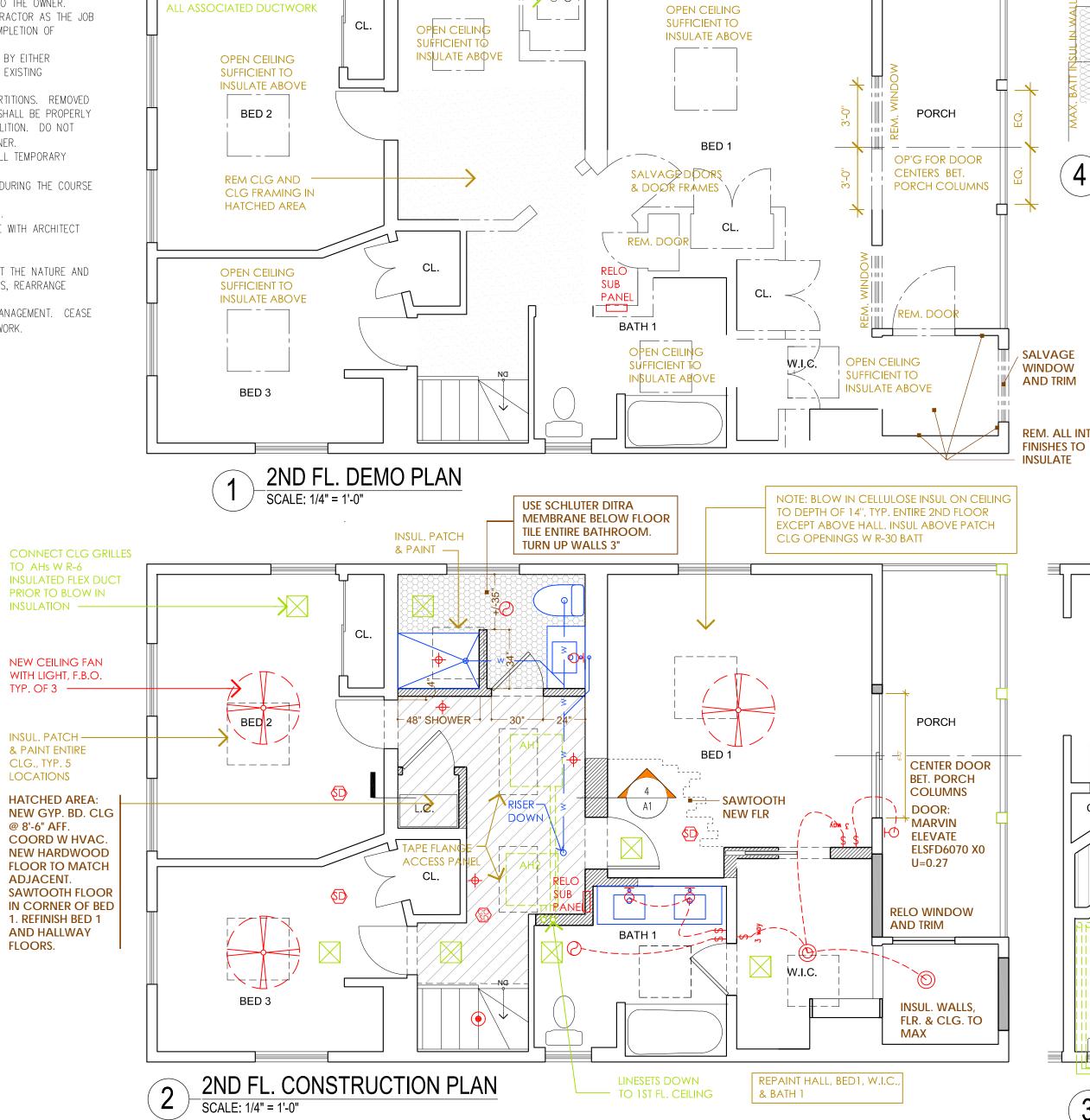
- RECESSED I.C. TYPE LED LIGHT

CEILING FAN

Stretch Energy Code - Climate Zone 4 - Table 402.1.2

	Min. Req d U-factor or R-value	Proposed at new construction
Ceiling	R-49	NA
Walls	R-21, 20+5, 13+10	NA
Floor	R-30	NA
Bsmt or Crawl Space	R-15 cont. $/$ $R-19$ non-cont.	NA
Slab on Grade	R-10 4'depth	NA
Windows	0.27	0.27
Skylights	0.50	NA





PATCH EXT. WALL @ PIPE LOCATION

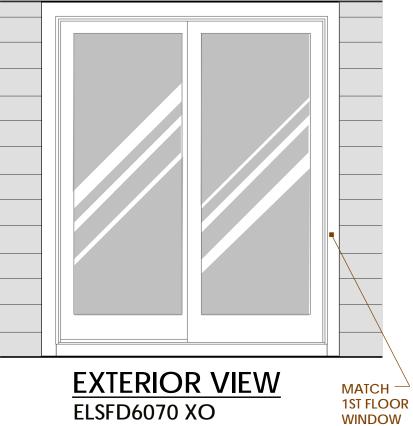
W WOOD SIDING TO MATCH. PAINT

DECOMISSION & SALVAGE

FURNACE FOR RESALE. REM.



PROPOSED REAR OF HOUSE



PANTRY

PUZ-A42KA7

@ BACK PATIO

HANG AIR HANDLERS

ISOLATION DAMPERS

|21| BATT INSUL BET |EX'G 3X10 JOI\$"

A.H.2 - PEAD MID

STATIC INTELLIAIR

BY MITSUBISHI

5" POLYISO RIGID INSUL. PANELS. OVERLAP SEAMS.

INTERIOR VIEW

ELSFD6070 XO

—— 2X4 FRAM'G 16" O.C. W J.H.s

SECTION THRU NEW LOWER CEILING AREA

 $\frac{1}{2}$ GYP. CLG & TYP. ACCESS PANEL

FROM JOISTS W

STATIC INTELLIAL

DINING ROOM

- MATCH BATH 1 CLG HGT.

OPEN CLG & PIPE CHASE

WASTE LINE TO EX'G. AND

FOR HVAC LINESETS. PATCH

, LINESETS IN WHITE ENCL

ALONG EXTERIOR TO CU

PARTIAL 1ST FL. CONSTRUCTION PLAN

AS REQ'D TO CONNECT NEW

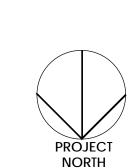
BATH 1

KITCHEN

REVISION 2/15/23 BUILDING PERMIT 3/8/23 ARCHITECTURAL REVIEW BOARD

TRADES LEGEND BY COLOR

PLUMBING EVERYONE



LTERATION

GREDICK RESIDE 27 NORTH FERRIS IRVINGTON, NY SBL: 2.50-21-19

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TRIM