

DDF_RESIDENCE

March 31, 2023

To: Irvington Building Department
81 Main Street
Irvington NY 10533

Re: Farber Residence
51 Field Terrace
Parcel ID 2.170-76-15

Owner:
Dani Farber
dfarb1@gmail.com
917.334.5663

To whom it may concern:

The following is an Application to the Building Department for interior renovation and exterior elevation alteration of 51 Field Terrace Irvington NY an existing single family residence.

The scope of work proposed includes the renovation of existing kitchen, mudroom and adjacent spaces. The exterior façade scope includes new glazing and a door to the rear yard. Additionally, a window is proposed to be removed from front façade and patched to match existing siding. No change to coverage or FAR is proposed.

Our construction estimate for this scope of work is 75,000 and assumed inspections include Insulation, Framing, Building Systems and Final. Enclosed is a check for \$1560 for all required fees.

Enclosed for your review are the following:

1. Cover Letter
2. Check
3. Thumbdrive
4. Drawings prepared by studio PPARK dated 5/31/23 (4 sheets)

We look forward to the review of enclosed and the Architectural Review Boards comments on 4/24/23 Please feel contact me with any questions or concerns:



Thank you,
James Krapp
james@studioppark.com
646-481-7081

EXISTING CONDITIONS PHOTOS



REMOVE DOOR AND
PATCH SIDING TO MATCH
EXISTING

WEST ELEVATION



REMOVE DOOR AND
PATCH SIDING TO MATCH
EXISTING

WEST ELEVATION



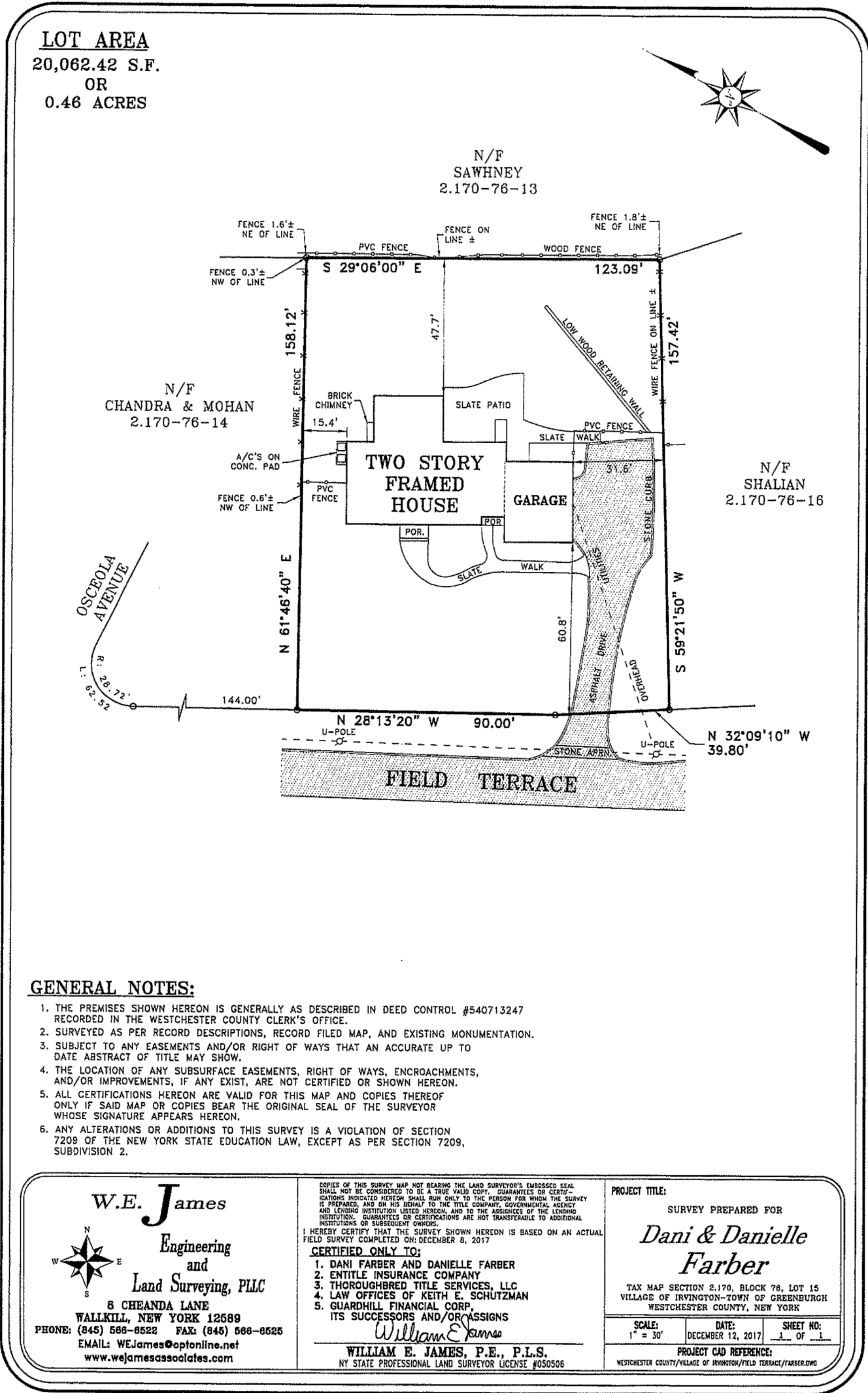
EAST ELEVATION



REMOVE EXISTING DOOR
AND WINDOWS, REPLACE
PER ELEVATION

EAST ELEVATION

EXISTING SURVEY



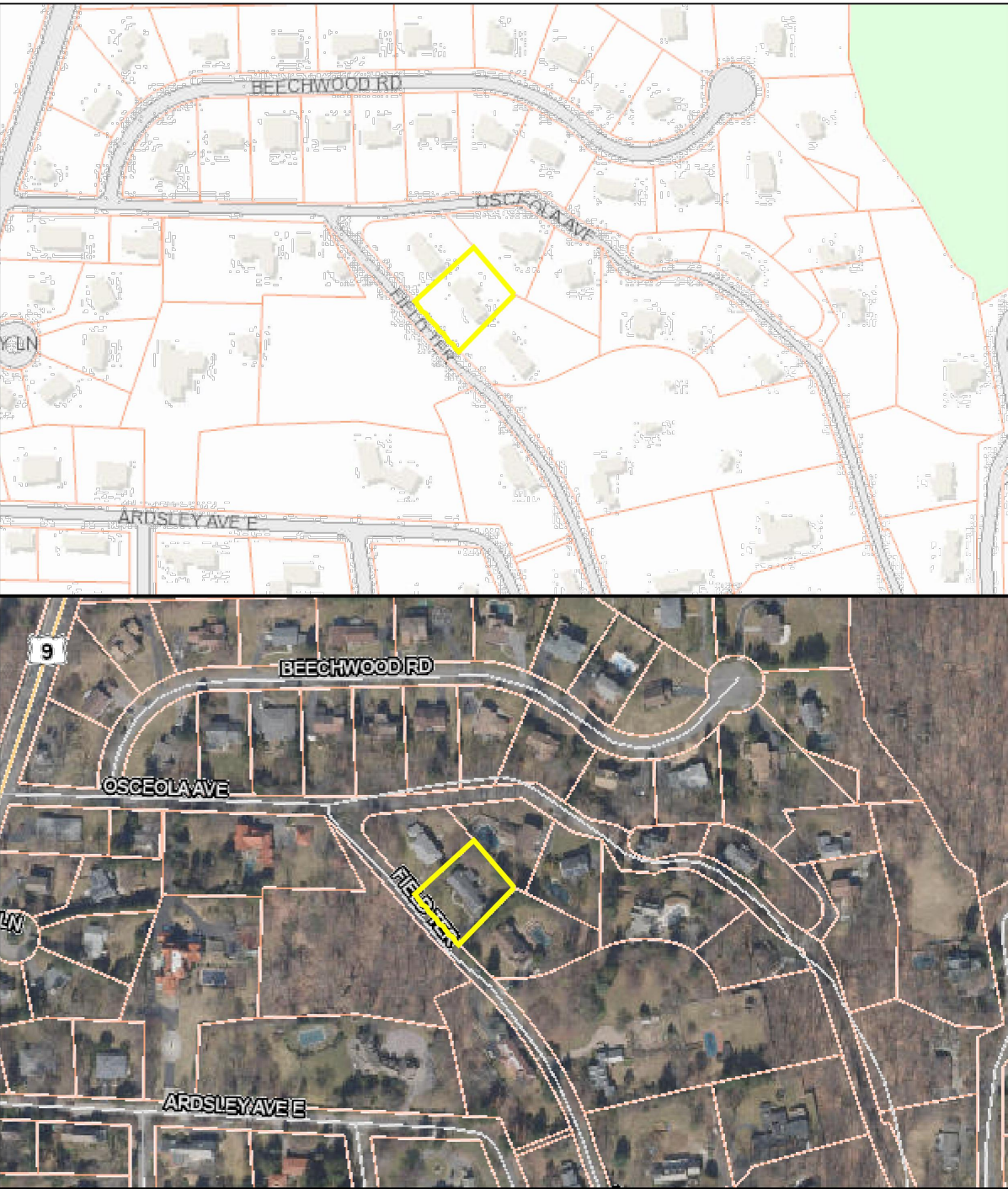
LIST OF DRAWINGS

ARCHITECTURAL

T001	COVER SHEET
G100	GENERAL NOTES
A100	PROPOSED DEMO/ELEC FLOOR PLAN
A200	PROPOSED ELEVATIONS + FRAMING

TAX MAP

Address: 51 FIELD TERRACE AVE
Print Key: 2.170-76-15 SBL: 00217000760150000000



Disclaimer:
This tax parcel map is provided as a public service to Westchester County residents for general information and planning purposes only, and should not be relied upon as a sole informational source. The County of Westchester hereby disclaims any liability from the use of this GIS mapping system by any person or entity. Tax parcel boundaries represent approximate property line location and should NOT be interpreted as or used in lieu of a survey or property boundary description. Property descriptions must be obtained from surveys or deeds. For more information please contact the assessor's office of the municipality.

DDF

FARBER RESIDENCE
RENOVATION / REHAB

51 FIELD TERRACE
IRVINGTON, NY 10533

OWNER

DANI + DANIELLE FARBER

51 FIELD TERRACE
IRVINGTON, NY 10533

ARCHITECT

JAMES KRAPP, R.A.

STUDIO PPARK
STUDIO@STUDIOPPARK.COM
646 481 7081

SEAL



PROJECT DATA

51 FIELD TERRACE
IRVINGTON, NY 10533

PARCEL ID - 2.170-76-15

ISSUE

23_0331 - ARB/PERMIT SUBMISSION

COVER SHEET

T001

USE REQUIREMENTS & CONSTRUCTION CLASSIFICATION					
Per section 234-8					
CATEGORY	REQUIREMENT	EXISTING	PROPOSED	ZONING	CLASS
USE	ONE FAMILY	ONE FAMILY	NO CHANGE	IF-10	UN-PROTECTED

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

R301.2 Climatic and geographic design criteria. Buildings shall be constructed in accordance with the provisions of this code as limited by the provisions of this section. Additional criteria shall be established by the local jurisdiction and set forth in Table R301.2(1).

GROUND SNOW LOAD MODERATE TO HEAVY	WIND SPEED (mph)	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM Weathering/Frost line depth	Termite	ICE BARRIER UNDER LAYMENT REQUIRED	FLOOD HAZARDS
	100-110MPH	C	SEVERE	42"	YES	YES
					YES	NO

Design loads:

Ground snow load: 30 PSF
Basic wind speed: 100-110 MPH
First floor: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total
Second floor: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total
Attic (with limited storage): 10 PSF (LL) + 10 PSF (DL) = 30 PSF total
Roof: 30 PSF (LL) + 15 PSF (DL) = 45 PSF total
Porches & decks: 40 PSF (LL) + 15 PSF (DL) = 55 PSF total
Guardrails & handrails: 200 PSF
Guardrails in-fill components: 50 PSF
Concrete: walls: 3000 PSI
basement slab: 3000 PSI
garage slab: 4000 PSI
Lumber: 950 PSI
Assumed soil bearing capacity: 3000 PSF

INSPECTIONS REQUIRED (AS APPLICABLE)

§ 9-5.5
Work shall remain accessible and exposed until inspected and accepted by the Code Enforcement Officer or by an inspector authorized by the Code Enforcement Officer. The permit holder shall notify the Code Enforcement Officer when any element of work described in Subsection B of this section is ready for inspection.

- (1) Framing
- (2) Building systems, including underground and rough-in
- (3) Sidelock-burning heating appliances, chimneys, flues or gas vents
- (4) A final inspection after all work authorized by the building permit has been completed

ENERGY CODE

James Krapp, To the best of my knowledge, belief and professional judgment, believe this application is in compliance with the 2020 NYS Energy Conservation Construction Code.

Per section C101.6 (Statutory limitations and exemptions) of the code this project is exempt. Should any items be found to not pertain to section C101.6 they will be made to comply as required.

ATTESTATION

James Krapp, To the best of my knowledge, belief and professional judgment, believe this application is in compliance with the jurisdictional codes. All construction shall be performed in accordance with the New York State Residential Code (2020 edition) the November 2019 Addendum, The NYS Uniform Fire Prevention and the regulations of the Village of Irvington currently in effect. If conflicts exist between different codes, the strictest code shall always apply.

*Notice of Utilization of True Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance With Title 19 NYCRR Part 1260) affixed and note on plan for all projects with engineered lumber and/or truss construction must be placed as per NYSDOS.

SITE MANAGEMENT NOTES

- The general contractor shall designate a site foreman or project manager to this project who will be on site daily and always available for communications with the designer.
- The general contractor shall establish and maintain a well-organized site office throughout the construction process. This office shall consist of a desk large enough to spread the construction documents and a 4'x6' interior table with a continuously open communication line to send faxes or emails to the site.
- It shall be the responsibility of the general contractor to maintain a complete and current set of all construction documents and specifications in the field at all times. These shall be secured to the site office desk.
- The general contractor shall have a printed copy of all sketches, faxes, revised specifications or other communication in a well-organized binder secured to the site office desk.
- Drawings are NOT TO BE SCALED FOR DIMENSIONS. Errors resulting from such actions shall be corrected at the sole expense or the general contractor.
- Demolition and construction waste shall be devoted to recycling or reuse to maximum degree. A waste management plan shall be established, identifying the possibilities for reuse or recycling demolition or construction waste (metals, wood, concrete or other). Net waste (hailed to landfill or incineration) shall be reduced to a maximum level of 2.5 pounds or less of per square foot of conditioned floor area. general contractor must keep receipts and documentation of all separated waste hauls and submit as proof of the achieved goal.
- The general contractor shall provide on-site separation of all waste materials or arrange waste haulers who separate materials.
- The general contractor shall educate each subcontractor of the waste management plan and be responsible of their abiding by the separation of waste.
- The general contractor shall never block any path of egress including but not limited to the public stairs, fire stairs, or elevator doors at any time.
- It shall be the responsibility of the general contractor and/or Subcontractor to confirm adequate accessibility for all items of the work into the work space, and into their installed locations.
- At the end of each workday the general contractor shall clean the site, elevator, landings, and public spaces of the building so that it is in presentable condition as necessary due to the dirt and debris generated by the construction process.

GENERAL NOTES

The following notes shall apply throughout. Exceptions are specifically noted on drawings and specifications.

- All work shall conform to all applicable national, state and local building, plumbing, electrical, and fire safety codes, even when not specified in the drawing, notes, or specifications. If any code is in conflict with these, the contractor shall report such to studioPPARK for reviews prior to bidding. In the event of conflict between applicable codes or regulations and reference standards of these plans and specification, the more stringent provisions shall govern.
- The general contractor will be responsible for obtaining and or paying for all permits, certifications, guarantees, etc. As required by local authorities having jurisdiction, and deliver these to the owner upon completion of the work. The general contractor shall arrange and coordinate inspection of all work by building officials. The general contractor shall be responsible for any violations arising from lack of permit, condemned work, or fines.
- All work is to be performed in accordance with the AIA general conditions for construction.
- A registered surveyor shall be required to set all foundation corners, elevations and dimensions on site.
- The contractor is responsible for contacting utility companies to ensure safe digging.
- studioPPARK is contracted to serve as the owner's representative during construction. A representative of studioPPARK shall make periodic site visits to verify construction progress and will report findings to the owner and contractor in the form of a written report.
- The general contractor (GC) shall provide free access to the work to the owner, architect and/or designer, subcontractor, and their representatives at all times.
- Drawings are representative documents to facilitate construction. Contractor shall field verify all dimensions and conditions prior to construction. The heights of grade indicated on drawings are approximate and are provided for information only. Notify designer of any alterations or discrepancies immediately upon discovery and before proceeding with work.
- Should the general contractor (GC) discover any discrepancies or ambiguities of data that cause doubt as to the meaning of any drawings or specifications, the general contractor should notify the architect and engineer prior to any clarification or prior to proceeding.
- Provide any apparatus, appliance, material, work, incidental accessory, or minor detail, which is necessary to make the work complete and perfect in every respect, at no additional cost to the owner. Those items not noted, but implied as necessary for the completion of the work are to be part thereof.
- The contractor shall acknowledge that job sites are difficult and dangerous places to work by nature. As such, all necessary precautions will be taken to ensure the safety and general well being of its employees. Contractor shall provide guards, rails, barricades, fences, catch platforms, bridging, decking, night lighting, etc. As required. The use of any steeper and/or radius and the presence of jobs of any kind are prohibited on the job site.

- Contractor shall have sole responsibility for protecting all dangerous areas from entry by unauthorized parties.
- The general contractor shall keep sufficient workmen on the job site to perform the work in the most expeditious manner consistent with good workmanship, sound business practice, and in the best interest of the owner. It is expected that enough labor will be provided so that activity for any given trade will not be limited to only one part of the total work area.
- All workmen employed by the general contractor or any sub contractor shall be skilled at the work to which he is assigned.
- Temporary work as necessary and required shall be part of the contract.
- Include all trades overtime costs in the bid proposal and perform such work at no additional cost to the owner.

- All contractors and subcontractors involved in this work shall carry properly damage and public liability insurance as req'd by governmental agencies having jurisdiction and comply with statutory requirements for disability and workers' compensation.
- The contractor shall provide to the owner and designer, prior to the commencement of work, a list of all subcontractors, the name of the principal contact. The address and phone number of each subcontractor shall be included in the list.
- Each subcontractor shall be responsible to coordinate with the work of other subcontractors as req'd. Each trade will be expected to proceed in a fashion that will not delay the trades following them.
- The contractor is to coordinate the work of all sub-contractors, including the timing and scheduling of their work and the layout of their systems. Each subcontractor should complete work on an expeditious and reasonable schedule, in a manner that does not delay other trades and subcontractors from completion of work. The contractor shall provide all sub-contractors with necessary power and access and connections through foundation walls as required.
- The general contractor shall be responsible for distribution of drawings to all trades under his jurisdiction.
- The contractor and each subcontractor shall be required to coordinate with other subcontractors as necessary, including those hired under separate contract by the owner.

- Approval of minor changes or clarification to plans may be accomplished by issuance of revised plans, partial sketch, or initialing and dating of change by the architect and/or designer on the existing plans.
- No change by the architect and/or designer will be made by the general contractor unless authorized via change order, and signed by all parties, prior to affecting the change.
- The architect and/or designer shall have no control over and shall have no responsibility for the construction means, methods, techniques or procedures. The architect and/or designer has no responsibility for any actions or omissions of the GC, or his subcontractors, or the failure of them to perform work according to the contract documents.
- Verify dimensions and conditions shown on the drawings by field inspection, and by measurement at the project site. The contractor shall become familiar with the project site, the work and the contract drawings at each trade. Adjust the work to suit all the conditions found as directed by the architect at the site.

- All notes on all drawings of the architect, engineer and designers drawings and plans are to be considered part of the contract documents.
- Drawings are not to be scaled. Use dimensions only. All dimensions and conditions shown and assumed on the drawings must be verified at the site by the contractor before ordering any material or doing any work.
- The height of floor levels indicated on the plan drawings are approximate and are provided for information only. Install the work to maintain ceiling heights shown on the architectural drawings.

- Shop drawings are to be submitted to the designer for approval before proceeding with all items which require fabrication.
- Under manufacturer's names and product numbers are indicated on the drawings or specifications, it shall mean the establishing of quality and performance standards of such items. Any substitution must be submitted to the designer for approval.
- The contractor shall be responsible for adequately bracing and protecting all work during construction against damage, breakage, collapse, distortions, and off-alignments according to codes and standards of good practice. Any work which is damaged, lost or stolen prior to final acceptance shall be replaced at no additional cost to the owner.
- The general contractors shall be responsible for all labor and materials and make good any defects therein which are discovered or occur within one year after the completion of the project. He shall be responsible for repairing or replacing any material or equipment considered part of the contract and under guarantee periods specifically noted by the manufacturer thereof.

- All materials stored on the site shall be adequately protected against damage from rain or in progress. Repair of completed work damaged in the course of the project will be the GC's responsibility.
- The project site is to be kept reasonably clean at all times and broom swept daily. Debris and loose trash is to be contained and emptied off the site on a daily basis. paint spots and excess caulking are to be removed.
- All materials shall be new, unused, and of the highest quality in every respect unless otherwise noted.
- The contractor shall furnish samples to the designer of all materials, together with finishes as specified and intended for the use in the project.
- All work shall be erected and installed plumb, level, square and true, and in proper alignment to existing and new elements as shown on drawings.
- Contractor shall perform all cutting and patching required to complete work or make parts fit together properly, without compromising quality of work.
- All window frames and doors are to be protected during construction. Protection may not be permanently attached to window and door frames.

- All nails and fasteners in areas prone to moisture shall be "hot dipped galvanized" unless noted otherwise.
- All joint surfaces shall be free of any substance or material that would prevent the proper adhesion of the caulking upon application or would cause failure of the connection between the caulking and the wall joint. All caulking lines are to be true, even, smooth, and straight.
- Upon completion of the work, the general contractors responsible for the final adjustments of windows, doors, hardware, devices, and those items deemed by the architect and/or designer to make the project habitable.
- At all times the contractor will be responsible to maintain and protect all elements from the effects of adverse weather (rain, snow, cold, etc.) Within the areas of work under this contract at no additional cost to the owner.
- All work shall be installed so that all parts req'd are readily accessible for inspection, operation, maintenance, and repair. Contractor shall maintain free and unobstructed access to all areas.
- All stairs will comply w/ NYS 2020 section R311.11 Means of egress

ELECTRICAL NOTES

- The contractor shall furnish and install a fully operational electrical system in accordance with all applicable national, state and local building and electrical codes. All work shall be performed in strict conformance with the requirements of the New York State Residential Code (2020 edition), NFPA 70 National Electric Code (2014 edition), the Building Department and local all authorities having jurisdiction.
- Electrical contractor to obtain all required permits, inspections and sign-off's.
- Electrical contractor to provide engineering for circuitry, power requirements and distribution.
- Electrical contractor to review proposed work and determine properly sized power supply. If power supply exit to site, electrical contractor shall confirm to designer if power supply is adequate before commencing the work.
- Contractor must verify all wall fixture and device locations on elevation drawings. Do not scale off this plan.
- Verify if increased lights and housing sizes against ceiling structure and conditions, review on site w/ designer if discrepancies occur.
- Outlet outlets within 6'-0" of sinks are to be g type.
- All abandoned boxes with remaining wiring entering or leaving shall remain accessible w/ removable covers.
- All receptacle switch or lamp holder boxes shall be set flush to final finished surface.
- If req'd, extend exp. Boxes to achieve continuous grounded metal surface to face plates.
- Confirm all device and coverplate colors and styles w/ designer, assume standard colors and screwless plates. Lutron dimers or equl.
- Wiring and relocation of any wiring for cable and telephones is included in the scope of the electrical contract. Do not splice cable lines. All cable outlets are to be tested prior to painting of walls to confirm proper working order.
- All data communication wiring to be cabs home to new switch board in accessible location near apt. Phone and cable tv feeds.
- Low voltage connections (phone, tv, and data) to be grouped in quickstart base plates to the furthest outlet possible. Review all locations prior to installation

MECHANICAL NOTES

- Any HVAC required will be approved under separate cover/application if needed. Refer to engineer's drawings for further mechanical work notes and specifications.
- All mechanical work shall comply with all applicable national, state and local codes, be performed by a licensed tradesperson, and be completed in accordance with the direction of local building code officials.
- Subcontractors and tradespersons are responsible for obtaining required permits for their trade, scheduling and completing required inspections and operating on a reasonable and efficient schedule that does not delay the work of other trades.
- Mechanical contractor shall confirm that all heat equipment specified is in compliance w/ acca manual 4 and all ductwork is laid out and installed in compliance w/ acca manual 4.
- Install air filters with a minimum efficiency reporting value (merv) of 13 or higher and ensure that air handlers can maintain adequate pressure and air flow. Air filter housings must be airtight to prevent bypass or leakage. (boone generators are not permissible as air cleaners.
- All zones shall be equipped w/ digital and programmable thermostats with a standard energy star setting and label.
- All exhaust fans shall be ducted directly to the exterior with rigid material.
- All bath fans shall be energy star rated. This rating requires that fans 50 cm or smaller be no louder than 2.0 sones and move a minimum of 1.4 cfm/watt. Fans 76 cm or larger must be no louder than 1.5 sones and move a minimum of 2.8 cfm/watt.
- All refrigerants used shall be hfc-free. Mechanical contractor must execute refrigerant charge test and submit results as proof of proper refrigerant charge.
- All transverse seams in supply and return ducts, including supply and return plenums and leakage sites in the air handler, shall be sealed with duct mastic and fibrous reinforcing mesh.
- Supply duct take-offs shall be spaced at least 6 inches apart from each other with no duct take-offs originating from the cap of the supply plenum.
- No supply or return ducts shall be located in exterior walls. This includes vaulted ceilings and insulated walls between conditioned and unconditioned space.
- Insulate any ventilation and exhaust ductwork outside of the insulated envelope. Use at least r-6 insulation around ducts in unconditioned spaces.
- Minimize the transmission of equipment or other noise to the diffusers. Sound transmissions shall be avoided by geometry of duct layout, only. Acoustical liners on the interior face of the duct shall not be acceptable.
- Supply and return duct outlets shall be covered to stop construction trash and dust from contaminating new duct system.
- An outdoor air intake duct shall be connected to the return side of each air handler to bring in fresh outside air for ventilation. The air shall be filtered and a damper (barometric or motorized) should close automatically when the air handler fan is not operating.
- An energy recovery ventilator shall be installed according to the manufacturer's specifications.
- Exhaust ventilation shall be considered part of the mechanical work. Provide exhaust fans in every bathroom (min 50cfm) kitchen (min 100cfm) and/or garage (min 100cfm according to astma 62.2-2007.5).
- Pre-occupancy flush prior to occupancy, but after completion of construction, the entire house shall be flushed w/ outside air for 48 hours. Keep all interior doors open and run all fans and exhaust fans continuously. Reduce or clean hvac air filter afterwards, as required.
- A passive radon vent system shall be installed in compliance with epa guidelines for "model standards and techniques for control of radon in new residential buildings." general contractor shall conduct a radon test of house as per epa guidelines after final construction is complete and provide test results to home buyer. First indicates greater than 4 picocuries per liter radon concentration, general contractor must follow epa guidelines to reduce radon levels.

PLUMBING NOTES

- All plumbing/heating work shall comply with all applicable national, state and local codes, be performed by a licensed tradesperson, and be completed in accordance with the direction of local building code officials.
- Subcontractors and tradespersons are responsible for obtaining required permits for their trade, scheduling and completing required inspections and operating on a reasonable and efficient schedule that does not delay the work of other trades.
- Plumbing work shall include all labor and materials for all piping, fixtures, hot water heater, and sewer/septic connections. This includes connections for an kitchen in the refrigerator and all other appliances as indicated on plans and specifications.
- All products, materials and fixtures shall be installed in a manner consistent with sound practice and quality workmanship.
- All materials shall be sized in accordance with the proposed plans, allowing for future expansion if indicated. All work shall be installed so that required parts are readily accessible and available for inspection, operation, maintenance and repair.
- Structural members shall not be impaired or undermined by improper cutting or drilling.
- Branch lines from the central header to each fixture shall be a maximum of 1/4-inch nominal diameter.
- No branch line from the water heater may exceed the length of 20 feet plus the ceiling height of each floor crossed by a vertical riser. Plumbing contractor shall alert designer immediately if these lengths can not be achieved.
- No plumbing lines shall be located in exterior walls. Plumbing contractor shall alert designer immediately if this length can not be achieved.
- Check valves must be furnished on branch piping to all faucets, tub spouts or showerheads having mixing valves.
- All domestic hot and cold water piping shall have r-4 insulation. Insulation shall be properly installed on all piping elbows to adequately insulate the 90-degree bend.
- Plumbing work shall include all labor and materials for all piping, fixtures, hot water heater, and sewer/septic connections. This includes connections for an kitchen in the refrigerator, the dishwasher, and washing machine as indicated on plans. The kitchen sink will have a garbage disposal where allowed.
- Heating work shall include all labor and materials, electrical/plumbing connections, and installation as they occur.
- Unless otherwise noted, hot water heater shall be propane fired tankless hot water heater, power vented.
- Heat traps shall be installed at all water heaters.
- Unless otherwise noted, heating system shall be divided into two zones. Thermostats shall be w/ fan enabled, digital and programmable.
- Vent to the exterior all bathrooms which do not have operable windows
- Where applicable plumber shall furnish and install 500 gal. Underground propane storage tank, and all required piping to boiler, clothes dryer and kitchen range.
- Where applicable unless otherwise noted, standard heating unit shall be propane fired radiant heat water baseboard system with efficiency rating of 94 unit is to be sidewall vented. Unit size shall be sized to accommodate the entire house at 78d at a 6dF exterior temperature. Heating system shall be capable of operating at peak efficiency at a temperature of 72f.
- Refer to engineer's drawings for further plumbing or heating work notes and specifications.

GLAZING NOTES

- It is the contractor's responsibility to make all glazing (window, door, or otherwise) adjacent to a walking surface, stair, landing, tub or shower safety laminated glass meeting requirements in accordance with applicable national, state and local codes and all authorities having jurisdiction.
- All interior glazing as indicated on the plans (shower enclosure, partitions, railing or similar) to be r-12 low iron, clear glass, unless otherwise noted.
- All shower doors/panels to use CRL Geneva Hinges square mounts and CRL MT Series back to back towel bar (or equal as approved).
- Promptly remove all manufacturers' stickers from glass after installation.
- Provide safety glass information on all glazing with in all "Hazardous Locations" i.e. Kitchen Sink, Bathtubs, Showers, Whirlpools as required on existing locations. Change sash in existing frame if needed.

EXTERIOR FINISH NOTES

- Exterior foundation to be 3 part decks. Color TBD, general contractor to provide samples.
- Decks shall use 1 x 6 (five or equal) w/ blind fasteners.
- All outdoor decking and porches shall be constructed of lumber that has not been pressure treated with cca (copper chromium arsenate). Other types of pressure treated lumber or non-wood materials are eligible.
- Exterior steps shall be equal to deck construction, trim and finish. See details for additional info.
- All exterior steps shall land on to a 4" concrete pad set on a 4" gravel base on structurally compacted soil. Pad shall be 6" wider than steps and project from last riser 6" toward deck and 18" away from deck.
- Sidewalk TBD
- Exterior trim shall be specified as follows (all trim in metal fascia to be coordinated w/ manufacturer):
7.1 Window and door jamb: See elevation. Heads to have continuous copper drip cap.
7.2 Window sills: When not wood by manufacturer shall be primed bark or equal.
7.3 Door sills: Installed by manufacturer
7.4 Corner boards: See elevation
7.5 Sill boards: See elevation
7.6 Fascia boards: See elevation
7.7 Rafter/trim boards: See elevation
7.8 Frieze boards: See elevation
- Exterior trim shall be painted on all four sides and have squared edges. Painted wood trim and siding shall be primed on all six sides.
- Exterior brick shall meet standards of the brick institute of America (BSA) for exterior/severe weather use.
- All cement or concrete used for poured or block installation shall have a fly-ash content of minimally 30%.

EXTERIOR FINISH NOTES - MOISTURE PROTECTION

- Unless otherwise noted, building paper shall be installed over all exterior sheathing to resist moisture and wind infiltration. Walls shall have minimum 15w' felt paper, roofs shall have minimum 30w' asphalt impregnated felt paper, with not less than 4" overlap. Felt shall continue behind all exterior trim, doubled and lapped into openings.
- Housewrap shall be installed according to the manufacturer's specifications. All seams must be cut properly and all edges taped to ensure a continuous air barrier.
- A self-gasket, updn-type rubber, sheet metal or other suitable membrane shall be installed over the complete framed wall width between a concrete foundation wall and sill plate.
- Exterior roofing material shall be installed as per mfr's written instructions and have a minimum 25-year manufacturer's warranty. Warranty documentation must be provided to the owner.
- Self-adhering sheet waterproofing shall be installed according to manufacturer's written instructions and astm d615S.
- Unless otherwise noted, all roofing materials shall have a solar reflectance of 65% or more.
- A minimum width of 3 feet of ice flashing shall be installed over roof sheathing at eaves.
- Metal drip edge shall be installed at all exposed roof decking.
- All eaves, valleys and penetrations in the roofing system shall be reinforced with either metal flashing material or a self-adhering underlayment designed and approved for use with the installed roofing system.
- Barrier strips shall be installed on all sides of exterior door or window openings. Refer to typical diagrams.
- Window caps or trim and all other projections at points where rain accumulates or runs off shall be provided with flashing. Flashing for red cedar shingles shall be copper. Such flashing shall extend a minimum of 6" up the wall under the sheathing paper and not less than 6" horizontally. Flashing shall be sufficient length to cover the course above without being punctured by nails.
- Where applicable a continuous ridge vent shall be provided at all roof ridges, where required. Soft venting shall be provided as indicated on detail drawings. Ridge vents shall be "core vent" or equal, extending along all ridge lines. Terminate ridge vents 12" from end of ridge. Cover vent w/ shingles. Cavities shall support proper venting, including the installation of baffles between all rafters. Keep all ventilation space unobstructed.
- Provide step flashing at all chimney locations.
- Roof gutter discharges shall be a minimum of 5 feet away from any foundation wall, or into a captured system, i.e. Barrel or cistern where provided for in the design.
- Refer to typical details and diagrams for further notes and information.

EXTERIOR FINISH NOTES - THERMAL PROTECTION

- All exterior walls, ceilings and roofs or walls and ceilings between conditioned and unconditioned spaces shall be fully insulated and sealed as follows.
3.2. Roof: r-38 open cell spray foam insulation (open or equal)
3.3. Interior walls and ceilings: 3" Rigid Safe 1" Sound batts
3.4. Foundation insulation: 4" rigid insulation secured to exterior face of wall
- Where applicable flush & batt insulation: All insulated framed walls, ceilings and roofs shall be insulated by a minimum layer of 11/2" inches of closed-cell sprayed insulation (depth seal, be back, or approved equal) towards the exterior of the conditioned space and full unfaced batt insulation towards the interior.
- Non specified insulation shall have minimum r-values in the locations installed as follows: walls r-15, floor overhangs r-30, roofs and ceilings to unconditioned spaces r-50, band joint r-30, basement walls r-15, foundation walls r-10, slab-on-grade for conditioned spaces r-15, for unconditioned spaces r-5.
- All sheathing gaps and penetrations, including construction lines, electrical outlets and locations with broken or missing sheathing shall be sealed with sheathing and a proper sealant. Penetrations shall be sealed with an expanding spray foam or equivalent.
- The space between the framing for window or door (including attic access) rough openings and the installed units shall be sealed with non-expanding spray foam insulant, closed cell foam backer rod, spray applied insulation, or other suitable sealant. Collarless, fiberglass or rock wool batt insulation is not acceptable as a sealant but can be used as a backing for a sealant (such as caulk). Thresholds for exterior doors shall be sealed to the subfloor.
- All holes in the floor assembly for plumbing, wiring, ductwork, and other purposes connecting conditioned and unconditioned (and exterior) areas shall be sealed. Penetrations for flues and other heat-producing items shall be sealed with noncombustible sheet materials and high temperature sealant.
- Penetrations through the band joint (rim joint) area shall be sealed with sheathing and proper sealant such as holes drilled for hvac, plumbing and electric lines. All sheathing seams in band joint shall be sealed.
- Bottom plates shall be sealed to floor or foundation with a proper sealant. An optional strategy is a foam gasket beneath the bottom plate in combination with a suitable sealant.
- Drywall shall be sealed to top plate on ceilings separating unconditioned from conditioned space.
- Framed spaces that connect conditioned areas to unconditioned attics, basements or crawl spaces (i.e. Chases for plumbing, duct work, chimneys and flues) shall be sealed with sheet material and sealant.
- Breaks in framing and interior finish materials, such as for a dropped soffit and changing ceiling heights, that connect unconditioned and conditioned areas, shall be sealed with horizontal blocking or sheet material and sealant.
- Tightly seal all internal thresholds between a garage and conditioned spaces, including all of the following: seal all penetrations, weatherstrip all doors, seal all connecting floor and ceiling joint bays, seal all cracks at garage wall base. Garage walls and ceilings to be primed and painted and must not be left unfinished.

GENERAL LEGEND

	DETAIL		DOOR DESIGNATION SEE SCHEDULE
	EXTERIOR ELEVATION		WINDOW DESIGNATION
	INTERIOR ELEVATION		COMBINED SMOKE/ CO DETECTOR, SEE NOTES
	ROOM DESIGNATION		REVISION
	POCKET DOOR		SWINGING DOOR
	NEW PARTITIONS OR WALL FLOORING		ELECTRICAL PANEL
	MASONRY		NO WORK IN THIS AREA
			FOOTINGS

studioPPARK
architecture + design

DDF
FARBER RESIDENCE
RENOVATION / REHAB

51 FIELD TERRACE
IRVINGTON, NY 10533

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PARCEL ID - 2.170-76-15

ISSUE

23_0331 - ARB/PERMIT SUBMISSION

GENERAL NOTES

G100

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PROPOSED
PLANS

A100

REFLECTED CEILING PLAN NOTES

- COORDINATE FINAL LIGHT FIXTURE LOCATIONS TO AVOID CONFLICT WITH TALL AND/OR FULL HEIGHT EQUIPMENT AND OTHER FIXTURES.
- NO LIGHT FIXTURE OR LIGHT FIXTURE TRIM SHALL BE CAULKED OR OTHERWISE ADHERED TO THE FINISHED CEILING SURFACE, U.O.N.
- ALL LIGHT FIXTURES TO BE PURCHASED BY CONTRACTOR (U.O.N.) WITH ALL NECESSARY ELEMENTS FOR INSTALLING FIXTURE INTO CEILING MATERIAL AT LOCATION OF FIXTURE. GC TO COORDINATE HEIGHTS AND LOCATION WITH ARCHITECT PRIOR TO INSTALLATION OF ALL PENDANT/SCONCES.
- GC TO BE RESPONSIBLE TO PULL ALL WIRE/CABLE PROVIDED BY CLIENT'S PROVIDED AV SUBCONTRACTOR PRIOR TO CLOSING WALLS/CEILING ETC. AV SUB WILL RING OUT AND COORDINATE WIRE AND INSTALL TERMINALS. AV SUB WILL BE RESPONSIBLE FOR PROPER FUNCTION OF CABLING IF REQUIRED.

ELECTRICAL PLAN GENERAL NOTES

- ALL WALL-MOUNTED RECEPTACLES AT 12" A.F.F. ALL SWITCHES TO MATCH EXG. U.O.N.
- ALL POWER OUTLETS AND/OR TEL/DATA PORTS NOTED TO BE ORIENTED HORIZONTALLY AT COUNTER TOPS. OUTLETS ADJACENT TO SWITCHES TO BE ORIENTED VERTICALLY. VERIFY WITH ARCHITECT ON SITE AS NECESSARY.
- ALL PHONE AND ELECTRICAL WORK SHALL CONFORM TO APPLICABLE BUILDING CODES AND REGULATIONS; CONTRACTORS SHALL INSTALL APPROVED FIXTURES ONLY.
- SHOULD JOB CONDITIONS REQUIRE RELOCATION OF PLANNED TEL OR ELEC OUTLETS, CONTRACTOR SHALL ACQUIRE ARCHITECT'S APPROVAL OF ALTERNATE LOCATION PRIOR TO START OF WORK.
- CL TO CL OF ANY OUTLET PAIR SHALL NOT EXCEED 6".
- ALL BACK-TO-BACK OUTLETS IN ADJOINING ROOMS TO BE STAGGERED.
- NO FLOOR/WALL OUTLETS SHALL BE CONNECTED TO LIGHTING CIRCUITS.
- PROVIDE TAMPERPROOF CIRCUIT BREAKER CLAMPS ON ALL DEDICATED CIRCUIT BREAKERS.
- GC SHALL PROVIDE A COMPLETE SET OF ARCHITECTURAL AND ENGINEERING DOCUMENTS TO THE ELECTRICAL SUBCONTRACTORS. GC SHALL BE RESPONSIBLE FOR COORDINATION OF THESE DOCUMENTS AND SUBCONTRACTORS' SHOP DRAWINGS AND SHALL POINT OUT ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO START OF WORK.
- ALL CODE COMPLIANT EXSTING OUTLET LOCATIONS TO BE REVIEWED WITH ARCHITECT FOR RE-USE, TO RECEIVE NEW FACEPLATES TO MATCH NEW ELECTRICAL PANELS TO BE REPLACED WITH NEW (SIZE TO ACCOMMODATE FUSES AS REQ'D) AND RELOCATED AS SHOWN
- CONTRACTOR IS RESPONSIBLE FOR ELECTRICAL PERMITS AND PROVIDING RECEPTACLES AS REQUIRED BY THE LOCAL CODES. ADDITIONAL LOCATIONS AS REQ'D TO BE DISCUSSED WITH ARCHITECT AND INCLUDED IN CONTRACT
- CONTRACTOR IS RESPONSIBLE FOR NEW ELECTRICAL RUNS TO EXISTING LOCATIONS AS REQUIRED (I.E. EX - HVAC, RE-USED RECEPTACLE AND FIXTURE LOCATIONS)
- GROUND FAULT INTERRUPTER RECEPTACLES SHALL BE INSTALLED AT ALL LOCATIONS WHERE EXPOSURE TO WATER IS POSSIBLE

ELECTRICAL SYMBOLS LEGEND

- DATA/COM JACK: CAT6 HOMERUN TO NEW SWITCHBOARD. BY GC.
- DUPLEX OUTLET
- DUPLEX OUTLET 1/2 SWITCHED FROM REMOTE LOCATION
- QUAD OUTLET
- GROUND FAULT OUTLET
- APPLIANCE OUTLET TO CONFORM TO MAFG. SPECS.
- ELECTRIC PANEL, CONTRACTOR TO SIZE FOR SERVICE
- DECORATIVE SONCE BY OWNER, GC TO INSTALL
- RECESSED LIGHT
- UTILITY LIGHT ON JAMB SWITCH
- UNDERCABINET LIGHT BY GC, MILLWORKER TO COORD

SWITCHES

- NEW LIGHT SWITCH (ASSUME ALL DIMMING, EXCEPT FAN AND UNDERCABINET FIXTURES)
- 3-WAY SWITCH
- JAMB SWITCH

NOTE: LUTRON, SNAP ON DIVA PLATES THROUGHOUT INCLUDE ALLOWANCE FOR ARCHITECTURAL FINISH OTHER THAN WHITE IN ALL TILE, BACKSPLASH AND MILLWORK SURFACES. G.C. TO CONFIRM PLATE DEVICE AND STYLE PRIOR TO START OF ROUGH ELECTRICAL WORK. G.C. TO PROVIDE PER LOCATION PRICE TO REPLACE EXISTING DEVICE AND PLATE IN KIND.

GENERAL CONSTRUCTION NOTES

- A LICENSED PLUMBER TO PERFORM ALL PLUMBING WORK.
- A LICENSED ELECTRICIAN TO PERFORM ALL ELECTRICAL WORK.

CONSTRUCTION LEGEND

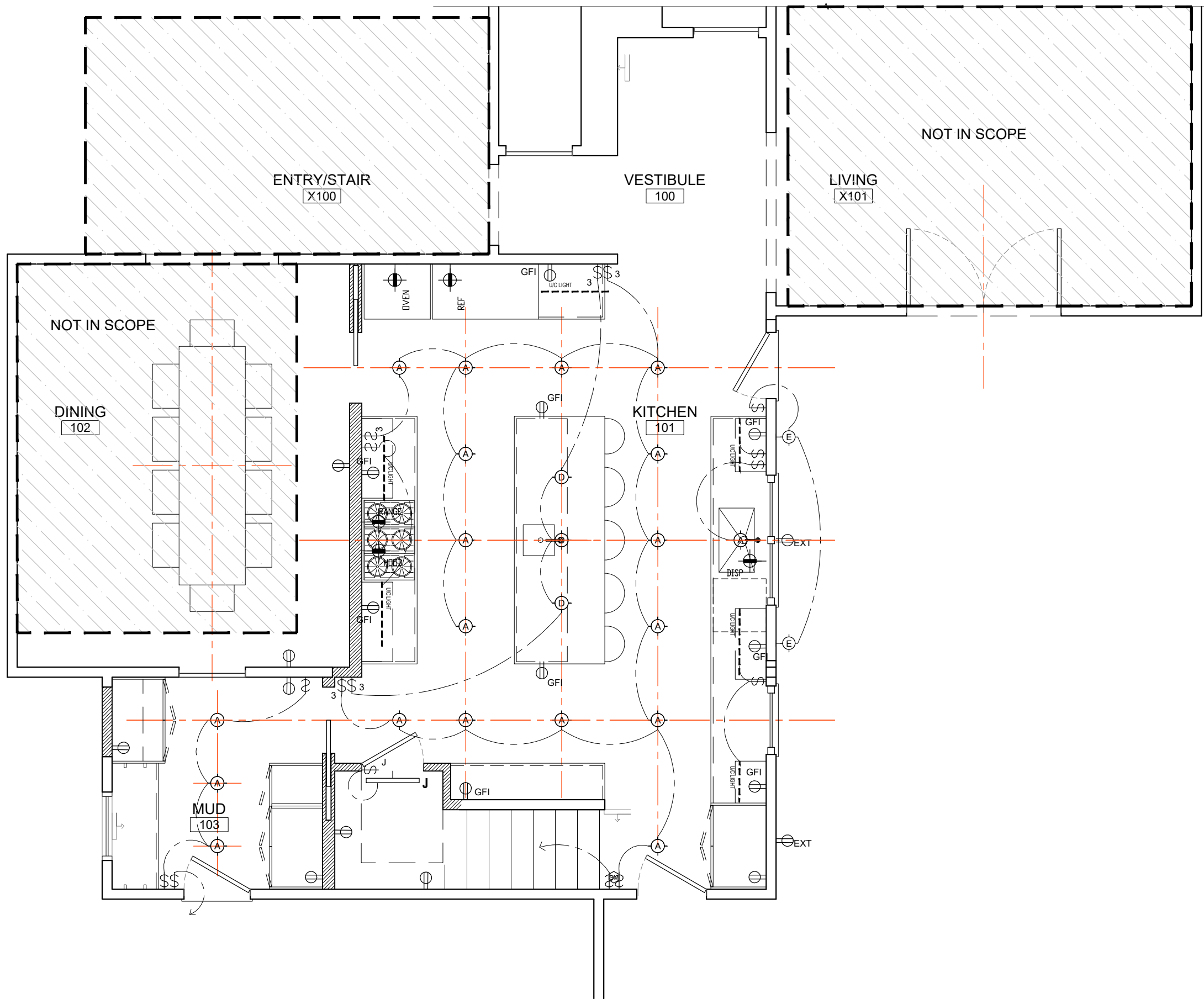
- EXISTING WALL OR PARTITION
- NEW PARTITION OR WALL FURRING
- COSMETIC WORK ONLY
- NEW CUSTOM BUILT MILLWORK
- CEILING MOUNTED COMBINED CARBON MONOXIDE AND SMOKE DETECTOR

DEMOLITION LEGEND

- EXISTING WALL OR PARTITION
- WALL TO BE REMOVED
- LIMITED SCOPE OF WORK

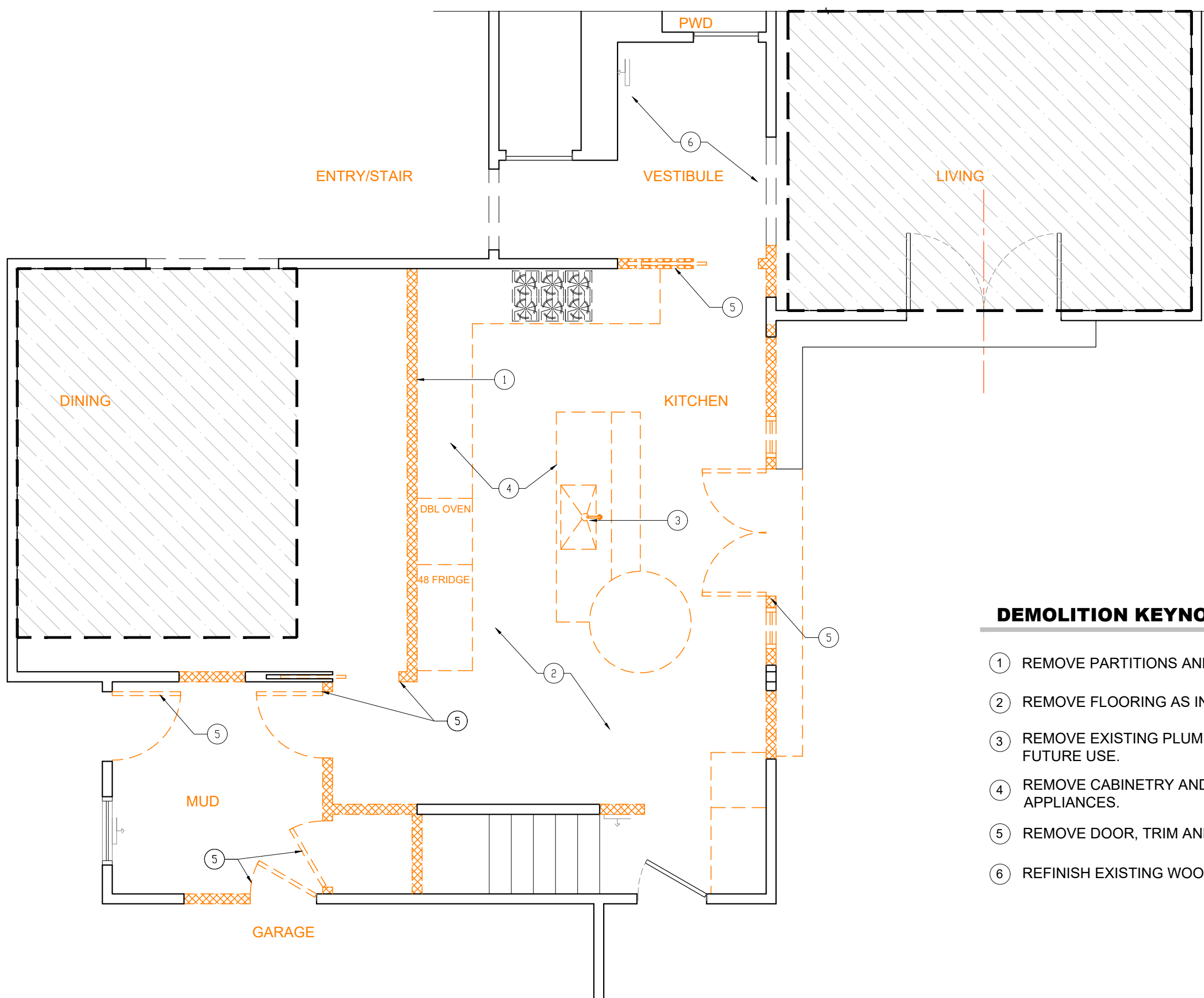
DEMOLITION NOTES

- ANY DAMAGE TO NEW CONSTRUCTION OR EXG. CONDITIONS DURING CONSTRUCTION IS TO BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR SHALL RELOCATE, MODIFY AND/OR PATCH ANY EXIST. ITEMS INTERFERING WITH THE INSTALLATION OF NEW WORK WHETHER SHOWN OR NOT ON THESE DRAWINGS.
- CONFIRM LOCATION OF EXISTING PLUMBING AND ELECTRIC IN ALL DEMOLISHED WALLS.
- MAINTAIN INTEGRITY OF BUILDING STRUCTURE AT ALL TIMES
- MAINTAIN INTEGRITY OF ALL WATERPROOFING ELEMENTS THROUGHOUT DURATION AND AFTER COMPLETION OF CONSTRUCTION.



03 PROPOSED ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

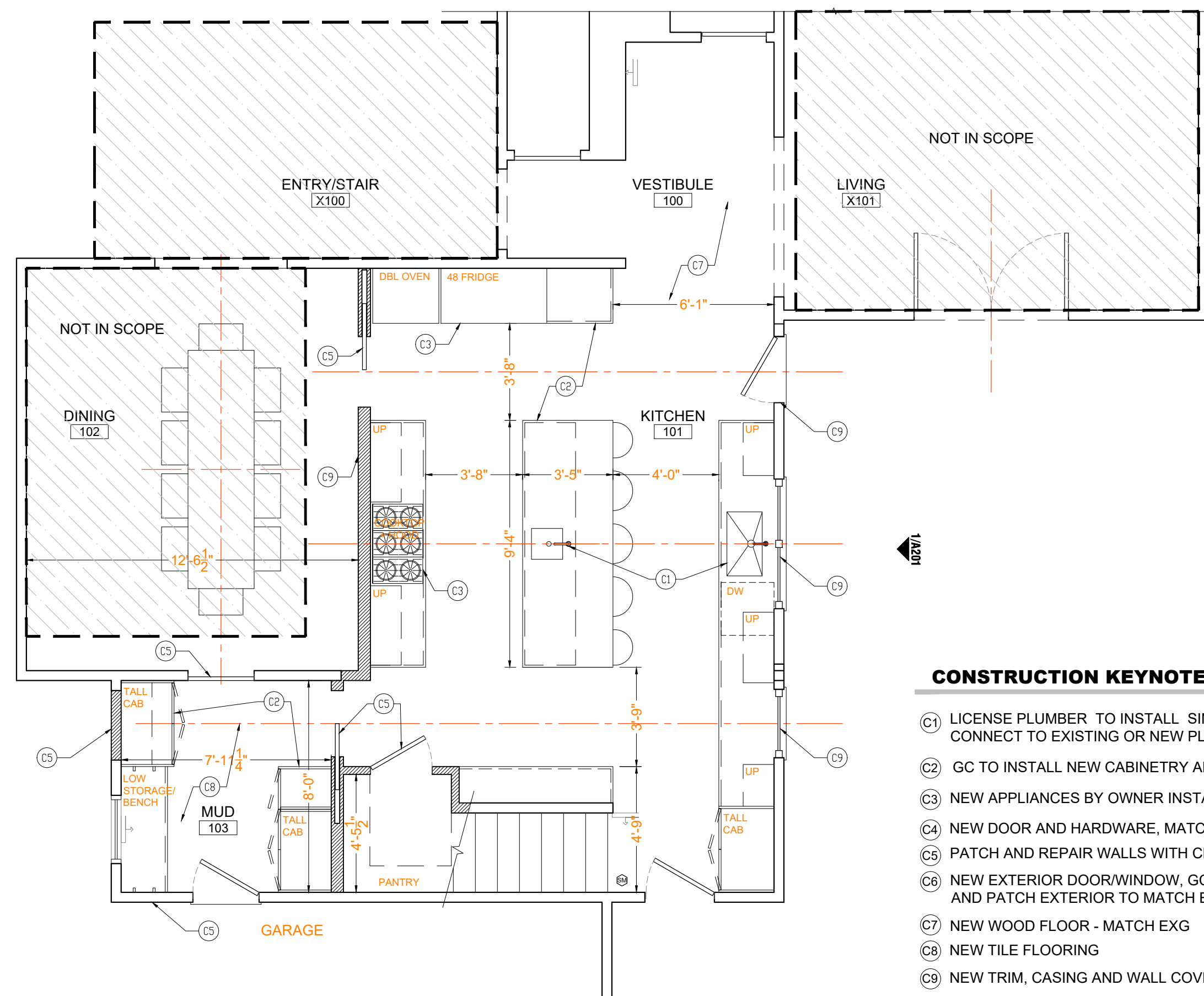


02 PROPOSED FIRST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

DEMOLITION KEYNOTES

- REMOVE PARTITIONS AND ASSOCIATED FRAMING AS INDICATED
- REMOVE FLOORING AS INDICATED, PREP FOR NEW FINISHES.
- REMOVE EXISTING PLUMBING FIXTURES, CAP CONNECTIONS AT FOR FUTURE USE.
- REMOVE CABINETRY AND COUNTERTOPS. SALVAGE EXISTING APPLIANCES.
- REMOVE DOOR, TRIM AND HARDWARE
- REFINISH EXISTING WOOD FLOOR



01 PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

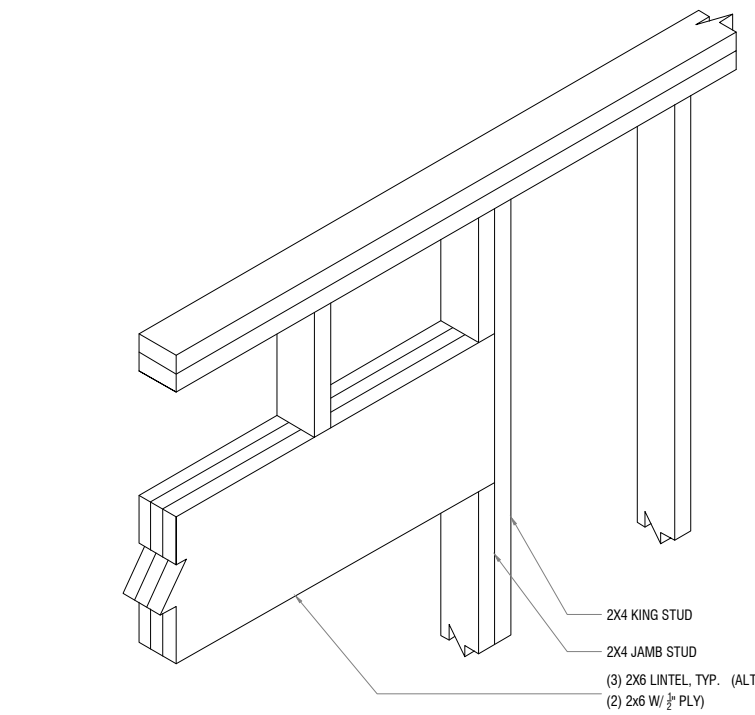
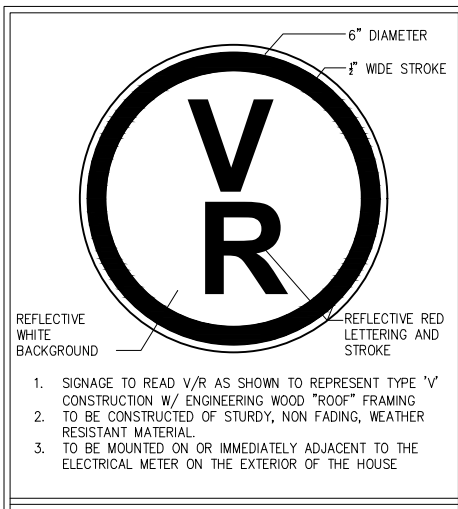
CONSTRUCTION KEYNOTES

- LICENSE PLUMBER TO INSTALL SINK CONNECT TO EXISTING OR NEW PLUMBING VENT
- GC TO INSTALL NEW CABINETRY AND MILLWORK
- NEW APPLIANCES BY OWNER INSTALLED BY GC
- NEW DOOR AND HARDWARE, MATCH EXG
- PATCH AND REPAIR WALLS WITH CLOSED CELL INSULATION
- NEW EXTERIOR DOOR/WINDOW, GC TO INSTALL WATERPROOF AND PATCH EXTERIOR TO MATCH EXG
- NEW WOOD FLOOR - MATCH EXG
- NEW TILE FLOORING
- NEW TRIM, CASING AND WALL COVERING TO REPLACE/MATCH EXG

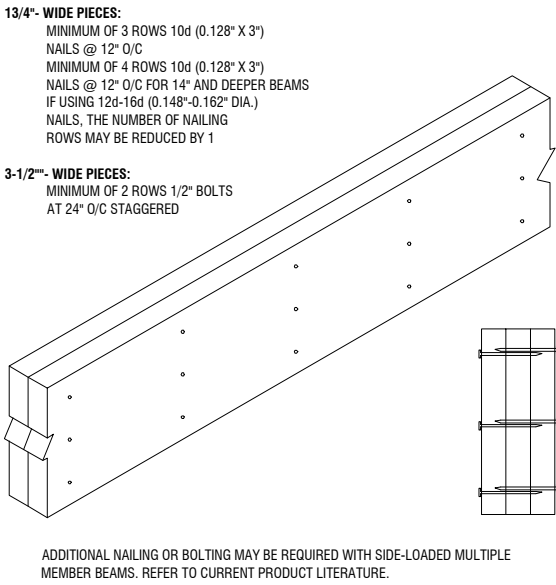
FRAMING NOTES

- General contractor shall reduce waste by optimizing ordered lumber material to the actual amounts required according to plans or other documents. General contractor shall establish and submit a detailed lumber order as a record to the project.
- All wooden framing members shall be fsc-certified, reclaimed or finger-joint studs. All sheathing shall be fsc-certified, reclaimed or contain a minimum of 25% postconsumer recycled material. Framing members shall be structural grade #2 or better.
- All wood shall comply with the u.s. Department of commerce american lumber standards simplified practice and grading requirements of a recognized association under whose rules the lumber is produced.
- Wood shall be from live stock, thoroughly seasoned, well manufactured and generally free from warpage that cannot be corrected by bridging or nailing.
- Sizes of wood members are nominal sizes. All lumber shall be surfaced on four sides, unless noted otherwise.
- Moisture content of lumber shall not exceed 19 % at the time of construction.
- All plan dimensions are to outside of framing members and centerline of openings. Verify all rough openings with window and door schedule.
- All exterior walls, and interior partition walls shall be 2x4 stud construction at 16" o.c. Typical. All other interior partition walls shall be 2x4 stud construction at 16" o.c. Typical. Walls shall have single shoe and double top plate.
- Joist hangers shall be used at all flush-framed floor joists. Joists overlapping at a supporting beam, shall overlap 3" minimum.
- Provide metal bridging at 1/3rd points on all floor joists. Blocking should be spaced 4'-0" o.c. Minimum and 8'-0" o.c. Maximum.
- Double floor joists or blocking shall be provided below all interior partition walls.
- Structural members shall not be impaired or undermined by improper cutting or drilling.
- Corners shall be framed as 2-stud corners and allow for full corner insulation through the use of drywall clips, horizontal nailers or other means to support drywall.
- The intersection of exterior and interior walls shall be framed such that insulation is continuous in the external wall through the use of advanced ladder-j-wail framing or other technique.
- Exterior and bearing wall construction shall include adequate resistance to wrecking by the use of corner bracing or anchorage of structural sheathing to plates.
- Install girder members with joints over supports, provide 1/2" airspace at ends and sides of girders framed into masonry or concrete. Wood shims under the ends of girders shall not be permitted.
- Minimum bearing of joists framed into masonry shall be 4".
- Joists extending over bearing partitions or beams may be butted and tied together, or nailed together with a min. overlap of 4".
- Framing shall not include jack studs to support header. Header hangers or other support as required by code shall be used. If req'd, add 2x2 nailer flush to the exterior of window opening to provide nailing surface for siding.
- Window and door headers in exterior walls shall be framed with at least 1/2 inch of rigid foam insulation between the members. Boased headers with insulation butts are also acceptable.
- Non-load bearing walls shall not have structural window and door headers.
- Roof rafters and ceiling joists shall align within 2 inches of exterior wall studs such that a single top plate can transfer loads to the wall framing.
- Sheathing shall be installed with gaps no larger than 0.25 inch and provide complete coverage.
- Plywood shall comply with all applicable standards of the apa (american plywood association) and shall not contain urea-formaldehyde.
- Exterior type hardwood plywood, "technical" or "type 1", may be used for any part of the structure.
- Structural interior type, "truc-ht", plywood may be used for all interior work and exterior work not directly exposed to the weather.
- Interior plywood, "int." or "type 2" may be used for interior work, except bathroom and shower enclosures.
- Roof sheathing: 3/4" exterior grade "technical" plywood nailed at 12" o.c. With galvanized 10d common nails.
- Floor sheathing: 3/4" structural "truc-ht" plywood nailed at 12" o.c. With 10d common nails.
- Exterior wall sheathing: 1/2" exterior grade "technical" plywood nailed at 6" o.c. With galvanized 6d common nails.
- All other sheathing: 1/2" interior grade "int." plywood nailed at 6" o.c. With 6d common nails.
- Frame all rafters opposite each other at ridge with ties or ridge board. The depth of the ridge board shall be no less than the cut of the rafters.
- All door headers (8'-0" span and under) shall be vertical 2x6 w/ 2" plywood core nailed 6" o.c. staggered w/ (2x) 2x king and jack stud.
- *"Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance With Title 19 NYCRR Part 1205) effortant and note on plan for all projects with engineered lumber and/or truss construction must be placed as per NYSDOSR.

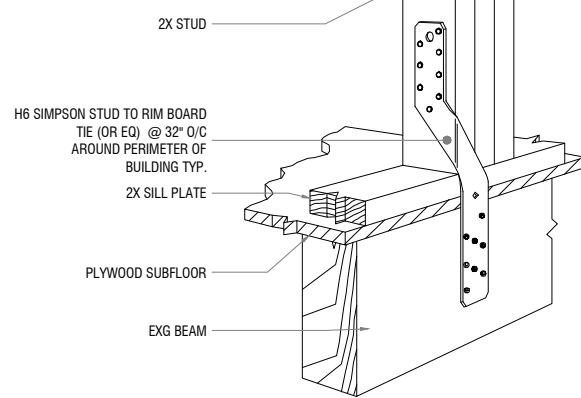
TYPE V ANY MATERIAL ROOF CONSTRUCTION



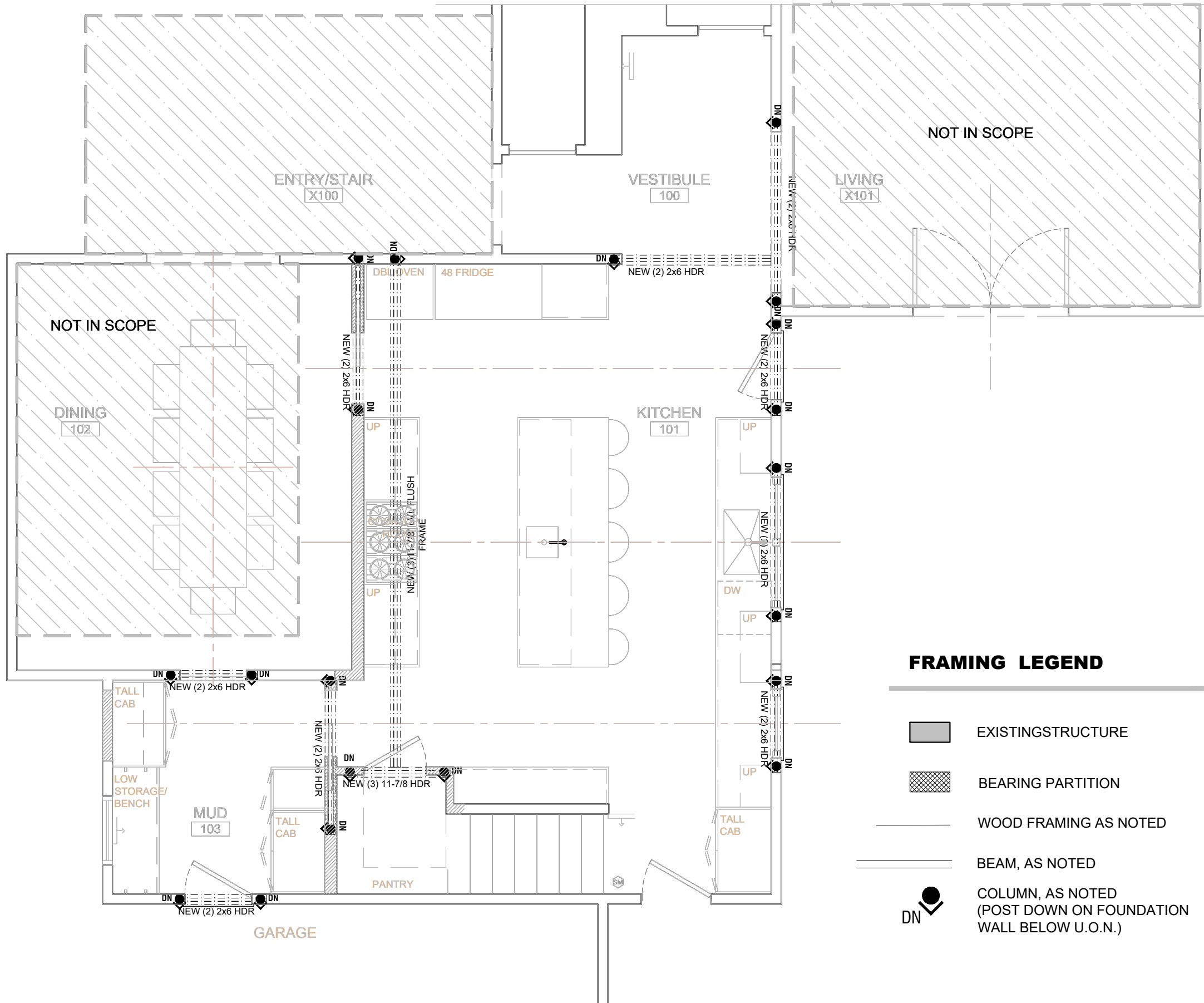
A TYP HEADER DETAIL (6' SPAN MAX)
SCALE: NTS



B MULTI MEMBER LVL DETAIL
SCALE: NTS



C TYP LOAD TRANFER @ COLUMN SUBFLOOR/BEAM
SCALE: NTS



01 PROPOSED FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'0"

FRAMING LEGEND

- EXISTING STRUCTURE
- BEARING PARTITION
- WOOD FRAMING AS NOTED
- BEAM, AS NOTED
- COLUMN, AS NOTED (POST DOWN ON FOUNDATION WALL BELOW U.O.N.)

02 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'0"

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PROPOSED
ELEVATION / FRAMING
PLANS

A200