

WILLIAM P WITT ARCHITECT PLLC

268 Route 202 Somers NY 10589
914-276-0225

To: Building Department
Village of Irvington, NY.

Date: 04/03/23

Re: Building permit application & Architectural Review Board
Gordon Residence
3 Emory Rd. Irvington, NY.
Sheet 2.10, Block 57, Lot 12

Attached please find (3) copies of the drawings, photos of the existing house and photos of neighboring properties. A check for \$2,625 which is based on a cost of work totaling \$130,000 & (4) inspections.

We were unable to complete the online permit application due to the system being down and will submit as soon as possible.

Project description

The proposed project is an interior alteration. The kitchen, powder room, mudroom and primary bathroom will be renovated. No increase in the buildings footprint or lot coverage is proposed. The kitchen window and exterior door at the rear of the house will be replaced in similar locations with all exterior materials and colors matching the existing house.

Please let me know if you have any questions.

Sincerely,
Bill Witt



#3 EMORY RD
FRONT PHOTO



#3 EMORY RD
REAR PHOTO

#3 EMORY RD
LEFT SIDE PHOTO



#3 EMORY RD
RIGHT SIDE PHOTO





REAR YARD PHOTO
+ 3



#8 CIRUS FIELD



#14 LEWIS RD



#1 EMORY RD.



246 HARMAN RD



12 LEWS RD

GENERAL SPECIFICATIONS

DIVISION I - GENERAL CONDITIONS

- 1.1 Scope of Work: Provide all labor, materials and equipment required to complete all work shown on drawings and work required for a fully completed job. All materials and workmanship shall be of the best quality. The specs below and plans included are set up as general limits and minimum standards for the scope of work so that the form and structural requirements are clearly established.
- 1.2 Code Compliance: All work and materials shall conform and comply with the current versions of the following authorities & codes:
2020 Residential Code of NYS
2020 Energy Conservation Construction Code of NYS w/ 2020 NYStretch Code as adopted.
2020 NYS Residential Plumbing Code
2020 Fine Code, 2020 Mechanical Code & 2020 Fuel Gas Code of NYS
2020 Existing Building Code of NYS
National Electrical Code NFPA 70 2017 EDITION
Village of Irvington Municipal Code

- 1.3 Work in Cold Weather: No work with materials containing water shall be carried out during unreasonably cold weather.
- Such work may be started when temperature is 28 degrees F and rising, and shall be stopped when temperature is 34 degrees F and falling. Furthermore, during such cold weather conditions the following precautions shall be taken:

- a. Water shall be heated and kept warm.
- b. Sand shall be heated and kept warm.
- c. An anti-freeze such as "Euco" made by Euclid Chemical Co. "Tri-Mix" by Sonnenborn, or "No Freeze" by Horn shall be added to the mixture in proportions as recommended by the manufacturer.
- d. Material shall be placed as soon as possible and shall not be permitted to get too cold.
- e. No material containing ice or frozen parts shall be used.

Furthermore, all work shall be protected against cold weather or frost by means of hay, straw, canvas, "salamanders" or other approved methods. Work damaged by cold weather or frost will not be accepted.

- 1.4 Permits: The contractor is responsible for obtaining any and all permits including the general permit from the local building department. Construction trade shall be responsible for obtaining permits relevant to their respectable trades (i.e. UL - electrical permits and inspection; plumbing permits and inspections if applicable), final payment shall be subject to the contractor providing the owner with a Certificate of Occupancy upon completion of the job.

n/a DIVISION II - SITEWORK: EXCAVATION AND BACKFILL

- 2.1 General: The work under this section shall include all necessary labor, material, equipment and fees required for the proper execution of the site work as shown on the drawings and/or described herein. The work includes building (foundation) excavation, retaining walls, backfill and rough grading.
- 2.2 Ordinances: All work shall be in conformance with all applicable codes and ordinances and shall be executed in a workpersonlike manner.
- 2.3 At no time shall bulldozers, trucks or other heavy equipment be permitted to approach foundation walls, grade beams and piers closer than 8 feet, unless walls and piers are braced and/or floor beams and joists are installed.
- 2.4 Footing Trenches: Excavate for all footings and proper subgrades. Bottom of all footings shall be level and kept free of standing water at all times. All footings shall be excavated to minimum depths shown on drawings. All footings shall be set on virgin soil with a minimum bearing capacity of 2,000 P.S.F.
- 2.5 Where footings are stepped, bottoms to be stepped not more than two feet vertical to four feet horizontal.
- 2.6 Where rock is encountered, the contractor shall notify the architect immediately. The contractor shall expose all areas cleanly for inspection. The architect and his structural consultant will advise the contractor of the measures for construction.
- 2.7 Backfill is to be comprised of clean earth, free from any wood or debris.

- 2.8 Backfill and subgrades below slabs shall be placed in 6" lifts and to be compacted at every lift. Areas under concrete slabs to be backfilled shall be fully compacted to 95% of proctor density with power tamper. All other backfill to be placed in 12" lifts and compacted at every lift.
- 2.9 Do not backfill against foundation walls until the concrete has achieved design strength and/or until first floor framing is secured.
- 2.10 Finish grade is to slope away from the building on all sides and to follow grading plans if provided.
- 2.11 Termite and pest control: Provide a continuous fiberglass seal in between p.t. sill plates and top of foundation walls.

DIVISION III - CONCRETE

- 3.1 General: Work includes concrete footings, foundation walls, grade beams and piers, slabs on grade and all concrete work indicated on drawings or as hereinafter specified.
- 3.2 Concrete: "Ready-Mix" product, proportioned to produce a min. 3,000 psi comp. strength concrete for use in found. walls, footings, grade beams and piers and interior floor slabs. Min. 3,500 psi comp. strength concrete shall be used for all horizontal surfaces exposed to the weather including: porches, steps, walks and garage floor slabs, batched at a central plant; and transported dry to the site. Water for a four inch (4") slump shall be added at the job site and mixing carried out for fifteen (15) minutes.
- 3.3 Slabs on Grade: All floor slabs on grade shall be four inches (4") thick with 6x6 #10 mesh reinforcing, steel trowel finish. (At the owners option, garage slabs shall be (5") thick with 6x6 #10 mesh reinforcing).
- Subgrades shall be maintained eight inches (8") below finish floor. Over entire area of subgrade, fill with minimum four inches (4") compacted bank run gravel and sand topping to eliminate protrusions. Provide a 6 mil polyethylene film vapor barrier over the sand topping with 6" lap at joints.
- 3.4 Steel Reinforcing: Provide reinforcement for all footings where indicated on drawings. Consult architect if soil bearing capacity does not have a minimum bearing capacity of 2,000 P.S.F., or if footings are set on fill and rock, for steel reinforcing requirements.

DIVISION IV - MASONRY

- 4.1 General: The work required under this section consists of all masonry work related items necessary to complete the work indicated on drawings and specified herein and/or as required by job conditions.
- 4.2 Concrete Block:
n/a
- a. All concrete block at below grade conditions shall be standard 60% solid 8" high x 16" long units in widths indicated on drawings. Blocks shall extend from top of footings to 8" above finished grade, or as indicated on sections and details.
- b. Provide square finished end blocks at all ends of block walls above grade.
- c. All block shall be laid in running bond, reinforced every second course with 9GA galvanized wire "Dur-O-Wall" reinforcing.
- d. Provide a raked joint at all exposed concrete block.

DIVISION V - METALS

- 5.1 General: Steel construction shall conform to AISC Manual of Steel Construction, 9th Edition.
- 5.2 Material: All structural steel shall conform to ASTM A-36. Columns shall be 3" I.D. tube columns with sizes and locations indicated.
- 5.3 Anchor bolts: shall be A36 or A307 steel, placed in all foundation walls, set up high to attach the sillplates as indicated on sections and details. See sections for locations of bolts for proper alignment with wood plates. If masonry is used, fill top of all block walls solid. The top of all foundation walls shall receive 1/2" round x 12" long anchor bolts, in concrete and 16" long in masonry, 4'-0" O.C., maximum 1'-0" from corners and a minimum of two bolts in each plate. Minimum anchor bolt embedment into concrete shall be 7" as per R403.1.6
- 5.4 All structural steel shall be shop painted with gray zinc chromatic primer 2.0 mils thick.
- 5.5 Provide shop drawings for all structural steel to architect for approval prior to ordering steel.

DIVISION VI - WOOD

- 6.1 Rough Carpentry
- Materials:
- a. Framing Lumber: All first floor sill plates shall be construction grade. "S.Y.P." pressure treated minimum Fb=1550 psi. All other framing shall be construction grade "Doug. Fir," No. 2 and better, with a minimum Fb of 1000 psi and a maximum moisture content of 19%
- b. Cross bridging: "Doug. Fir," No. 2 and better construction grade, 5/4 x 3, 8' x 0" maximum O.C. in all floor and roof framing.
- c. Subfloor sheathing shall be one layer 3/4" T&G CD interior plywood glued and screwed to floor joists as per manufacturers specs.
- d. Roof sheathing shall be 5/8" CDX; wall sheathing shall be 5/8" CDX plywood.
- e. All sheathing shall have a panel span rating of 32/16. Panel grades shall be APA rated "Sturd-I-Floor" for subfloors.
- f. Face grain of plywood to be perpendicular to joists and studding, with staggered joints. Provide clips where necessary.
- g. Wall studs: shall be 2x6 16" O.C. for exterior walls and 2x4 16" O.C. for interior partitions, or as noted otherwise.
- h. Rafters and floor joists shall be sizes, spans and locations as indicated on framing plans.
- i. All LVL beams indicated on framing plans shall be as manufactured by "Weyerhaeuser"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.
- j. All engineered framing members indicated on framing plans shall be as manufactured by "Weyerhaeuser"; sizes, spans and locations shall be as indicated on framing plans. Installation, nailing and the use of framing connectors shall be in accordance with the manufacturer's recommendations.

Workmanship and Construction:

- a. All partitions to have single shoe and double cap plates, double studding around all openings, at corners and properly trussed across all openings. Corners for all rooms to be framed solid for interior finish. Wood cats shall be placed between studs in all bearing partitions and those over 8' high.
- b. Beams and girders: Three-inches (3") minimum bearing over all supports. All headers and tail beams not supported by wood ledgers shall rest on metal hangers, "Teco" or equal. Splice over supports.
- c. Provide solid post or solid studding below all beams and girders at bearing points. Provide single jack studs at all openings to support headers.
- d. Set all beams, girders, joists and rafters with natural crown up.
- e. All wood plates and sills in contact with concrete shall be pressure teated, S.Y.P.
- f. Nailing: All perimeter (exterior) walls and interior bearing walls studs, jack studs and posts, shall be toe-nailed to sole and cap plates with three 16 penny nails, one nail on one side and two on opposite. Double end nailing is permitted to set partitions and can remain on non-bearing interior walls only.

6.2 Finish Carpentry

MATERIALS

- a. Exterior siding shall be cedar clapboard siding to match existing. Color as selected by owner or to match existing. Provide owner w/ samples prior to installation.
2. Exterior non-sided areas (panels, soffits, underside of cantilevered projections) shall be 1/2" osb panels or to match existing.
- b. Exterior trim, bases and fascias shall be 1x & 5/4x primed cedar or Azek to match existing as noted on drawings.
- c. Interior trim around doors, windows and base shall be as indicated on drawings and general notes or to match existing as selected by owner.
- d. Wood strip flooring shall be oak plank 2 1/4" x 3/4" thick oak or as indicated on plans Laid over building paper in all areas of new work except bathrooms and utility rooms, or as indicated on drawings. (verify w/ owner) Match existing oak grade & allow for proper acclimation & installation to reduce chance of gaps. Protect existing oak flooring at all areas of work w/ ram board or approved equal.
- Workmanship:
- a. Work shall be accurately and neatly done, properly plumbed, squared or leveled with tight joints.
- b. Exterior hardware and all exterior nails shall be galvanized or of non-ferrous rust-resistant metal. Countersink nails and set nails in putty where face nailing is required. All nailing shall be blind wherever possible.

6.3 Wood Decks: n/a

Materials: All lumber for deck framing shall be decay resistant, pressure treated Southern Yellow Pine or equal, with a minimum of 1550 psi stress grade. All rails shall be as indicated on drawings. All decking shall be 5/4" X 6" Trex transcend decking. All components of railing & deck to be finished in color as selected by owner.

Workmanship and Construction:

- a. All framing not resting on wood leaders shall rest on metal hangers, "Teco" or equal.
- b. Decking members shall be installed with a "Finish-Nail" thickness separation to allow drainage of water and shrinkage.
- c. Deck railings shall have a minimum height of 3'-0". Spacing between railing members shall not exceed 3.9'.
- d. No framing or finished wood shall be within 8" of finished grade.

DIVISION VII - THERMAL AND MOISTURE PROTECTION

- 7.1 Dampproofing: All foundation walls below grade shall be treated "Tuff N Dri" spray-on membrane by Owens/Corning. Follow manufacturer's instructions strictly for application. Provide a 1" thick protection board between membrane and earth. Material shall not extend above finished grade, and shall extend down to bottom of footing.
- 7.2 Insulation: Shall be fiberglass batt-foil in the following thickness:
Closed cell spray foam of matching R values may be substituted.
- a. Exterior walls: Fiberglass Batt (R-15) @ exist. 2x4 walls & (R-21) @ exist. 2x6 walls. exposed during renovation or spray foam equiv. at R-6.5 per inch closed cell
- n/a b. Roof / Clg: (R-49) Batts or spray foam equiv. at R-6.5 per inch closed cell
- n/a c. Floor: Fiberglass Batt 9" thick (R-30).
- n/a d. Slab edge: rigid board, 24" long with a minimum R-10 rating.
- 7.3 Roofing: Shall be GAF Lifetime shingles as selected by owner. Roof shingles shall be set above 15# felt building paper. Also install "GAF Weatherwatch" waterproof underlayment along all eaves, valleys and crickets for a distance of 6'-0" from lowest edge up sloping portion of roof. Install in accordance with manufacturers instructions.
- n/a

- 7.4 Flashing: Flash all hips, valleys, projections through roof, intersections of roof and vertical surfaces, including drip and rake edges, and any other conditions shown on the drawings or requiring flashing. Finished surfaces shall be copper to match existing finish or as otherwise indicated on drawings.

(All flashing, i.e., drip and rake edges, counter flashing, etc., shall be aluminum or copper as called out on drawings. All seams shall be soldered and shall have a minimum overlap of 6". All flashing along drip and rake edges shall be secured to roof cross framing & shall extend a minimum of 18" under the roof shingles. All exposed drip and rakes shall have a maximum of 1 1/4" exposure along the fascias.)

- 7.5 Sealants: Provide sealant around all doors, windows and other openings for a water-tight condition. Sealant shall be gun grade gun consistency. Color to be selected by architect.
- 7.6 Air Infiltration Barrier: All exterior walls shall be wrapped with "Tyvek" air infiltration barrier as manufactured by "Dupont". Follow manufacturer's instructions for installation.
- 7.7 Ridgevents shall be "Cor-Vent" corrugated plastic installed in strict accordance with manufactures directions ready to receive capshingles or equal. Vents shall run continuous across ridges to within 6" of ends.
- n/a 7.8 All soffit vents shall be material as noted on drawings or to match existing.
- 7.9 Install 1/2 round metal gutters and leaders at front porch only. leader to extend to splash blocks and or existing grawl.
- n/a

DIVISION VIII - DOORS AND WINDOWS

- 8.1 Interior Doors: The contractor may have doors pre-hung if he coordinates each door type. Doors shall be (6) panel prehung solid pine or composite to match existing in sizes as indicated on plans. Provide 1 1/2 pair butts on each door.
- 8.2 Windows : Sizes and types as shown on the drawings. All glazing shall be low-e insulated glass, units shall be equipped with screens and hardware for locking and operation. Units shall be in sizes and models as indicated on plans. Wood / clad units shall be as manufactured by "Andersen", and shall be finished as selected by owner.
- 8.3 All doors and windows with glazing less than 18" AFF shall be tempered glass.
- 8.4 French Doors: Shall be glazed with tempered, insulated glass complete with locks Wood / clad units shall be as manufactured by "Andersen", and shall be finished as selected by owner.

DIVISION IX - FINISHES

- 9.1 Gypsum Board: Gypsum board shall be 1/2" gypsum board, tapered edge. Provide "Dur-O-Rock" behind any ceramic tile in wet areas.

Provide a three coat compound and sanding finish over all gypsum board areas in preparation for paint and/or other finish.

- Provide 5/8" firecode "C" Gypsum board in areas where fire-rating as required, in thickness of one layer for one hour wall and two layers for two hour walls.

- 9.2 Ceramic Tile: Install owner supplied ceramic tile at areas indicated on plans. Tile shall be in sizes as selected by Owner, and installed over 1/2" plywood underlayment laid over 3/4" plywood subfloor. Set tile in a setting bed and grout according to manufacturer's installation instructions. A one-part mildew-resistant silicone sealant shall be applied over tile in non-traffic areas. A multi-part pourable urethane sealant shall be used in high-traffic areas. Contractor may elect to install tile over reinforced cement mud job as an alternate.

- 9.3 Marble Thresholds: Shall be ASTM C 503 and as follows: Color to be white with a honed finish. Classification to be "Group A" as per the M.I.A. soundness classification.

- 9.4 Painting and Staining: (if included)

Materials: Unless otherwise specified, exterior stain or paint shall be manufactured by "Benjamin Moore". Stain or paint of all exterior surfaces, including trim, doors, windows, fascias, soffits, columns, railings shall be selected by the owner.

Workmanship and Construction: Contractor shall furnish and lay drop cloths in all areas where painting is done and shall protect floors and other work from damage during the process of this work. Oily rags and waste must be removed from the building at the end of each work day. Upon completion of work, the painter shall clean off all paint spots from glass, hardware and other items not to be painted, and clean the windows thoroughly.

Painting contractor is responsible for all putty work and finish sanding.

a. Interior: It is the intention of this specification to require two (2) coats of paint or stain to all unfinished surfaces inside the building, the taping of all sheetrock surfaces, and painting of the same as indicated. Interior trim around doors and windows, and base trim shall receive (2) coats of semi-gloss latex paint.

Interior Flooring and Stairs: Interior wood finish flooring shall receive (1) coat of stain under (1) coat of sealer under (2) coat of polyurethane. Interior stairs and handrail will receive (1) coat of stain (in color to match finish flooring if present, or as selected by Owner) under (2) coats of polyurethane.

DESIGN LOADS <small>(for areas of new construction)</small>	
GROUND SNOW LOAD	30 psf.
LOWER FLOOR LIVE / DEAD LOAD	40 / 12 psf.
UPPER FLOOR BED. LIVE / DEAD	30 / 12 psf.
UPPER FLOOR OTHER LIVE / DEAD	40 / 12 psf.
ROOF LIVE / SNOW LOAD	30 / 15 psf.

DIVISION X - SPECIALTIES

- 10.1 Mirrors: Shall be supplied by owner and installed in areas shown and in sizes as indicated by plans. Material shall be 1/4" thick polished plate with polished edges and properly glued to surface.
- 10.2 Accessories: Install owner supplied bathroom accessories. at locations verified in field.

DIVISION XI - MECHANICAL

- 11.1 Plumbing: It is the intention of this specification to require connection to the existing water supply and waste water evacuation system. The contractor shall supply and install the equipment, fixtures and fittings as selected by the owner and located on the drawings in full conformance with the applicable local and national plumbing codes. Contractors shall supply certificates of inspection and compliance to the owner upon completion.
- All new plumbing fixtures to be located in compliance w/ section R307 of the Residential Code of NYS.
- 11.2 Heating: (see suplimental instruction to bidders for detailed HVAC requirements. Provide heating to all new finished area's to comply with section R303.8 of the Residential Building Code of the State of New York.

HVAC NOTE:
All mechanical / HVAC work to be filed separately by mechanical sub contractor. (Verify submission req'ts.)

DIVISION XII - ELECTRICAL

- 12.1 It is the intention of this specification to require connection to the existing electrical system as per the fire Prevention and Building Code or any agency having authority. The systems and each of its components shall conform to all applicable codes. All equipment and fixtures shall be selected by the owner. The contractor shall supply the owner with certificates of inspection and compliance upon completion. All required panels and subpanels are assumed to be included.

ENERGY STATEMENT

To the best of my knowledge, belief and professional judgement, such plans and specifications are in compliance with the current version of the 2020 Energy Conservation Construction Code of NYS w/ prescriptive energy requirements of the 2020 NYStretch Code as adopted.

GENERAL NOTE

Not all portions of this specification may be applicable to the proposed project. Contractors to verify any and all discrepancies with Architect prior to submitting contruction proposal.

SMOKE / CARBON MONOXIDE DETECTORS

Provide & install hard wired, interconnected smoke detectors and carbon monoxide detectors to all portions of the residence as required by current version of the New York State Residential Building Code or any other applicable code.

ARC-FAULT PROTECTION:
Arc-Fault circuit-interrupter protection shall be provided as per E3902.16 of the 2020 Residential Code of NYS

OCCUPANCY & CONSTRUCTION TYPE:
Occupancy classification: R-3 existing & proposed
Construction Type: 5b existing & proposed

DRAWING LIST

SHEET	TITLE
A-100	SPECIFICATIONS & GENERAL NOTES
A-101	FOUNDATION PLAN
A-102	FIRST FLOOR PLAN
A-103	SECOND FLOOR PLAN
A-201	REAR ELEVATION
A-301	PLAN DETAILS & INTERIOR ELEVATIONS
E-101	FIRST FLOOR ELECTRICAL PLANS
X-101	EXISTING FIRST FLOOR PLAN

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA	
GROUND SNOW LOAD	30 psf
WIND DESIGN	
WIND SPEED	115-120 mph
TOPOGRAPHIC EFFECTS	NO
SPECIAL WIND REGION	YES
WIND-BORN DEBRIS ZONE	NO
SEISMIC DESIGN CATAGORY	C
SUBJECT TO DAMAGE	
WEATHERING	SEVERE
FROST DEPTH	42"
TERMITE	MODERATE/HEAVY
WINTER DESIGN TEMPERATURE	0°- 10°
ICE BARRIER UNDERLAYMENT REQUEIMENT	YES
FLOOD HAZARDS MAP # 36119C0261F	NO
AIR FREEZING INDEX	2000
MEAN ANNUAL TEMPERATURE	51.6 °F

WILLIAM P WITT ARCHITECT

268 Route 202, Somers NY 10589
914-276-0225 Bwittarch@gmail.com

THESE DOCUMENTS ARE INSUFFICIENT FOR CONSTRUCTION WITHOUT THE SEAL AND SIGNATURE OF WILLIAM P. WITT ARCHITECT, PLLC

Project Title
Interior Alterations
GORDON RESIDENCE

3 Emory Road
Irvinton, N.Y. 10533

PROJECT SPECIFICATIONS

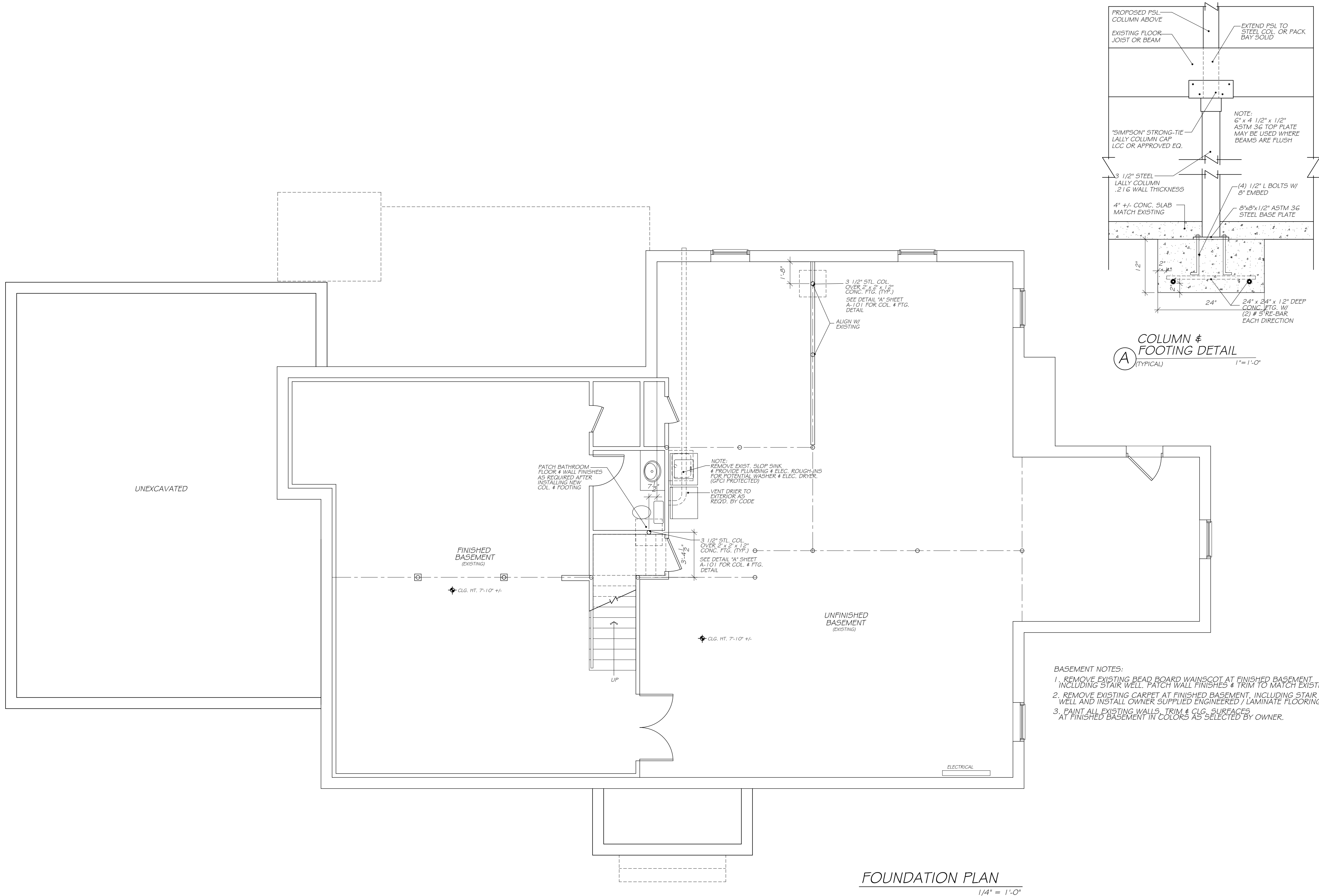
Scale NOT TO SCALE
Drawing By A.O.



Date	03/31/23
Revised	

Drawing No.

A-100



FOUNDATION PLAN
1/4" = 1'-0"

WILLIAM P WITT ARCHITECT
268 Route 202, Somers NY 10589
914-276-0225 Bwittarch@gmail.com

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GORDON RESIDENCE
3 Emory Road
Irvinton, N.Y. 10533

FOUNDATION PLAN

Scale 1/4" = 1' - 0"
Drawing By A.O.



Date	07/06/22
Revised	

Drawing No.

A-101

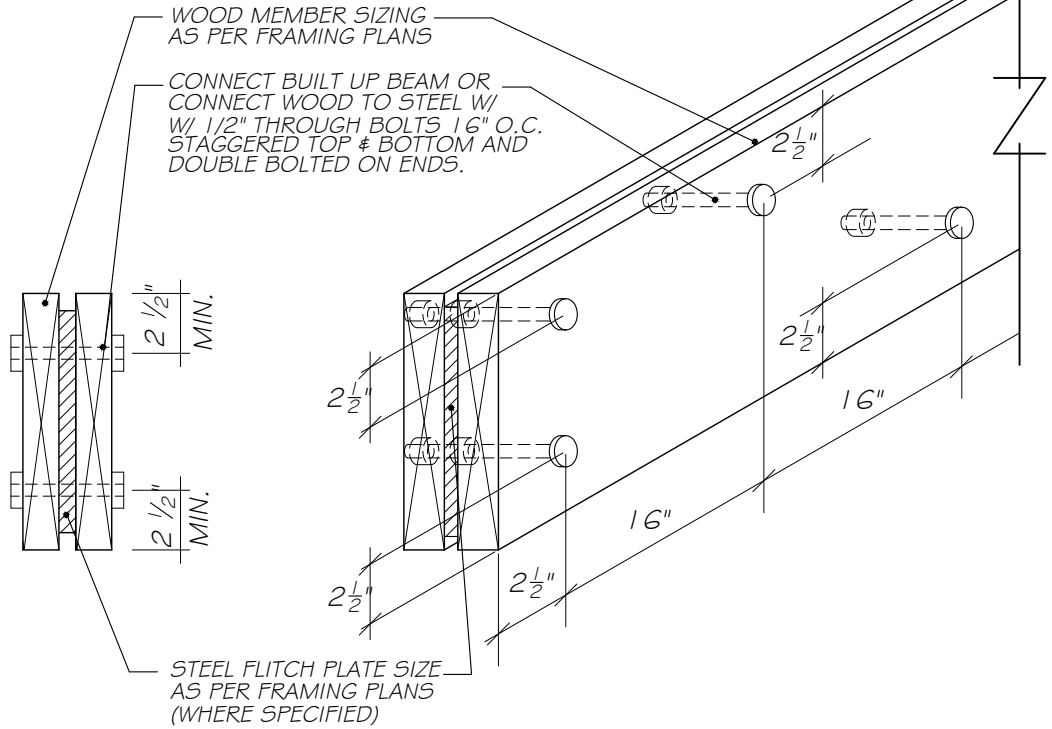
WINDOW AND EXTERIOR DOOR SCHEDULE										
WIN.	QNTY.	MFR.	TYPE	MODEL	U VALUE	SHGC	ROUGH OPENING	DIVIDED LIGHTS	LOCATION	REMARKS
A	1	ANDERSEN	CASE	CN14 - P3540 - CN14	0.25	0.31	7'-0 1/4" x 4'-0 1/2" +/-	SEE ELEVATIONS	SEE PLANS	VERIFY ROUGH OPENING PRIOR TO INSTALL
B	1	ANDERSEN	PATIO DR.	FWG60611R	0.27	0.22	6'-0" x 6'-11"			
C	1	THERMA-TRU	DOOR	S210			5'-0" x 6'-8" UNIT SIZE	↓	↓	PREHUNG (2) 2'-6" x 6'-8"

WINDOW & EXTERIOR DOOR NOTES:

- ALL NEW WINDOWS & EXTERIOR FRENCH DOORS TO BE AS MFR'D. BY "ANDERSEN" (WOOD UNITS) 400 SERIES W/ LOW-E & HEATLOCK GLASS SUPPLY AND INSTALL SCREENS (WHITE) ON ALL NEW OPERABLE UNITS. 7/8" SIM. DIVIDED LITES AS PER ELEVATIONS
- ANY NEW WINDOW OR DOOR EXTENDING LESS THAN 18" ABOVE FINISHED FLOOR MUST BE TEMPERED.
- ALL NEW WINDOWS TO BE SUPPLIED W/ HARDWARE AS REQUIRED. VERIFY TYPE & FINISH W/ OWNER PRIOR TO ORDERING.
- SEE ELEVATIONS FOR SWING ACTION OF ALL OPERABLE UNITS.
- VERIFY ALL WINDOW AND EXTERIOR DOOR OPTIONS W/ OWNER PRIOR TO ORDERING. (COLOR, GRILLS, SCREENS, AND HARDWARE TYPE & COLOR)
- CONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS OF ALL EXISTING WINDOWS TO BE REPLACED PRIOR TO ORDERING. NOTIFY ARCHITECT IF ASSUMED HEADERS ARE NOT PRESENT, UNDERSIZED OR DAMAGED.

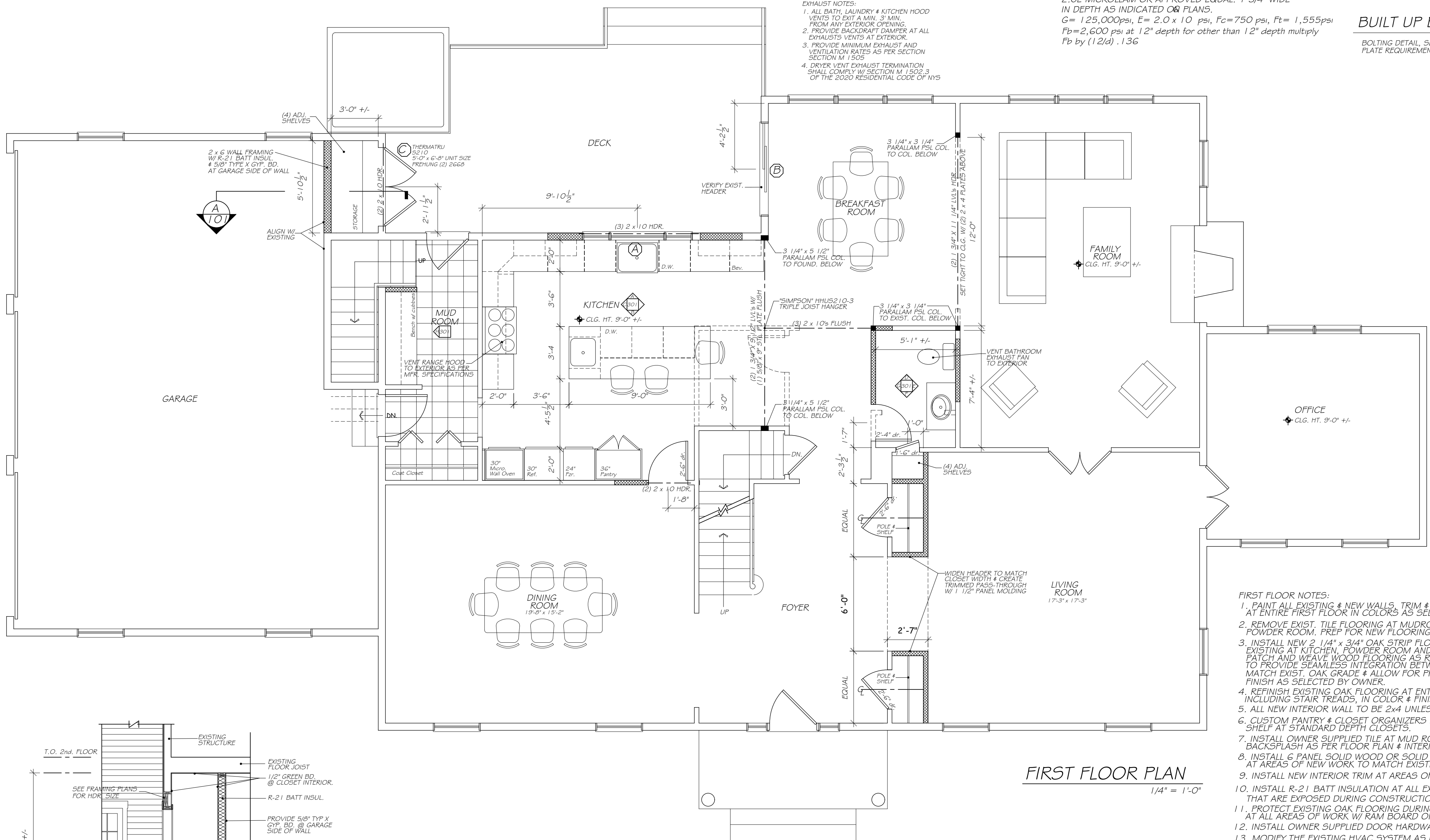
FRAMING NOTES:

- ALL FRAMING SHOWN TO PLATE LINE BELOW
- ALL HEADERS TO BE (2) 2 x 10s UNLESS NOTED OTHERWISE
- PROVIDE SOLID STUDDING @ ALL BEAMS, HEADERS, AND POINT LOADS TO FOUND.
- ALL ENGINEERED WOOD FRAMING PRODUCTS TO BE AS MFR'D. BY WEYERHAEUSER OR APPROVED EQUAL. INSTALL AS PER Mfr.'s SPECS.
- CONTRACTOR RESPONSIBLE FOR VERIFYING FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY ARCHITECT
- PROVIDE AND INSTALL REQUIRED PLACARDS @ ALL INDICATING LOCATION AND USE OF ALL ENGINEERED FRAMING COMPONENTS.
- LVL's SHALL BE AS MFR'D. BY "WEYERHAEUSER" 2.0E MICROLAM OR APPROVED EQUAL. 1 3/4" WIDE IN DEPTH AS INDICATED ON PLANS.
G= 1,25,000psi, E= 2.0 x 10⁶ psi, Fc=750 psi, Ft= 1,555psi
Fb=2,600 psi at 1 1/2" depth for other than 1 1/2" depth multiply Fb by (1 1/2d) .136



BUILT UP BEAM DETAIL

BOLTING DETAIL, SEE FRAMING PLAN FOR MEMBER SIZING & STEEL PLATE REQUIREMENTS IF ANY.



FIRST FLOOR NOTES:

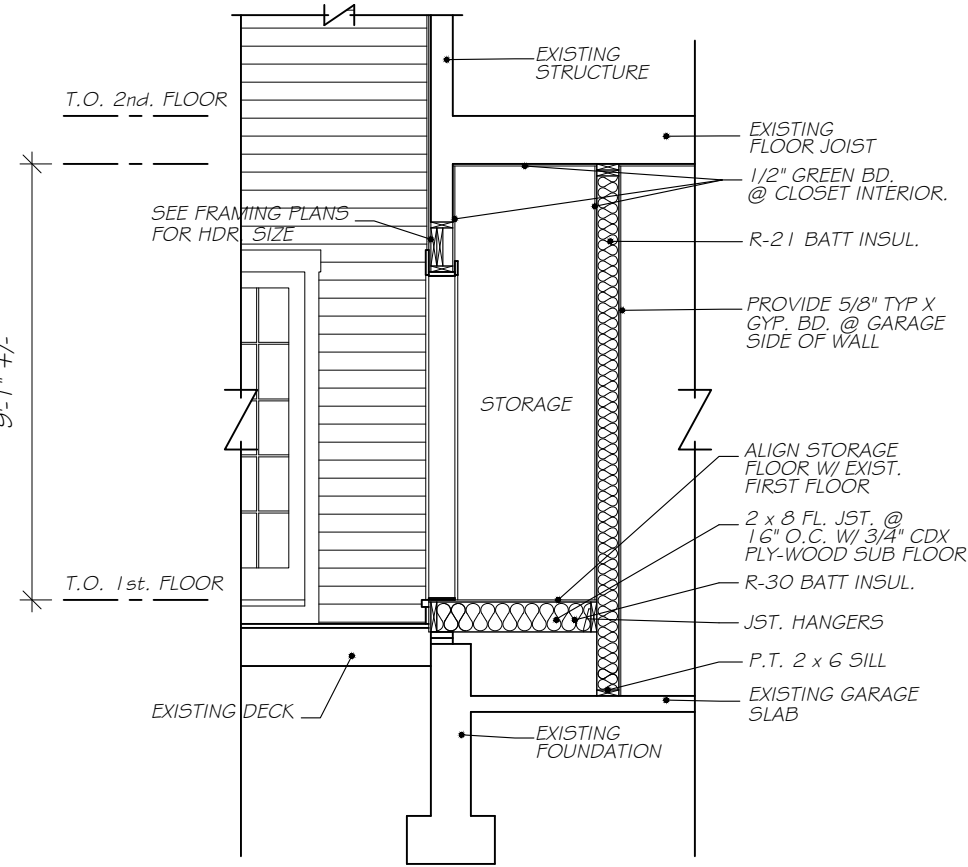
- PAINT ALL EXISTING & NEW WALLS, TRIM & CLG. SURFACES AT ENTIRE FIRST FLOOR IN COLORS AS SELECTED BY OWNER.
- REMOVE EXIST. TILE FLOORING AT MUDROOM, KITCHEN AND POWDER ROOM. PREP FOR NEW FLOORING.
- INSTALL NEW 2 1/4" x 3/4" OAK STRIP FLOORING TO MATCH EXISTING AT KITCHEN, POWDER ROOM AND AREAS REQUIRING PATCHES. PATCH AND WEAVE WOOD FLOORING AS REQUIRED AT ALL AREAS TO PROVIDE SEAMLESS INTEGRATION BETWEEN OLD & NEW. MATCH EXIST. OAK GRADE & ALLOW FOR PROPER ACCLAMATION. FINISH AS SELECTED BY OWNER.
- REFINISH EXISTING OAK FLOORING AT ENTIRE FIRST FLOOR INCLUDING STAIR TREADS, IN COLOR & FINISH AS SELECTED BY OWNER.
- ALL NEW INTERIOR WALL TO BE 2x4 UNLESS NOTED OTHERWISE.
- CUSTOM PANTRY & CLOSET ORGANIZERS BY OTHERS. PROVIDE POLE & SHELF AT STANDARD DEPTH CLOSETS.
- INSTALL OWNER SUPPLIED TILE AT MUD ROOM FLOOR & KITCHEN BACKSPLASH AS PER FLOOR PLAN & INTERIOR ELEVATIONS SHEET A-301.
- INSTALL 6 PANEL SOLID WOOD OR SOLID COMPOSITE INTERIOR DOORS AT AREAS OF NEW WORK TO MATCH EXISTING.
- INSTALL NEW INTERIOR TRIM AT AREAS OF WORK TO MATCH EXISTING
- INSTALL R-21 BATT INSULATION AT ALL EXISTING EXTERIOR WALLS THAT ARE EXPOSED DURING CONSTRUCTION.
- PROTECT EXISTING OAK FLOORING DURING DEMO & CONSTRUCTION AT ALL AREAS OF WORK W/ DAM BOARD OR APPROVED EQUAL.
- INSTALL OWNER SUPPLIED DOOR HARDWARE & LIGHT FIXTURES.
- MODIFY THE EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE INTERIOR MODIFICATIONS. NEW FLOOR REGISTERS TO BE FLUSH, OAK.
- INSTALL OWNER SUPPLIED WALL PAPER IN POWDER ROOM.
- TOUCH UP EXTERIOR PAINT AS REQUIRED AT AREAS OF NEW WORK. TO MATCH EXISTING
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. VERIFY IF EXIST. HEADS NEED TO BE RELOCATED TO ALLOW FOR INTERIOR RENOVATIONS.

FIRST FLOOR PLAN

1/4" = 1'-0"

LIGHT & VENTILATION CALCULATIONS						
ROOM	FLOOR AREA	LIGHT REQUIRED-5%	LIGHT PROVIDED	VENTILATION REQUIRED-4%	VENTILATION PROVIDED	COMPLIANCE
FIRST FLOOR						
KITCHEN	262 sq.ft.	21 sq.ft.	21.6 sq.ft.	10.5 sq.ft.	13.6 sq.ft.	YES

NOTES:
PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICACY LAMPS PER R404 OF THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.



BUILDING SECTION

1/4" = 1'-0"

LEGEND

- EXIST. FRAME WALL TO REMAIN
- NEW FRAME WALL
- EXIST. FRAME WALL TO BE REMOVED

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Interior Alterations

GORDON RESIDENCE

3 Emory Road
Irvinton, N.Y. 10533

PROPOSED
FIRST FLOOR

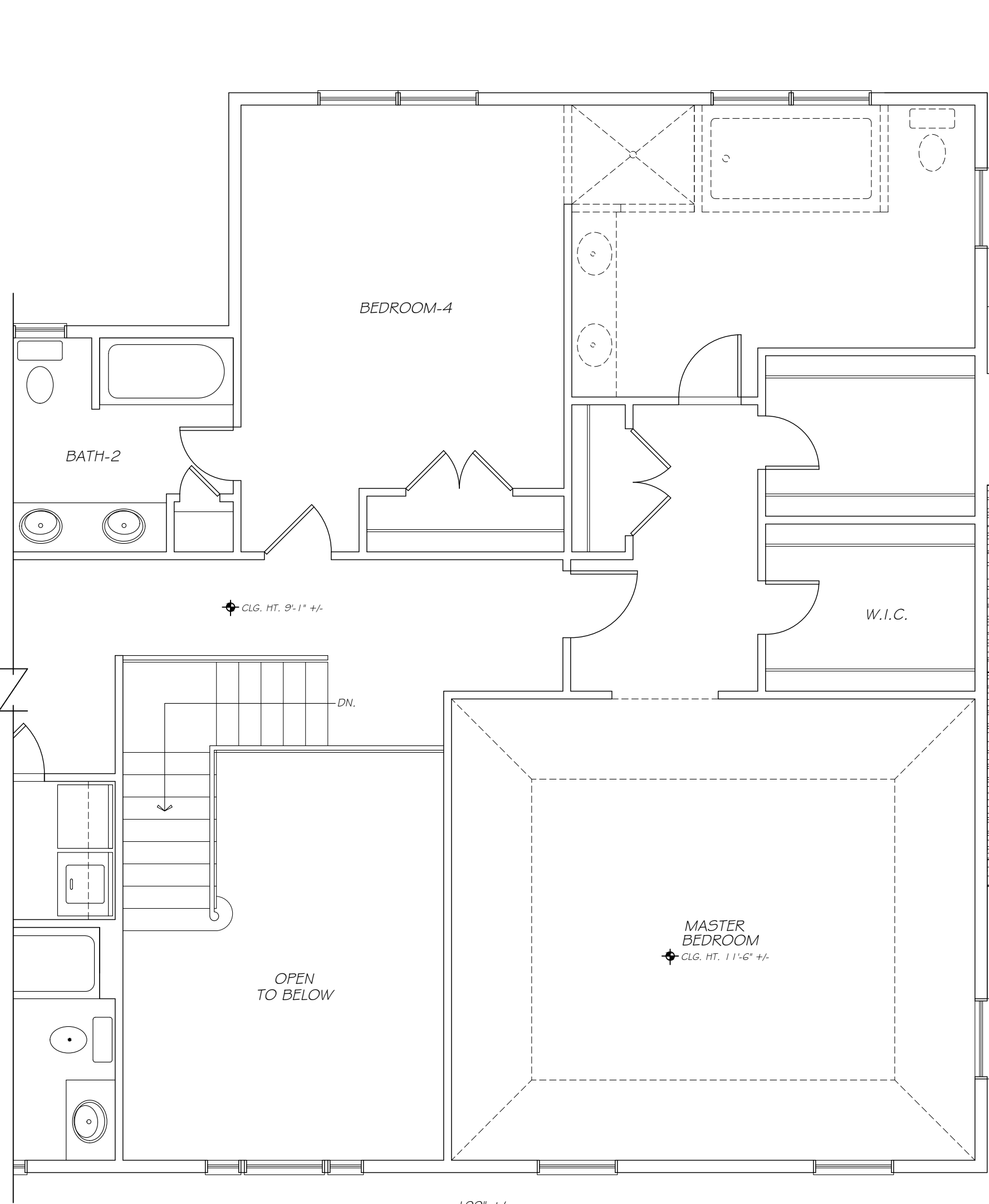
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Drawing By A.O.













Date	03/31/23
Revised	

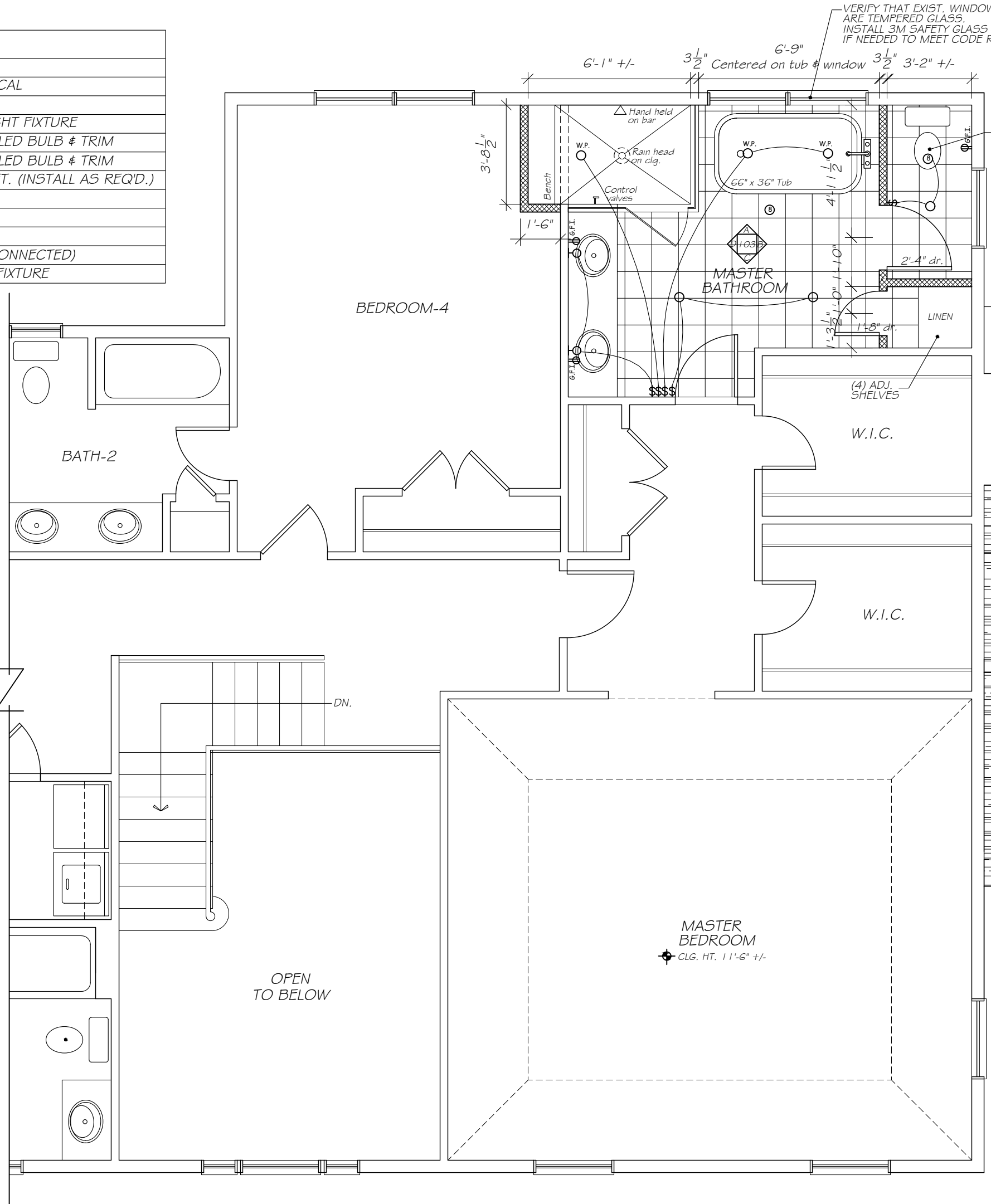
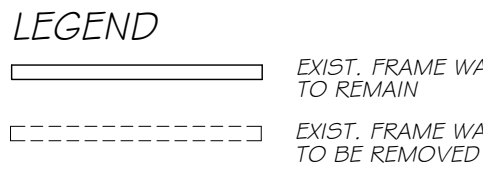
Drawing No.

A-102

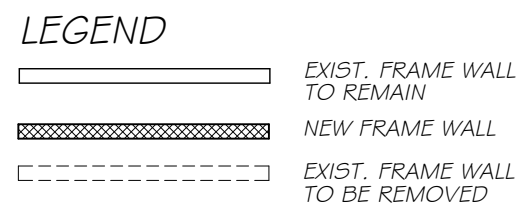


ELECTRIC SYMBOLS	
	DUPLEX OUTLET
	WATER PROOF RECEPTICAL
	G.F.I. RECEPTICAL
	SURFACE MOUNTED LIGHT FIXTURE
	CARBON MONOXIDE DET. (INSTALL AS REQ'D.)
	EXHAUST FAN
	SINGLE POLE SWITCH
	THREE POLE SWITCH
	SMOKE ALARM (INTERCONNECTED)
	WALL MOUNTED LIGHT FIXTURE

SECOND FLOOR PLAN
EXISTING 1/4" = 1'-0"



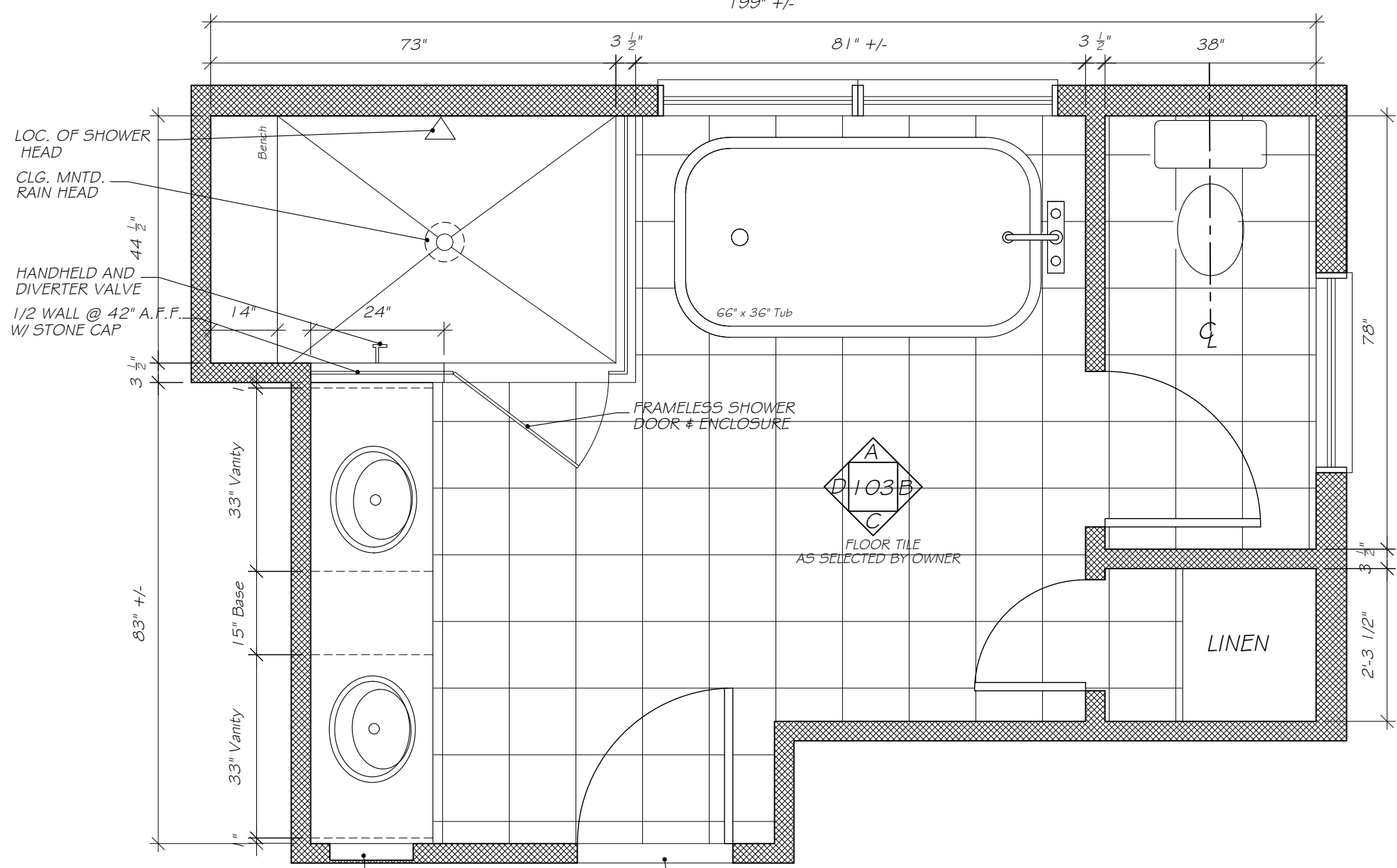
SECOND FLOOR PLAN
PROPOSED 1/4" = 1'-0"



- SECOND FLOOR NOTES:
1. PAINT ALL EXISTING & NEW WALLS, TRIM & CLG. SURFACES AT ENTIRE MASTER BEDROOM
 2. DEMO EXISTING MASTER BATH IN PREPARATION FOR INTERIOR RENOVATIONS.
 3. EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. VERIFY IF EXIST, HEADS NEED TO BE RELOCATED TO ALLOW FOR INTERIOR RENOVATIONS.
 4. ALL NEW INTERIOR WALL TO BE 2x4 UNLESS NOTED OTHERWISE.
 5. INSTALL OWNER SUPPLIED DOOR HARDWARE & LIGHT FIXTURES.
 6. MODIFY THE EXISTING HVAC SYSTEM AS REQUIRED TO ACCOMMODATE INTERIOR MODIFICATIONS. NEW CEILING REGISTERS TO BE WHITE ALUMINUM TO MATCH EXISTING.
 7. INSTALL OWNER SUPPLIED TILE AT MASTER BEDROOM AS PER PLANS & INTERIOR ELEVATIONS SHEET A-103
 8. INSTALL 6 PANEL SOLID WOOD OR SOLID COMPOSITE INTERIOR DOORS AT AREAS OF NEW WORK TO MATCH EXISTING.
 9. INSTALL NEW INTERIOR TRIM AT AREAS OF WORK TO MATCH EXISTING
 10. INSTALL R-21 BATT INSULATION AT ALL EXISTING EXTERIOR WALLS THAT ARE EXPOSED DURING CONSTRUCTION.
 11. PROTECT EXISTING OAK FLOORING DURING DEMO & CONSTRUCTION AT ALL AREAS OF WORK W/ RAM BOARD OR APPROVED EQUAL.

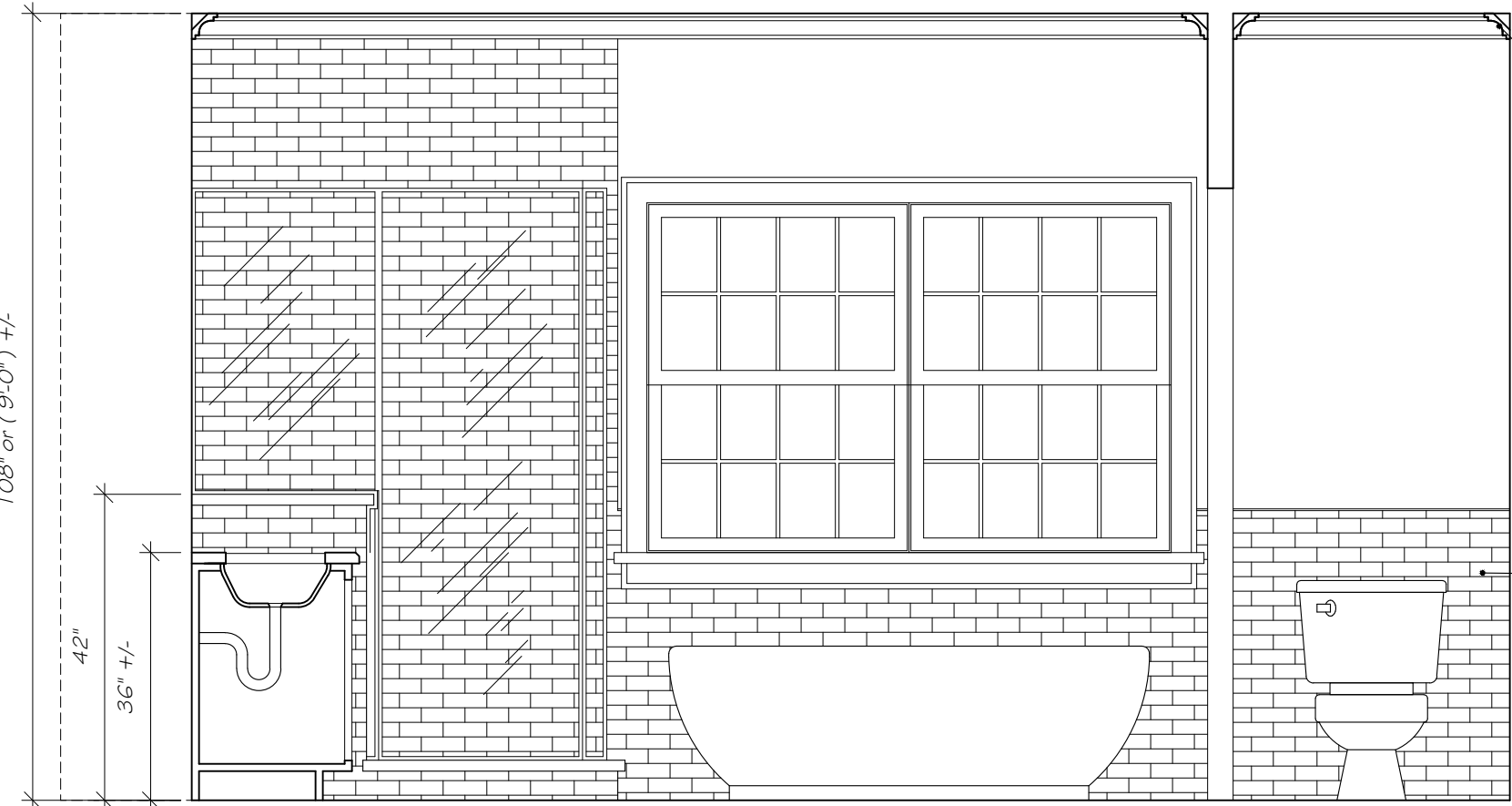
- EXHAUST NOTES:
1. ALL BATH, LAUNDRY & KITCHEN HOOD VENTS TO EXIT A MIN. 3' MIN. FROM ANY EXTERIOR OPENING.
 2. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUSTS VENTS AT EXTERIOR.
 3. PROVIDE MINIMUM EXHAUST AND VENTILATION RATES AS PER SECTION 905.1.1.2 OF THE 2020 RESIDENTIAL CODE OF NYS
 4. DRYER VENT EXHAUST TERMINATION SHALL COMPLY W/ SECTION M.I. 502.2 OF THE 2020 RESIDENTIAL CODE OF NYS

- ELECTRICAL NOTES:
1. WALL OUTLETS AT AREAS OF NEW WORK BY ELECTRICIAN AS REQD. BY CODE. UNLESS OTHERWISE NOTED ON DRAWING.
 2. PROVIDE FOR HARDWIRED, INTERCONNECTED SMOKE DETECTORS W/ BATTERY BACKUP LOCATE AS REQD. BY CURRENT CODE.
 3. PROVIDE FOR HARDWIRED, CARBON MONOXIDE DETECTORS W/ BATTERY BACKUP LOCATE AS REQUIRED BY CURRENT CODE.
 4. VERIFY APPLIANCE & NEW MECHANICAL EQUIPMENT ELECTRICAL REQUIREMENTS W/ OWNER PRIOR TO ROUGH IN.
 5. PROVIDE OWNER W/ \$500 ALLOWANCE FOR THE SELECTION & INSTALLATION OF DIMMER SWITCHES. VERIFY LOCATIONS.
 6. PROVIDE FOR A MIN. OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES AS HIGH EFFICIENCY LAMPS PER THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NYS.
 7. ALL BATH, LAUNDRY & KITCHEN EXHAUST VENTS TO EXIT A MIN. OF 3' FROM ANY EXTERIOR OPENING. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUST VENTS.
 8. ALL RECESSED LIGHTS IN CONTACT W/ ROOF OR FLOOR INSULATION TO BE BOTH IC & UL RATED.
 9. ALL BATH VENTS TO EXTERIOR A 3' MIN. FROM ANY EXTERIOR OPENING.
 10. PROVIDE BACKDRAFT DAMPER AT ALL EXHAUSTS VENTS AT EXTERIOR.

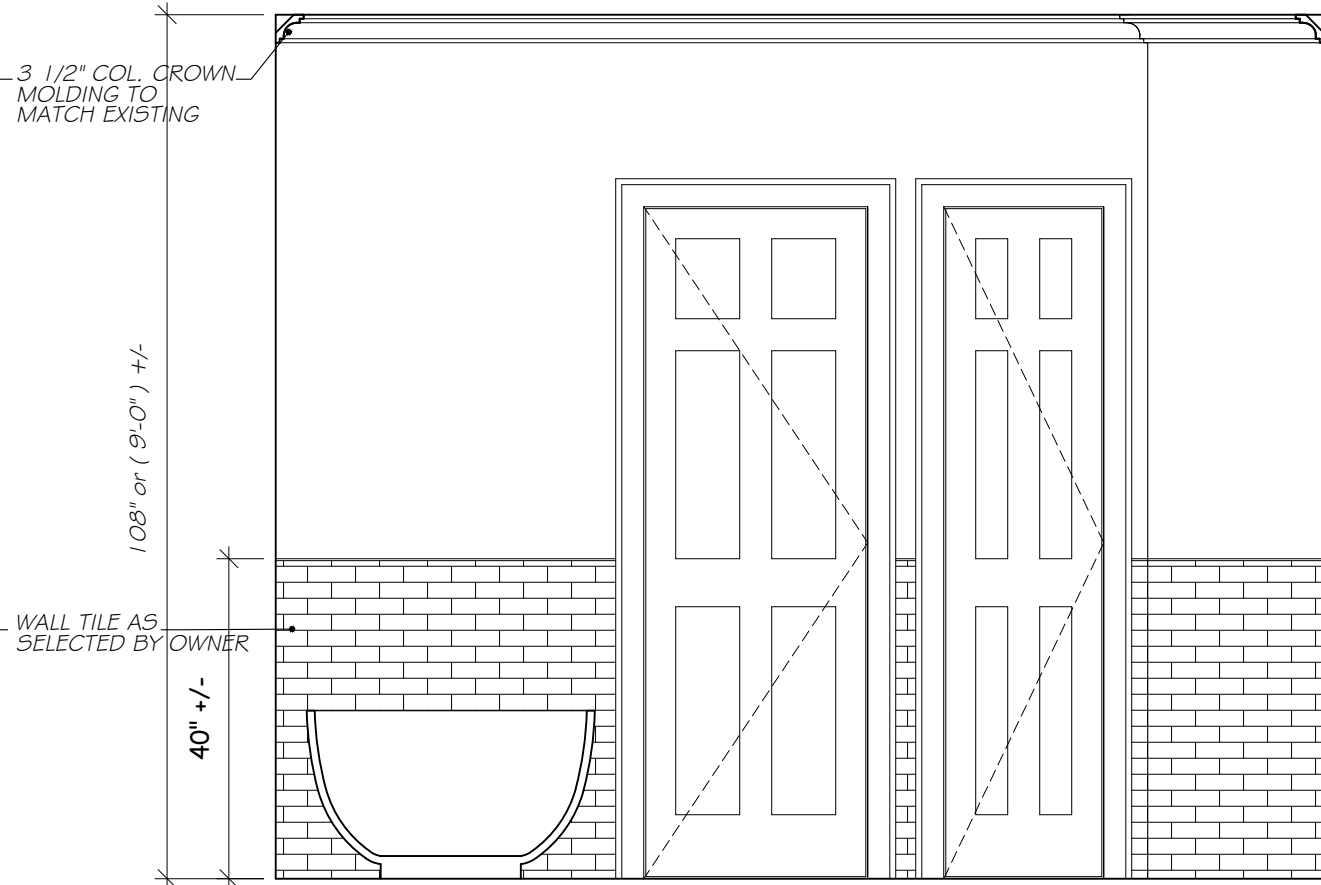


MASTER BATHROOM
SCALE 1/32" = 1'-0"

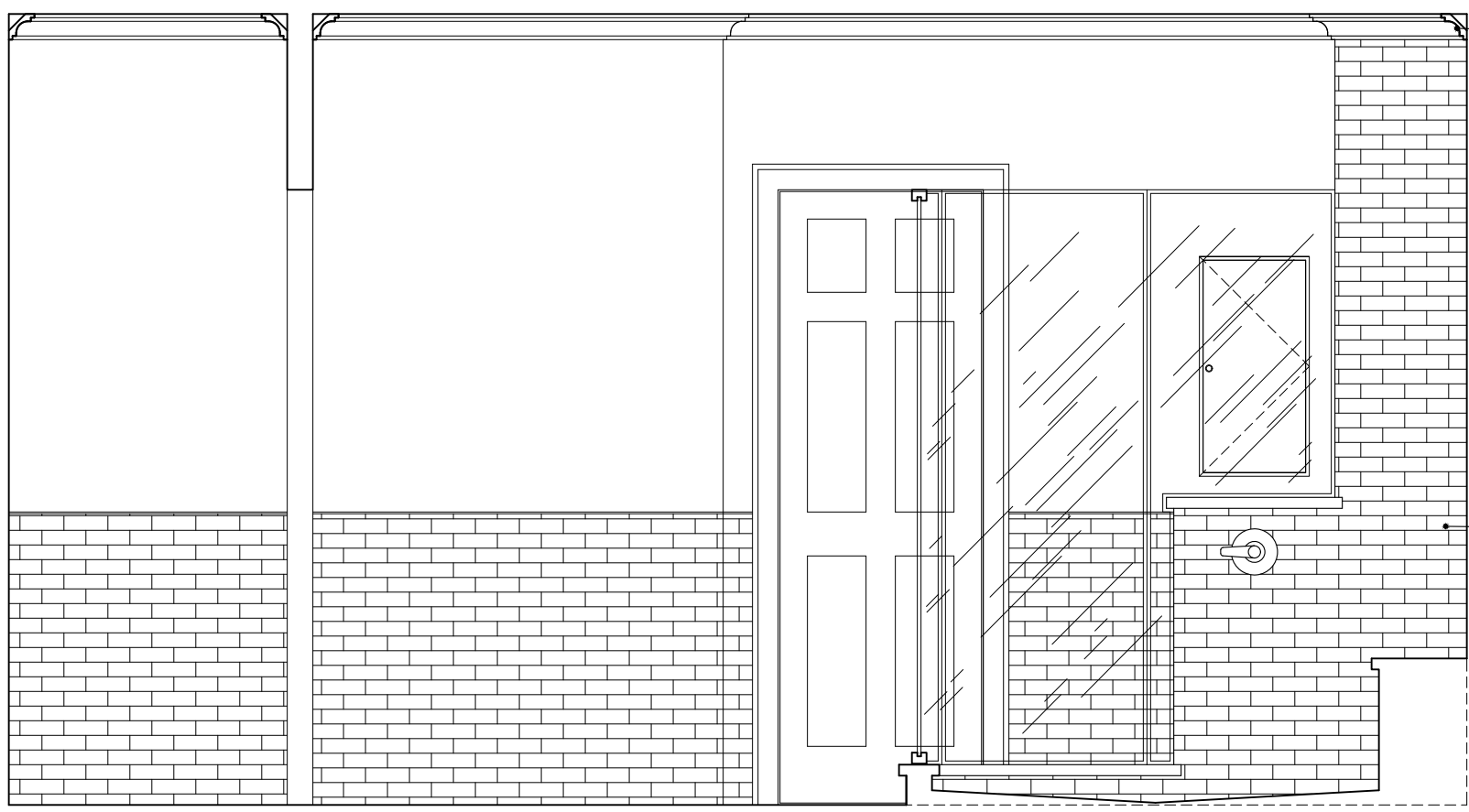
- BATH NOTES:
1. ALL PLUMBING FIXTURES TO BE AS SELECTED & PROVIDED BY OWNER
 2. ALL FLOOR AND WALL TILE OR STONE TO BE AS SELECTED & PROVIDED BY OWNER
 3. INSTALL OWNER SUPPLIED BATH ACCESSORIES. VERIFY FINAL LOCATION
 4. VERIFY FINAL LOCATION AND SIZE OF PLUMBING FIXTURES AND VANITIES PRIOR TO ROUGH IN.
 5. ALL BATHROOM VANITY TOPS TO BE MARBLE OR GRANITE AS SELECTED & PROVIDED BY OWNER
 6. PLUMBER AND ELECTRICIAN TO COORDINATE FINAL FIXTURE LAYOUT & SIZES.
 7. VERIFY LOCATION OF ALL TUB & SHOWER VALVES W/ OWNER PRIOR TO ROUGH IN.
 8. PROVIDE ADDITIONAL BLOCKING IN WALLS FOR SHOWER ENCLOSURES & BATH ACCESSORIES.
 9. VENT BATHROOM EXHAUST FANS TO EXTERIOR AS PER MANUFACTURERS SPECIFICATIONS.
 10. DIMENSIONS ARE FROM FRAMING AND DO NOT ACCOUNT FOR WALL FINISHES OR FRAMING IMPERFECTIONS.



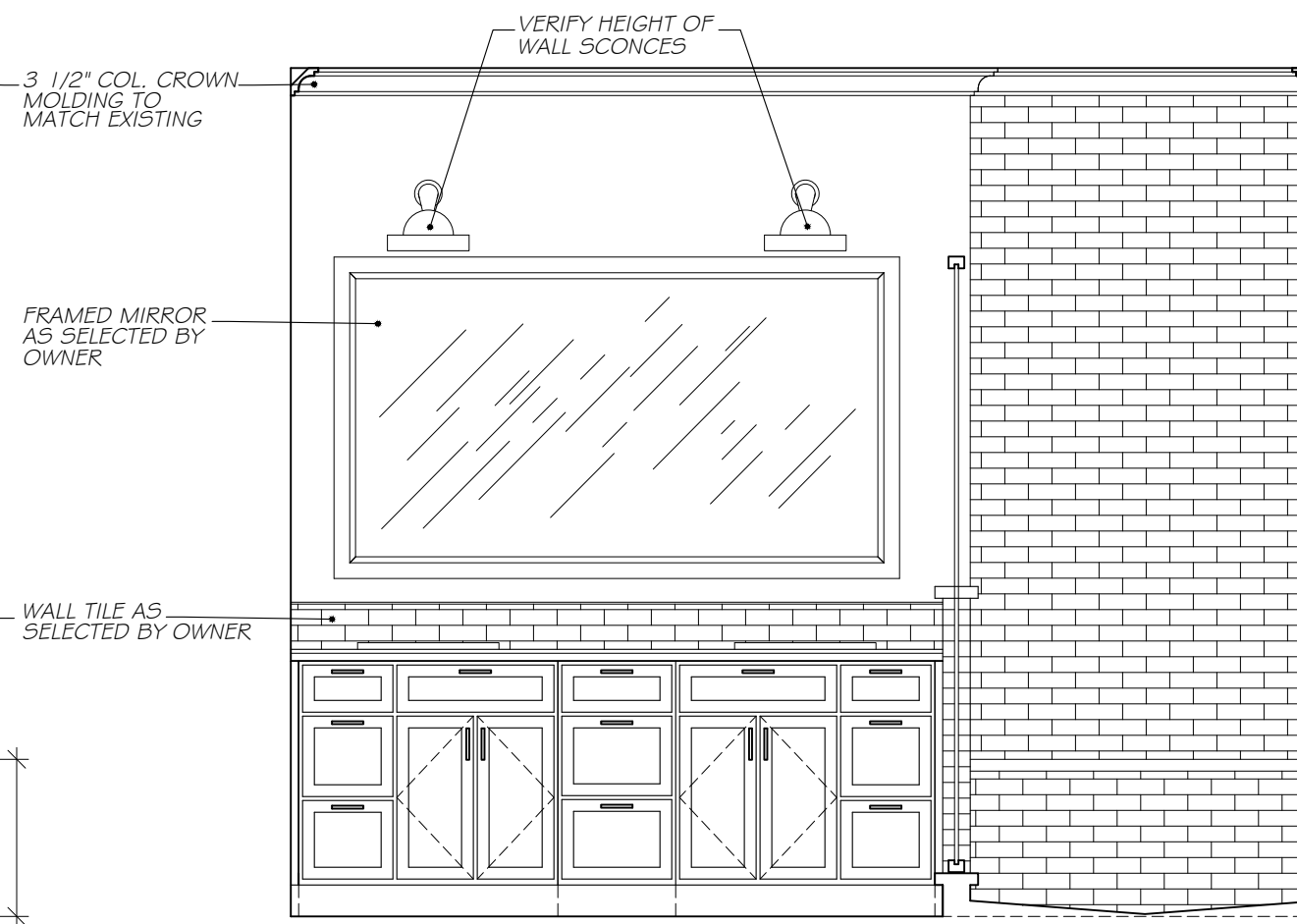
ELEVATION "A"
@ MASTER BATHROOM



ELEVATION "B"
@ MASTER BATHROOM



ELEVATION "C"
@ MASTER BATHROOM



ELEVATION "D"
@ MASTER BATHROOM

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Interior Alterations

GORDON RESIDENCE

3 Emory Road
Irvinton, N.Y. 10533

PROPOSED
SECOND FLOOR

Scale AS NOTED
Drawing By A.O.



Date	03/31/23
Revised	

Drawing No.

A-103

9'-0"
T.O. PLATE
EXISTING
9'-1" +/-
T.O. 2nd FLOOR
T.O. 1st FLOOR



REAR ELEVATION
1/4" = 1'-0"

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**PROPOSED
REAR ELEVATION**

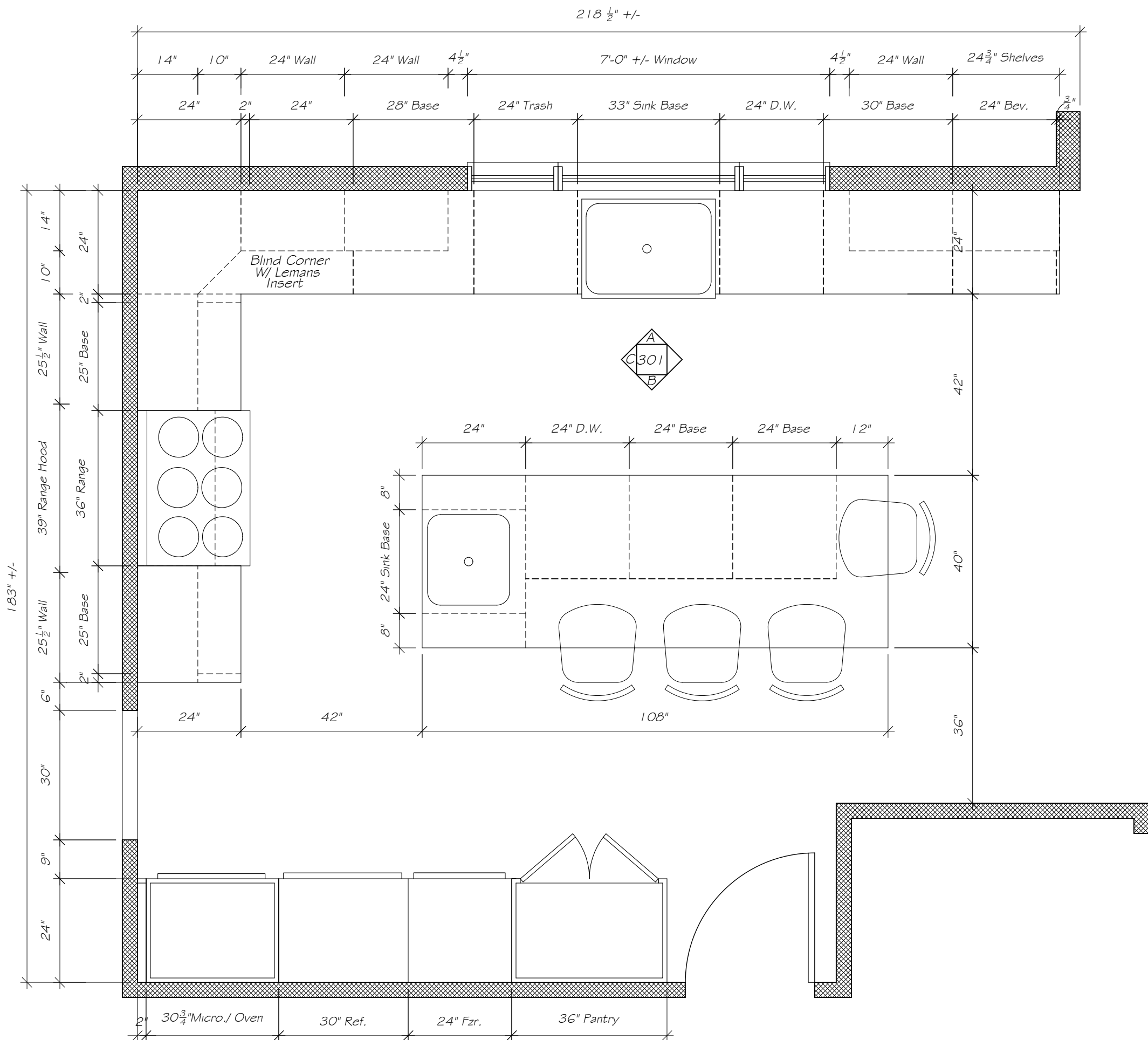
Scale 1/4" = 1' - 0"
Drawing By A.O.



Date	03/31/23
Revised	

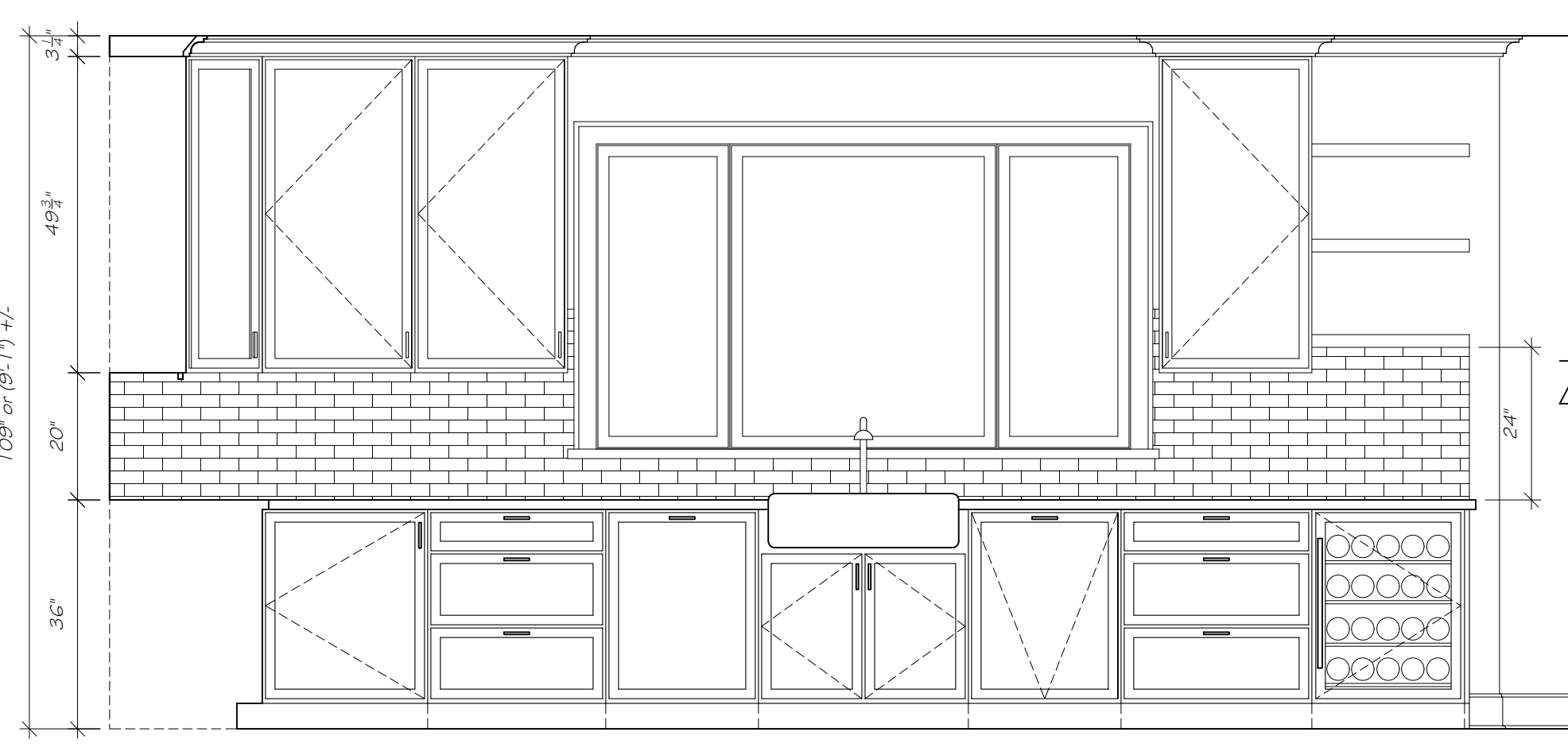
Drawing No.

A-201



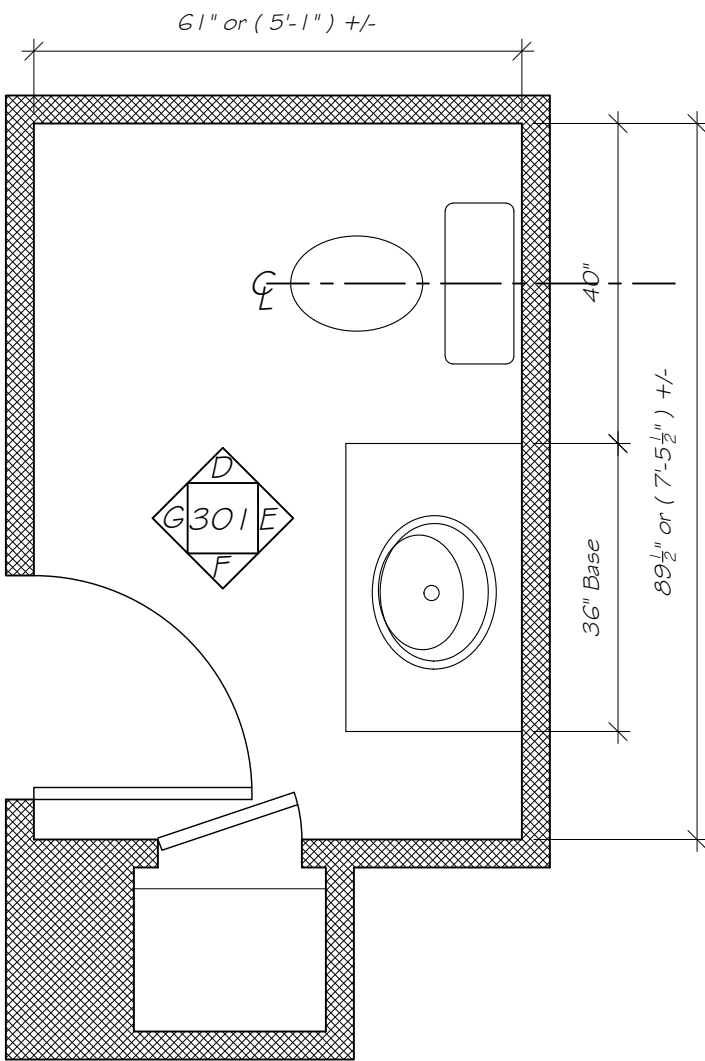
KITCHEN CABINET LAYOUT

SCALE 1/2" = 1'-0"



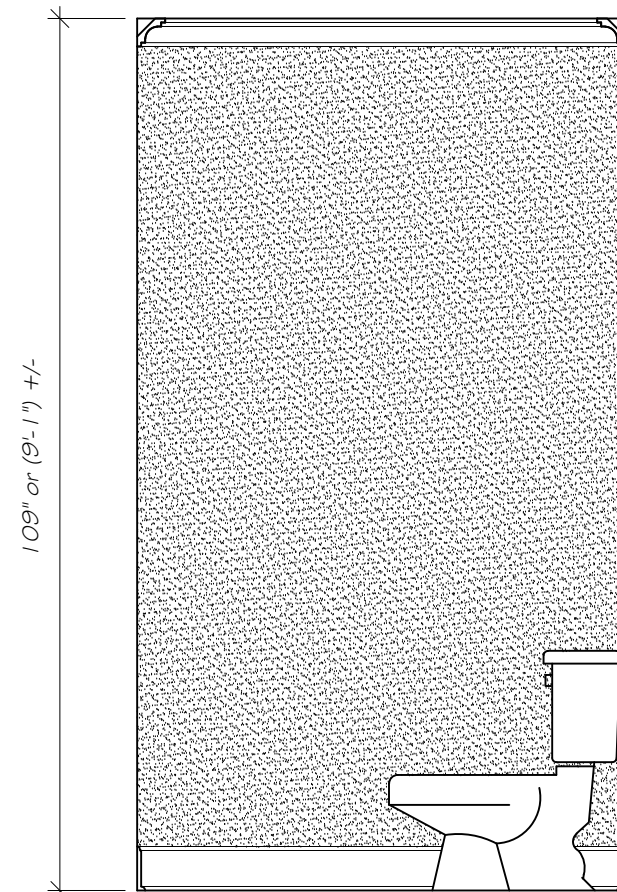
ELEVATION "A"

@ KITCHEN



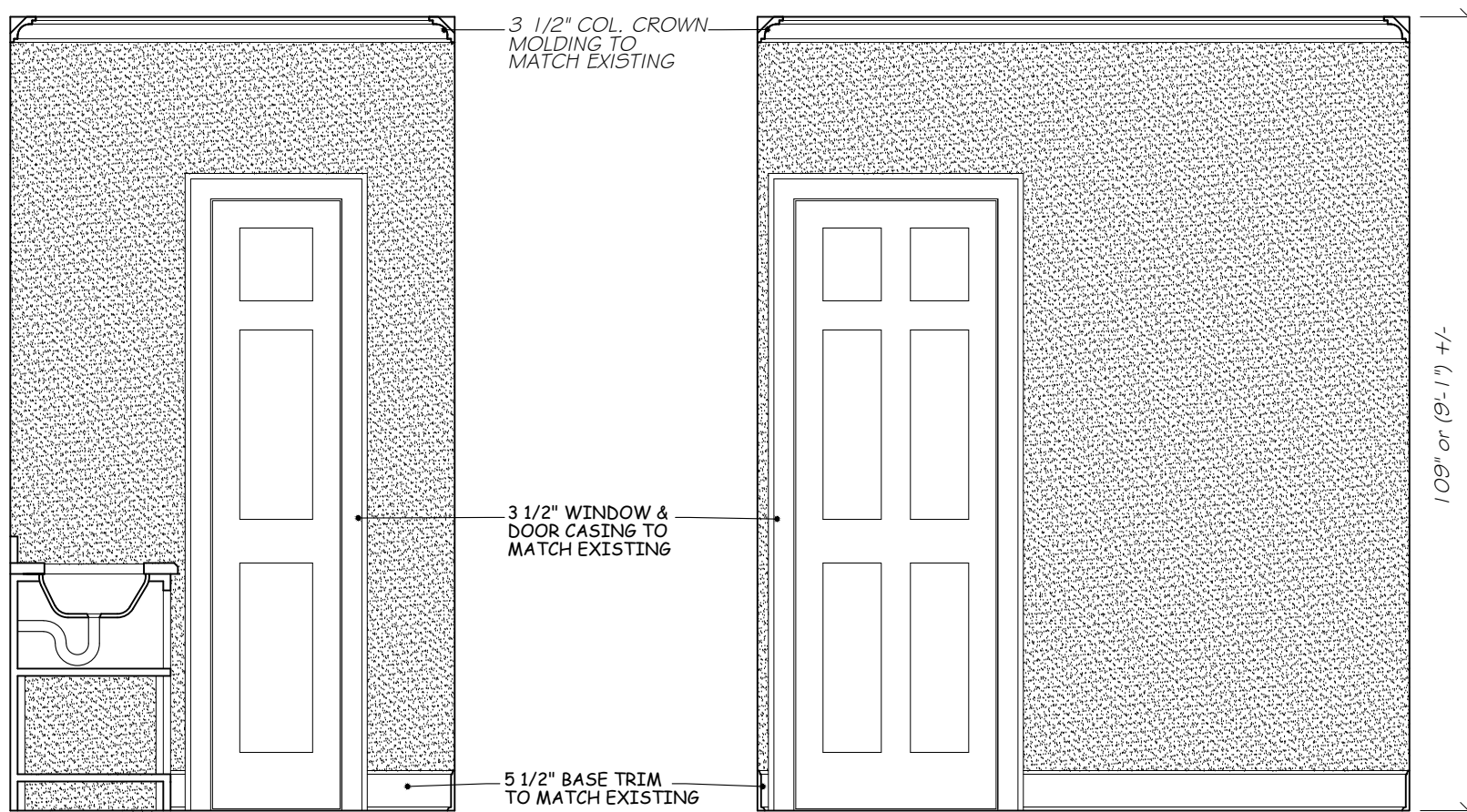
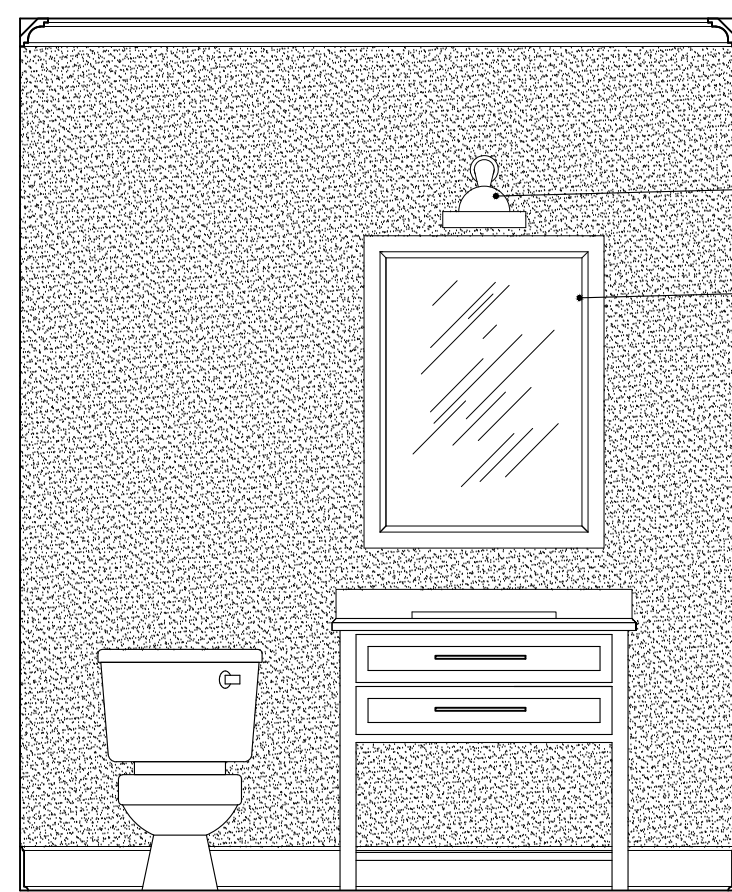
HALL BATH

SCALE 1/2" = 1'-0"



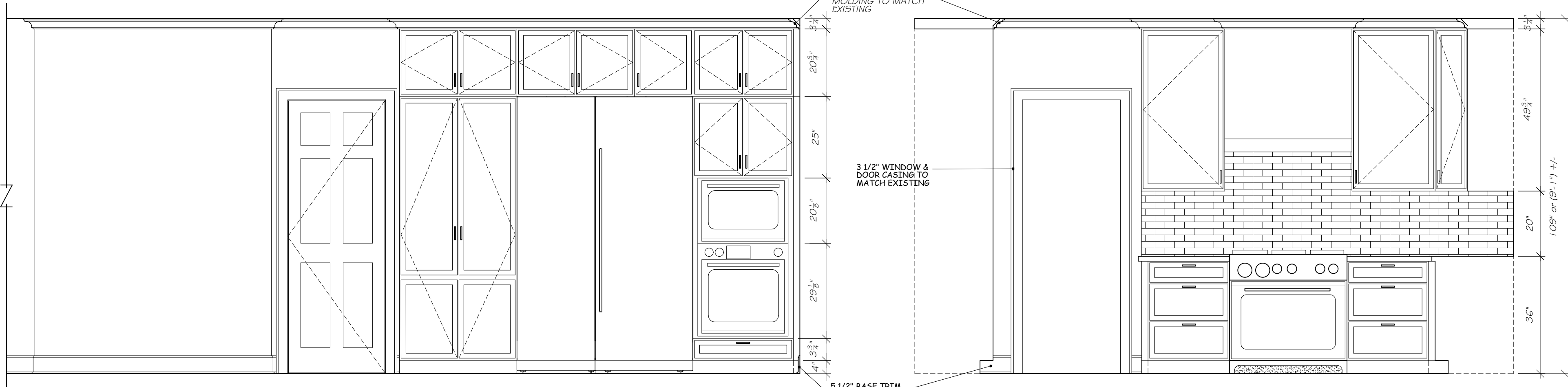
ELEVATION " "

@ HALL BATH



ELEVATION "B"

@ KITCHEN



ELEVATION "C"

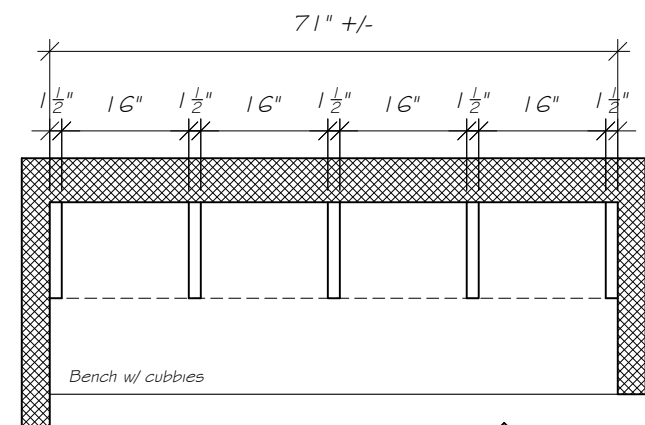
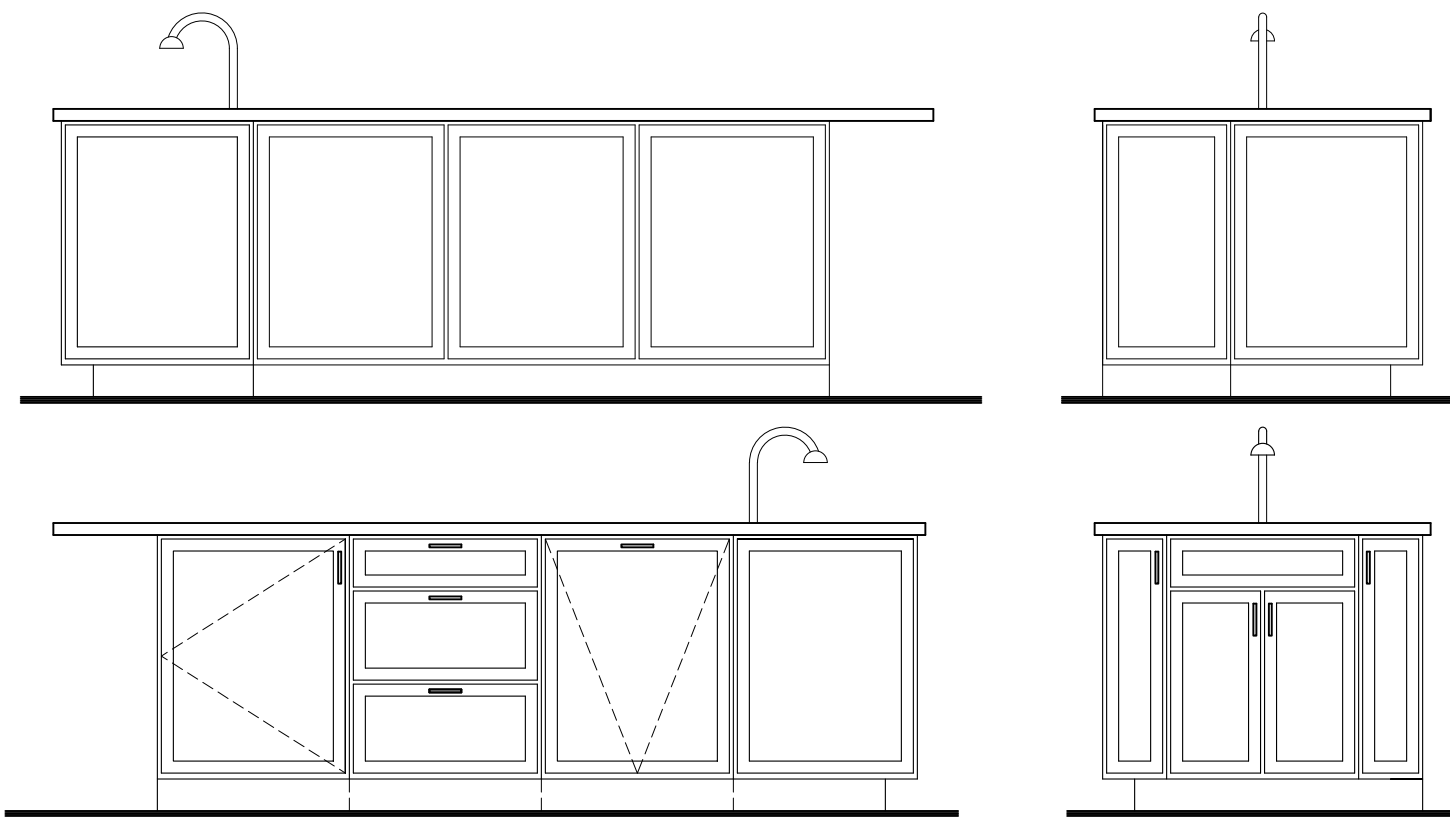
@ KITCHEN

KITCHEN ISLAND LAYOUT

SCALE 1/2" = 1'-0"

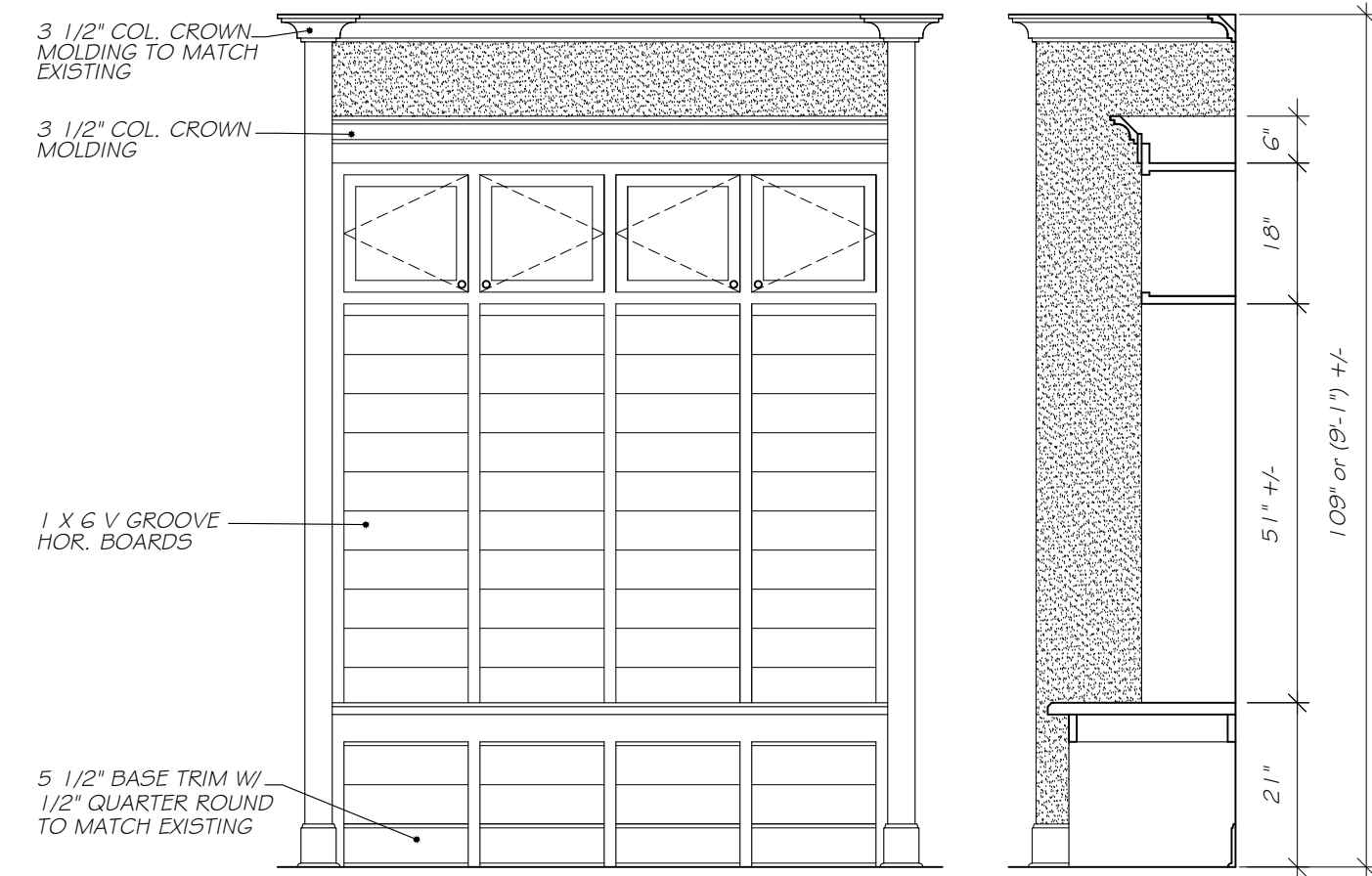
KITCHEN NOTES:

1. VERIFY FINAL KITCHEN LAYOUT, APPLIANCES AND PLUMBING FIXTURE LOCATIONS W/ OWNER PRIOR TO ROUGH IN.
2. CABINET MFR., COUNTERTOP MATERIAL, AND TILE BACK SPLASH TO BE DET. VERIFY W/ OWNER.
3. INTERIOR TRIM TO BE AS INDICATED OR AS DETAILED ON 300 SERIES DRAWINGS.
4. VENT EXHAUST FROM RANGE HOOD THROUGH CEILING OR WALL TO EXTERIOR AS REQD.
5. KITCHEN FLOOR MATERIAL TO BE WOOD STRIP FLOORING AS SELECTED BY OWNER.
6. ALL BASE AND WALL CABINETS WITH EXPOSED SIDES TO BE SUPPLIED WITH FINISHED END PANELS (DOORS).
7. KITCHEN CABINETS MANUFACTURER TO VERIFY ALL DIMENSIONS AND FIELD CONDITIONS WITH CONTRACTOR PRIOR TO PLACING CABINET ORDER.
8. PROVIDE ELECTRICAL, WATER, DRAINS AND GAS AS REQUIRED VERIFY SPECS W/ OWNER & MFR.



MUD ROOM

SCALE 1/2" = 1'-0"



ELEVATION "H"

@ MUD ROOM

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Interior Alterations

GORDON RESIDENCE

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Project Title

INTERIOR
ELEVATIONS

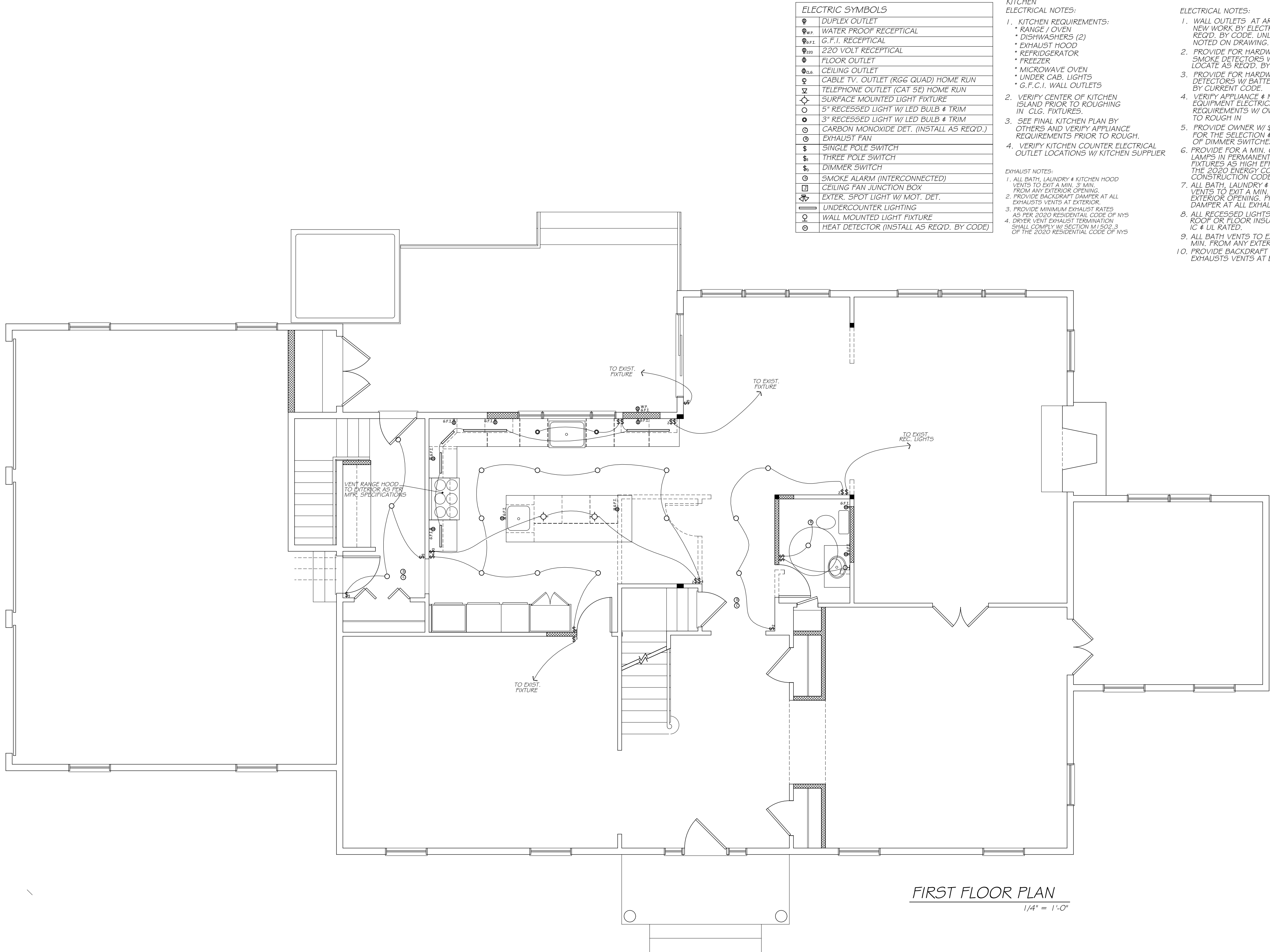
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Date	03/31/23
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Drawing No.

A-301



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**FIRST FLOOR
ELECTRICAL**

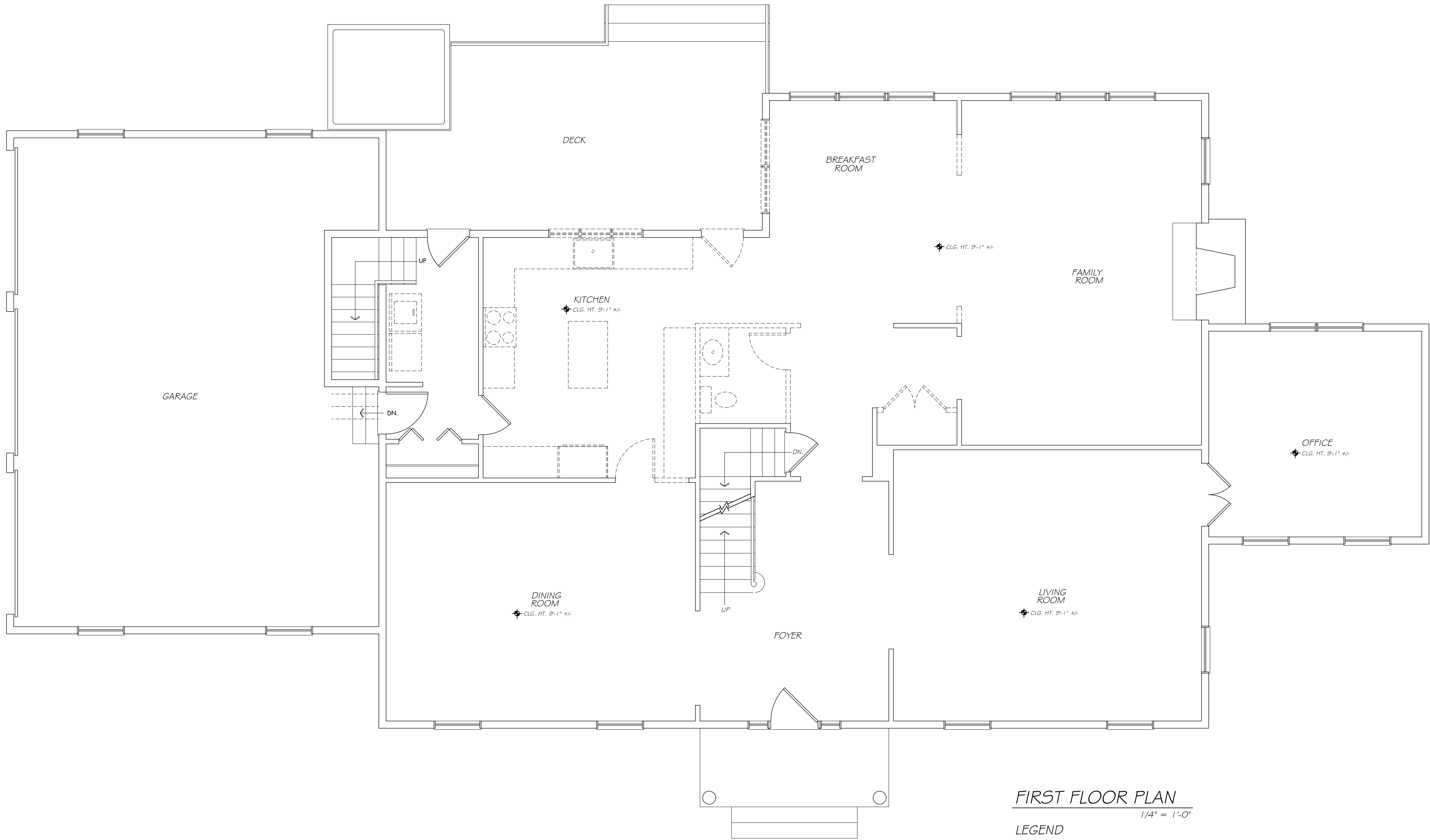
Scale 1/4" = 1' - 0"
Drawing By A.O.



Date	03/31/23
Revised	

Drawing No.

E-101



FIRST FLOOR PLAN
1/4" = 1'-0"

- LEGEND
- EXIST. FRAME WALL TO REMAIN
 - EXIST. FRAME WALL TO BE REMOVED

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EXISTING
FIRST FLOOR

Scale 1/4" = 1' - 0"
Drawing By A.O.



Date	03/31/23
Revised	

Drawing No.
X-101