April 04, 2022

Mr. Rocco Rasulo, Chairperson
Village of Irvington Architectural Review Board
Village Hall
85 Main Street
Irvington, NY 10533

**Re: 126 Main Street**
**Irvington NY (2.90-44-28)**
**Request of Approval of Demolition of Existing Garage in the Historic Overlay District**

Dear Chairperson Rasulo and Members of the Architectural Review Board:

As per added section on the amended Chapter 9 of the Code of the Village of Irvington (Board of Architectural Review), we are submitting the attached information to request the approval of partial demolition of a building in the property listed above as part of a renovation project. Below is a point-by-point description addressing the required items listed in Section 9-11 B.

1. The property is located at 126 Main Street, Irvington NY (2.90-44-28). The existing residence was originally built in 1911 and is considered a contributing building in the Main Street Historic District. This building is currently being renovated under a separate permit. This application is for the replacement of the existing garage, that, based on available documentation, we believe was added to the property in 1960. The garage is a wood framed, hipped roof structure. We believe that much of the structure was built from salvaged materials and would be considered substandard construction at the time that it was built. Both the wood framing and the foundations are not structurally sound by modern standards and should not be reused. The proposed replacement will reference both the finishes and detailing of the existing house as well as the existing garage.

2. The Applicant:
   John Malone - Ferguson Malone Architecture
   One Bridge St – Suite 29
   Irvington, NY 10533
   T: 914-591-5066
   Email: jmalone@fergusonmalone.com

   Building Owner:
   Pat Gallo
   126 Main Street
   Irvington, NY 10533
   T: 914-403-6504
   Email: divinebars@gmail.com

(1) FMA is requesting the approval of the items indicated on the attached drawing, including the following:
   a. Demolition of the existing wood framing. The existing framing was assembled from salvaged materials not designed for structural use. The framing is not structural sound and is proposed to be replaced.

   b. Demolition of the existing foundation. The existing foundation is failing in multiple locations. The existing footing do not appear to have necessary depth to protect against frost heaving. The foundation is proposed to be replaced with a new foundation.

   c. Demolition of the existing asphalt roof shingles. The shingles are past the end of their useful life and are proposed to be replaced with a EPDM roofing system.

d. Demolition the existing exterior trim and siding. The existing siding is a false joint novelty type solid wood painted siding and is proposed to be replaced by a matching solid wood product. The existing trim is solid wood painted trim and is proposed to be replaced by a painted solid wood or fly ash composite trim.

e. Demolition of the existing windows and doors. The existing overhead doors are not original to the project and are failing, they will be replaced by a custom wood overhead door designed to reference 1930s era carriage doors.

(2) We do not believe that appraisals are required and ask that the board waive this requirement. The replacement is expected to cost approximately $100,000.

(3) The property was purchased on January 10, 2022, for a cost of $679,000.

(4) We do not believe that property listings are required and ask that the board waive this requirement

(5) The reason for demolition does not directly relate to the safety of the building, though many of the building's components and systems are either failing or in a state of differed maintenance. The building's structural system is substandard and could fail under the stress of a sever weather event.

(6) Reason for demolition does not relate to safety of the building.

(7) The owner is not planning to pursue governmental funding or incentives.

(8) Please refer to the attached drawing set.

(9) Photographs of the existing building have been included in the drawing set.

In the case that the applicant's submission addresses the items identified above and allows the board to approve the proposed demolition in the historic district, the applicant requests that the Architectural Review Board provide its typical ARB review at that same meeting. The drawing set that we have provided includes details of the proposed exterior renovation.

Please let me know if you or your consultants have any questions or concerns, and feel free to contact me at (914) 591-5066 or via email at jmalone@fergusonmalone.com.

Sincerely,

John Malone, AIA LEED AP

Enc: Drawing Set – dated 05/01/2023
Affidavit of Public Notice – dated 05/01/2023
Affidavit of Publication– dated 05/01/2023
Building Permit Application– dated 05/01/2023

cc: Pat Gallo
File

# APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

| | | | |
|---|---|---|---|
| Application Number: | 673 | Date: | 04/27/2023 |
| Job Location: | 126 MAIN ST | Parcel ID: | 2.90-44-28 |
| Property Owner: | Pat Gallo | Property Class: | 1 FAMILY RES |
| Occupancy: | One/ Two Family | Zoning: | |
| Common Name: | | | |

| **Applicant** | **Contractor** |
|---|---|
| John Malone | |
| Ferguson Malone Architecture | |
| One Bridge Street - Suite 29Irvington NY 10533 | |
| 914-564-3166 | |

**Description of Work**

| | | | |
|---|---|---|---|
| Type of Work: | New Construction | Applicant is: | Architect |
| Work Requested by: | The Owner | In association with: | |
| Cost of Work (Est.): | 100000.00 | Property Class: | 1 FAMILY RES |

***Description of Work***

***Renovation of existing garage.***

**Please Note:** Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 126 MAIN ST Parcel Id: 2.90-44-28

**AFFIDAVIT OF APPLICANT**

I **John Malone** being duly sworn, depose and says: That s/he does business as: **Ferguson Malone Architecture** with offices at: **One Bridge Street - Suite 29 Irvington NY 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 27th day of April of 2023

JBaran

Notary Public / Commission of Deeds

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

Applicant's Signature

**OWNER'S AUTHORIZATION**

I **Pat Gallo** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number (914) 403-6504 Owner email address Divinebars@Gmail.com

☐ Pat Gallo I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 27th day of April of 2023

JBaran

Notary Public / Commission of Deeds

Applicant's Signature

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

# INSTRUCTIONS

## REQUIREMENTS FOR OBTAINING A PERMIT:

**The following items must be submitted in order to obtain a Building Permit:**

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a likened professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov ) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm

**Contractor Requirements in order to obtain a Building Permit:**

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

**Please Note:**

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contacting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

**FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION**(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee $85 — 85
* Permit fee $17 per thousand dollars ($1000) of estimated cost of construction, or fraction thereof — 1700

• Inspection Fees (as applicable)

- Insulation: $50
- Solid Fuel: $50
- Foundation and footing drain: $50
- Energy Code Compliance: $50
- Sediment and erosion control: $50
- Footing: $50
- Preparation for concrete slabs and walls: $50
- Footing: $50
- Preparation for concrete slabs and walls: $50
- Framing: $50
- Building systems, including underground and rough-in: $50
- Fire resistant construction and penetrations: $50
- Final Inspection for C.O.: $50
- State and local laws (per re-inspection): $50

Total Inspections 400

* Certificate of Occupancy Fees: One dollar ($1.00) per thousand dollars of estimated cost. Minimum Fee $25.00
* Permit Revisions or Amendment: $50.00 (plus $17 per thousand ($1000), of the estimated cost of construction and any additional inspections fees). — 100

* Re-inspection fee for work not ready at time of inspection or not in compliance: $50 — /
* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior toapplying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee $500.00. — /

(To be collected at time of submission of application)Total $2285

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

**APPLICANT'S NAME:** Pat Gallo **ARB MATTER NO.**_____

**PROPERTY ADDRESS:** 126 Main Street

**ARCHITECTURAL REVIEW BOARD**
**AFFIDAVIT OF MAILING**

**STATE OF NEW YORK )**
**COUNTY OF WESTCHESTER ) ss.:**

John Malone, being duly sworn, depose(s) and say(s):

On May 01, 2023, I mailed or arranged delivery of the Notice attached to this Affidavit to each party listed on the annexed List of Affected Property Owners at the address on that List. Such notice was mailed or delivered not later than 14 days prior to the Arch. Rev. Board meeting at which this application will first be heard. Notice was given by: [*state method of mailing or delivery*] Mail, with Certificate of Mailing

(*Signature*)

John Malone
*(Type or print name)*

Sworn to before me this 1st

day of May, 20 23

Notary Public

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

[*Attach List of Affected Property Owners, Notice, and proof of delivery or mailing from Post Office or delivery company*]

May 01, 2023

To: Neighbors of Pat Gallo

Via: Certificate of Mailing

**RE: Application for Demolition in the Historic Overlay District**
**126 Main Street**

PLEASE TAKE NOTICE that the applicant indicated above is requesting the Architectural Review Board of the Village of Irvington to grant, in accordance with Chapter 9 of the Village Code, approval of demolition & replacement of an existing garage in the Historic Overlay District, on property identified by parcel identification # 2.90-44-28. And is located at 126 Main Street, Irvington. The site abuts property owned by:

- Fitzgerald, William (130 Main St.; 2.90-44-27)
- Main 126 Corp. (126 Main St.; 2.90-44-28)
- Morabito, John R. (9 S. Dearman St.; 2.90-44-29)
- Keller, Jonathan (19 S. Dearman St.; 2.90-44-30)

The following is a brief description of the property development for which demolition is being requested:

> The proposed project is for the replacement of the existing garage. The replacement garage will be located in the existing footprint of the existing garage and building coverage will not be added.

The application will be available for review online, at the Building Department and at the Village Public Library.

It is expected that the Application will be considered by the Village Architectural Review Board at the Meeting which begins at 8:00 PM on May 22, 2023, at the Village Hall, located on 85 Main Street, Irvington. Zoom meeting link will be also available on the Village's Website.

Sincerely,

John Malone, AIA LEED AP
Ferguson Malone Architecture

**FOLEY, ANNE U.**
129 MAIN ST
IRVINGTON, NY 10533

**FITZGERALD, WILLIAM**
130 MAIN ST
IRVINGTON, NY 10533

**VILLAGE OF IRVINGTON (V2)**
BROADWAY
IRVINGTON, NY 10533

**FIELDPOINT (C2)**
BROADWAY
IRVINGTON, NY 10533

**HIGHET, ALAN G.**
ELM PARK
IRVINGTON, NY 10533

**35 ELM PARK LLC**
35 S DEARMAN ST
IRVINGTON, NY 10533

**MAIN 126 CORP.**
126 MAIN ST
IRVINGTON, NY 10533

**HIGHET, ALAN G.**
20 ELM PARK
IRVINGTON, NY 10533

**BOWRING, SCYLD**
120 MAIN ST
IRVINGTON, NY 10533

**SABATINO, THOMAS**
10 S DEARMAN ST
IRVINGTON, NY 10533

**STONE, LAURYN S**
123 MAIN ST
IRVINGTON, NY 10533

**ROSIS CORP**
136 MAIN ST
IRVINGTON, NY 10533

**Z &**
**S MAIN STREET LLC**
S AQUEDUCT LN
IRVINGTON, NY 10533

**ABBOTT, JOHN**
12 S BROADWAY
IRVINGTON, NY 10533

**LAMBERTI SR, MORRIS**
11 N DEARMAN ST
IRVINGTON, NY 10533

**113-115 MAIN LLC**
115 MAIN ST
IRVINGTON, NY 10533

**STRIANO, PHILIP**
119 MAIN ST
IRVINGTON, NY 10533

**MORABITO, JOHN R**
9 S DEARMAN ST
IRVINGTON, NY 10533

**CONSOLIDATED EDISON CO**
MAIN ST NEAR BROADWAY
IRVINGTON, NY 10533

**BEN-ANN CO REALTY CORP**
6 S BROADWAY
IRVINGTON, NY 10533

**ST BARNABAS CHURCH**
15 N BROADWAY
IRVINGTON, NY 10533

**GAZZETTA TRUSTEE, ROBERT**
8 AQUEDUCT LN
IRVINGTON, NY 10533

**7 NORTH DEARMAN LLC**
7 N DEARMAN ST
IRVINGTON, NY 10533

**Z &**
**S MAIN STREET LLC**
S AQUEDUCT LN
IRVINGTON, NY 10533

**ISHKANIAN, DANIELLE C**
124 MAIN ST
IRVINGTON, NY 10533

**VILLAGE OF IRVINGTON**
131 MAIN ST
IRVINGTON, NY 10533

**FIELDPOINT (C3)**
BROADWAY
IRVINGTON, NY 10533

**MARRA, REGINALD F**
10 AQUEDUCT LN
IRVINGTON, NY 10533

**9 NORTH DEARMAN LLC**
9 N DEARMAN ST
IRVINGTON, NY 10533

**Z &**
**S MAIN STREET LLC**
116-118 MAIN ST
IRVINGTON, NY 10533

**IVKOSIC, STEVEN J**
117 MAIN ST
IRVINGTON, NY 10533

**KELLER, JONATHAN**
19 S DEARMAN ST
IRVINGTON, NY 10533

**IRVINGTON ESTATES OWNERS**
14 S BROADWAY
IRVINGTON, NY 10533

**BEN-ANN CO REALTY CORP**
10 S BROADWAY
IRVINGTON, NY 10533

**LMLIRV REALTY CORP**
1 N BROADWAY
IRVINGTON, NY 10533

**TACONIC STATE PARK**
OLD CROTON AQUADUCT
IRVINGTON, NY 10533

**FIELDPOINT (C4)**
BROADWAY
IRVINGTON, NY 10533

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

**To:**

**35 ELM PARK LLC**
35 S DEARMAN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing.
This form may be used for domestic and international mail.

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

**To:**

**LAMBERTI SR, MORRIS**
11 N DEARMAN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing.
This form r

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

**To:**

**BOWRING, SCYLD**
120 MAIN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing.
This form

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

**To:**

**ROSIS CORP**
136 MAIN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing.
This form may be used for domestic and international mail.

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

**To:**

**MORABITO, JOHN R**
9 S DEARMAN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

IRVINGTON ESTATES OWNERS
14 S BROADWAY
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023 IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

LMLIRV REALTY CORP
1 N BROADWAY
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023 IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

KELLER, JONATHAN
19 S DEARMAN ST
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023 IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

IVKOSIC, STEVEN J
117 MAIN ST
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023 IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

BEN-ANN CO REALTY CORP
10 S BROADWAY
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023 IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**FIELDPOINT (C4)**
BROADWAY
IRVINGTON, NY 10533

MAY – 1 2023
Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**VILLAGE OF IRVINGTON (V2)**
BROADWAY
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**HIGHET, ALAN G.**
ELM PARK
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**FITZGERALD, WILLIAM**
130 MAIN ST
IRVINGTON, NY 10533

MAY – 1 2023
Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

---

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**TACONIC STATE PARK**
OLD CROTON AQUADUCT
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

To pay fee, affix stamps or meter postage here.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

ST BARNABAS CHURCH
15 N BROADWAY
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

To pay fee, affix stamps or meter postage here.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

Z &
S MAIN STREET LLC
S AQUEDUCT LN
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

To pay fee, affix stamps or meter postage here.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

FIELDPOINT (C3)
BROADWAY
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

To pay fee, affix stamps or meter postage here.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

Z &
S MAIN STREET LLC
116-118 MAIN ST
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

To pay fee, affix stamps or meter postage here.

From:

FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

HIGHET, ALAN G.
20 ELM PARK
IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

To:

**STONE, LAURYN S**
123 MAIN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

To:

**ABBOTT, JOHN**
12 S BROADWAY
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

To:

**STRIANO, PHILIP**
119 MAIN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

To:

**BEN-ANN CO REALTY CORP**
6 S BROADWAY
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

Postmark Here

To:

**7 NORTH DEARMAN LLC**
7 N DEARMAN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail

From:
FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:
VILLAGE OF IRVINGTON
131 MAIN ST
IRVINGTON, NY 10533

Postmark Here

MAY - 1 2023

PS Form 3817, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form

From:
FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:
9 NORTH DEARMAN LLC
9 N DEARMAN ST
IRVINGTON, NY 10533

Postmark Here

MAY - 1 2023

PS Form 3817, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form

From:
FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:
MARRA, REGINALD F
10 AQUEDUCT LN
IRVINGTON, NY 10533

Postmark Here

MAY - 1 2023

PS Form 3817, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form

From:
FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:
ISHKANIAN, DANIELLE C
124 MAIN ST
IRVINGTON, NY 10533

Postmark Here

MAY - 1 2023

PS Form 3817, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form

From:
FERGUSON MALONE ARCHITECTURE
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:
GAZZETTA TRUSTEE, ROBERT
8 AQUEDUCT LN
IRVINGTON, NY 10533

Postmark Here

MAY - 1 2023

PS Form 3817, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**CONSOLIDATED EDISON CO**
MAIN ST NEAR BROADWAY
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023 IRVINGTON, NY 10533

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**113-115 MAIN LLC**
115 MAIN ST
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**Z &**
**S MAIN STREET LLC**
S AQUEDUCT LN
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**SABATINO, THOMAS**
10 S DEARMAN ST
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From:

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

To:

**MAIN 126 CORP.**
126 MAIN ST
IRVINGTON, NY 10533

IRVINGTON POST OFFICE MAY - 1 2023

Postmark Here

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

# Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

IRVINGTON POST OFFICE
MAY - 1 2023
IRVINGTON, NY 10533
Postmark Here

**To:**

**FOLEY, ANNE U.**
129 MAIN ST
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

UNITED STATES POSTAL SERVICE®

Certificate Of Mailing

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

**From:**

**FERGUSON MALONE ARCHITECTURE**
1 BRIDGE ST STE. 29
IRVINGTON, NY 10533

IRVINGTON POST OFFICE
MAY - 1 2023
Postmark Here

**To:**

**FIELDPOINT (C2)**
BROADWAY
IRVINGTON, NY 10533

PS Form **3817**, April 2007 PSN 7530-02-000-9065

**APPLICANT'S NAME:** Pat Gallo **ARB MATTER NO.**_____

**PROPERTY ADDRESS:** 126 Main Street

**ARCHITECTURAL REVIEW BOARD**
**AFFIDAVIT OF PUBLICATION**

[*Required for demolition in historic district*]

**STATE OF NEW YORK )**
**COUNTY OF WESTCHESTER ) ss.:**

John Malone, being duly sworn, depose(s) and say(s):

As required by Section 224-69E(2) of the Irvington Zoning Code, a notice in the form attached hereto was published twice, on May 04, 2023 and May 05, 2023 in the official newspaper of the Village of Irvington, namely *The Journal News*.

(*Signature*)

*John Malone*
(*Type or print name*)

Sworn to before me this 1st day of May, 2023

Notary Public

Jessica Emilia Baran
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01BA6355917
Qualified in Westchester County
Commission Expires March 20, 2025

[*Attach text of Notice*]

PLEASE TAKE NOTICE that on May 22, 2023, at 8:00 PM, the Architectural Review Board of the Village of Irvington will consider the application of Ferguson Malone Architecture at One Bridge Street, Irvington, New York as agent For Pat Gallo, owner of property located at 126 Main Street, Irvington, New York and also designated as parcel 2.90-44-28, for demolition in the historic district. The application may be examined by contacting the Irvington Building Department.

Journal News
media group
A GANNETT COMPANY | lohud.com

**Classified Ad Receipt**
**(For Info Only - NOT A BILL)**

**Customer:** FERGUSON MALONE ARCHITECTURE

**Address:** ONE BRIDGE STREET
IRVINGTON NY 10533
USA

**Run Times:** 2

**Run Dates:** 05/04/23, 05/05/23

**Ad No.:** 0005687848

**Pymt Method** Credit Card

**NET AMOUNT** $78.00

**Zone:** TJN-Westchester

**No. of Affidavits:** 1

**Text of Ad:**

PLEASE TAKE NOTICE that on May 22, 2023, at 8:00 PM, the Architectural Review Board of the Village of Irvington will consider the application of Ferguson Malone Architecture at One Bridge Street, Irvington, New York as agent For Pat Gallo, owner of property located at 126 Main Street, Irvington, New York and also designated as parcel 2.90-44-28, for demolition in the historic district. The application may be examined by contacting the Irvington Building Department.

0005687848

# Gallo Garage

## 126 Main Street
## Irvington, NY

Submission for Architectural Review Board
**May 01, 2023**

PROJECT NO.: 23-05

FERGUSON MALONE ARCHITECTURE

## Climate and Geographic Design Criteria (Effective 10/3/2016)

Location: Village of Irvington — Zip Code: 10533

| | Wind Design | | | | | Subject to Damage From | | | | | | | |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| Ground Snow Load | Speed (mph) | Topo Effects | Special Wind Region | Wind-borne Debris Zone | Seismic Design Category (RCNY Only) | Weathering | Frost Line Depth | Termite | Climate Zone | Ice Barrier Underlayment Reqd | Flood Hazards | Air Freezing Index | Mean Annual Temp |
| 30 | *Special Wind Region | No | Yes | No | C | Severe | 42" | Moderate to Heavy | 4A | Yes | **Firm Community - Panel Map # 36119C0261F Effective Date, 9-28-2007 | 2000 | 51.6 |

*115 MPH to 120 MPH. The Special wind region should serve as a warning to design professionals in evaluating wind loading conditions. Wind Speeds higher than the derived values takes from Section 1609 of to IBC and Figure R301.2(4)A of the IRC are likely to occur and should be considered in the design.

**State if applicable. For Flood Hazards the Design Professional shall state if they are applicable. Y/N. Verify with FIRM Maps. Maps are available on the FIMA web site http://www.floodmap.floodsimple.com/

## Insulation and Fenestration Requirements by Component

| Climate Zone | Fenestration U-Factor | Skylight U-Factor | Glazed Fenestration SHGC | Ceiling R-Value | Wood Frame Wall R-Value | Mass Wall R-Value | Floor R-Value | Basement Wall R-Value | Slab R-Value & Depth | Crawl Space Wall R-Value |
|---|---|---|---|---|---|---|---|---|---|---|
| Table R402.1.2 Insultation and Fenestration Requirements by Component | | | | | | | | | | |
| 4 | 0.27 | 0.50 | 0.4 | 49 | 21 int. or 20+5 or 13 + 5 | 15/20 | 30 | 15/19 | 10,4 FT | 15/19 |
| Table R402.1.4 Equivalent U-Factors | | | | | | | | | | |
| 4 | 0.27 | 0.50 | | 0.026 | 0.045 | 0.056 | 0.033 | 0.050 | 0.059 | 0.042 |

Notes:

* Plans have been designed in accordance with the prescriptive energy requirements of the 2020 Energy Conservation Construction Code of New York State.
* Plans have been designed in accordance with the National Electrical code NFPA 70 2014 Edition.
* All wall insulation to be installed per manufacturer's instructions.
* Existing and proposed building construction to be Type 5 B: Wood-Framed, combustible.

## Construction Requirements

All work shall be in accordance with the 2020 New York State Building Code and the November 2019 addition, and all applicable local jurisdiction and fire department regulations.

Contractor shall obtain all permits as required prior to start of work and schedule inspections with the building inspector and other regulating authority at appropriate stages of the work as required by code and by the local building inspector. Inspection personnel shall be notified a minimum of five days prior to proposed date of inspections. Work shall not be closed or covered until it has been inspected and approved.

All work, including plumbing and electrical work, shall be performed by licensed contractors.

All work with engineered lumber and/ or truss construction must be placarded as per NYSDOS.

The contractor shall maintain a current and complete set of construction drawings and specifications at the construction site during all phases of construction for use of trades, architect and Building Dept. personnel.

Contractor shall verify all field conditions and dimensions and be responsible for field fit and quantity of work.

Contractor shall notify the architect of any discrepancies in drawings, specifications and field conditions before commencing the work and notify architect immediately if any portion of work cannot be performed as specified.

The contractor shall not scale drawings for purposes of construction and shall verify any dimensions needing clarification with architect prior to construction.

Construction work shall be done on regular work hours except as directed by owner. All local ordinances regarding noise and nuisance shall be respected.

Contractor shall exercise strict control over safety and security of the site.

The contractor(s) shall strictly adhere to requirements of all jurisdictional agencies for the protection of all persons from hazards during demolition and construction and during removal of any lead paint, asbestos, pcb's etc. Which might exist on the site. Test all paint and suspected hazardous materials to be removed prior to commencement of work. Notify owner if abatement and mitigation is required. Follow DEP, NY state DOL ICR 56 and U.S. EPA certification programs for containment, removal, and disposal of waste. Materials used for construction, fabrication or finishes shall be approved per minimum standard appropriate for the respective purpose.

Contractors shall provide on site first aid facilities and protective gear required by Osha Standards to prevent injury to all workers and persons visiting the site.

The entire areas and the job site shall be maintained in a neat and orderly condition and kept free from waste and rubbish during the entire construction period. Remove materials or trash from the site at the end of each working day.

All exits, and ways of approach thereto shall be continuously maintained free from all obstructions or impediments to full instant use in the case of fire or other emergency.

Contractor's personnel will be admitted to the property upon permission of the owner. No alcohol nor drug use shall be permitted.

Contractor will be responsible for repairing any damages or replacing any items destroyed in the process of the work. Contractor will be responsible for property and materials of any kind on the premises, and shall provide all necessary protection for the work until turned over to the owner.

## Abbreviations

**A**

| | |
|---|---|
| A/C | AIR CONDITIONING |
| ACOUS. | ACOUSTICAL |
| ACOUS.T AC.T.) | ACOUSTICAL TILE (OR |
| ADD'N(L). | ADDITION(AL) |
| ADJ. | ADJUSTABLE |
| ALUM. | ALUMINUM |
| ALT. | ALTERNATE |
| ANOD. | ANODIZED |
| APPVD. | APPROVED |
| APPROX. | APPROXIMATE |
| ARCH. | ARCHITECT or ARCHITECTURAL |
| AUTO. | AUTOMATIC |
| AVG. | AVERAGE |
| & | AND |
| A.F.F. | ABOVE FINISH FLOOR |
| ABV. | ABOVE |

**B**

| | |
|---|---|
| BD. | BOARD |
| BLDG. | BUILDING |
| BLKG. | BLOCKING |
| BRKT. | BRACKET |
| BRZ. | BRONZE |
| BSMT. | BASEMENT |

**C**

| | |
|---|---|
| CAB. | CABINET |
| C.C. | CENTER TO CENTER |
| CER. | CERAMIC |
| CLKG. | CALKING |
| | CENTER LINE |
| CLG. (OR CEIL.) | CEILING |
| CLOS. | CLOSET |
| CLR. | CLEAR |
| CLR. OPG. | CLEAR OPENING |
| COL. | COLUMN |
| CONC. | CONCRETE |
| CONN. | CONNECT OR CONNECTION |
| CONST. | CONSTRUCTION |
| CONT. | CONTINUOUS |
| COR. | CORNER |
| CORR. | CORRIDOR |
| C.T. | COUNTERTOP |
| CTR. | CENTER |
| C.W. | COLD WATER |
| CM. | CARBON MONOXIDE |

**D**

| | |
|---|---|
| D.A. | DOUBLE-ACTING DBL. DOUBLE |
| DEPT. | DEPARTMENT |
| DET. | DETAIL |
| D.F. | DRINKING FOUNTAIN |
| DIA. | DIAMETER |
| DIM. | DIMENSION |
| DIV. | DIVISION |
| DN. | DOWN |
| DR. | DOOR |
| DWG. | DRAWING |
| DRW. | DRAWER |

**E**

| | |
|---|---|
| (E.) | EAST |
| ELEC. | ELECTRIC |
| EL. | ELEVATION |
| ELEVR. | ELEVATOR |
| ENGR. | ENGINEER |
| EQ. | EQUAL |
| EQUIP. | EQUIPMENT |
| EXH. | EXHAUST |
| E, EXIST. | EXISTING |
| EXPAN. | EXPANSION EXPOS. EXPOSED |
| EXT. | EXTERIOR |
| ELECT. | ELECTRICAL |

**F**

| | |
|---|---|
| F.ALM. | FIRE ALARM |
| FABR. | FABRICATE |
| F.E. | FIRE EXTINGUISHER |
| F.E.C. | FIRE EXTINGUISHER CABINET |
| FIN. FL. | FINISH FLOOR |
| F.H.C. | FIRE HOSE CABINET |
| FIN. | FINISH(ED) |
| FLR. | FLOOR |
| FLUOR. | FLUORESCENT |
| F.O.C. | FACE OF CONCRETE |
| F.O.F. | FACE OF FINISH |
| F.O.G. | FACE OF GYP.BD. |
| F.O.S. | FACE OF STUD |
| F.O.W. | FACE OF WALL |
| FR. | FRAME |
| F.S. | FULL SIZE |
| FT. | FOOT OR FEET |
| F.A.R. | FLOOR AREA RATIO |
| F-F | FACE TO FACE FURR. FURRING |
| FIXT. | FIXTURE |

**G**

| | |
|---|---|
| GA. | GAUGE |
| GEN. | GENERAL |
| GL. | GLASS OR GLAZED |
| GYP. | GYPSUM |
| GWB | GYPSUM WALL BOARD |

**H**

| | |
|---|---|
| HDWR. | HARDWARE |
| HDWD. | HARDWOOD |
| HGT. | HEIGHT |
| H.M. | HOLLOW METAL |
| HORIZ. | HORIZONTAL |
| HVAC | HEATING, VENTILATING AND AIR CONDITIONING |
| H.W. | HOT WATER |

**I**

| | |
|---|---|
| I.D. | INSIDE DIAMETER |
| INCL. | INCLUDE(D)(ING) |
| INFO. | INFORMATION INCAN. INCANDESCENT |
| INT. | INTERIOR |

**J**

| | |
|---|---|
| JAN. | JANITOR |
| JT. | JOINT |

**L**

| | |
|---|---|
| ∠ | ANGLE |
| LAM. | LAMINATE |
| LB. (OR #) | POUND |
| L.H. | LEFT HAND |
| LAV. | LAVATORY |

**M**

| | |
|---|---|
| MAINT. | MAINTENANCE |
| MAX. | MAXIMUM |
| MECH. | MECHANICAL |
| M.C. | MAIL CHUTE |
| MTL. | METAL |
| MEZZ. | MEZZANINE |
| MGR. | MANAGER |
| MIN. | MINIMUM |
| MISC. | MISCELLANEOUS |
| MTD. | MOUNTED |
| MUL. | MULLION |
| M.TH. | METAL THRESHOLD |
| MW. | MICROWAVE |

**N**

| | |
|---|---|
| (N) | NORTH |
| N. | NEW |
| NEG. | NEGATIVE |
| N.I.C. | NOT IN CONTRACT |
| NO.(OR #) | NUMBER |
| N.T.S. | NOT TO SCALE |

**O**

| | |
|---|---|
| O.A. | OVERALL |
| O.C. | ON CENTER |
| O.D. | OUTSIDE DIAMETER OFF. OFFICE |
| O.H. | OPPOSITE HAND OPNG. OPENING |
| OPP. | OPPOSITE |
| ORIG. | ORIGINAL |

**P**

| | |
|---|---|
| PART. BD. | PARTICLE BOARD |
| P.LAM. | PLASTIC LAMINATE |
| PLAS. | PLASTER |
| PLYWD. | PLYWOOD |
| PNL. | PANEL |
| PR. | PAIR |
| PREFAB. | PREFABRICATED |
| PROJ. | PROJECT |
| PTN. | PARTITION |
| PTD. | PAINTED |
| PWG. | PAINTED WOOD & GLASS |

**Q**

| | |
|---|---|
| QUAL. | QUALITY |
| QUAN. | QUANTITY |

**R**

| | |
|---|---|
| R/A | RETURN AIR |
| RAD. | RADIUS |
| RECEP. | RECEPTACLE |
| REF. | REFERENCE |
| REFL. | REFLECTED |
| REINF. | REINFORCED |
| RESIL. | RESILIENT |
| REQ'D. | REQUIRED |
| R.H. | RIGHT HAND |
| RM. | ROOM |
| RND. | ROUND |
| R.O. | ROUGH OPENING |
| REV. | REVISION |

**S**

| | |
|---|---|
| (S) | SOUTH |
| SCHED. | SCHEDULE |
| SECT. | SECTION |
| SIM. | SIMILAR |
| SQ. | SQUARE |
| S.F. | SQUARE FEET |
| STL. | STEEL |
| S.S. | STAINLESS STEEL |
| STD. | STANDARD STRUCT. STRUCTURAL |
| SUSP. | SUSPEND(ED) SYMM. SYMMETRICAL |
| SYS. | SYSTEM |
| SPL. | SPLASH |
| S.D. | SMOKE DETECTOR |
| STOR. | STORAGE |

**T**

| | |
|---|---|
| TECH. | TECHNICAL |
| TEL. | TELEPHONE |
| TEMPD. | TEMPERED |
| TEMP. GL. | TEMPERED GLASS |
| THK. | THICK(NESS) |
| TYP. | TYPICAL |
| T.M.E. | TO MATCH EXISTING |

**U**

| | |
|---|---|
| U.L. | UNDERWRITERS LABORATORY |
| UTIL. | UTILITY |
| U.O.N. | UNLESS OTHERWISE NOTED |

**V**

| | |
|---|---|
| VERT. | VERTICAL |
| VEST. | VESTIBULE |
| V.I.F. | VERIFY IN FIELD |
| VOL. | VOLUME |

**W**

| | |
|---|---|
| (W) | WEST |
| W/ | WITH |
| W.C. | WATER CLOSET |
| WD | WOOD |
| WIN. | WINDOW |
| W.H. | WATER HEATER |
| W/O | WITHOUT |
| W.S. | WEATHERSTRIPPING |
| WV. | WOOD VENEER |

**Y**

| | |
|---|---|
| YD. | YARD |

## Legend and Symbols

| Symbol | Description | |
|---|---|---|
| X / A-X.XX | ELEVATION NUMBER / DRAWING NUMBER | ELEVATION |
| X / A-X.XX | DETAIL NUMBER / DRAWING NUMBER | DETAIL |
| XX | DOOR NUMBER | |
| X | WINDOW TYPE | |
| PXX | PLUMBING FIXTURE TAG | |
| EXX | EQUIPMENT TAG | |
| X | FINISH TAG | |
| X | KEY NOTE | |
| X | WALL TYPE | |
| ROOM NAME / ROOM NO. | ROOM TAG | |

## LIST OF DRAWINGS



| SHEET NO. | TITLE | REVISION | DATE |
|---|---|---|---|
| G-0.00 | General Notes and List of Drawings | | 05/01/2023 |
| G-1.00 | Zoning Analysis | | 05/01/2023 |
| G-1.01 | Images of Existing Conditions | | 05/01/2023 |
| A-1.00 | Demolition Floor Plan | | 05/01/2023 |
| A-1.10 | Existing Elevations | | 05/01/2023 |
| A-2.00 | Proposed Garage Plan & Roof Plan | | 05/01/2023 |
| A-2.10 | Proposed Electrical Plans | | 05/01/2023 |
| A-3.00 | Proposed Exterior Elevations | | 05/01/2023 |
| A-4.00 | Proposed Wall Sections | | 05/01/2023 |
| A-4.10 | Site Details | | 05/01/2023 |
| S-1.00 | Proposed Structural Plans | | 05/01/2023 |



# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT JOHN MATTHEW MALONE 031522 STATE OF NEW YORK


FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031


## General Notes & List of Drawings

**SCALE:** **As Noted**

**DATE:** 04/24/2023

**JOB:** 2305

# G-0.00

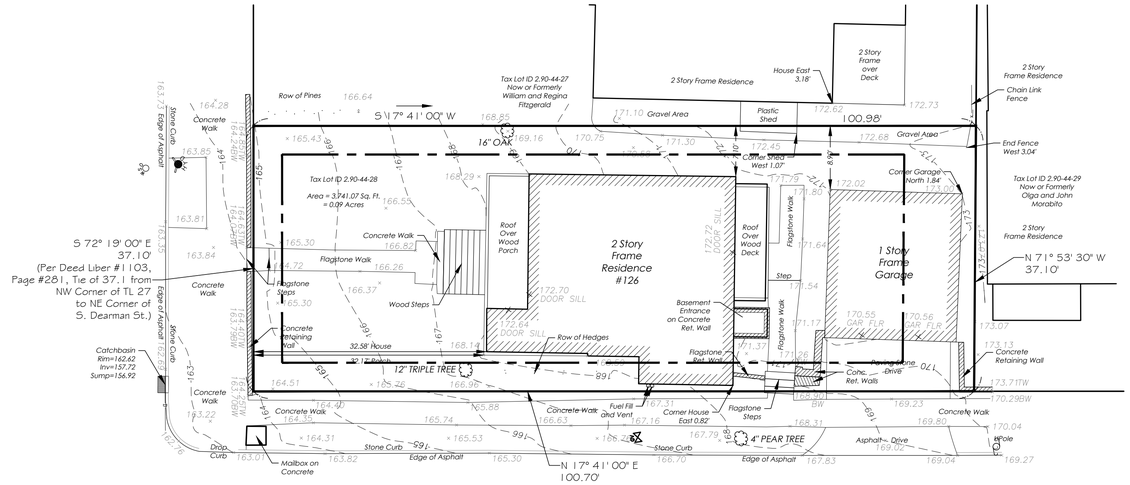
## EXISTING SITE CONDITION

SCALE 1"=10'

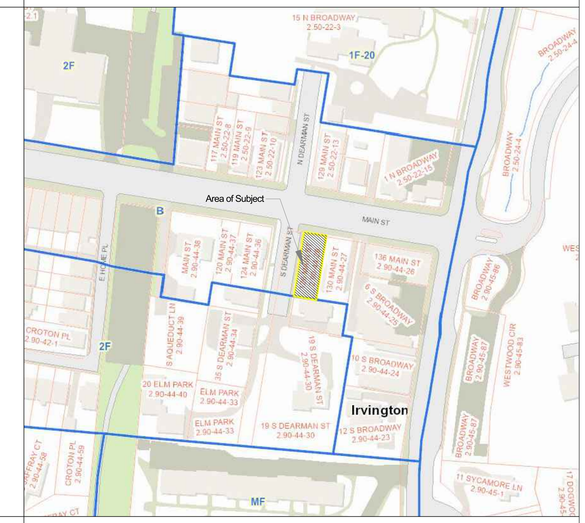
### General Note

Site plan is based on a topographic survey of property' prepared by:

Thomas C. Merritts
Land Surveyors, P.C.
394 Bedford Road
Pleasantville, N.Y. 10570
Dated: September 08, 2020

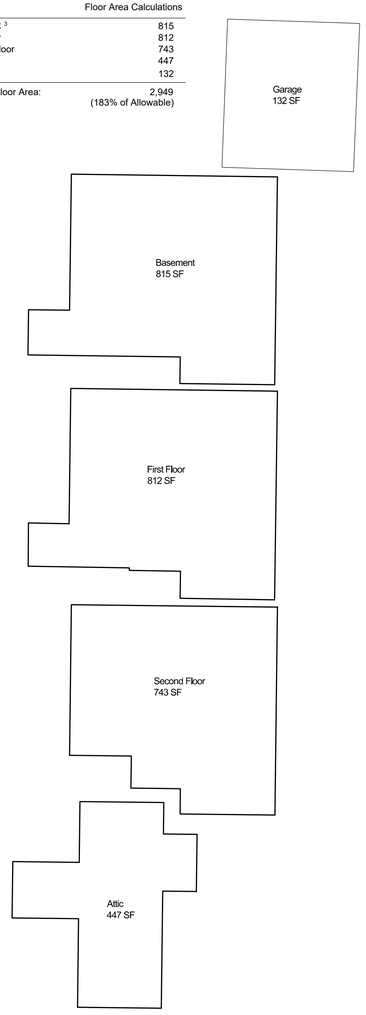



## ZONING MAP

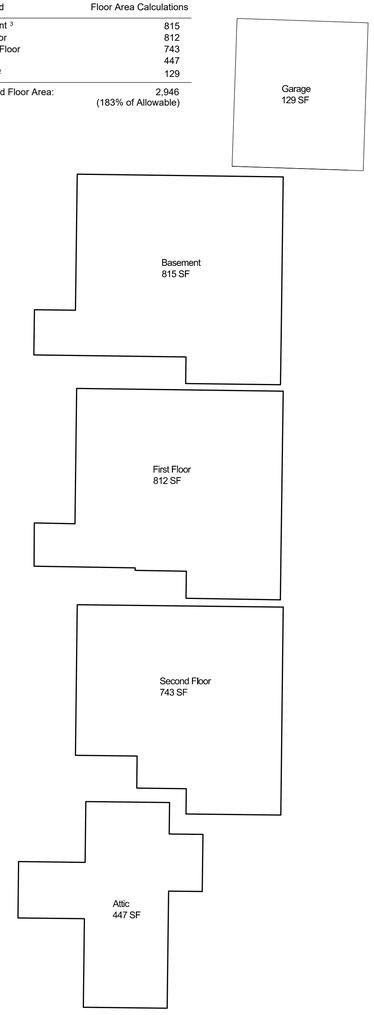



## FLOOR AREA DIAGRAMS

| Existing | Floor Area Calculations |
|---|---|
| Basement [3] | 815 |
| First Floor | 812 |
| Second Floor | 743 |
| Attic [1] | 447 |
| Garage [2] | 132 |
| Existing Floor Area: | 2,949 (183% of Allowable) |

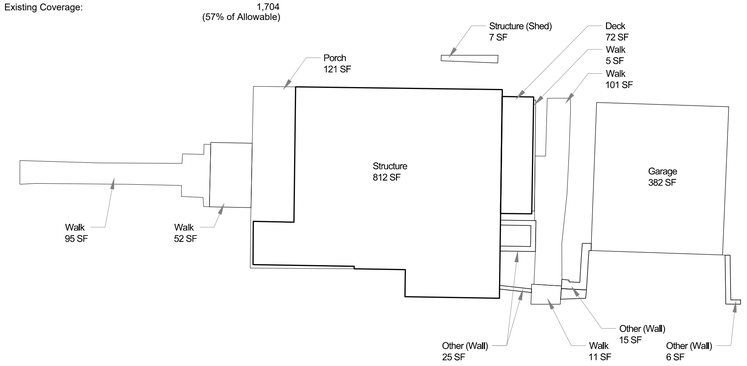



| Proposed | Floor Area Calculations |
|---|---|
| Basement [3] | 815 |
| First Floor | 812 |
| Second Floor | 743 |
| Attic [1] | 447 |
| Garage [2] | 129 |
| Proposed Floor Area: | 2,946 (183% of Allowable) |

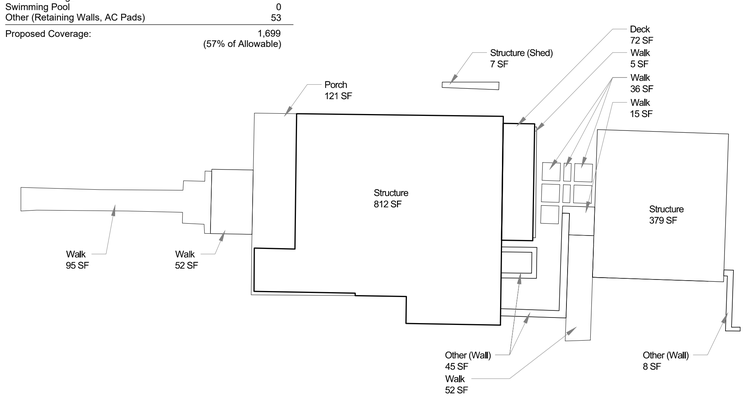



## COVERAGE DIAGRAMS

| Existing | Coverage Calculations |
|---|---|
| Structures | 1201 |
| Decks | 72 |
| Patios, Walks | 264 |
| Porches | 121 |
| Floor Overhangs | 0 |
| Swimming Pool | 0 |
| Other (Retaining Walls, AC Pads) | 46 |
| Existing Coverage: | 1,704 (57% of Allowable) |




| Proposed | Coverage Calculations |
|---|---|
| Structures | 1198 |
| Decks | 72 |
| Patios, Walks | 255 |
| Porches | 121 |
| Floor Overhangs | 0 |
| Swimming Pool | 0 |
| Other (Retaining Walls, AC Pads) | 53 |
| Proposed Coverage: | 1,699 (57% of Allowable) |




## ZONING ANALYSIS

### GENERAL INFORMATION

| ADDRESS | ZONING DISTRICT | PARCEL ID |
|---|---|---|
| 126 Main Street, Irvington, NY | B | 2.90-44-28 |

### USE REQUIREMENTS - AS PER SECTION 224-8

| CATEGORY | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|
| Use | One-Family | One-Family | No Change | |

### LOT REQUIREMENTS - AS PER SECTION 224

| CATEGORY | | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|---|
| Lot Area | S.F. | N/A | 3,741.07 S.F. | No Change | |
| Lot Width | FT. | N/A | 37.10' | No Change | |
| Lot Depth | FT. | N/A | 100.98' | No Change | |

### YARD REQUIREMENTS - AS PER SECTION 224-37

| CATEGORY | | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|---|
| Front Yard | FT. | 4' Min. | 32.17' | No Change | |
| Side Yard | FT. | 4' Min. | 7.10' | No Change | |
| Side Yard | FT. | 4' Min. | 0.82' | No Change | Existing Non-Conforming |
| Rear Yard | FT. | 10' Min. | 1.84' | No Change | |

### COVERAGE REQUIREMENTS - AS PER SECTION 224-36 (15) (C)

| CATEGORY | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|
| Principal + Accessory Building Coverage - 70% of lot max. SF | 2,618.75 S.F. Max. | 1,201 S.F. | 1,198 S.F. | |
| Total Impervious Coverage - 80% of lot max. SF | 2,992.86 S.F. Max. | 1,704 S.F. | 1,699 S.F. | |

### RESIDENTIAL FLOOR AREA RATIO REQUIREMENTS - AS PER SECTION 224-136

| CATEGORY | | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|---|
| Floor Area Ratio | | 0.43 Max. | 0.79 | 0.79 | Existing Non-Conforming |
| Floor Area | S.F. | 1,608.63 S.F. Max. | 2,949 S.F. | 2,946 S.F. | Existing Non-Conforming |

### BUILDING SIZE REQUIREMENTS - AS PER SECTION 224-38

| CATEGORY | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|
| Building Height | 3 STY/ 35 FT | 2.5 STY/ 36'-5" FT | No Change | Existing Non-Conforming |

### OFF-STREET PARKING REQUIREMENTS - AS PER SECTION 224-36

| CATEGORY | REQUIRED / ALLOWED | EXISTING | PROPOSED | REMARK |
|---|---|---|---|---|
| Parking Space | 2 Min. | 2 Spaces | No Change | |

### General Notes:

[1] Attic has been calculated as per section 224-137 C.(5).
[2] Garage has been calculated as per section 224-137 D.
[3] Basement has been calculated as per section 224-137 B.

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT JOHN MATTHEW MALONE 025625 STATE OF NEW YORK


FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

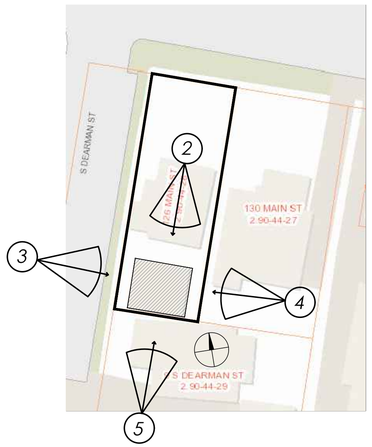

Zoning Analysis

**SCALE:** As Noted

**DATE:** 04/24/2023

**JOB:** 2305

G-1.00




1 Site Map

N.T.S.

2 View #2

N.T.S.

3 View #3

N.T.S.

4 View #4

N.T.S.

5 View #5

N.T.S.

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT
JOHN MATTHEW MALONE
028523
STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

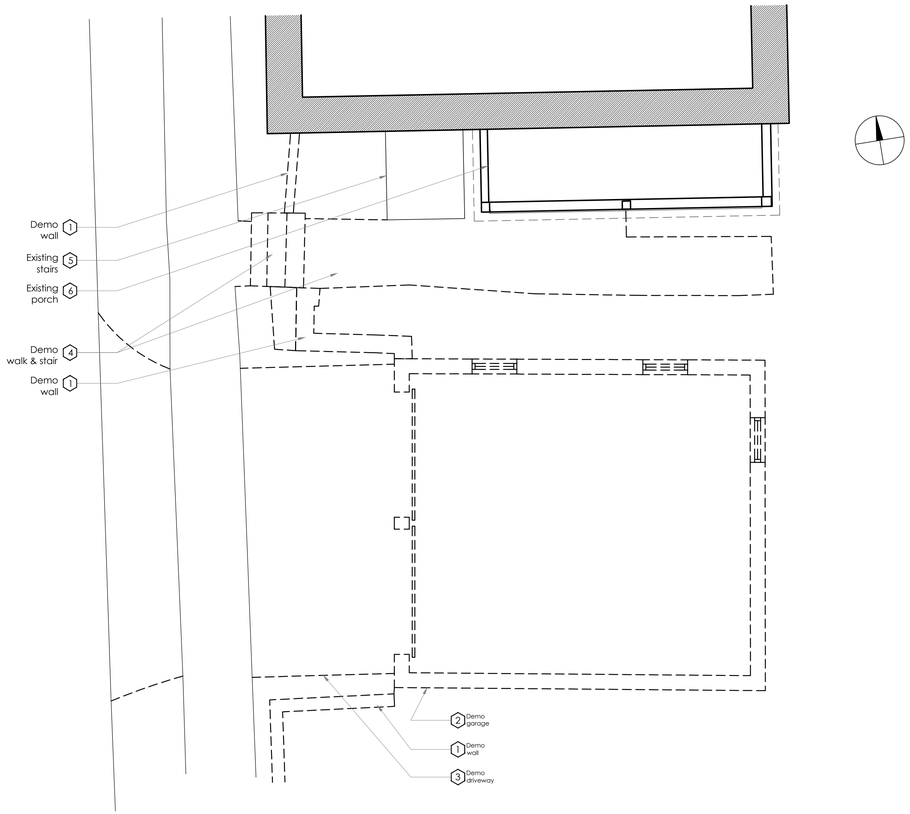
## Existing Exterior Photos

**SCALE:** **As Noted**

**DATE:** 04/24/2023

**JOB:** 2305

G-1.01




1 Demo Garage Floor Plan

1/4" = 1'-0"

## Phasing Key

Demo

Existing Wall/Partition to remain

## Demolition Key Notes

1. Demo Wall - Carefully remove existing retaining walls
2. Demo Garage - Existing garage to be demolished in its entirety
3. Demo driveway - Existing driveway to be removed and prepped for replacement, see sheet A-2.00
4. Demo Walk & Stair - Existing walkway and associated stairs to be removed, salvage existing stone treads for reuse
5. Existing Stairs - Existing basement entry and stairs to remain, Bilco type door to be replaced
6. Existing Porch - Existing porch and patio to remain, completed as part of separate permit

## Demolition Notes

Examination: Qualified professional shall survey existing conditions and correlate with requirements indicated to determine extent of selective demolition required. Inventory and record the condition of items to be removed and reinstalled and items to be removed and salvaged. When unanticipated mechanical, electrical, or structural elements that conflict with intended function or design are encountered, investigate and measure the nature and extent of conflict. Survey condition of building to determine whether removing any element might result in structural deficiency or unplanned collapse of any portion of structure or adjacent structures during selective demolition operations. Promptly notify the Architect if any such conditions exist. Perform regular surveys as the work progresses to detect any hazards resulting from selective demolition activities. promptly notify the architect of any such hazards.

Preparation: Conduct selective demolition and debris-removal operations to ensure minimum interference with roads, streets, walks, walkways, and adjacent properties.
Provide and maintain shoring, bracing, and structural supports as required to preserve stability and prevent movement, settlement, or collapse of construction and finishes to remain, and to prevent unexpected or uncontrolled movement or collapse of construction being demolished.

Demolition: Demolish and remove existing construction only to the extent required by new construction and as indicated. Use methods required to complete the work within limitations of governing regulations and as follows:

Neatly cut openings and holes plumb, square, and true to dimensions required. Use cutting methods least likely to damage construction to remain or adjoining construction. Use hand tools or small power tools designed for sawing or grinding, not hammering and chopping, to minimize disturbance of adjacent surfaces. temporarily cover openings to remain.

Cut or drill from the exposed or finished side into concealed surfaces to avoid marring existing finished surfaces.

Do not use cutting torches until work area is cleared of flammable materials. At concealed spaces, such as duct and pipe interiors, verify condition and contents of hidden space before starting flame-cutting operations. Maintain portable fire-suppression devices during flame-cutting operations.

Dispose of demolished items and materials promptly.

Protect construction indicated to remain against damage and soiling during selective demolition. when permitted by architect, items may be removed to a suitable, protected storage location during selective demolition and reinstalled in their original locations after selective demolition operations are complete.

Utility service and mechanical and electrical systems: Maintain existing utilities indicated to remain in service and protect them against damage during selective demolition operations. locate, identify, disconnect, and seal or cap off indicated utility services and mechanical/electrical systems serving areas to be selectively demolished.

All electrical equipment including switches , receptacles and fixtures not indicated to remain are to be removed. All associated wiring to be abandoned is to be removed. see electrical floor plans for more information.

Disposal of demolished materials: Except for items or materials indicated to be recycled, reused, salvaged, reinstalled, or otherwise indicated to remain owner's property, remove demolished materials from project site and legally dispose of them in an epa-approved landfill. Do not burn demolished materials.

Cleaning: Clean adjacent structures and improvements of dust, dirt, and debris caused by selective demolition operations. return adjacent areas to condition existing before selective demolition operations began.

G.C. to review direction of attic floor framing once demo has commenced to confirm attic floor framing dimensions. Review and confirm all load bearing headers with architect.

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT
JOHN MATTHEW MALONE
023523
STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

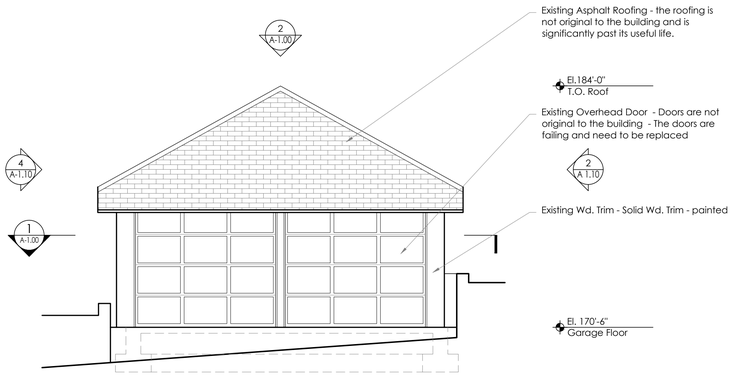
# Proposed Floor Plans

**SCALE:** **As Noted**

**DATE:** 04/24/2023

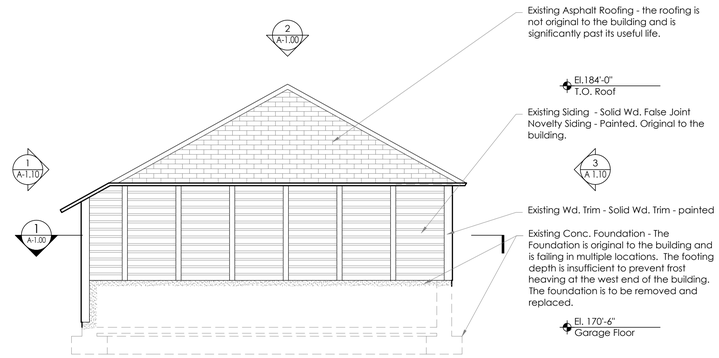
**JOB:** 2305

A-1.00



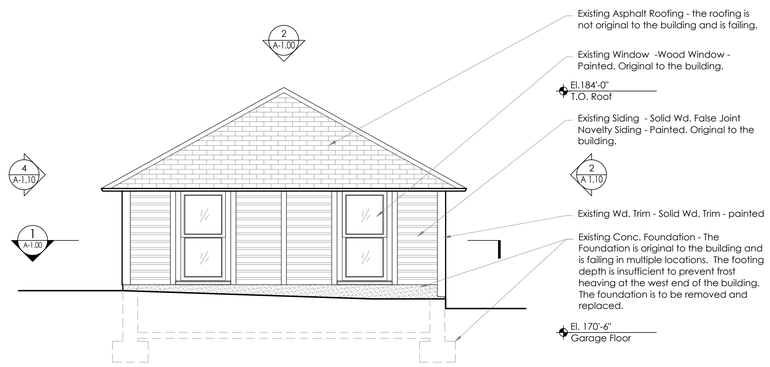

1 Existing Garage Elevation - West

1/4" = 1'-0"



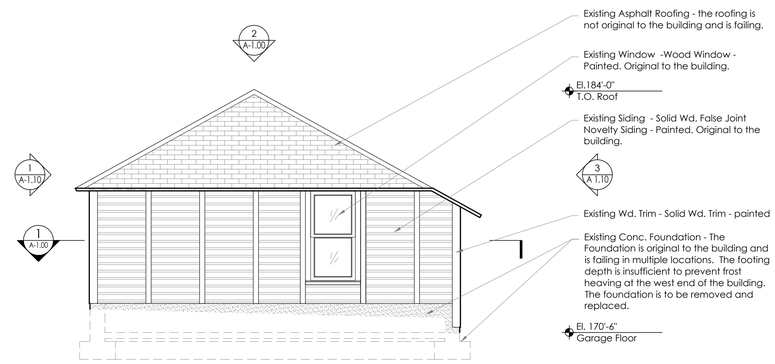

2 Existing Garage Elevation - South

1/4" = 1'-0"




3 Existing Garage Elevation - East

1/4" = 1'-0"




4 Existing Garage Elevation - North

1/4" = 1'-0"

## General Notes

The existing building is to be demolished and replaced - See sheet A-1.00 for additional information.

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

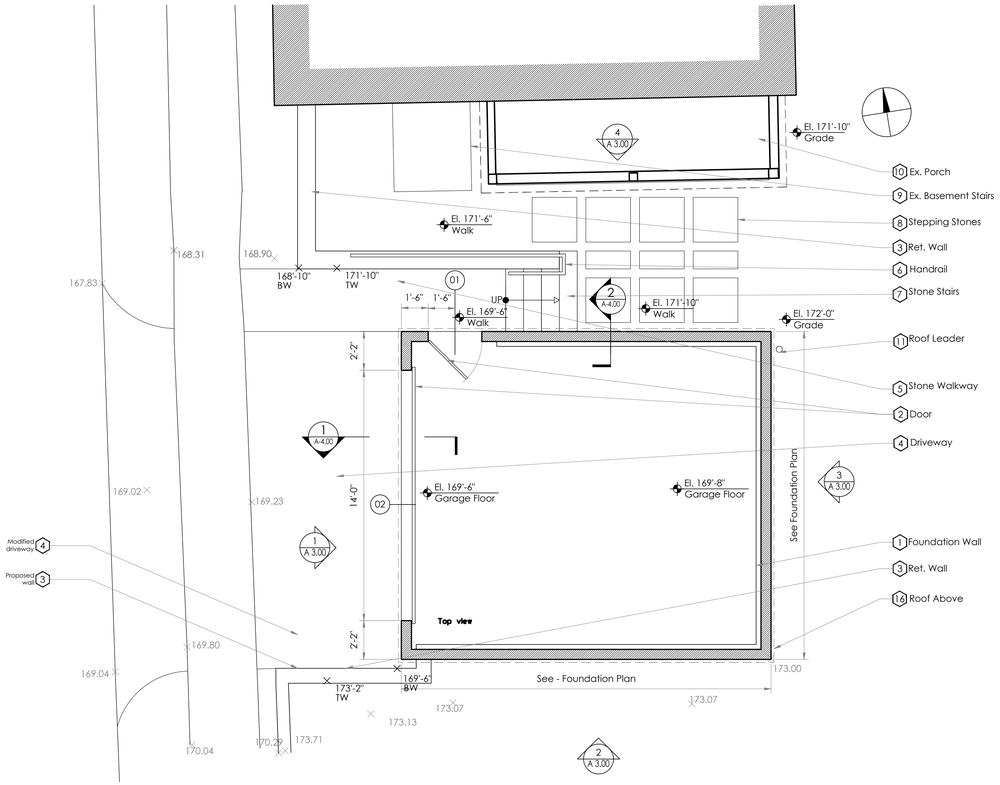
# Existing Exterior Elevations

**SCALE:** **As Noted**

**DATE:** 04/24/2023

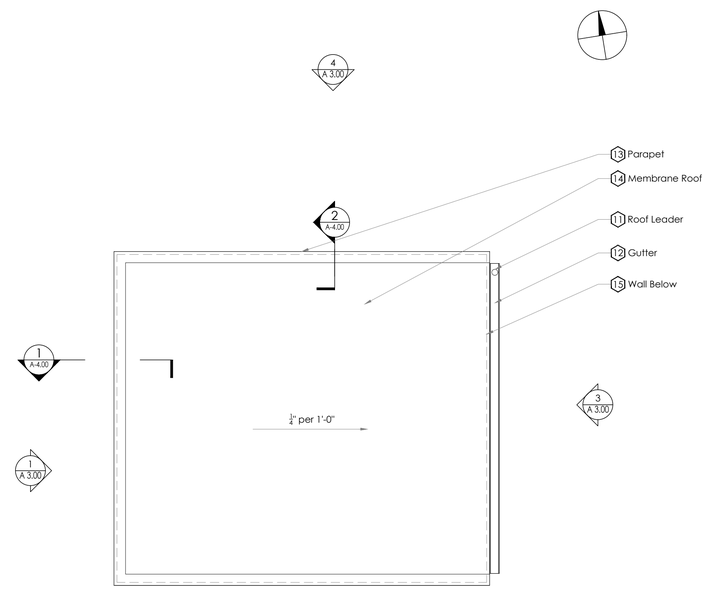
**JOB:** 2305

A-1.10




1 Proposed Garage Floor Plan

1/4" = 1'-0"




2 Proposed Garage Roof Plan

1/4" = 1'-0"

## Key

New exterior wall 2 x6 frame wall - See wallsections for additional information

## General Notes

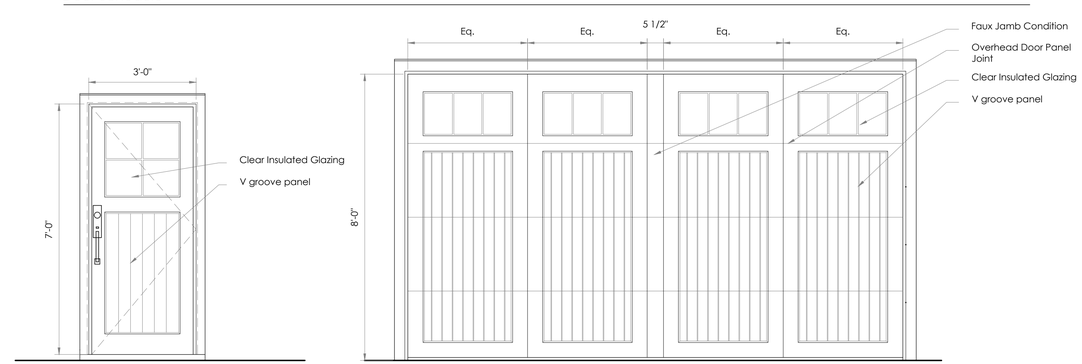
All dimensions need to be field verified and coordinated with existing to remain.

All dimensions are taken to the face of finish u.n.o.

## Key Notes

1. Foundation Wall - line of exposed foundation wall, see wallsections for additional detail
2. Proposed door - See Door Schedule
3. Ret. Wall - Retaining wall - see Detail 1 on Sheet A-4.10
4. Asphalt Driveway - New driveway - see detail 5 on sheet A-4.10
5. Stone Walk - Bluestone walk to match historic treads - See Detail 2 on Sheet A-4.10
6. Handrail - Steel bar handrail mounted to stone tread or stone wall cap, 36" above stair nosing, typ., Bar size to be 1 $\frac{1}{2}$" x 1 $\frac{1}{4}$" on flat. Posts to be 1 $\frac{1}{2}$" x 1 $\frac{1}{2}$" See detail 3 on sheet A-4.10
7. Stone Stairs - stone stairs with salvaged bluestone treads - see detail 3 on sheet A-4.10.
8. Stepping Stones - Bluestone Stepping Stones - see Detail 4 on Sheet 4.10
9. Ex. Basement Stairs - Existing basement entry stairs to remain. Existing Bilco type door to be replaced.
10. Ex. Porch - Existing porch to remain. Renovated under separate Permit.
11. Roof Leader -Roof leader, 4" Round, Copper
12. Gutter -Gutter, 6" Half Round, Copper
13. Parapet - See wallsections for addition information.
14. Roof Membrane - EPDM - See wall sections for additional information.
15. Wall Below - Line of Wall Below
16. Roof Above - Line of Roof Above

## Door Schedule




### Door 01

Description: Wood Exterior Entry Door
Size: 3'-0" x 7'-0"
Operation: RH
Manufacturer: Trustile
Model Number: PL363
Finish: Painted
Frame Type: Wood
Hardware Type: A (Mortise Prep)

### Door 02

Description: Custom Wood Overhead Door (4 Panel)
Size: 14'-0" x 8'-0"
Operation: Overhead
Manufacturer: Cambek Designer Door
Model Number: Custom Carriage Style
Finish: Painted to match trim
Frame Type: NA
Hardware Type: NA

### Hardware Type A

Hinges: 4-1/2" x 4-1/2", Emtek Steel Hinge, Heavy Duty, Ball Bearing, Square Corners.
Entry System: Emtek Harrison Mortise Entry Set, US10B

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT
JOHN MATTHEW MALONE
023
STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

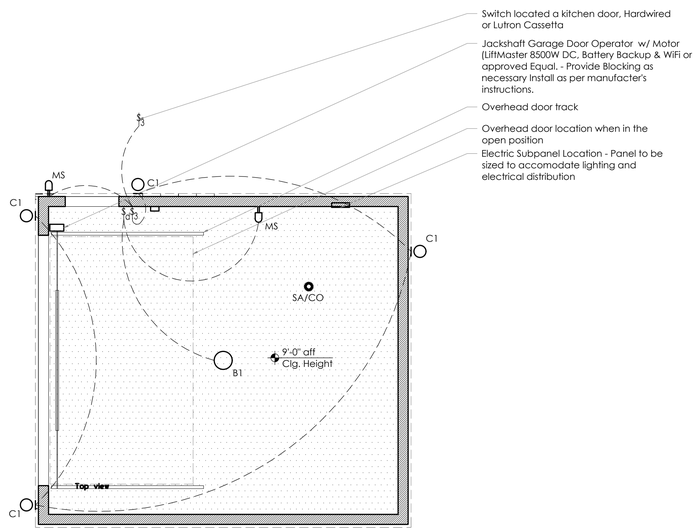
# Proposed Floor Plans

**SCALE:** As Noted

**DATE:** 04/24/2023

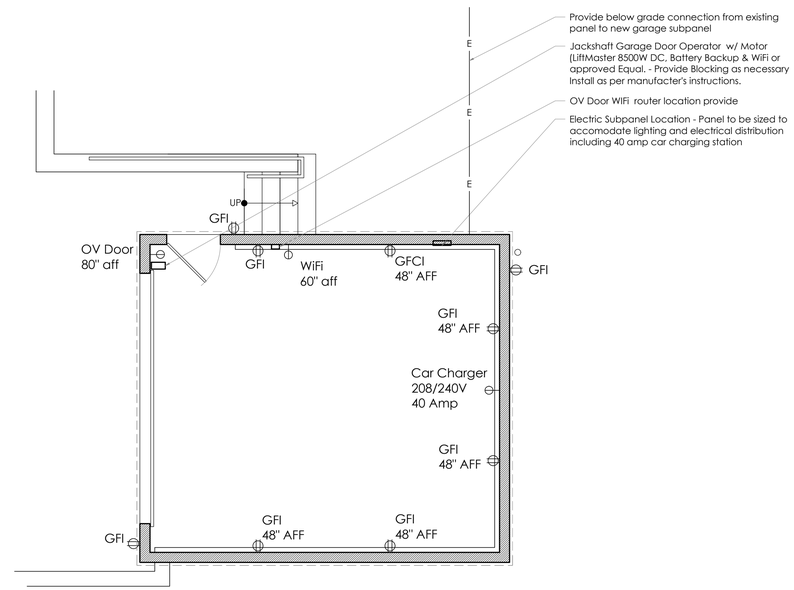
**JOB:** 2305

A-2.00




1 Reflected Ceiling & Lighting Plan

1/4" = 1'-0"




2 Electrical Distribution Plan

1/4" = 1'-0"

| Lighting Fixture Schedule | | | | | | | |
|---|---|---|---|---|---|---|---|
| B1 | Ceiling Mounted Flush Fixture | Garage Interior | WAC | Dot, FM-W57815-35-BK | 120 | TBD | Contractor supplied and installed |
| CI | Exterior Sconce | Garage Exterior | WAC | Sodor, WS-W15708-BK | 120 | Black | Contractor supplied and installed |
| MS | Motion Sensor | Garage Interior/Exterior | Wac Lighting | MS-120 | 120 | White | Contractor supplied and installed |

## Lighting Notes

The existing electrical service is to be upgraded as needed as per licensed sub evaluation, see power distribution plan for additional information.

New lighting fixtures shall be provided as indicated on the fixture schedule. install all accessories, wiring and conduit as required.

All IC Rated recessed lighting fixtures are to be sealed at housing finish and be labeled to indicate $\leq$ 2.0 cfm leakages at 75 Pa.

All fixtures are to be controlled with switches as indicated, Lutron or approved equal. Provide LED compatible dimmers as indicated.

Exact locations of switches and lighting control components shall be verified with architect prior to installation.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Light switches to be mounted at 3'-6" to centerline above finish floor.

Smoke alarms shall be listed and installed in accordance with the provisions of the Residential Code of New York State and Household Fire Warning Equipment Provisions of NFPA 72. Smoke alarms shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms.

Contractor is to confirm compatibility of all specified fixture with the lighting control system.

## Key of Ceiling Finishes

New $\frac{1}{2}$" G.W.B. Ceiling - To be finished and painted

## Key of Devices

- $ — New single pole switch
- $d — New switch with dimming capability
- $3 — New switch with 3-way capability
- $DR — New door switch
- $3d — New switch with 3-way & dimming capability
- $4 — New switch with 4-way capability
- SA/CO — New smoke / carbon monoxide detector /alarm

## Electrical Distribution Notes

All work shall be performed by licensed personnel, and shall comply with N.Y. State Uniform Fire Prevention and Building Code, the regulations of the National Board of Fire Underwriters, National Fire Protective Association and all federal, state, and municipal authorities having jurisdiction over the work. All work shall comply with the National Electrical Code NFPA 20 Edition 2020.

New service will be grounded as per section E3608.14 of the NYS IRC, by grounding a rod or pipe electrode. Rod and pipe electrodes shall be installed as per section E3608.1.4.1 of the NYS IRC such that at least 8' of length is in contact with the soil. They shall be driven to a depth of not less than 8'. All work shall comply w/ the National Electrical Code NFPA70 edition 2020.

Contractor shall obtain exact requirements before proceeding with the work.

Install wiring and conduit as required by code.

Circuit breakers shall be single switch bolted thermal magnetic protection type. Circuit breakers shall be ground fault interrupters where required.

Install all fixtures and luminaires as per manufacturer's instructions. All fixtures shall be tested to assure a flawlessly functional operation.

All switches and receptacles are to be leviton "decora", residential grade. dimmers are to be "sure slide" type. Coverplates and devices are to be white.

Adjacent switches and receptacles are to be installed in ganged with single coverplate.

Exact locations of outlets & switches shall be field verified with architect and homeowner prior to installation. Install new outlets at 18" to centerline above finish floor, except as noted. Locate dedicated appliance receptacles as per appliance manufacturers instructions. Receptacle locations shown on power and data plan. Provide additional receptacles as necessary to comply with applicable codes.

## Key of Devices

- GFI — New wall mounted duplex electrical receptacle (typ) u.o.n. ground-fault circuit interrupter
- APP — Appliance connection
- 240V — 240V receptacle
- New sill mounted single electrical receptacle, "SILLITES", connected to GFI circuit

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT
JOHN MATTHEW MALONE
028523
STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533

T 914 591 5066 F 914 591 5031

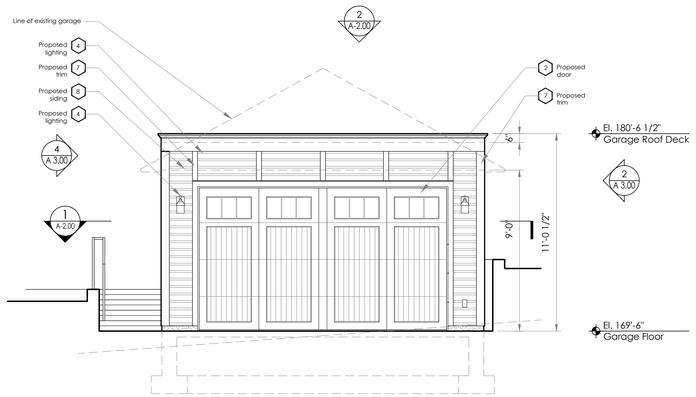
# Proposed Electrical Plans

**SCALE:** **As Noted**

**DATE:** 04/24/2023

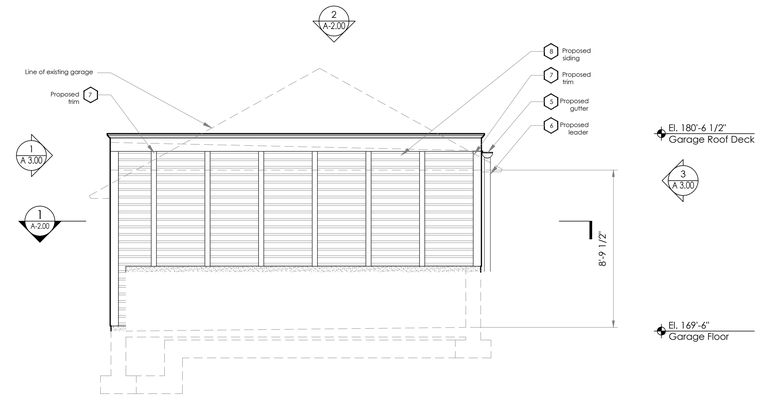
**JOB:** 2305

A-2.10



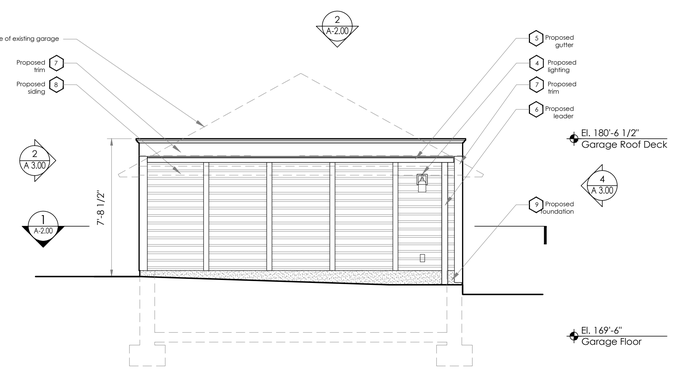

1 Proposed Garage Elevation - West

1/4" = 1'-0"



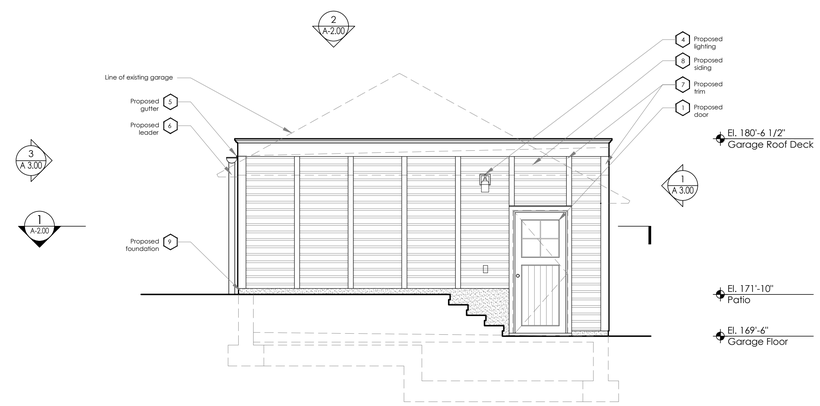

2 Proposed Garage Elevation - South

1/4" = 1'-0"




3 Proposed Garage Elevation - East

1/4" = 1'-0"




4 Proposed Garage Elevation - North

1/4" = 1'-0"

## Key Notes

1. Proposed Door - New exterior door, see sheet A-2.00 for more information
2. Proposed Door - New garage door, see sheet A-2.00 for more information
3. Proposed Roof - New membrane roof, see roof plan and wall sections for more information
4. Proposed Lighting - New exterior dark sky compliant wall mounted light fixture
5. Proposed Gutter - New gutter to match existing gutters
6. Proposed Leader - New leader to match existing leaders
7. Proposed Trim -1x solid wood mahogany trim to match existing, painted
8. Proposed Siding - False Joint Novelty Type Siding - Solid Wd. - Profile to match main house
9. Proposed Foundation - New foundation, see foundation plan for more information

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

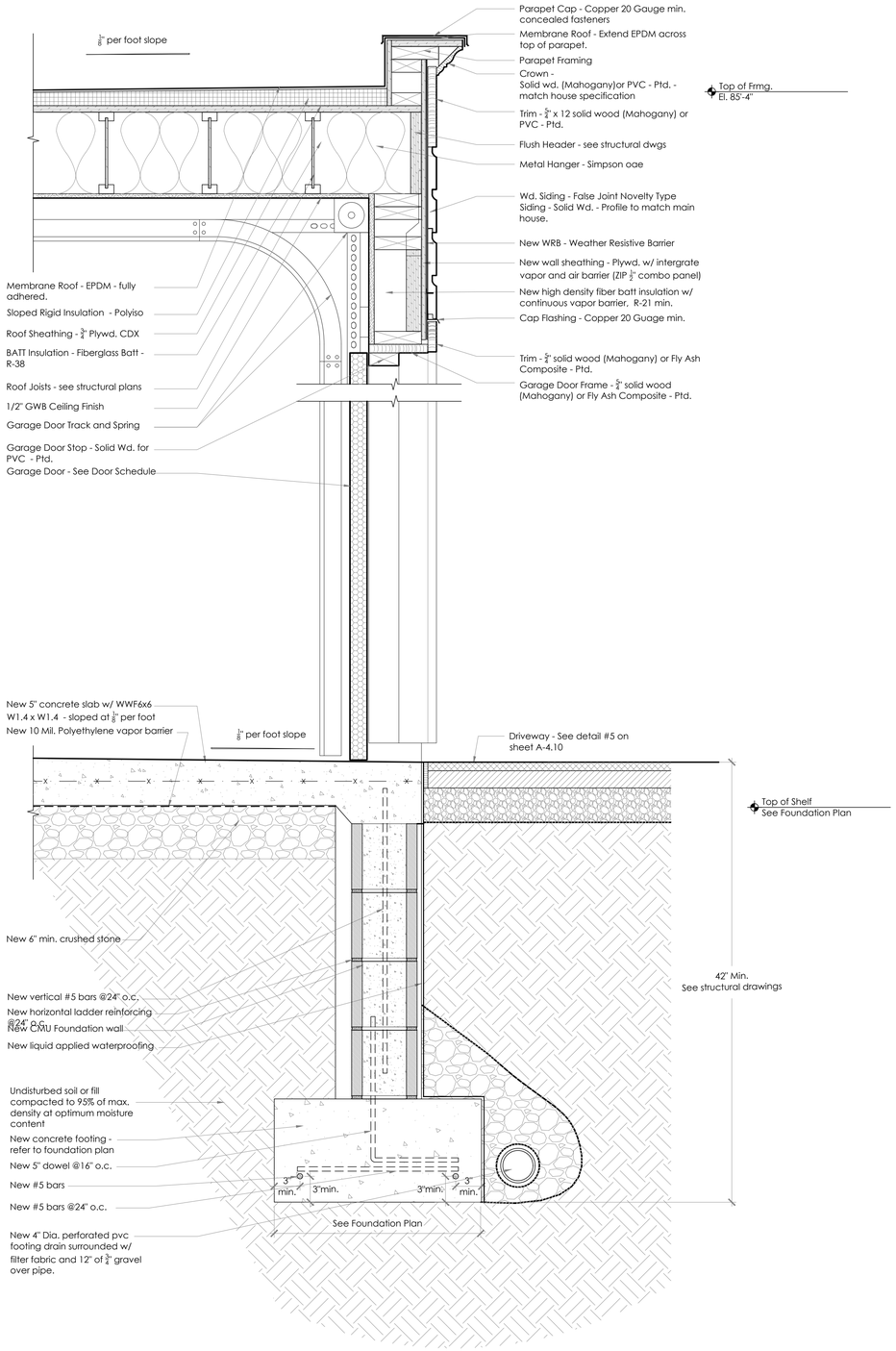
# Proposed Exterior Elevations

**SCALE:** **As Noted**

**DATE:** 04/24/2023

**JOB:** 2305

A-3.00




1 Wall Detail

1-1/2" = 1'-0"

2 Wall Detail

1-1/2" = 1'-0"

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

REGISTERED ARCHITECT JOHN MATTHEW MALONE 018525 STATE OF NEW YORK

FERGUSON MALONE ARCHITECTURE

ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

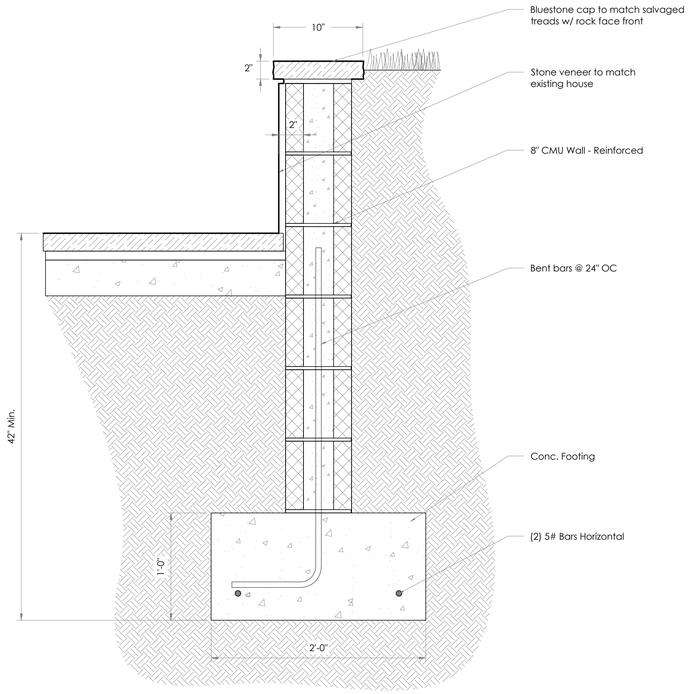
## Wall Sections

**SCALE:** As Noted

**DATE:** 04/24/2023

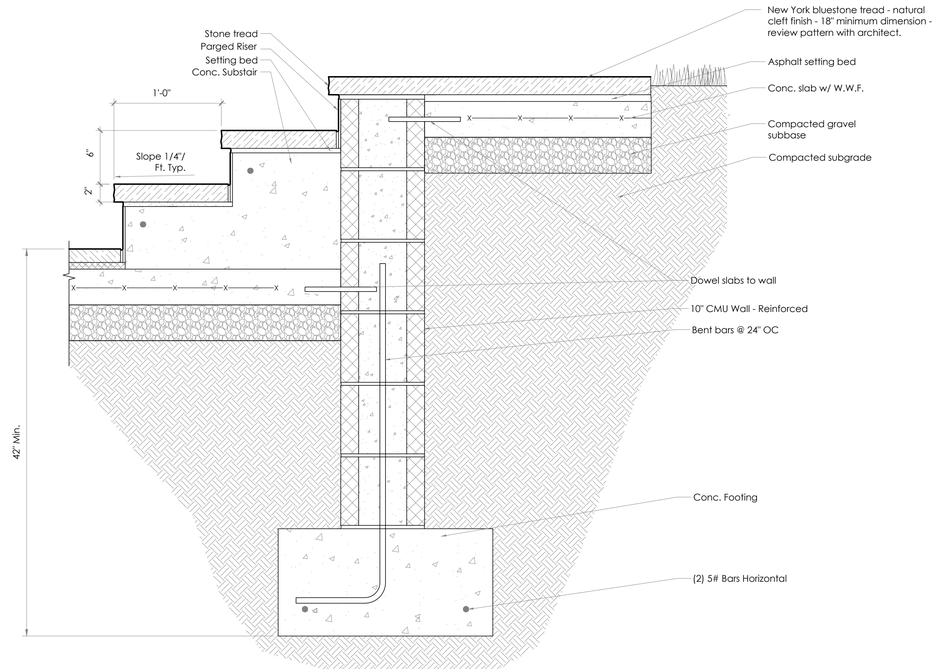
**JOB:** 2305

A-4.00



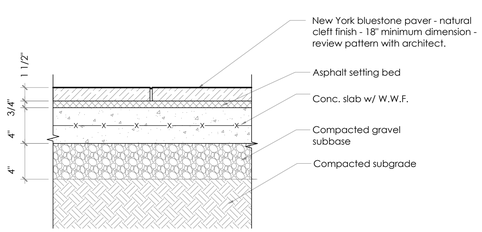

1 Retaining Wall

1 1/2" = 1'-0"



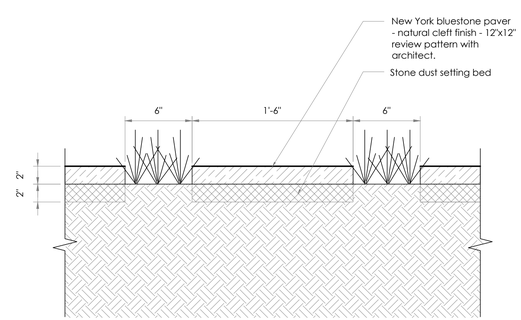

3 Retaining Wall w/ Steps

1 1/2" = 1'-0"



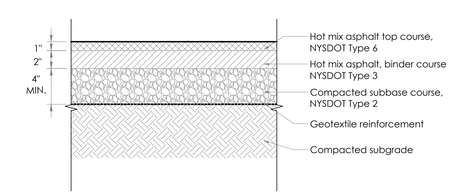

2 Stone Paver on Rigid Base

1 1/2" = 1'-0"




4 Stone Paver on Setting Bed

3/4" = 1'-0"




5 Light Duty Asphalt Driveway

1 1/2" = 1'-0"

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

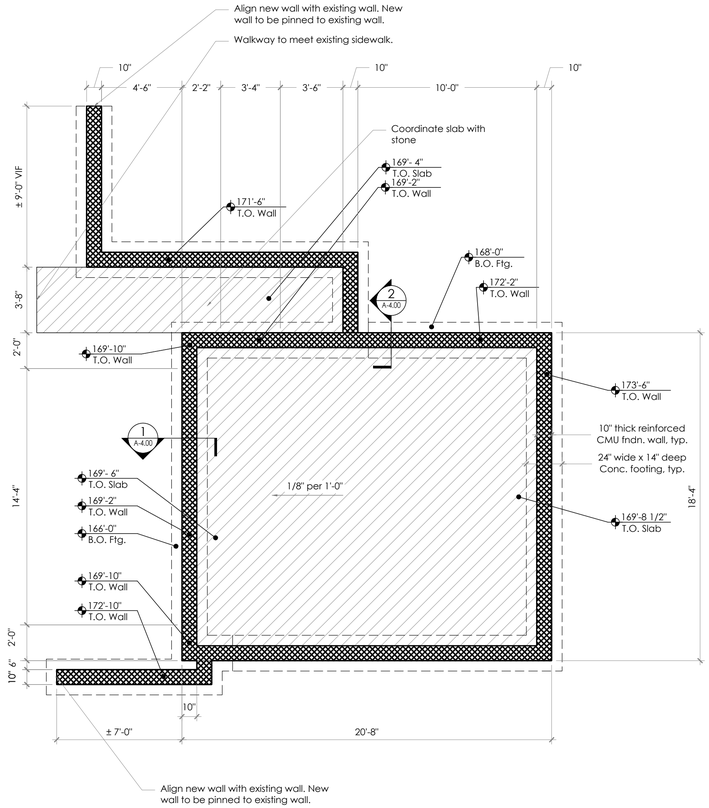
## Site Details

**SCALE:** As Noted

**DATE:** 04/24/2023

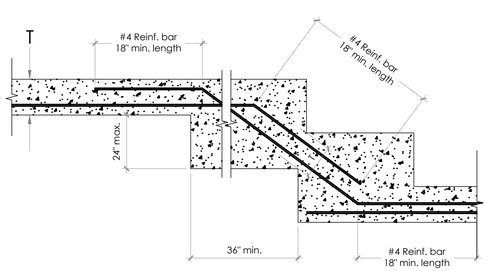
**JOB:** 2305

A-4.10




1 Proposed Foundation Plan

1/4" = 1'-0"




Notes: T = Footing thickness
the minimum footing thickness, t, in stepped areas shall equal the footing thickness in those unstepped areas. the reinforcing bar size in stepped areas shall equal the bar size in those unstepped areas. a minimum of 3 inches of concrete is required around all reinforcing bars.

3 Stepped Footing Detail

1/2" = 1'-0"

## Foundation Legend

- Existing foundation wall
- Line of existing footing
- New CMU foundation wall or modification
- Line of shelf or change in wall height
- New concrete spread footing
- New footing step location, see detail #3 on this sheet

## Concrete Notes

1. Concrete mix designs required are listed below. All concrete mixes shall conform to the provisions for concrete quality contained in chapter 4, ACI 318, except that minimum cement content and maximum water-cement ration shall be given as below. Compressive strength, F 'C, is measured at 28 days age, except if high early strength cement is used.
F 'C 3000 PSI coarse aggregate normal weight
MIN. cement (LBS/CY) 520
MAX. water-cement ratio 0.48

2. See architectural drawings for exact detail and location of openings, depressions, or recesses in walls and slabs and for the dimensions not shown in the structural drawings. See mechanical and electrical drawings for information regarding size and location of openings for ducts, pipes, conduits, machine pads, and the like. Proposed openings or recesses in the structure which are not shown in the structural drawings, either directly or by typical detail, shall be submitted through the architect to the structural engineer for review.

3. All reinforcing steel shall be deformed bars conforming to ASTM A615, grade 60.

4. Welded wire mesh (WWM) shall conform to ASTM A185.

5. Detailing of reinforcing steel shall conform to "ACI Manual of Standard Practice for Detailing Reinforced Concrete Structures" (ACI 315).

6. The minimum concrete protection for reinforcement, subject to tolerances permitted by code, shall be as noted below but shall not be less than 1 bar diameter.

| | | minimum cover (inches) |
|---|---|---|
| A. | Concrete cast against and permanently exposed to earth | 3 |
| B. | Concrete exposed to earth or weather: | |
| | #6 through #18 bars | 2 |
| | #5 bar, w31 or d31 wire and smaller | 1 1/2 |
| C. | Concrete not exposed to weather or in contact with the ground: | |
| | slabs, walls, joists: | |
| | #14 and #18 bars | 1 1/2 |
| | #11 bar and smaller | 3/4 |
| | beams, columns: primary reinforcement, ties, stirrups spirals | 1 1/2 |

7. Splice of WWM, at al spliced edges, shall be such that the overlap measured between outermost cross wires of each fabric sheet is not less than the spacing of the cross wire plus 2 inches, nor less than 8 inches.

## Foundation Notes

1. Footings shall rest on undisturbed soil of minimum bearing capacity: 4000PSF. Adequacy of bearing stratum shall be verified in the field by the architect and his geotechnical engineer, prior to pouring concrete. Adjust bottom of footing elevation as required.

2. Do not place backfill against foundation walls until all floors or roofs bracing these walls are in place.

3. All concrete subject to potentially destructive weathering action such as freeze/ thaw shall be air entrained.

4. Installation shall be in accordance with ACI 301, specifications for concrete for buildings.

## Concrete Masonry Notes

1. Concrete masonry materials and construction shall conform to the American Concrete Institute (ACI) 530.

2. Concrete masonry units shall conform to ASTM C 90 and shall be made with lightweight aggregate. Minimum net area compressive strength of masonry units shall be 1,900 psi at 28 days.

3. Compressive strength of masonry shall be determined by the unit strength method as set forth in ACI 530.1. The net area compressive strength of masonry, Fm, shall be 1,500 psi at 28 days.

4. Mortar shall be Type M or S and shall comply with ASTM C 270, proportions or properties specification.

5. Grout shall comply with ASTM C 476 properties specification or shall be proportioned to obtain a documented 28 day compressive strength of 2,000 psi.

6. Reinforcing steel shall comply with ASTM A 615, Grade 60. Shop fabricate reinforcing bars which are shown or required to be bent or hooked.

7. All bond beams, reinforced cells and cells with expansion bolts, embed plates or other anchors and all cells below grade shall be grouted solid. Grout procedure shall comply with ACI 530.1.

8. Provide reinforcing bars of the given size and spacing shown. Lap continuous reinforcing steel 40 bar diameters unless otherwise noted. Provide mechanical splices for all bars at contractor's option.

9. Provide reinforcing steel dowels of the same size and spacing as vertical reinforcing from the supporting structure or footing. Dowels shall have standard ACI hooks. Lap length for dowels from foundation not otherwise noted may be 36 x bar diameter.

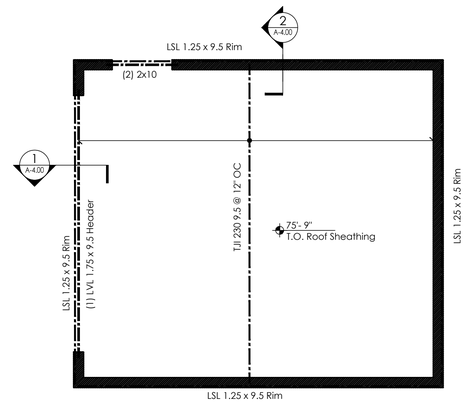
10. Provide standard 9 gage ladder type horizontal joint reinforcing in CMU walls at 16 inches on center and in two joints immediately above and below all openings, extending a minimum of 2 feet beyond the jamb on each side of the opening, except at control joints.

11. Provide horizontal bond beams with continuous reinforcing as shown in the sections and details. Discontinue all horizontal reinforcing at control joints except for the bond beams at joist bearing elevations.

12. Do not locate control joints within two feet of beam bearing locations.

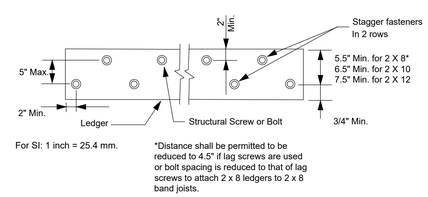
13. Exposed above grade CMU is to be parged. Exposed interior CMU is to be parged or painted with masonry paint.

14. Provide J-Hooks at 24" o.c. to attach wood framing sill plates.




2 Proposed Roof Framing Plan

1/4" = 1'-0"




4 Typical Placement of Lag Screws & Bolts in Ledgers and Beams

Not To Scale

## Legend

- Beam or Header
- Existing Beam
- Joist or rafter
- Existing Joist or rafter
- Load bearing 2x6 @ 16" o.c. frame wall
- Load bearing wall above
- Col/Post UP
- Col/Post UP/DN
- Col/Post DN

## Framing Notes

1. All framing lumber and details of wood construction shall conform to national design specifications for stress grade lumber and its fastenings (including supplement no. 1). All new framing lumber shall be grade marked at mill and shall be surfaced dry new joists shall comply with PS 20-70 for sizes and shall conform to the following specie and grade.

| | |
|---|---|
| Dimensional lumber rafters and joists: | Douglas Fir, larch #2 |
| Dimensional lumber Beams, girders and headers: | Douglas Fir, larch #1 |
| Dimensional lumber Studs and plates: | Douglas Fir, larch stud grade |

All factory manufactured glue laminated wood framing members (LVL, TJI, PSL) shall be Microllam, TJI joists or Parallam members as manufactured by TrusJoist Corporation or architect approved equal.

2. Set rough carpentry to required levels and lines, with members plumb, true to line, cut, and fitted. Fit rough carpentry to other construction; scribe and cope as needed for accurate fit. Locate furring, nailers, blocking,grounds, and similar supports to comply with requirements for attaching other construction.

3. Framing standard: comply with AF&PA's "details for conventional wood frame construction," unless otherwise indicated.

4. All wood contacting masonry or concrete to be pressure treated.

5. Metal framing anchors: install metal framing to comply with manufacturer's written instructions. All flush framed connections shall be made with approved galvanized steel joists or beam hangers, minimum 18 gauge. All metal including joist hangers, flashing, anchor bolts, post bases, etc. that come in contact with pressure treated lumber shall be hot dipped galvanized g186 by Simpson strong tie, stainless steel, or approved equal by architect.

6. Do not splice structural members between supports, unless otherwise indicated.

7. The general contractor is to identify any discrepancies prior to beginning any re-framing work.

8. All doors, windows and openings shall have minimum header to be as follows, u.o.n. on structural plans:
a. Up to 5'-0" wide, use (2) 2x10
b. Up to 8'-0" wide, use (3) 2x10 or (2) 2x12
c. Openings greater than 8'-0", see plans for header sizes or as specified by P.E.
d. Reinforce existing headers as necessary

9. Notice of Utilization of Truss Type Construction, Pre-Engineered Wood Construction and/or Timber Construction in Residential Structures (In Accordance with Title 19 NYCRR Part 1265) affidavit.

# Gallo Garage

126 Main Street
Irvington, NY

| NO. | DATE | ISSUE/REVISION |
|---|---|---|
| | 05/01/2023 | Submission to ARB for Approval |

In developing the plans and specifications for the project, the Architect has taken into account applicable state and municipal building laws and regulations, including the Residential Code 2020 of New York State (IRC 2018/New York State Amendments) which includes Chapter 11 Energy Efficiency.

FERGUSON MALONE ARCHITECTURE
ONE BRIDGE STREET
IRVINGTON NY 10533
T 914 591 5066 F 914 591 5031

# Structural Plans

**SCALE:** As Noted

**DATE:** 04/24/2023

**JOB:** 2305

S-1.00