

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	790	Date:	05/25/2023
Job Location:	5 HALF MOON LA	Parcel ID:	2.120-62-19
Property Owner:	Diana Fithian	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
Sarah Jacoby	Mario Szczebara
Sarah Jacoby Architect	Diavel Designs Corp.
522 46th Ave, Fl 3 Long Island City NY 11101	8604 106 th St, Richmond Hill NY 11418
9175157159	917 923 2503

Description of Work

Type of Work:	Exterior alteration or renovations	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	100000.00	Property Class:	1 FAMILY RES

Description of Work

Replacing fixtures and finishes at first floor half bath and kitchen; expanding interior doorway openings at dining and living room; adding 8 sf of interior space and new windows at dining room; expanding window opening at kitchen. Please note exterior changes are at the rear of the building and not visible from public thoroughfares.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

**5 Half Moon Lane
Architectural Review Board
(ARB)
Package**

JUNE 2023

VILLAGE OF IRVINGTON
BUILDING DEPARTMENT
85 MAIN STREET
IRVINGTON, NEW YORK 10533

5 Half Moon Ln
Irvington, NY 10533

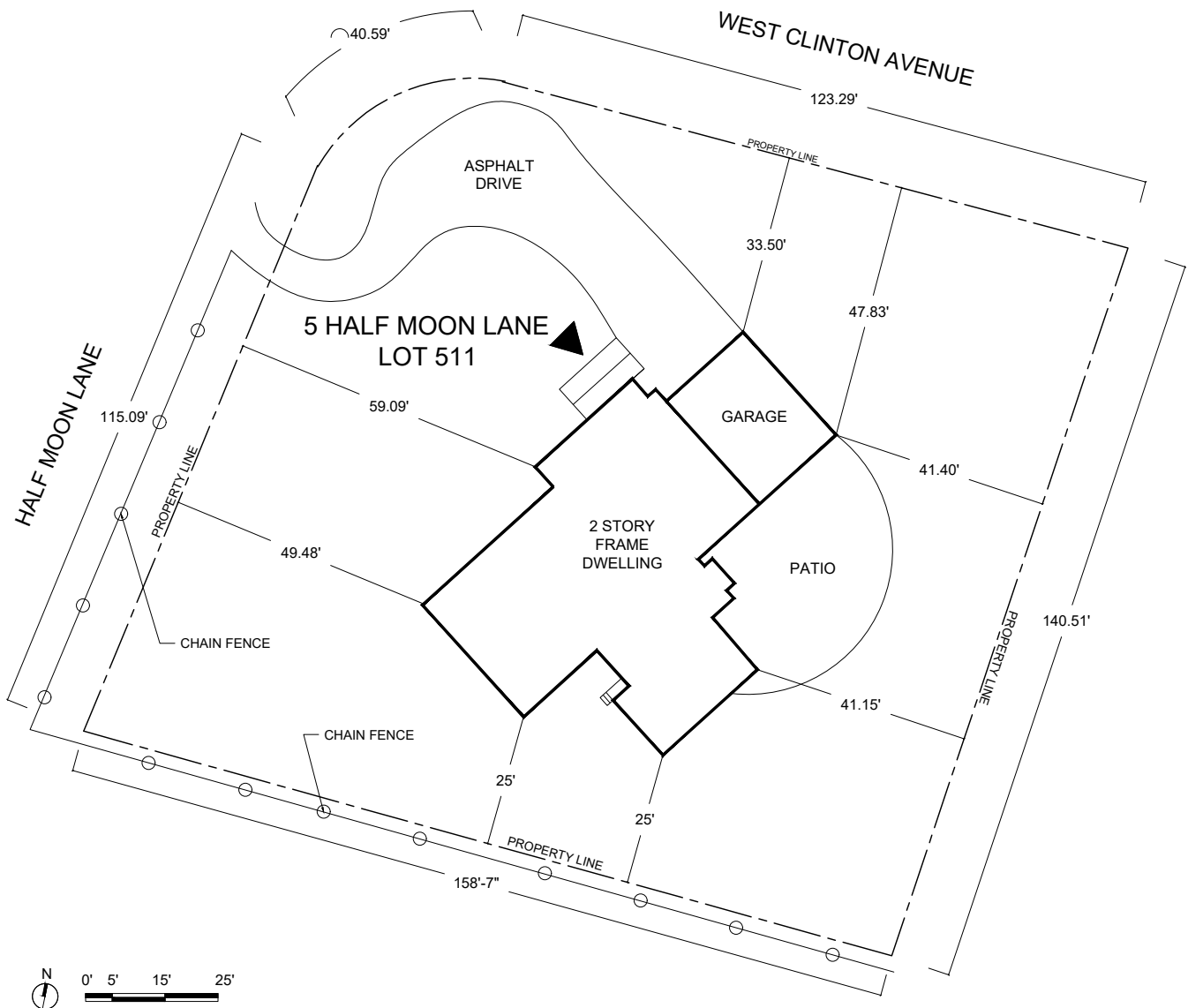
Scope:

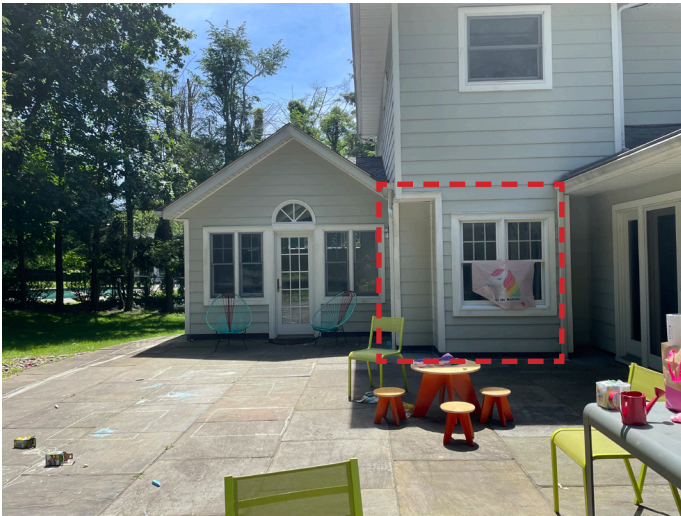
1. Interior renovation

2. Enlarge windows opening at non-visible 1st floor/secondary facade:

2.1 Replace windows with fixed floor to ceiling glass at 1st floor and increase floor area by 4sf (West side - Living room);

2.2 Replace windows with new casement windows at 1st floor (South-West side - Kitchen).





Exterior Elevation - West side



Exterior Elevation - North East side



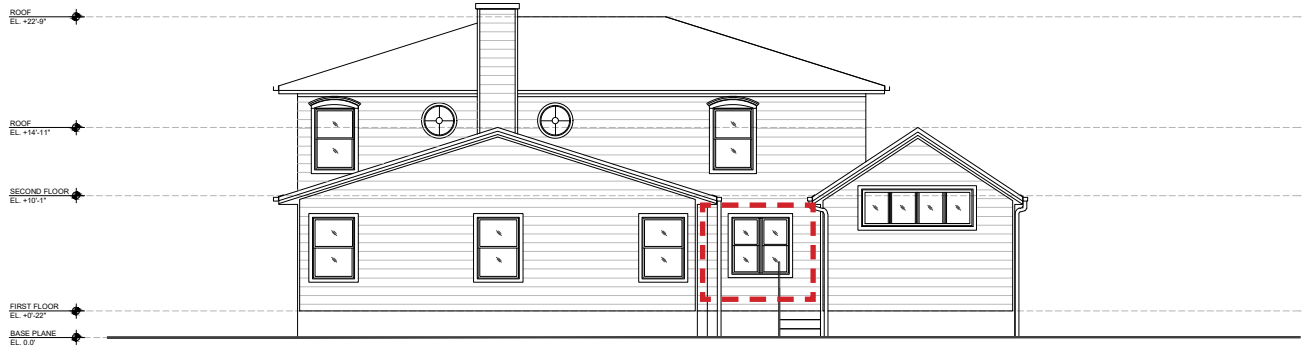
Exterior Elevation - South West side



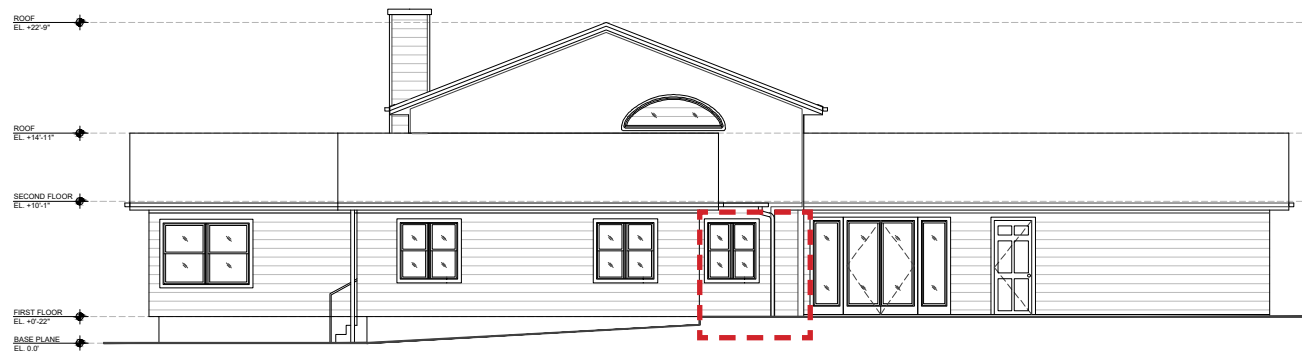
Exterior Elevation - South West side

5 Half Moon Lane

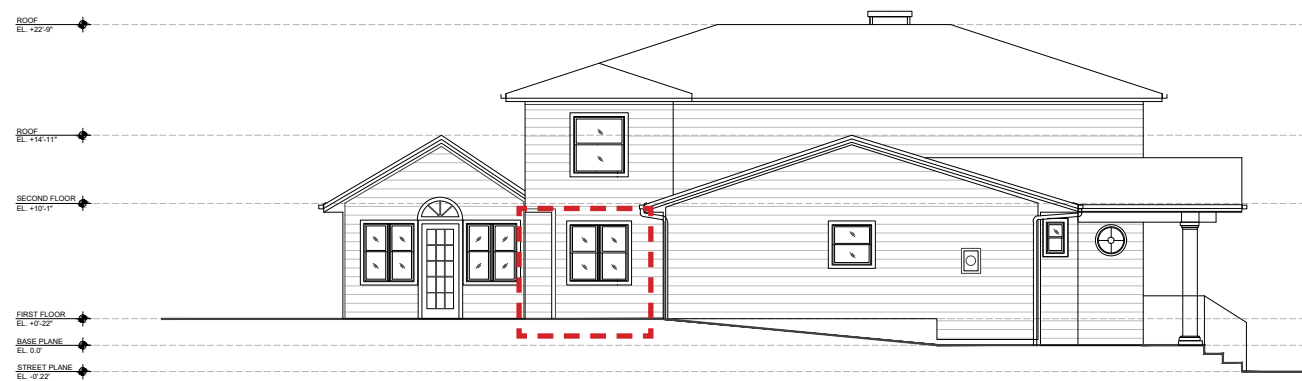
Exterior Elevations - Existing



Exterior Elevation - South West side



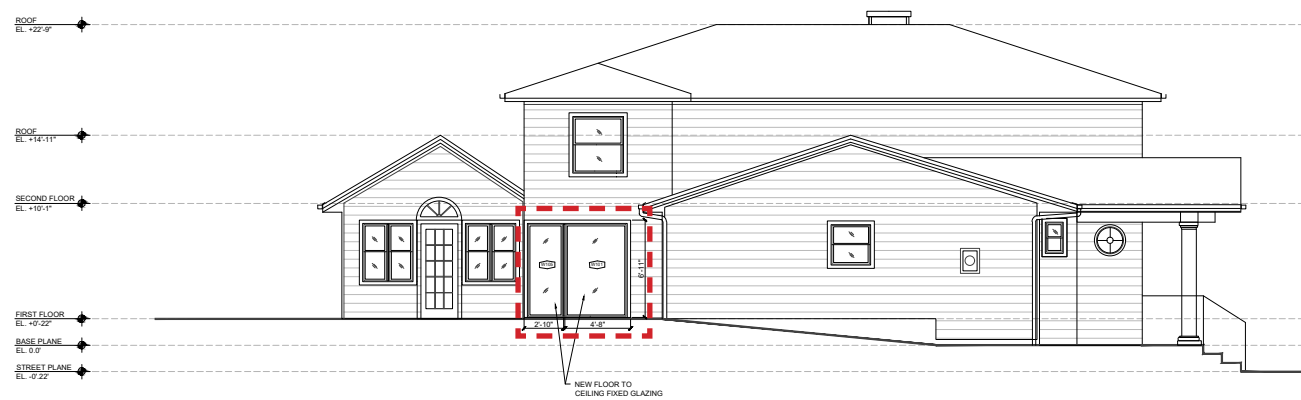
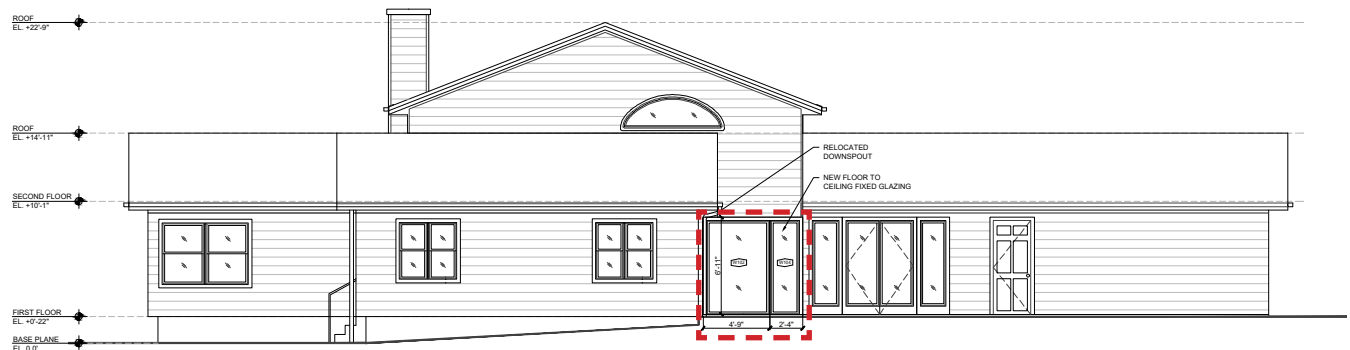
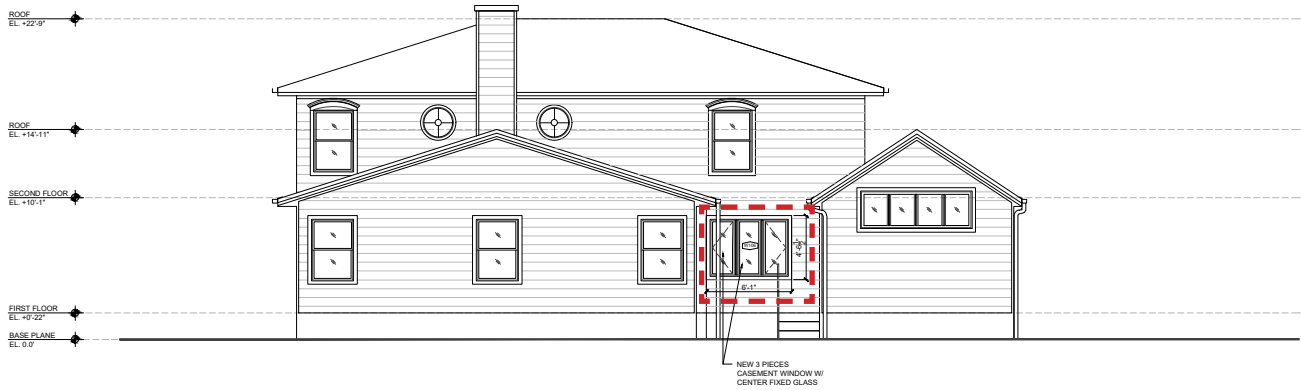
Exterior Elevation - North East side



Exterior Elevation - West side

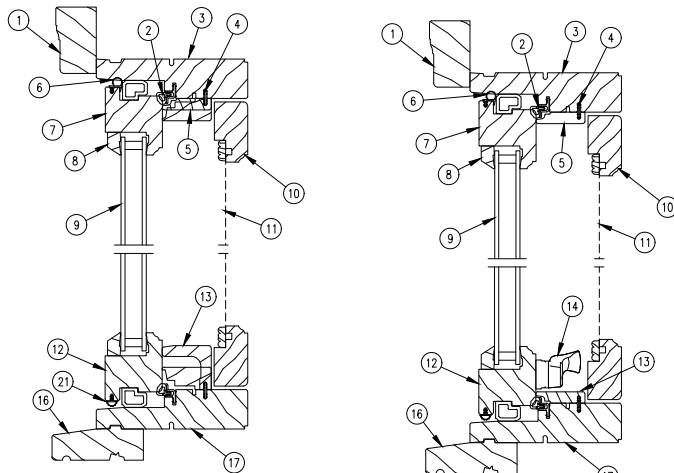
5 Half Moon Lane

Exterior Elevations - Proposed



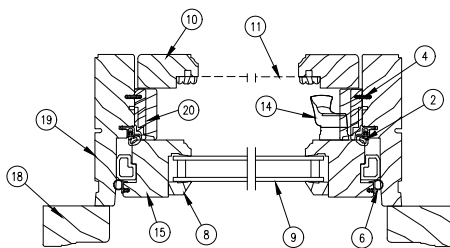
5 Half Moon Lane

Proposed Windows - Details



Head Jamb and Sill (Casement)

Head Jamb and Sill (Awning)



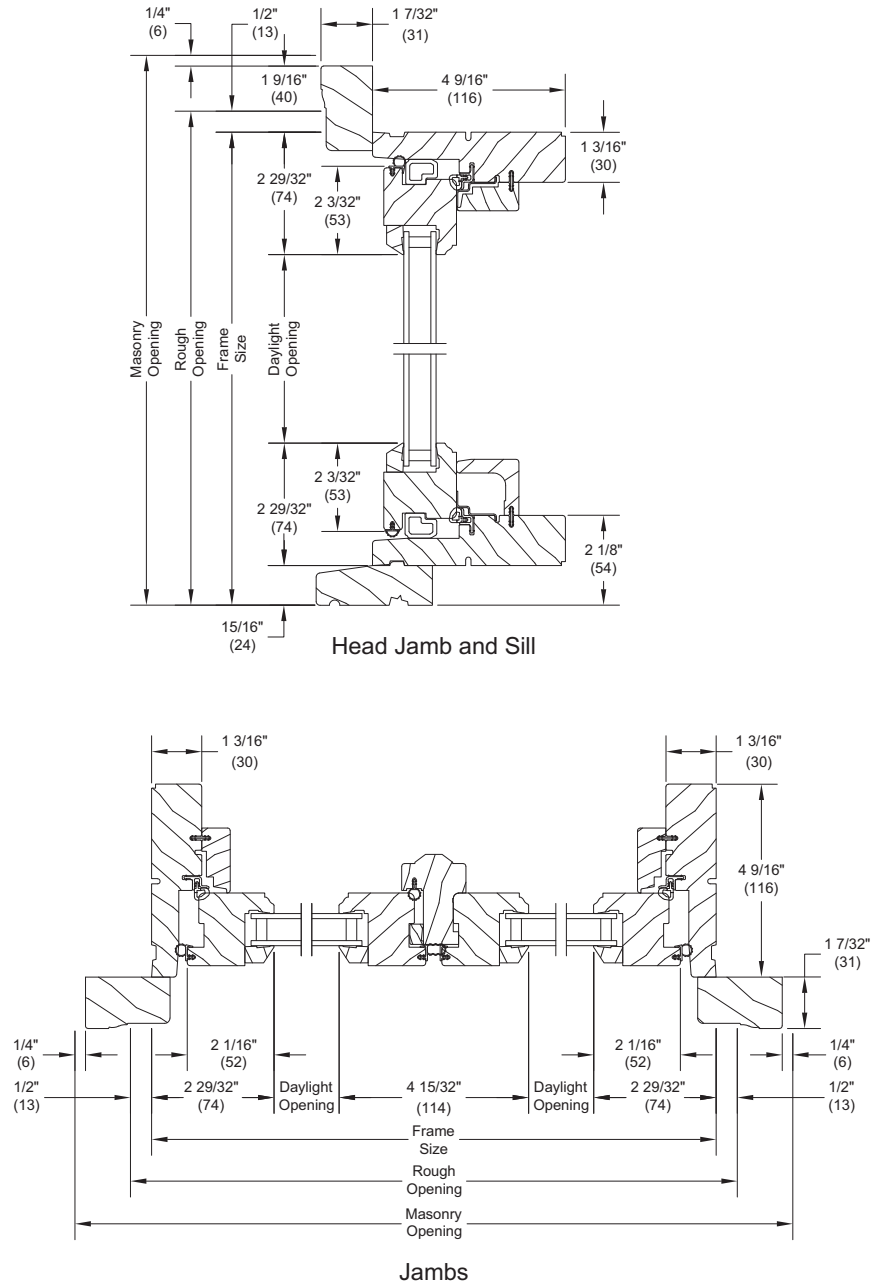
Jamb (Casement)

1. Head Jamb Brick Mould Casing, W1047
2. Frame Weather Strip, V1983
3. Head Jamb
4. Connecting Barb, V803
5. Head Jamb Stop, W10231
6. Sash Weather Strip, V1655
7. Top Rail
8. Glazing Bead, W10384
9. Insulating Glass
10. Screen Frame
11. Screen Mesh
12. Bottom Rail
13. Sill Cover, W10329 (CA), W10231 (AWN)
14. Handle
15. Stile
16. Subsill, W10333
17. Sill
18. Jamb Brick Mould Casing, W1047
19. Jamb
20. Jamb Stop, W10230
21. Sash Weather Strip, V2512



Section Details: 3/4" IG Picture























Scale: 3" = 1' 0"



ULTIMATE CASEMENT NARROW FRAME

SECTION DETAILS - PICTURE








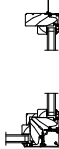
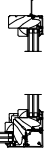

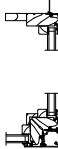

SCALE: 1=1

	Flat Sill	Flat Sill Casement	8 Degree Sill Double Hung	14 Degree Sill Double Hung	
HEAD					
SILL					
JAMB	 				
	STANDARD	3/8" MULL REINFORCEMENT	SPACE(3/8, 1, 2, 3, 4 & 6") STUD POCKET(3/8, 1, 2, 3, 4 & 6")	SOLID SPACE (3/8, 1, 2, 3, 4 & 6")	STRUCTURAL(1" & 2")
HORIZONTAL					
VERTICAL					

ULTIMATE DIRECT GLAZE NARROW FRAME CORNER

SECTION DETAILS : STATIONARY

SCALE: 1=1

	2 3/16"	TRIPANE	4 9/16"
HEAD			
SILL			
JAMB	 	 	 



SJA

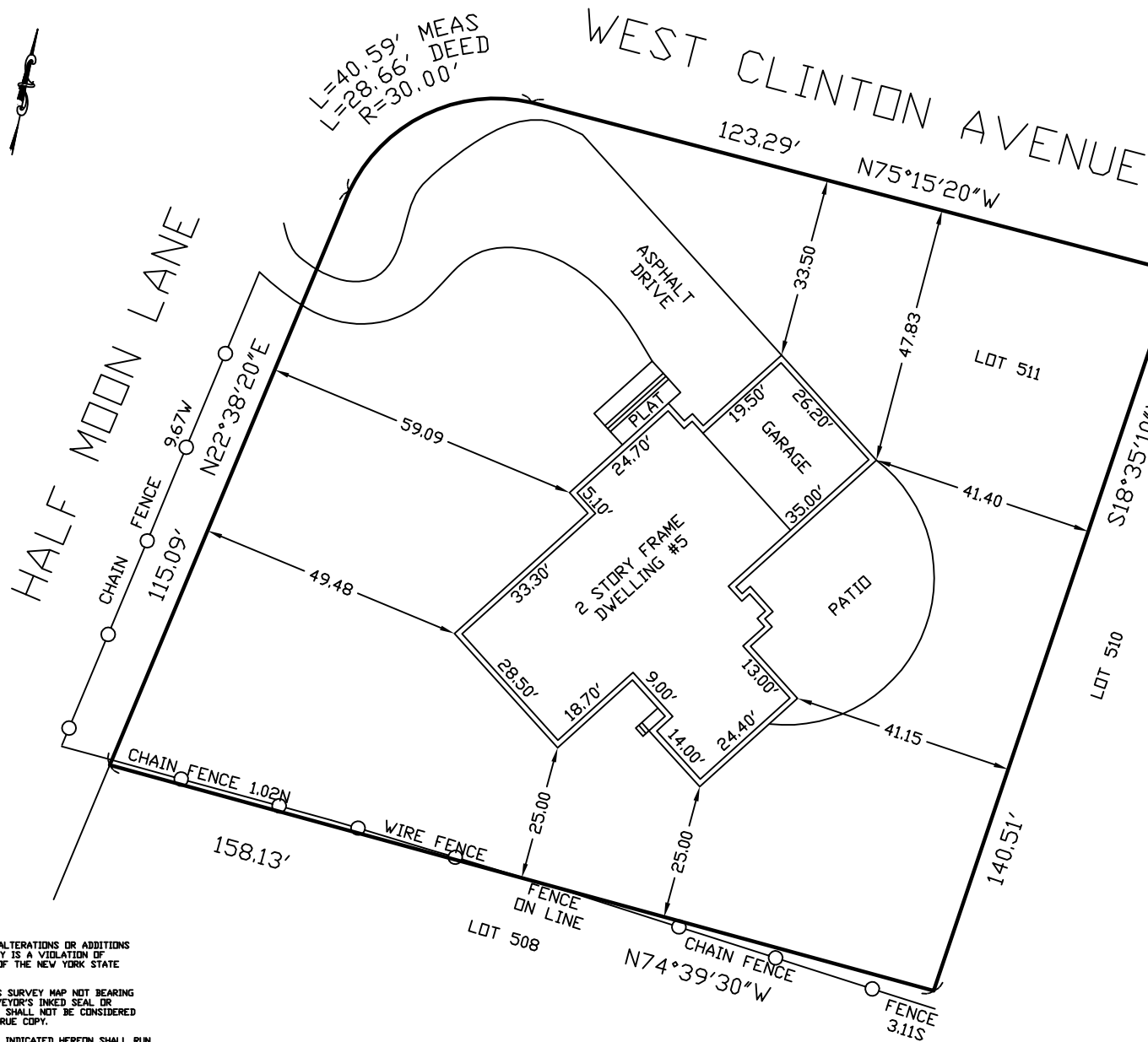
5 Half Moon Lane, Specifications June 2023

Kitchen-----

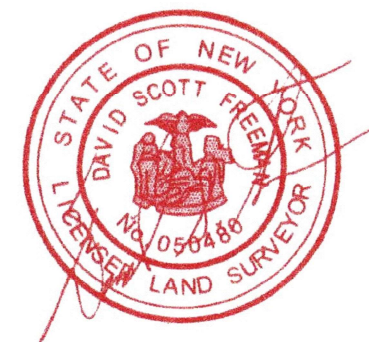
1. **Cooktop** - Gaggenau Full Surface Induction Cooktop CX492611-US
2. **Hood** - Gaggenau Cabinet Insert Venting Hood
3. **Ovens**- Wolf Model # SO3050PM/S/P and Wolf Model # CSOP3050PM/S/P
4. **Refrigerator and Freezer**- Sub-Zero Panel Ready All Refrigerator IC-30R-RH and All Freezer IC-18FI-LH.
5. **Microwave** - 24" Sharp Microwave Drawer SMD2470A
6. **Sink** – Franke FHK110 36" Farmhouse Sink
7. **Faucet**- Litze Single Handle Arc Spout Bar Faucet with Knurled Handle
8. **Bar Sink** – Villeroy and Boch Cisterna 45
9. **Bar Faucet**- Litze Single Handle Arc Spout Bar Faucet with Knurled Handle
10. **Dishwasher** - Miele G 7156 SCVi 24" Panel-Ready Fully Integrated Dishwasher

Half Bathroom-----

1. **Toilet** - TOTO Nexus 1.28 GPF One Piece Elongated Chair Height Toilet with Tornado Flush Technology
2. **Sink** – Kast Iva Wall Mounted Sink
3. **Bathroom Faucet** - California Faucets Avalon 1.2 GPM Wall Mounted Bathroom Faucet with Single Handle



SURVEY OF
LOT 511
MAP OF HALF MOON LANDING
FILED JULY 8, 1950
MAP #7129
W.C.T.M. WESTCHESTER-2.12-62-19
SITUATED AT
5 HALF MOON LANE
IRVINGTON
TOWN OF GREENBURGH
WESTCHESTER COUNTY, NEW YORK



UNAUTHORIZED ALTERATIONS OR ADDITIONS
TO THIS SURVEY IS A VIOLATION OF
SECTION 7209 OF THE NEW YORK STATE
EDUCATION LAW

COPIES OF THIS SURVEY MAP NOT BEARING
THE LAND SURVEYOR'S INKED SEAL OR
EMBOSSED SEAL SHALL NOT BE CONSIDERED
TO BE VALID TRUE COPY.

CERTIFICATIONS INDICATED HEREON SHALL RUN
ONLY TO PERSON FOR WHOM THE SURVEY
IS PREPARED, AND ON HIS BEHALF TO THE
TITLE COMPANY, GOVERNMENTAL AGENCY AND
LENDING INSTITUTION LISTED HEREON, AND
TO THE ASSIGNEES OF THE LENDING INSTI-
TUTION. CERTIFICATIONS ARE NOT TRANSFERABLE

PREPARED IN ACCORDANCE WITH THE MINIMUM
STANDARDS FOR TITLE SURVEYS AS ESTABLISHED
BY THE L.L.A.S. AND APPROVED AND ADOPTED
FOR SUCH USE BY THE NEW YORK STATE LAND
TITLE ASSOCIATION

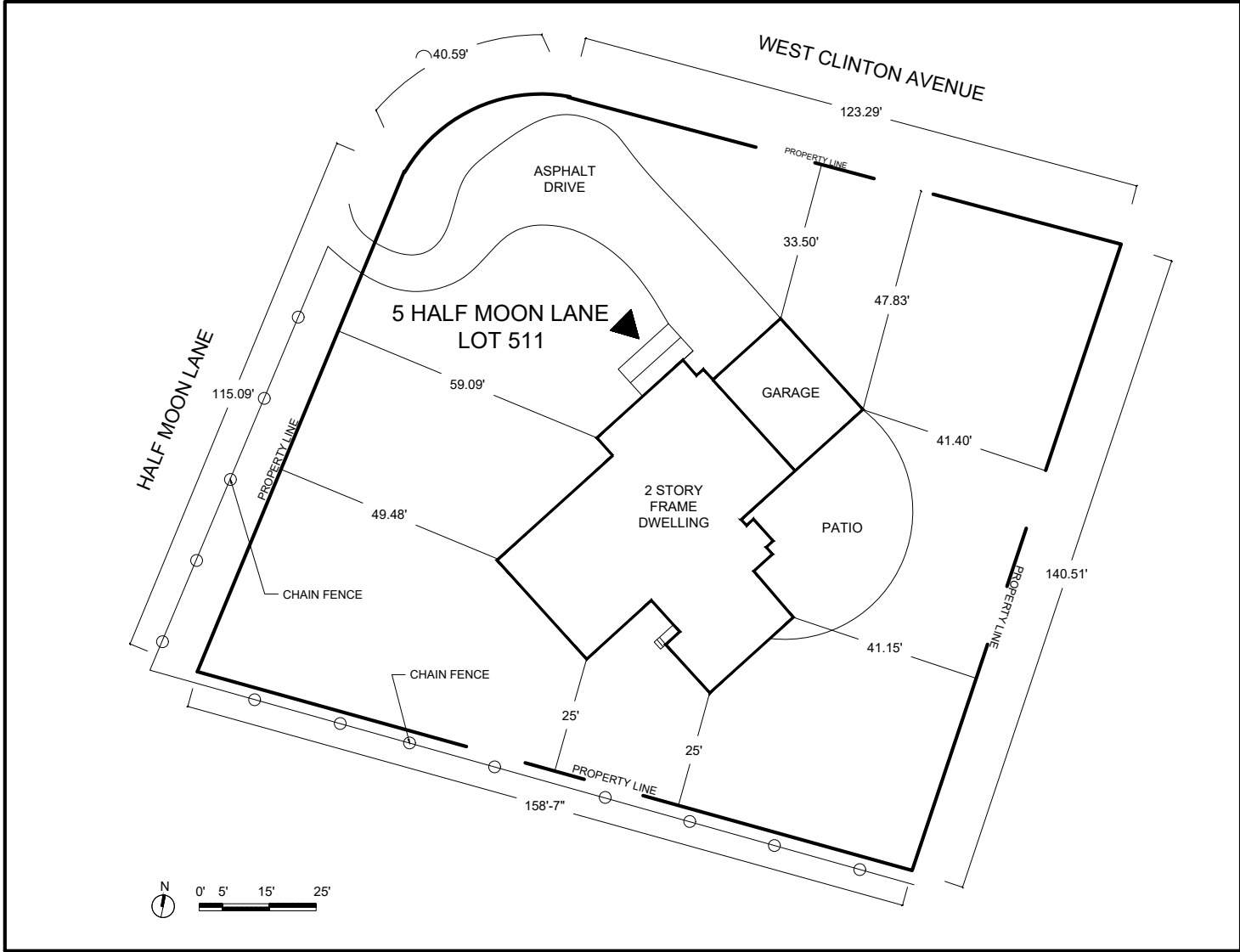
THE OFFSET OR DIMENSIONS SHOWN HEREON FROM
THE STRUCTURES TO THE PROPERTY LINES ARE FOR
A SPECIFIC PURPOSE AND USE AND THEREFORE ARE
NOT INTENDED TO GUIDE THE ERECTION OF FENCES,
RETAINING WALLS, POOL, PATIOS, PLANTING AREAS,
ADDITIONS TO BUILDINGS AND ANY OTHER TYPE OF
CONSTRUCTION.

THIS SURVEY IS CERTIFIED TO THE FOLLOWING PARTIES:
THOROUGHbred TITLE SERVICES LLC (60174)
ENTITLE INSURANCE COMPANY
CITIBANK NA
JEFFREY M. RITTER AND ANASTASIA A. ANGELOVA

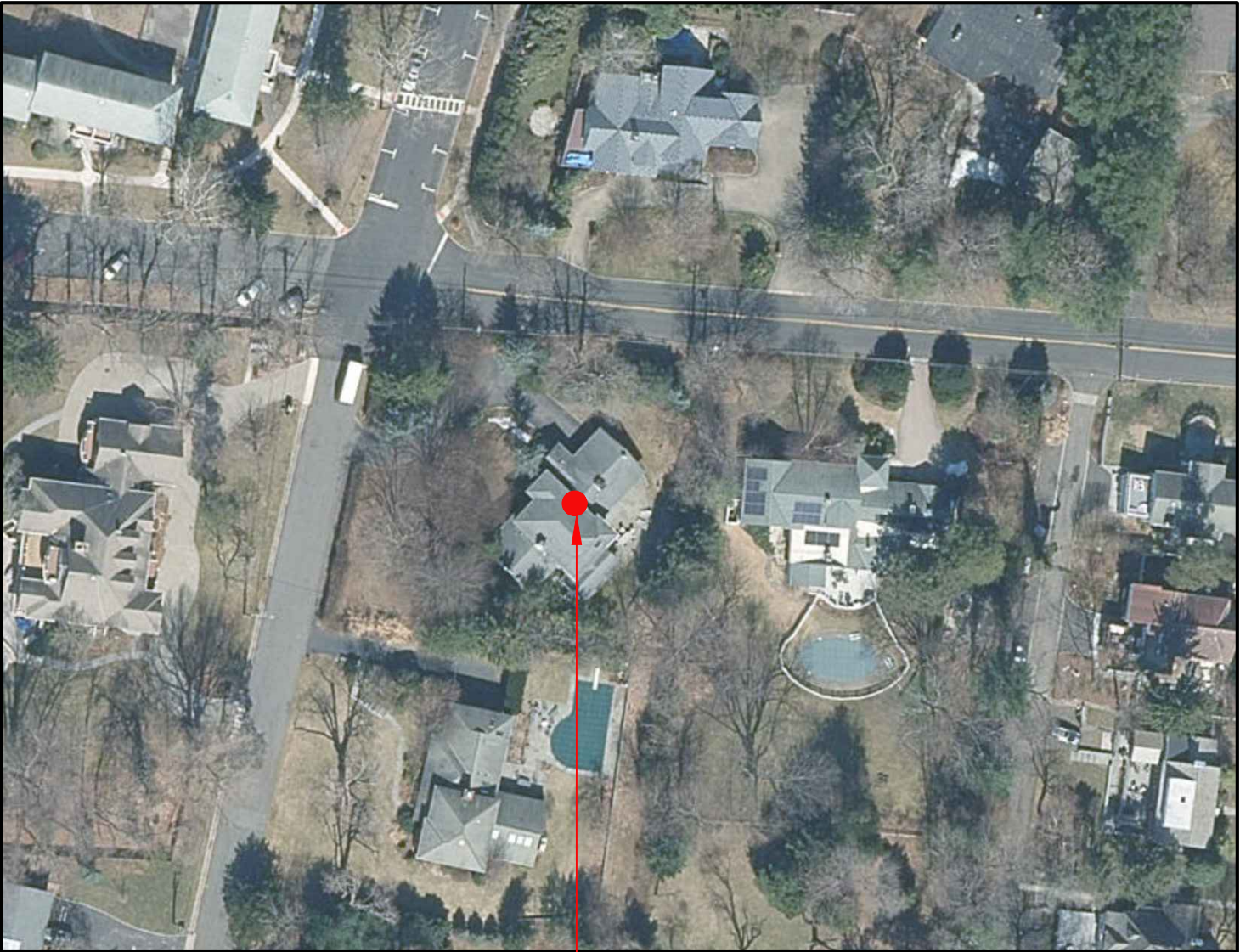
TITLE SURVEY		
PREPARED FOR: RITTER/ANGELOVA		
SITUATE AT 5 HALF MOON LANE, IRVINGTON TOWN OF GREENBURGH WESTCHESTER COUNTY, NEW YORK		
SOLO SURVEYING INC. 176 BELL HOLLOW ROAD (631) 926-4563 CELL PUTNAM VALLEY, NY 10579 (631) 517-9201 FAX		
FILE No. 5361	DATE: 6/3/13	SCALE: 1"=30'

5 HALF MOON LANE

PLOT PLAN



SATELLITE PHOTO



PROJECT DATA

ADDRESS: 5 HALF MOON LANE.
IRVINGTON, NY 10533

CROSS-STREETS: W CLINTON AVE &
HENDRICK LN N

TOWN: GREENBURGH

COUNTY: WESTCHESTER, NY

TAX LOT: 511

MAP: 7129

DRAWING INDEX

		SHEET ISSUES + REVISIONS			
SHEET N.	DRAWING TITLE	05 11 23			
T-100.00	TITLE SHEET & GENERAL NOTES	●			
A-101.00	FLOOR PLANS - DEMO & PROPOSED	●			
A-102.00	REFLECTED CEILING PLANS	●			
A-103.00	EXTERIOR ELEVATIONS - DEMO	●			
A-104.00	EXTERIOR ELEVATIONS - PROPOSED	●			
A-301.00	SCHEDULES	●			

STATEMENT OF COMPLIANCE WITH THE NEW YORK STATE ENERGY CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

GENERAL NOTES

- ALL WORK SHALL BE DONE IN COMPLIANCE WITH ALL RELEVANT LOCAL CODES, ORDINANCES, RULES AND REGULATIONS, OF THE LOCAL JURISDICTION, THE VILLAGE OF IRVINGTON IN THE TOWN OF GREENBURGH IN WESTCHESTER NY, AND THE STATE OF NEW YORK RESIDENTIAL BUILDING CODE, AT THE TIME OF PERMIT AND CONSTRUCTION AS WELL AS ALL FEDERAL, STATE, AND MUNICIPAL AUTHORITIES HAVING JURISDICTION OVER THE WORK; UTILITY COMPANY REQUIREMENTS; AND BEST TRADE PRACTICES.
- ONLY WRITTEN DIMENSIONS AND NEVER SCALED DIMENSIONS FROM ARCHITECTURAL DRAWINGS WILL BE RECOGNIZED AS VALID. IF THERE ANY MISSING DIMENSIONS CONTACT ARCHITECT FOR DIMENSION PRIOR TO PROCEEDING WITH WORK.
- CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, FIELD CONDITIONS, DIMENSIONAL INCONSISTENCIES OR NEED FOR CLARIFICATION PRIOR TO OR DURING CONSTRUCTION.
- FULL SIZE OR LARGE SCALE DETAILS OR DRAWINGS SHALL GOVERN SMALL SCALE DRAWINGS WHICH THEY ARE INTENDED TO AMPLIFY. ANY CONFLICTS MUST BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION PRIOR TO FABRICATION OR INSTALLATION.
- ALL SMOKE AND CARBON MONOXIDE DETECTORS AND ALARMS TO BE LOCATED AND INSTALLED IN COMPLIANCE WITH THE RELEVANT CODE REQUIREMENTS.
- ALL MECHANICAL VENTILATION WILL BE VENTED TO THE EXTERIOR AS SPECIFIED IN THE RELEVANT CODE.
- ALL MATERIALS, ASSEMBLIES, CONSTRUCTION AND EQUIPMENT SEALS SHALL CONFORM TO THE REGULATION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION AND BUILDING CODE, AND TO GENERALLY ACCEPTED STANDARDS.
- FLAME SPREAD CLASSIFICATION ON FINISHES WILL CONFORM TO SECTION 772.2 AND 772.3 OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE.
- FLAMMABLE MATERIAL SHALL NOT BE PERMITTED AS INSULATION OR FILL AND SHALL COMPLY WITH SECTION 771.7 OF NEW YORK STATE FIRE PREVENTION AND BUILDING CODE.
- CONTRACTOR SHALL HAVE CERTIFICATE OF WORKMEN COMPENSATION AND DISABILITY CERTIFICATE BEFORE STARTING WORK.
- CLEAN-UP. EACH TRADE SHALL DO ALL CLEANING OF ITS OWN WORK AND ALL OTHER TRADE WHERE SUCH WORK IS SOILED DUE TO ITS OPERATION THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SUPERVISION OF CLEAN UP BY HIS SUBCONTRACTORS. THE GENERAL CONTRACTOR IS RESPONSIBLE TO LEAVE THE PROJECT IN A BROOM CLEAN CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY BRACING AND PROTECTING ALL WORK DURING CONSTRUCTION AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTION AND MISALIGNMENT, ACCORDING TO GOOD CONSTRUCTION PRACTICE.
- CONTRACTOR IS RESPONSIBLE FOR STORAGE OF MATERIALS AND SHALL ARRANGE WITH BUILDING FOR STORAGE OF MATERIALS SO THAT THE SITE IS KEPT ORDERLY AND MATERIALS ARE PROPERLY PROTECTED AGAINST DAMAGE AND THEFT.
- REMOVAL OF DEBRIS, PROCUREMENT OF DUMPSTER AND RELATED WORK SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LOCATION OF DUMPSTER SHALL BE MUTUAL AGREEMENT BETWEEN OWNER AND GENERAL CONTRACTOR.
- THIS BUILDING AS DESIGNED MEETS ALL IECC AND EECNYS CODE REQUIREMENTS FOR COMPLIANCE WITH THE RESPECTIVE ENERGY CODES.
- ALL HABITABLE ROOMS COMPLY WITH REQUIRED LIGHT AND AIR REQUIREMENTS AS SPECIFIED IN THE RELEVANT CODES.

5 HALF MOON LANE

5 HALF MOON LANE
IRVINGTON, NY 10533

ARCHITECT
SARAH JACOBY ARCHITECT
522 46th Ave, Fl 3
Long Island City, NY 11101

ISSUES:
REV. DESCRIPTION DATE:
1 TOWN/ARB SET 05/31/23

5 HALF MOON LANE

TITLE SHEET & GENERAL NOTES

SEAL



1 OF 6

T-100.00

LEGEND

EXISTING INTERIOR WALL TO REMAIN

EXISTING EXTERIOR WALL

TO BE DEMOLISHED

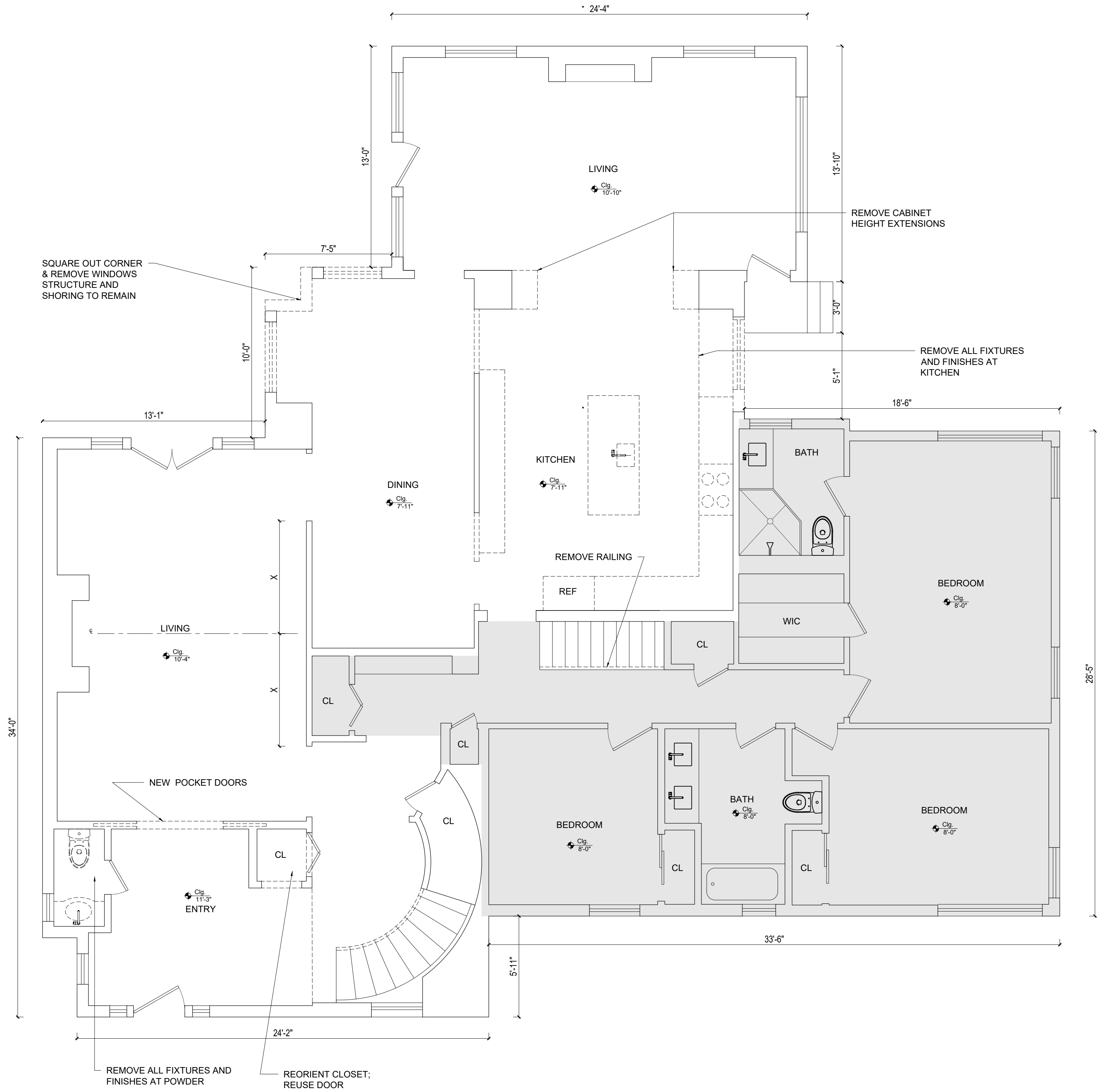
SURFACE TO BE REMOVED

NEW INTERIOR PARTITION

NO WORK

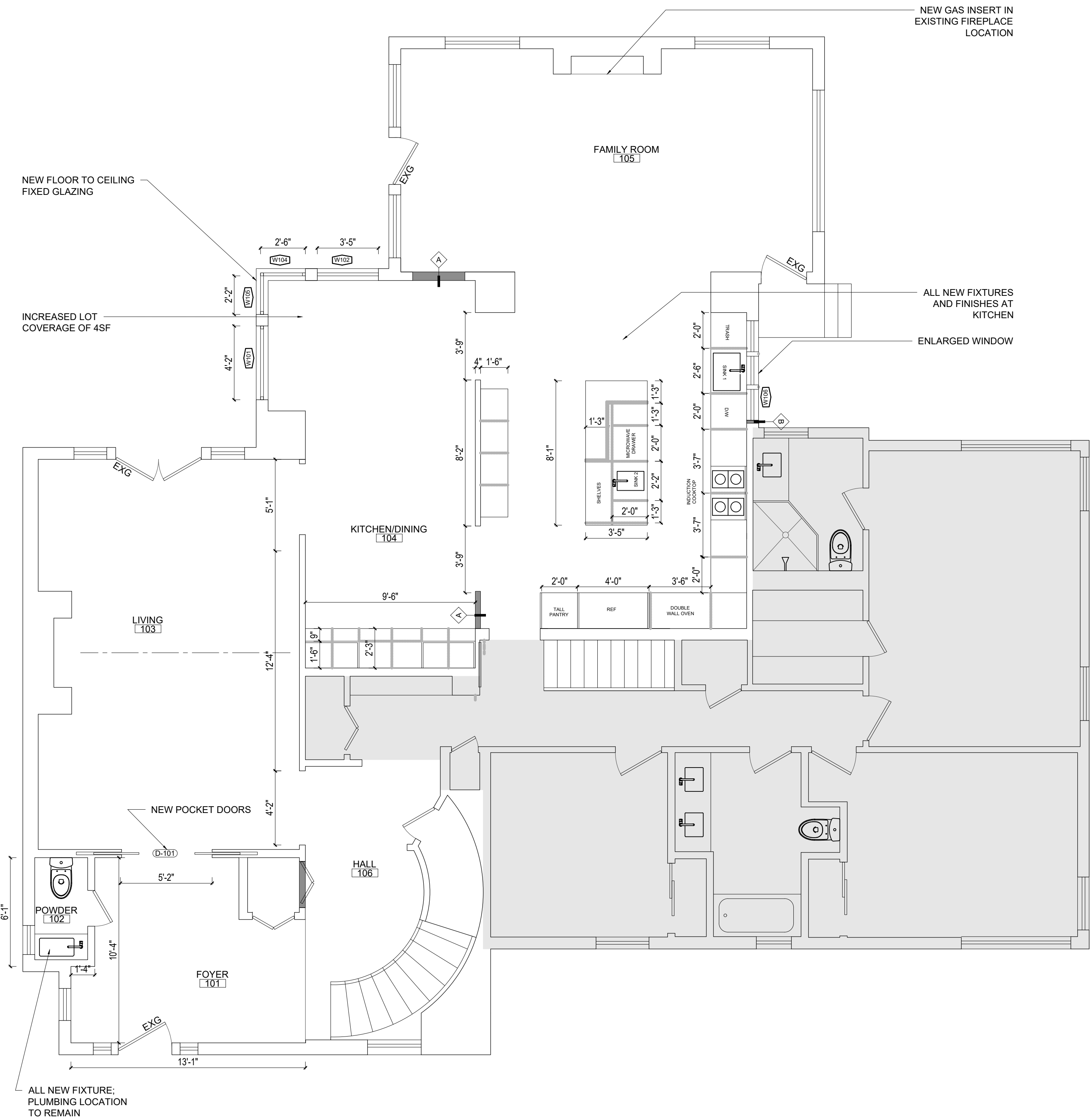
DEMOLITION NOTES

1. WALLS AND FLOORS TO BE CLEANED OF DRYWALL AND TILE AND NON-STRUCTURAL ELEMENTS NOT INCLUDING ANY PLUMBING OR ELECTRICAL WORK WHERE NOTED



CONSTRUCTION NOTES

1. NEW PREP & PAINT TO SMOOTH FINISH THROUGHOUT
2. COSMETIC REPAIRS THROUGHOUT AS NECESSARY
3. WET SURFACES USE LATICRETE OR EQUIVALENT AS NOTED IN DETAIL
4. ALL ELECTRIC TO CODE (OUTLET QUANTITY, HARD-WIRED CO2 SENSORS, GFCI ETC)
5. ALL FIXTURES AND FINISHES PROVIDED BY OWNERS
6. IF NOT OTHERWISE NOTED, PRICE ALL CLOSETS WITH A HANGING ROD & SHELF
7. FOR PRICING: DYKES 642 PTD SQUARE BASEBOARD AND 1 1/2" X 3/4" PTD SQUARE AT DOOR THROUGHOUT AREAS OF WORK (CONFIRM SCOPE)
8. REPLACE DOOR HANDLES THROUGHOUT AREAS OF WORK; CONFIRM COMPATIBILITY



5 HALF MOON LANE

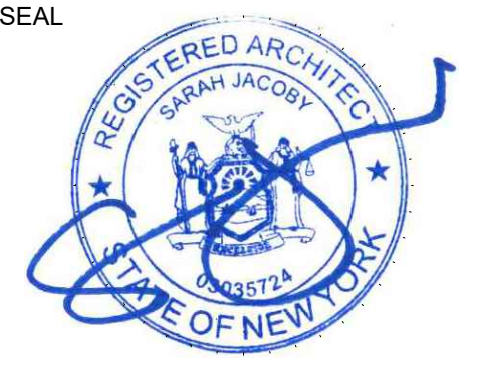
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IRVINGTON, NY 10533

ARCHITECT
SARAH JACOBY ARCHITECT
522 46th Ave, Fl 3
Long Island City, NY 11101

REV.	DESCRIPTION	DATE
1	TOWN/ARB SET	05/31/23

5 HALF MOON LANE

DEMO & PROPOSED PLANS



2 OF 6

A-101.00

5 HALF MOON LANE

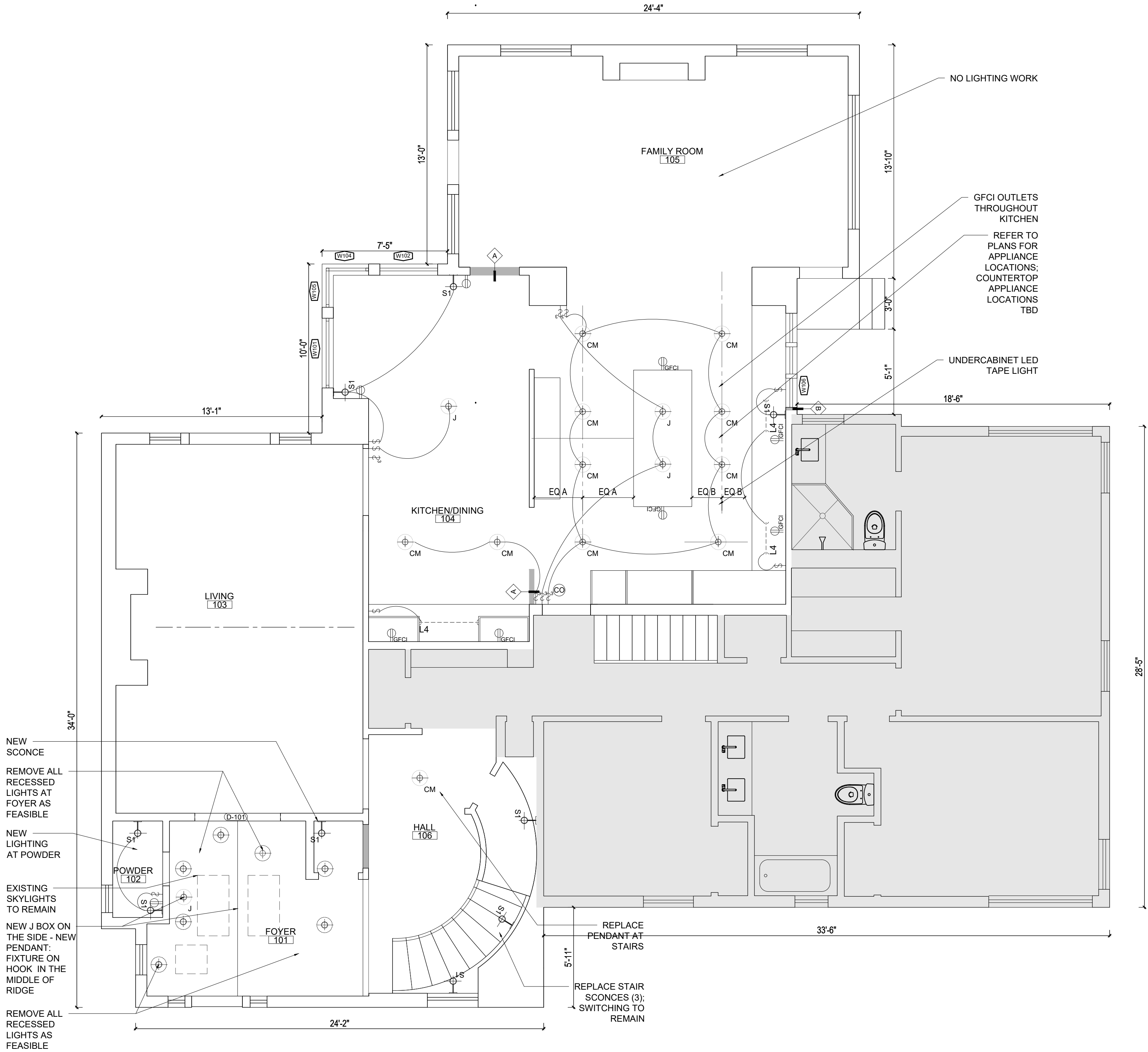
5 HALF MOON LANE
IRVINGTON, NY 10533

ARCHITECT
SARAH JACOBY ARCHITECT
522 46th Ave, Fl 3
Long Island City, NY 11101

REFLECTED CEILING PLAN NOTES

1. NEW LIGHTING LIMITED TO AREAS INDICATED ON PLAN
2. ALL LIGHT FIXTURES TO BE PROVIDED BY OWNER
3. AT 2ND FLOOR, NEW LIGHT AT STAIR LANDING; NO OTHER SCOPE AT 2ND FLOOR
4. SCOPE TO BE CONFIRMED AT SWITCH PLATES
5. OUTLET LOCATIONS TO REMAIN THROUGHOUT WITH THE EXCEPTION OF THE KITCHEN AND POWDER
6. PRICE GFCI OUTLETS AT ALL WET ZONES
7. CONFIRM OUTLET LOCATIONS TO CODE
8. PRICE GARBAGE DISPOSAL AND CONFIRM ALL APPLIANCE ELECTRIC REQ.
9. PLEASE NOTE ALL SWITCHING TO BE CONFIRMED; LAYOUT FOR PRICING PURPOSES

LIGHTING/ELECTRICAL LEGEND					
SYMBOL	ITEM	DESCRIPTION	QTY	HIGH EFFICACY	NON-HIGH EFFICACY
	CEILING MTD FIXTURE	OWNER PURCHASED	11	10	1
	LED RECESSED LIGHTS	LED; IC RATED AS NECESSARY	0	0	0
	JUNCTION BOX		4	4	0
	WALL MTD DOOR JAMB SWITCH		0	0	0
	WALL MTD		9	9	0
	UNDERCABINET KITCHEN	LED LIGHT STRIP IN TRACK WITH DIFFUSER LENS	3	3	0
	DIMMABLE SWITCHES	WALL SWITCH; LUTRON DIVA-SCREWLESS	TBD	N/A	
	DATA	-	TBD	N/A	
	COMBINED CARBON MONOXIDE/ SMOKE DETECTOR	COMBINED CARBON MONOXIDE/ SMOKE DETECTOR	TBD	N/A	
	WALL OUTLET	DUPLEX RECEPTACLE OUTLET	TO CODE	N/A	
	WALL OUTLET	GROUND-FAULT CIRCUIT INTERRUPTER OUTLET	TO CODE	N/A	
TOTAL HIGH EFFICACY LIGHTS				26	
TOTAL NON-HIGH EFFICACY LIGHTS					1
TOTAL LIGHTS			27		
TOTAL % OF EFFICIENCY LIGHTS				26 / 27 = 96%	



ISSUES:
REV. DESCRIPTION DATE:
1 TOWN/ARB SET 05/31/23

5 HALF MOON LANE
REFLECTED CEILING PLAN

SEAL



3 OF 6

A-102.00

3

EXTERIOR ELEVATION - SOUTH WEST SIDE
SCALE: 3/16" = 1'-0"

1

EXTERIOR ELAVTIONS - NORTH EAST SIDE
SCALE: 3/16" = 1'-0"

5

EXTERIOR FINISH MATERIALS
SCALE: NTS

4

KEY PLAN - AREAS OF WORK
SCALE: NTS

2

EXTERIOIR ELVATION - WEST SIDE
SCALE: 3/16" = 1'-0"

ISSUES:	
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5 HALF MOON LANE

EXTERIOR ELEVATIONS DEMO

SEAL

1

EXTERIOR ELAVTIONS - NORTH EAST SIDE
SCALE: 3/16" = 1'-0"

2

EXTERIOIR ELVATION - WEST SIDE
SCALE: 3/16" = 1'-0"

01'02'03'04'05'

0 1' 2' 5'

3

EXTERIOR ELEVATION - SOUTH WEST SIDE
SCALE: 3/16" = 1'-0"

4

KEY PLAN - AREAS OF WORK
SCALE: NTS

5

EXTERIOR FINISH MATERIALS
SCALE: NTS

EXTERIOR FINISH SCHEDULE			
ELEVATION	MATERIAL	FINISH / COLOR	NOTES
NORTH EAST	WOOD PLANKS	PAINTED / GRAY	NEW PORTIONS TO MATCH EXISTING
WEST	WOOD PLANKS	PAINTED / GRAY	NEW PORTIONS TO MATCH EXISTING
SOUTH WEST	WOOD PLANKS	PAINTED / GRAY	NEW PORTIONS TO MATCH EXISTING

5 HALF MOON LANE

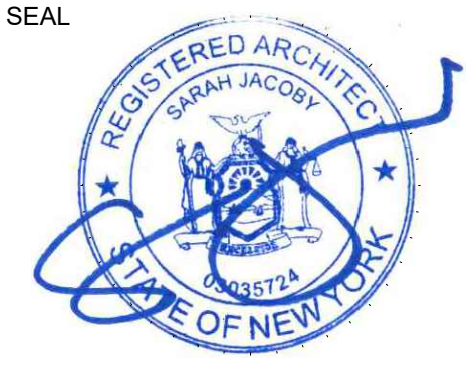
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IRVINGTON, NY 10533

ARCHITECT
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522 46th Ave, Fl 3
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5 HALF MOON LANE

EXTERIOR ELEVATIONS PROPOSED



ENERGY ANALYSIS (CLIMATE ZONE 4A)					
TO THE BEST OF MY KNOWLEDGE, BELIEF, AND PROFESSIONAL JUDGEMENT, THIS APPLICATION IS IN COMPLIANCE WITH THE 2020 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE					
PROVISION			ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE PRESCRIPTIVE VALUE
Insulation placement and R-values: Must be visually inspected to ensure that the r-values are marked, that r-values conform and that the insulation is properly installed.	R402.1.2	Exterior wall insulation	New wall 1st fl	U-VALUE .26; SHGC:.29 COMPLIES	R VALUE: 23 + 6.5
Fenestration and door U-factor & product ratings: Visually inspecting marked U-values to confirm conform to specifications	R402.1.2 R402.1.4	New windows	New windows	U-VALUE .26; SHGC:.29 COMPLIES	U FACTOR: 0.32; SHGC .40
		New fixed glass	New fixed glass	U-VALUE .22; SHGC:.34 COMPLIES	U FACTOR: 0.32; SHGC .40
Lighting dwelling units; lamps in permanently installed fixtures will be visually inspected to verify compliance with high-efficiay requirements	R404	Lighting Equipment	Lighting Equipment	95% of permanently installed lighting	Not less than 90 percent of the permanently installed lighting fixtures contain only high efficacy lamps

5

ENERGY TABULAR

SCALE: NTS

- DOOR AND GLAZING NOTES
1.

ALL DOOR AND WINDOWS AN SKYLIGHTS DIMENSIONS TO BE V.I.F.
2.

ALL DOORS AND WINDOWS TO REMAIN UNLESS NOTED OTHERWISE.

DOOR SCHEDULE						
DOOR NUMBER	LOCATION	HARDWARE	MATERIAL/ FINISH	STYLE	SIZE	NOTES
1ST FLOOR						
D-101	LIVING ROOM	DOUBLE PASSAGE/FLOOR BOLT TBD	WOOD- PAINTED/GLASS	SEE DWG	2'-3" X 7'-0" (VIF)	DOUBLE DOOR

4

DOOR SCHEDULE

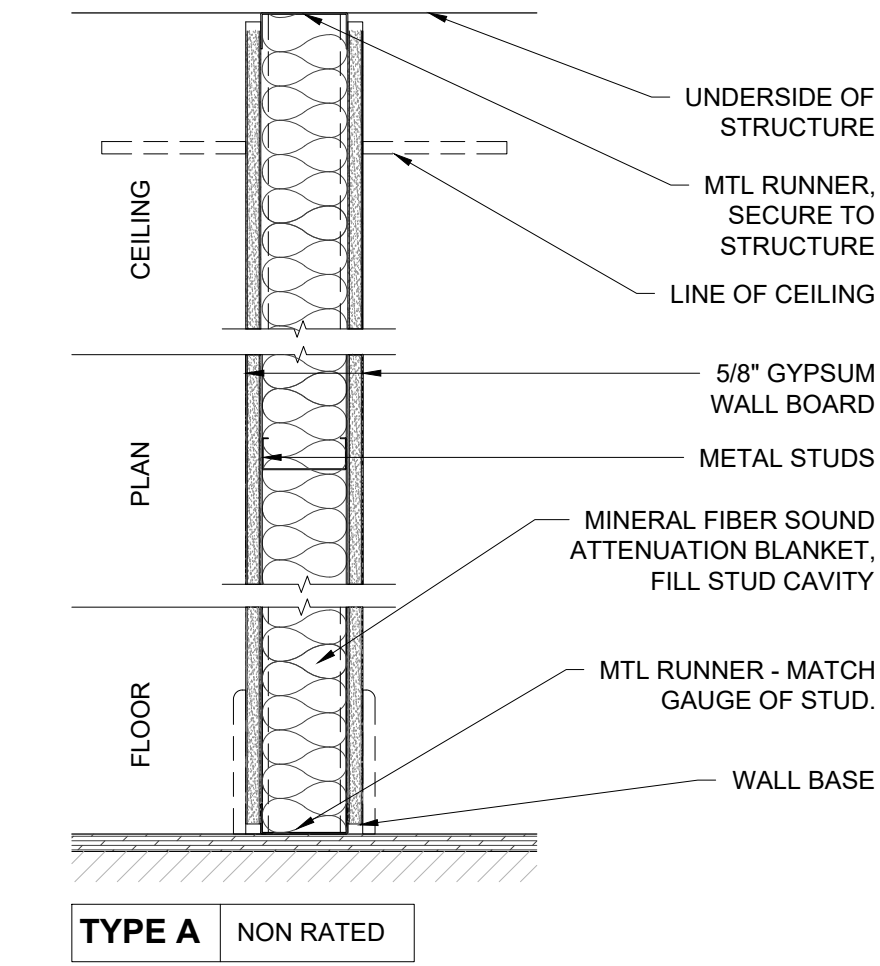
SCALE: NTS

5 HALF MOON - FINISH SCHEDULE								
Room No.	Room Name	Floor	Walls				Trim	Ceiling
			North	East	South	West		
1st Floor								
101	Foyer	TL-1	PT-1	PT-1	PT-1	PT-1	PT-3	PT-2
102	Powder Room	TL-2	TL-2/WP-1	TL-2/WP-1	TL-2/WP-1	TL-2/WP-1	PT-4	PT-5
103	Living Room	Extg Wood	PT-1	PT-1	PT-1	PT-1	PT-3	PT-2
104	Kitchen/Dining	Wood-1	PT-1	PT-1	PT-1	PT-1	PT-3	PT-2
105	Family Room	Wood-1	PT-1	PT-1	PT-1	PT-1	PT-3	PT-2
106	Hall	PT-1	PT-1	PT-1	PT-1	PT-3	PT-2	PT-2

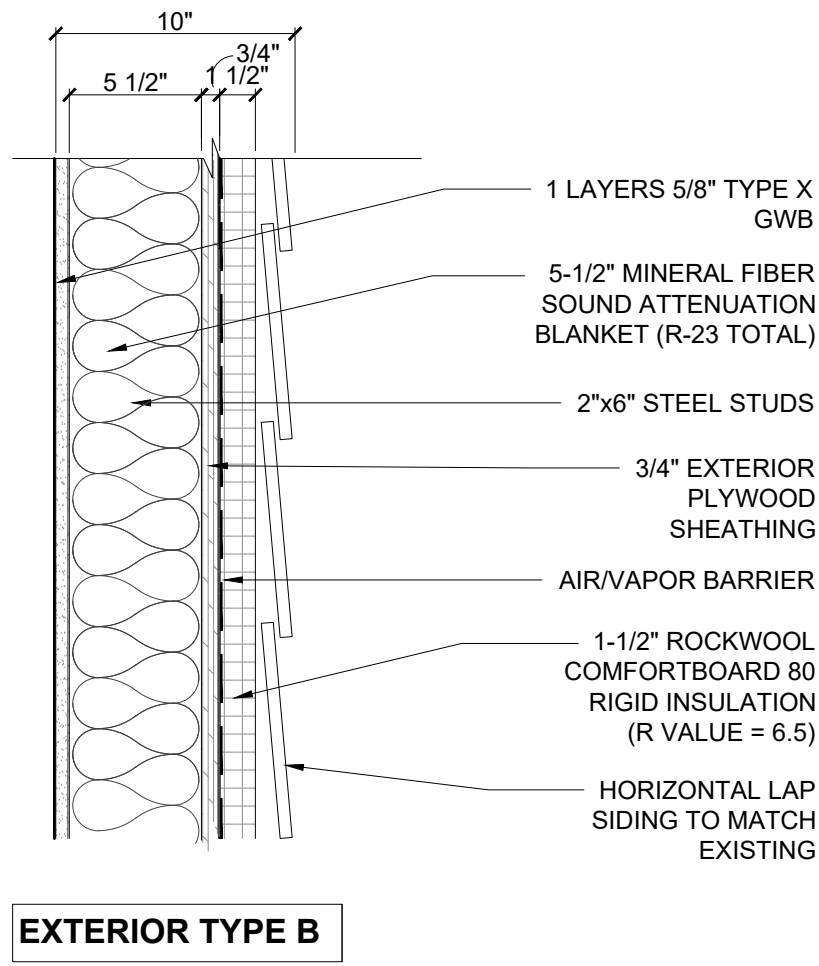
1

FINISH SCHEDULE

SCALE: NTS



NOTE: CONTRACTOR TO SIZE STUD APPROPRIATELY FOR PARTITION SPAN EXCEPT WHERE NOTED ON PLANS ('A6' INDICATES THAT 6\"/>

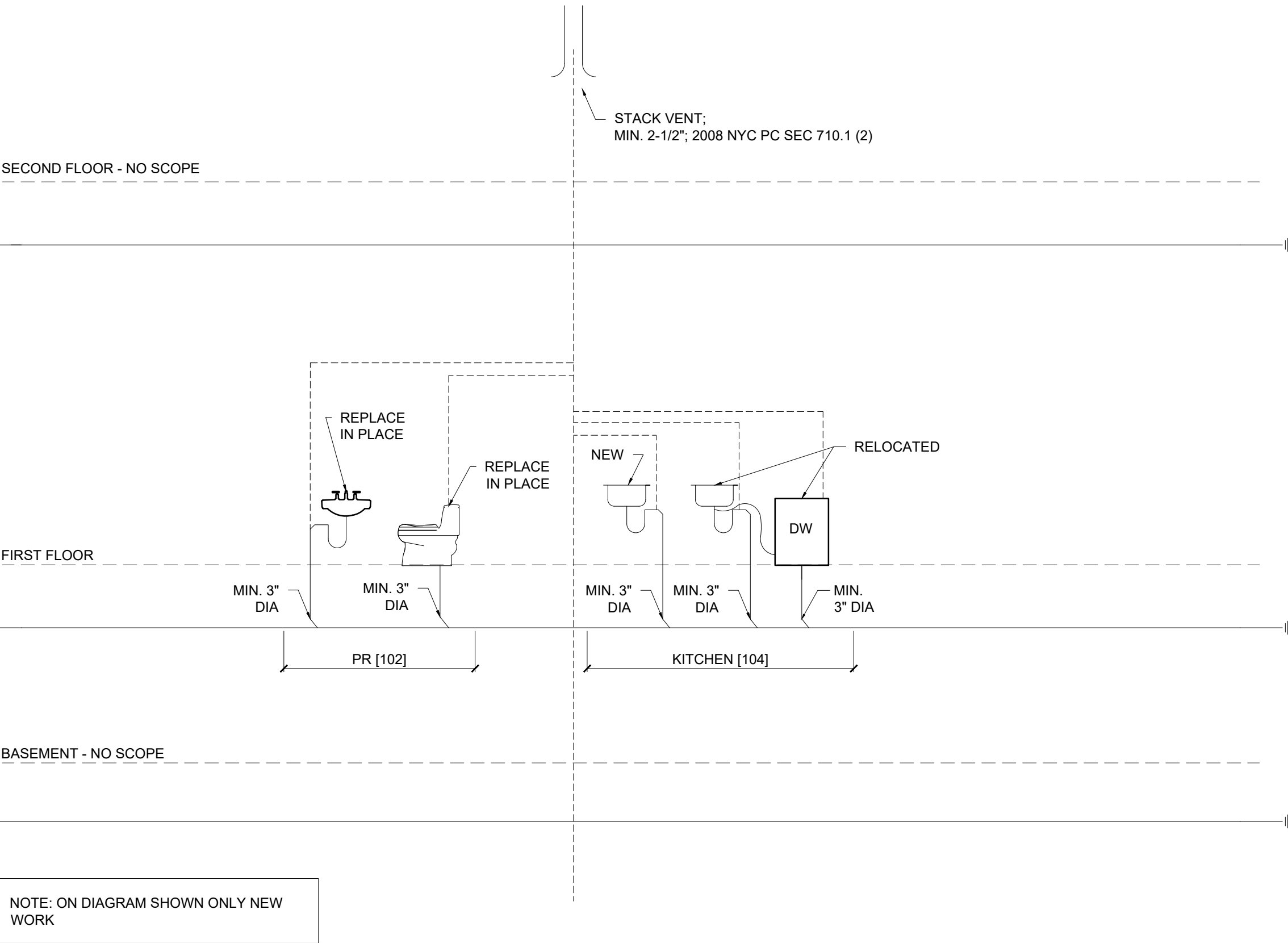


R-VALUE CI = 6.5
R-VALUE CAVITY = 23

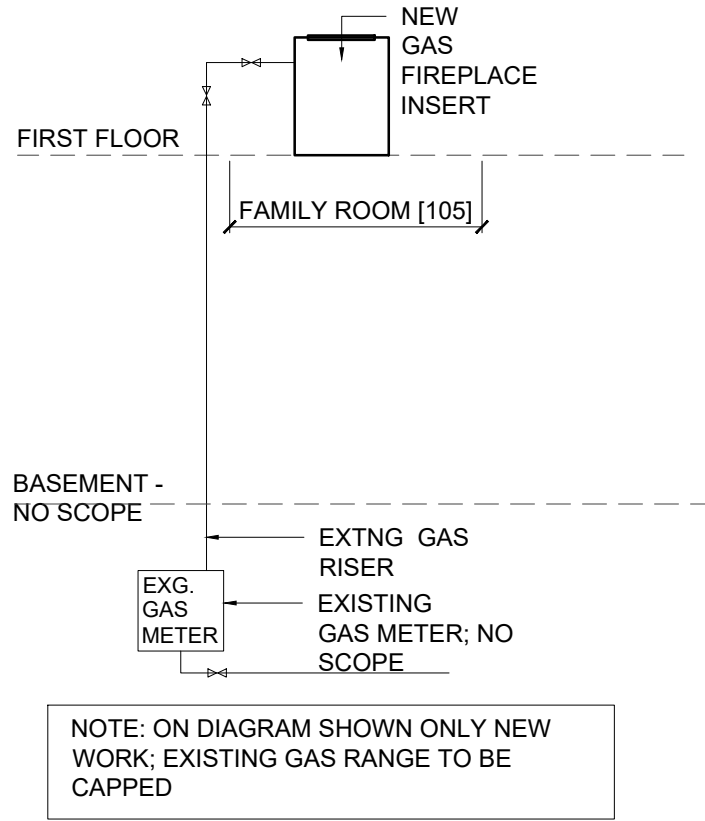
8

EXT WALL TPE B

SCALE: NTS



NOTE: ON DIAGRAM SHOWN ONLY NEW WORK



NOTE: ON DIAGRAM SHOWN ONLY NEW WORK; EXISTING GAS RANGE TO BE CAPPED

6

GAS RISER DIAGRAM

SCALE: NTS

GLAZING SCHEDULE							
WINDOW NBR	LOCATION	DESCRIPTION	QTY	MATERIAL	U-VALUE/ SHGC	SIZE	NOTES
BASEMENT							
FIRST FLOOR							
W-101	KITCHEN/DINING	MARVIN ULTIMATE - PICTURE NARROW FRAME	1	GLASS; PRIMED INT FRAME	U-VALUE:.25 SGHC:.19	52" X 83" (VIF)	FIXED GLASS FLOOR TO CEILING; EXTERIOR MATCH EXTG
W-102	KITCHEN/ DINING	MARVIN ULTIMATE - PICTURE NARROW FRAME	1	GLASS; PRIMED INT FRAME	U-VALUE:.25 SGHC:.19	52" X 83" (VIF)	FIXED GLASS FLOOR TO CEILING; EXTERIOR MATCH EXTG
W-104	KITCHEN/ DINING	MARVIN ULTIMATE - CORNER NARROW FRAME	1	GLASS; PRIMED INT FRAME	U-VALUE:.25 SGHC:.19	24" X 83" (VIF)	FIXED GLASS FLOOR TO CEILING; EXTERIOR MATCH EXTG
W-105	KITCHEN/ DINING	MARVIN ULTIMATE - CORNER NARROW FRAME	1	GLASS; PRIMED INT FRAME	U-VALUE:.25 SGHC:.19	28" X 83" (VIF)	FIXED GLASS FLOOR TO CEILING; EXTERIOR MATCH EXTG
W-106	KITCHEN/ DINING	MARVIN ULTIMATE - CASEMENT PUSH OUT	1	GLASS; PRIMED INT FRAME	U-VALUE:.25 SGHC:.19	73" X 41" (VIF)	3 PART WINDOW - 2 SIDE OPERABLE AND 1 CENTER FIXED

2

WINDOW SCHEDULE

SCALE: NTS

5 HALF MOON LANE

5 HALF MOON LANE
IRVINGTON, NY 10533

ARCHITECT
SARAH JACOBY ARCHITECT
522 46th Ave, Fl 3
Long Island City, NY 11101

ISSUES:		
REV.	DESCRIPTION	DATE
1	TOWN/ARB SET	05/31/23

5 HALF MOON LANE

SCHEDULES & DETAILS

SEAL



6 OF 6

A-301.00