

# APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

|                     |                            |                 |              |
|---------------------|----------------------------|-----------------|--------------|
| Application Number: | 988                        | Date:           | 10/04/2021   |
| Job Location:       | 19 MATTHIESSEN             | Parcel ID:      | 2.50-17-24   |
| Property Owner:     | Jaclyn and Andres Sirulnik | Property Class: | 1 FAMILY RES |
| Occupancy:          | One/ Two Family            | Zoning:         |              |
| Common Name:        | 19 MATTHIESSEN PARK        |                 |              |

| Applicant                                     | Contractor |
|-----------------------------------------------|------------|
| Radoslav Opacic                               |            |
| Opacic Architects                             |            |
| 24 North Astor StreetIrvington New York 10533 |            |
| 9145914306                                    |            |

## Description of Work

|                      |                |                      |              |
|----------------------|----------------|----------------------|--------------|
| Type of Work:        | Addition       | Applicant is:        | Architect    |
| Work Requested by:   | The Owner      | In association with: |              |
| Cost of Work (Est.): | \$1,520,000.00 | Property Class:      | 1 FAMILY RES |

## Description of Work

***Remove an existing garage addition and pool/patio to replace with new garage/mudroom and cabana addition including new pool with patio in the back of the property. Existing portion of house to be renovated at the same time to modify the plan and make improvements to systems and finishes.***

**Please Note:** Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 19 MATTHIESSEN

Parcel Id: 2.50-17-24

## AFFIDAVIT OF APPLICANT

I **Radoslav Opacic** being duly sworn, depose and says: That s/he does business as: **Opacic Architects** with offices at: **24 North Astor Street Irvington New York 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The \_\_\_\_\_ of the New York Corporation \_\_\_\_\_ with offices at: \_\_\_\_\_ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of \_\_\_\_\_ with offices \_\_\_\_\_ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

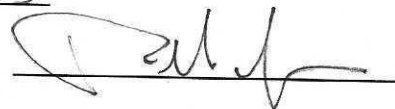
That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 2 day of June of 2023



Notary Public / Commission of Deeds

SARAH PALERMO  
NOTARY PUBLIC, STATE OF NEW YORK  
QUALIFIED IN WESTCHESTER COUNTY  
No. 01PA6182438  
COMMISSION EXPIRES FEBRUARY 25, 2024



Applicant's Signature

## OWNER'S AUTHORIZATION

I **Jaclyn and Andres Sirulnik** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 917-446-2996 Owner email address jsirulnik@me.com

☒ **Jaclyn & Andres Sirulnik** I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 1 day of June of 2023



Notary Public / Commission of Deeds

SARAH PALERMO  
NOTARY PUBLIC, STATE OF NEW YORK  
QUALIFIED IN WESTCHESTER COUNTY  
No. 01PA6182438  
COMMISSION EXPIRES FEBRUARY 25, 2024



Applicant's Signature



# INSTRUCTIONS

## REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a licensed professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site [www.irvingtonny.gov](http://www.irvingtonny.gov)) prior to submission).
7. Visit the Village of Irvington website [www.irvingtonny.gov](http://www.irvingtonny.gov) for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: [www.irvingtonny.gov](http://www.irvingtonny.gov).
9. Provide evidence that the application meets the NYS Energy code as described by [www.dos.state.ny.us/code/energycode/overview.htm](http://www.dos.state.ny.us/code/energycode/overview.htm)

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

### Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

### FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION (All fees must be paid at time of application):

#### Fee schedule

#### Building Permit (Non-Refundable)

\* Application fee \$85

\* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

#### • Inspection Fees (as applicable)

- |                                                    |                                                                |
|----------------------------------------------------|----------------------------------------------------------------|
| • Insulation: \$50 ✓                               | • Footing: \$50 ✓                                              |
| • Solid Fuel: \$50 ✓                               | • Preparation for concrete slabs and walls: \$50 ✓             |
| • Foundation and footing drain: \$50 ✓             | • Framing: \$50 ✓                                              |
| • Energy Code Compliance: \$50 ✓                   | • Building systems, including underground and rough-in: \$50 ✓ |
| • Sediment and erosion control: \$50 ✓             | • Fire resistant construction and penetrations: \$50 ✓         |
| • Footing: \$50 ✓                                  | • Final Inspection for C.O.: \$50 ✓                            |
| • Preparation for concrete slabs and walls: \$50 ✓ | • State and local laws (per re-inspection): \$50 ✓             |

Total Inspections **560**

\* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

\* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

\* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

\* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application) Total **27,550**

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit  
Any permit that expires will be subject to additional fees.)

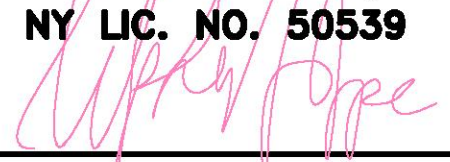


OFFSET DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION.  
SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.



NORTH

Certified to: Leonardo Andres  
Sirulnik and Jaclyn Sirulnik.

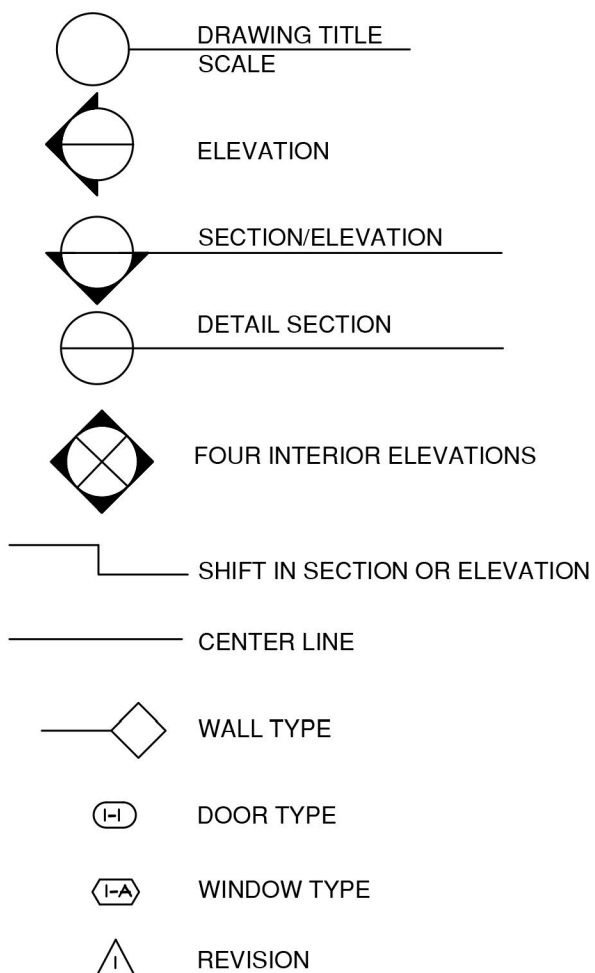
|                                                                                                                                                                                                                        |                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------|
| <b>TOPOGRAPHIC SURVEY</b>                                                                                                                                                                                              |                            |
| FOR<br>19 MATTHIESSEN PARK<br>LOT 24, BLOCK 17, SECTION 2.50<br>IRVINGTON, ROCKLAND COUNTY, NY                                                                                                                         |                            |
| <b>STEPHEN F. HOPPE, L.S.</b><br>LICENSED PROFESSIONAL LAND SURVEYOR<br>111 ROUTE 303 - TAPPAN, NY 10983<br>NY LIC. NO. 50539<br> | <b>SCALE: 1" = 40'</b>     |
|                                                                                                                                                                                                                        | <b>DATE: JAN. 23, 2019</b> |
|                                                                                                                                                                                                                        | <b>FILE NO: 5166-18</b>    |
| <b>L.S.</b>                                                                                                                                                                                                            | <b>SHEET NO: 1 OF 1</b>    |



19 SOUTH MATTHIESSEN PARK  
IRVINGTON, NY. 10533

ARCHITECT  
**OPACIC ARCHITECTS**  
24 NORTH ASTOR  
IRVINGTON, NY 10533  
TEL: 914-591-4306 FAX: 914-591-4308

## ARCHITECTURAL



EXISTING WALL TO BE REMOVED

EXISTING WINDOW TO BE REMOVED

EXISTING DOOR TO BE REMOVED

EXISTING FLOORING TO BE REMOVED

COMPLETE EXISTING AREA TO BE REMOVED

EXISTING WALL TO REMAIN  
(SEE FINISH SCHEDULE)

PROPOSED WALL

EXISTING WINDOW TO REMAIN  
(EX-A)

PROPOSED WINDOW

EXISTING DOOR TO REMAIN OR  
TO BE RELOCATED  
(EX-D)

PROPOSED DOOR

PROPOSED HEAD ABOVE

PROPOSED SOFFIT  
LINE ABOVE

## GENERAL

GENERAL

1) APPLICATION FOR PAYMENT SHALL BE SUBMITTED TO THE ARCHITECT, IN THE AIA G702.

2) CONTRACTOR SHALL COORDINATE ALL UTILITY INTERRUPTIONS INCLUDING WATER, GAS, SEWER AND ELECTRICAL. IF THE SITE IS INHABITED THE CONTRACTOR MUST SUPPLY TEMPORARY CONNECTIONS FOR UTILITIES THAT ARE DISCONNECTED FOR MORE THAN ONE DAY.

3) ALL ITEMS NOTED ON DRAWING AS "PROVIDED BY OWNER" SHALL BE INSTALLED BY THE CONTRACTOR.

4) CONTRACTOR SHALL PROVIDE "PORTABLE-JOHN" DURING CONSTRUCTION PERIOD.

5) THE ARCHITECT HAS THE AUTHORITY TO REJECT WORK THAT DOES NOT CONFORM WITH THE INTENT OF THE CONTRACT DOCUMENTS. ALL WORK REJECTED WILL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR OR REPLACE.

6) IN MATTERS OF QUALITY, QUANTITY AND AESTHETIC VALUE, THE ARCHITECT DECISIONS WILL BE FINAL.

**DEMOLITION**

1) CONTRACTOR SHALL PROVIDE CONTINUOUS SHORING AND BRACING OF THE EXISTING STRUCTURE DURING DEMOLITION AND DECONSTRUCTION. REMOVAL OF ALL BEARING WALLS WILL BE IN ACCORDANCE WITH STRUCTURAL PLANS. IF ANY CONDITIONS ARE DIFFERENT THAN SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE ARCHITECT IMMEDIATELY.

2) ITEMS NOTED TO BE SAVED SHALL BE REMOVED BY GENERAL CONTRACTOR AND STORED. STORAGE LOCATION BY OWNER.

**WOODWORK**

1) ALL WOODWORK AND MOLDING PROFILES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION. CONTRACTOR SHALL PROVIDE MOCKUP IN THE FIELD FOR APPROVAL PRIOR TO ORDERING AND INSTALLING MOLDING.

2) ALL FINISH TRIM SHALL BE STORED IN A DRY AND PROTECTED AREA. ALL TRIM SHALL BE DELIVERED TO THE SITE A MINIMUM 2 WEEKS PRIOR TO INSTALLATION. WOOD SHALL BE COMPLETELY PRIMED PRIOR TO INSTALLATION.

3) INTERIOR AND EXTERIOR TRIM SHALL BE GLUED AND NAILED AT ALL CONNECTIONS. ALL EXTERIOR GLUE SHALL BE WATER RESISTANT.

**SITE WORK**

1) CONTRACTORS SHALL PROTECT EXISTING TREES DURING CONSTRUCTION. ALL TREES AND SHRUBS IN AREA OF NEW CONSTRUCTION SHALL BE REMOVED BY OWNERS LANDSCAPE CONTRACTOR, UNLESS OTHERWISE NOTED. CONTRACTOR NOT STORE ANY MATERIALS ON ANY LANDSCAPE AREAS.

**ELECTRICAL**

1) LIGHT FIXTURES SUPPLIED BY OWNER SHALL BE INSTALLED BY ELECTRICAL CONTRACTOR. FIXTURES DELIVERED TO SITE BY OWNER OR OWNERS REPRESENTATIVE. SHALL BE ACCEPTED BY GENERAL CONTRACTOR AND SHALL BECOME CONTRACTORS RESPONSIBILITY TO PROTECT THROUGH JOB COMPLETION.

2) ALL ELECTRICAL WORK SHALL COMPLY TO THE REQUIREMENTS OF NATIONAL, STATE AND LOCAL ELECTRICAL CODES.

3) GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH OWNERS' CONSULTANTS. CONTRACTOR SHALL NOTIFY OWNER WHEN THESE TRADES CAN BE SCHEDULED TO WORK.

**PLUMBING**

1) ALL PLUMBING WORK SHALL COMPLY WITH NYS PLUMBING CODE AND ALL STATE AND LOCAL REGULATIONS.

**WORKMANSHIP**

1) PROVIDE ALL MATERIAL, EQUIPMENT, LABOR AND METHODS OF CONSTRUCTION TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATION. ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF THE NEW YORK STATE CODE, THE COUNTY OF WESTCHESTER, THE PRESIDING VILLAGE AND ANY OTHER APPLICABLE CODES HAVING JURISDICTION.

**COORDINATION**

1) THE CONTRACTOR SHALL CHECK AND VERIFY ALL NEW AND EXISTING CONDITIONS AND SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR COMMENCING WORK IN THAT AREA.

2) ALL DIMENSION OF WALLS ARE TAKEN TO FRAMING MEMBERS FOR NEW CONSTRUCTION AND TO FINISH WALL FOR EXISTING CONSTRUCTION, UNLESS OTHERWISE NOTED.

3) ALWAYS USE GIVEN DIMENSIONS, DO NOT SCALE OFF OF DRAWINGS FOR CONSTRUCTION PURPOSES.

4) SUBMIT SHOP DRAWINGS AS REQUESTED BY THE SPECIFICATIONS AND OR DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL PRIOR TO FABRICATION.

5) ALL COLORS TO BE APPROVED BY ARCHITECT. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. MINIMUM SIZE 12" X 12" (SEE SPEC.).

**CHANGES**

1) ALL CHANGE ORDERS SHALL BE SUBMITTED IN WRITING AND SHALL BE APPROVED BY THE ARCHITECT AND OWNER PRIOR TO START OF WORK (AIA DOCUMENT G701).

2) ANY DEVIATION FROM WHAT IS SHOWN OR STIPULATED IN THE DRAWINGS OR THE SPECIFICATION MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCING WORK.

3) ALL SUBSTITUTIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

**SAFETY**

1) THE CONTRACTOR AND ALL OF THE SUBCONTRACTORS INVOLVED IN THIS PROJECT ARE TO BE SAFELY WORKING WITHIN THE GUIDELINES SET FORTH BY LOCAL MUNICIPALITIES AND NEW YORK STATE.

**RESPONSIBILITY**

1) EACH CONTRACTOR INDEMNIFIES AND HOLDS THE OWNER HARMLESS FROM ALL LIABILITIES AND LOSS BECAUSE OF INJURY TO ANY PERSON OR DAMAGE TO ANY PROPERTY THAT MAY OCCUR DURING THIS CONTRACT.

2) THE CONTRACTOR AND SUBCONTRACTORS MUST OBTAIN AND MAINTAIN AN ACCIDENT AND PUBLIC LIABILITY INSURANCE POLICY FOR THIS PROJECT. FROM COMMENCEMENT TO COMPLETION. THE CONTRACTOR MUST PROVIDE THE OWNER WITH A RIDER STATING THE OWNER AND THEIR PROPERTY IS CO-INSURED. FAILURE TO FOR FILL THIS OBLIGATION DOES NOT OBLVATE THE CONTRACTOR FROM RESPONSIBILITY.

3) THE CONTRACTOR AND ALL SUBCONTRACTORS MUST CARRY WORKERS COMPENSATION IN ACCORDANCE WITH NEW YORK STATE REQUIREMENTS.

4) CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING THE SITE OF DANGEROUS DEBRIS AND THAT THE BUILDING IS SECURE AT THE END OF EACH WORKING DAY.

5) THE CONTRACTOR ASSUMES NO RESPONSIBILITY FOR ANY HAZARDOUS MATERIAL FOUND DURING THE COURSE OF THIS PROJECT. IF ANY MATERIAL IS DISCOVERED, IT SHALL BE REMOVED BY THE OWNER UNLESS OTHERWISE STATED.

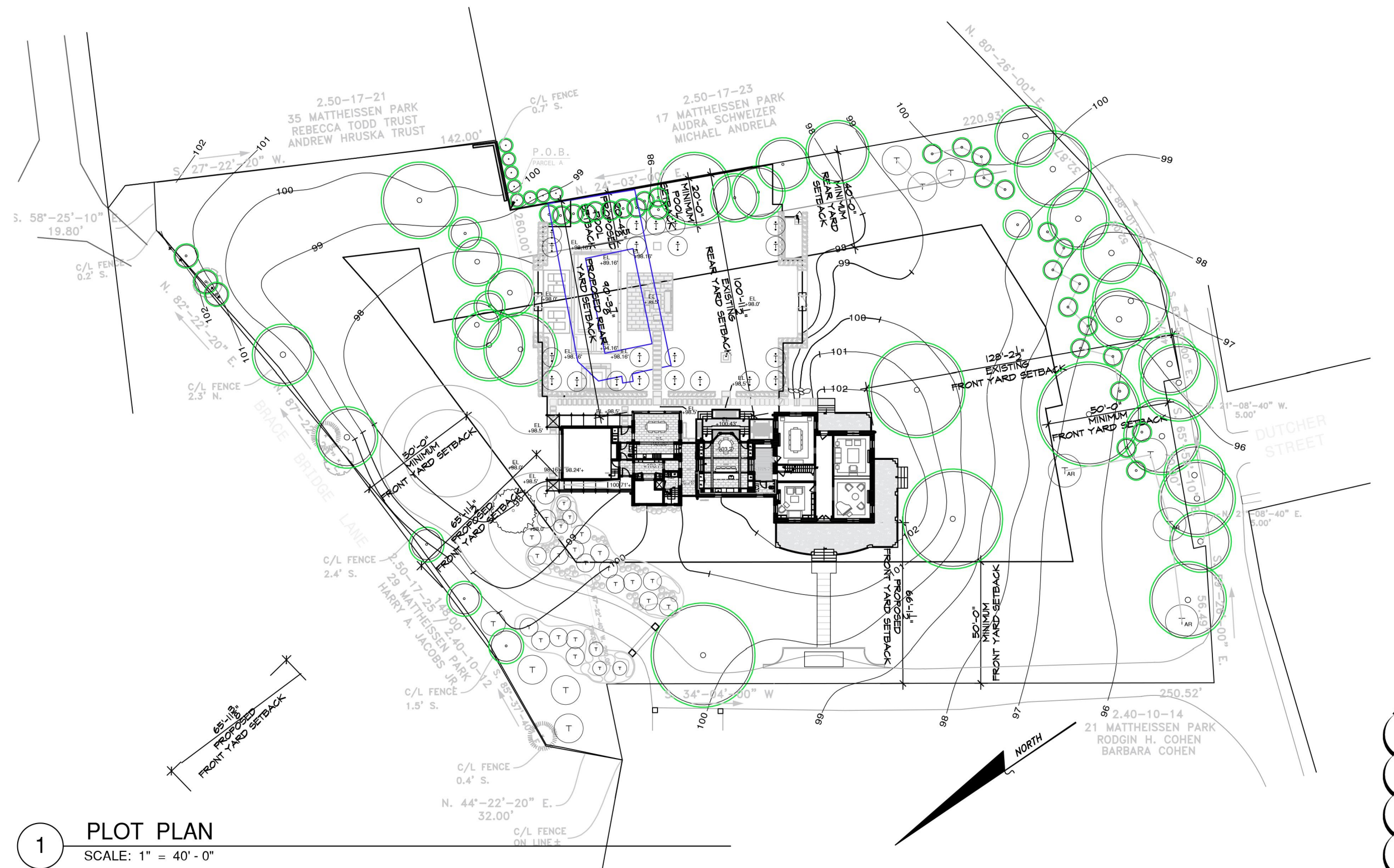
**WARRANTIES**

1) ALL WORK SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL PAYMENT. UNLESS OTHERWISE NOTED IN THE SPECIFICATIONS, ANY REPAIR OR REPLACEMENT REQUIRED MUST BE APPROVED BY THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK.

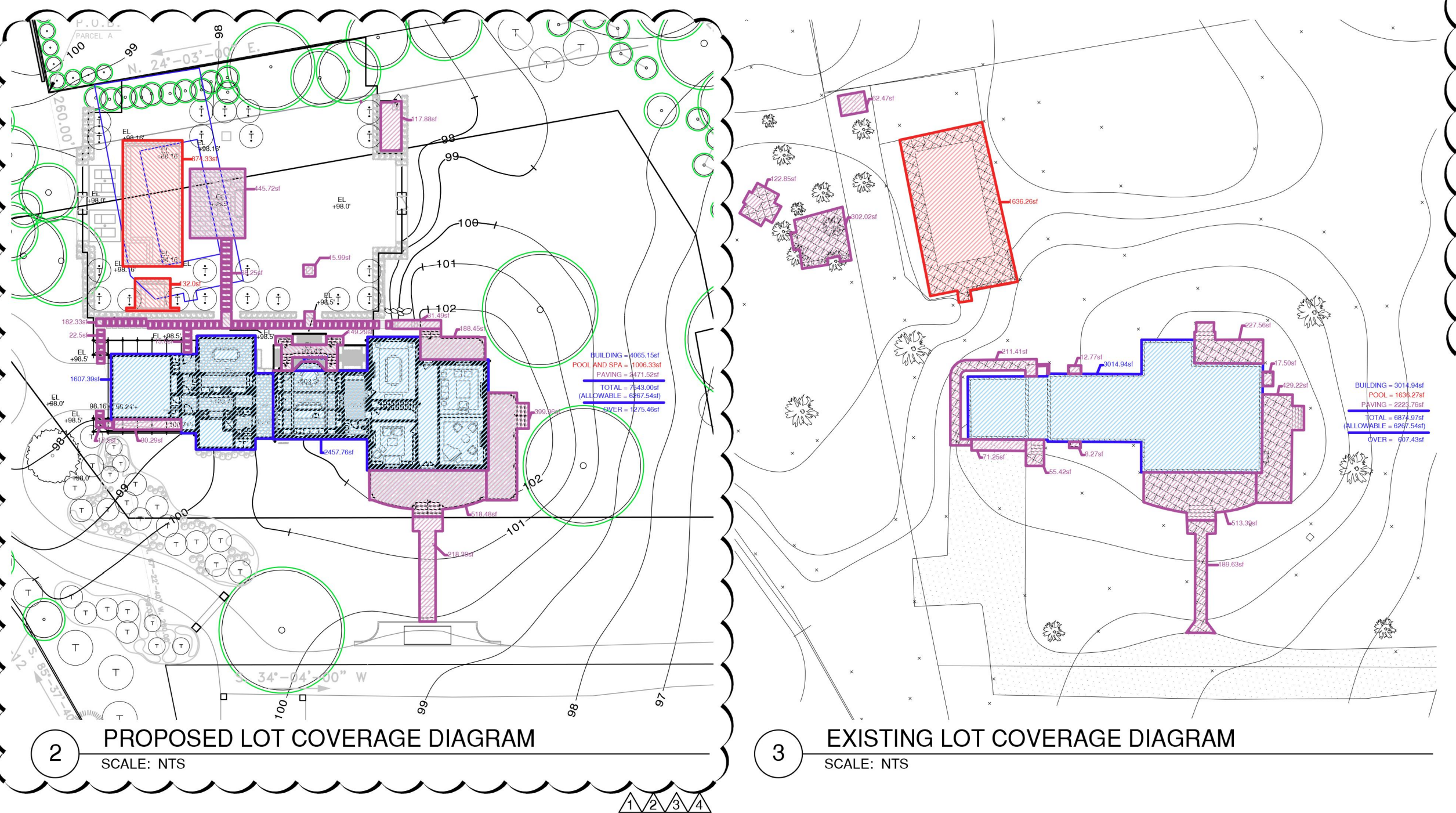
NOTE:

NOTE:

THE INFORMATION SHOWN ON THE PLOT PLAN WAS TAKEN FROM A SURVEY PREPARED BY STEPHEN F. HOPPE, L.S. IN TAPPAN, NY DATED JANUARY 23, 2019, AND IS SHOWN FOR REFERENCE ONLY. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE SURVEY INFORMATION SHOWN.



1 PLOT PLAN  
SCALE: 1" = 40' - 0"



2 PROPOSED LOT COVERAGE DIAGRAM

3 EXISTING LOT COVERAGE DIAGRAM

CONSTRUCTION TYPE: TYPE 5B (FRAME CONSTRUCTION)

|                 |                                                                                       |             |             |              |
|-----------------|---------------------------------------------------------------------------------------|-------------|-------------|--------------|
| OCCUPANCY:      | R-3                                                                                   |             |             |              |
| FIRE RESISTANCE | FLOOR: 3/4 HOUR<br>ROOF STRUCTURE: COMBUSTIBLE<br>OTHER STRUCTURAL ELEMENTS: 3/4 HOUR |             |             |              |
| DESIGN LOADS:   | ROOF:                                                                                 | DEAD: 15PSF | LIVE: 30PSF | TOTAL: 45PSF |
|                 | FLOOR:                                                                                | DEAD: 20PSF | LIVE: 40PSF | TOTAL: 60PSF |
|                 | ATTIC:                                                                                | DEAD: 20PSF | LIVE: 30PSF | TOTAL: 50PSF |
|                 | DECKS:                                                                                | DEAD: 15PSF | LIVE: 60PSF | TOTAL: 75PSF |
|                 | STAIRS:                                                                               |             | LIVE: 75PSF | TOTAL: 75PSF |

SOIL BEARING CAPACITY SHALL BE IN COMPLIANCE WITH THE RESIDENTIAL CODE  
OF THE STATE OF NEW YORK

LOCATION MAP:

ALL PLANS ARE DESIGNED IN  
ACCORDANCE WITH THE 2020  
RESIDENTIAL CODE OF NEW YORK STATE

ALL PLANS ARE DESIGNED IN  
ACCORDANCE WITH THE PRESCRIPTIVE  
REQUIREMENTS OF THE 2020 NYSTRECH  
ENERGY CONSERVATION CONSTRUCTION  
CODE OF NEW YORK STATE.

ALL PLANS ARE DESIGNED IN  
ACCORDANCE WITH THE NATIONAL  
ELECTRICAL CODE NFPA 70, 2020 EDITION

ENGINEERED LUMBER (FLOOR AND ROOF FRAMING) SHALL BE PLACARDED AND WILL BE POSTED ON SITE PER NYSDOS



## PROPERTY INFORMATION TABLE

| MUNICIPALITY                            | VILLAGE OF IRVINGTON, WESTCHESTER COUNTY, NEW YORK                 |                    |                     |
|-----------------------------------------|--------------------------------------------------------------------|--------------------|---------------------|
| ADDRESS                                 | 19 SOUTH MATTHIESSEN PARK, IRVINGTON, NEW YORK 10533               |                    |                     |
| TAX ID #                                | SECTION 2.50 BLOCK 17 LOT24                                        |                    |                     |
| OWNER                                   | ANDRES AND JACLYN SIRULNIK                                         |                    |                     |
| APPLICANT                               | OPACIC ARCHITECTS, 24 NORTH ASTOR, IRVINGTON, NY 10533             |                    |                     |
| DISTRICT                                | 1F-40 RESIDENCE DISTRICT                                           |                    |                     |
| SCHEDULE OF ZONING DISTRICT REGULATIONS |                                                                    |                    |                     |
| REGULATION ITEM                         | REQUIRED/ALLOWED                                                   | EXISTING           | PROPOSED            |
| USE                                     | ONE FAMILY RESIDENCE                                               |                    |                     |
| MIN. LOT AREA                           | 40,000 SF                                                          | 76,688.6 SF        | 76,688.6 SF         |
| MIN. LOT WIDTH                          | 150 FT.                                                            | 250.05 FT.         | 250.05 FT.          |
| MIN. LOT DEPTH                          | 150 FT.                                                            | 210.96 FT.         | 210.96 FT.          |
| MAX. HEIGHT                             | 35 FT.                                                             | 37 FT.             | 37 FT.              |
| MIN. FRONT YARD                         | 50 FT.                                                             | 84.42/66.08/128.16 | 65.95/66.125/128.16 |
| MIN. SIDE YARD                          | 25FT. / 4 FT. FOR DRIVEWAYS                                        | NA                 | NA                  |
| MIN. REAR YARD                          | 40FT. / 15 FT. FOR DRIVEWAYS                                       | 101.30 FT.         | 90.32 FT.           |
| MIN. POOL SETBACK                       | 20FT.(ALL YARDS, NOT IN FRONT YARD)                                | 18.87 FT.          | 21.25 FT.           |
| MAX. LOT COVERAGE                       | 12% OF 40,00 SF (4,800 SF)<br>+1% OVER 40,000SF (1,468 SF)=6288 SF | 6875 SF            | 7543.00 SF          |
| MAX. FAR                                | .125 (76,688.6 SF) = 9.586 SF                                      | 6636 SF            | 8130 SF             |



- T-1.0 TREE SHEET
- T-1.1 VIEW PRESERVATION ANALYSIS
- T-1.2 LOT COVERAGE ANALYSIS
- T-1.3 EXISTING BUILDING IMAGES AND FINISH SPECIFICATIONS

L-1.0 SITE DEMO PLAN & TREE REMOVAL  
L-1.1 PROPOSED SITE PLAN - DRAINAGE AND GRADING  
L-1.2 REAR GARDEN ENLARGEMENT PLAN - LAYOUT AND  
DETAILS

- L-2.0 SITE SECTIONS
- L-2.1 SITE SECTIONS
- L-3.0 PROPOSED SITE DETAILS
- L-3.1 NOT USED
- L-3.2 PROPOSED SITE DETAILS - POOL GATE AND DECORATIVE FENCE
- L-4.0 PROPOSED LANDSCAPE PLANTING PLAN AND OUTDOOR LIGHTING PLAN

|     |                             |
|-----|-----------------------------|
| C-1 | EROSION CONTROL PLAN        |
| C-2 | STORM WATER MANAGEMENT PLAN |
| C-3 | DETAILS                     |
| C-4 | DETAILS                     |

DEMOLITION DRAWINGS  
A-0.0 DEMOLITION PLANS  
A-0.1 DEMOLITION ELEVATIONS

A-1.0 BASEMENT AND FIRST FLOOR PLAN  
A-1.1 SECOND FLOOR AND ATTIC FLOOR PLAN

EXTERIOR ELEVATIONS  
A-2.0 PROPOSED FRONT (WEST) AND SIDE (NORTH)  
ELEVATION  
A-2.1 PROPOSED REAR (EAST) AND SIDE (SOUTH)  
ELEVATION

|   |          |                                     |
|---|----------|-------------------------------------|
|   | 06-02-23 | ISSUED FOR AHRB APPROVAL            |
|   | 04-19-23 | RE-ISSUED FOR PLANNING. BD APPROVAL |
| 4 | 03-21-23 | RE-ISSUED FOR PLANNING. BD APPROVAL |
| 3 | 05-18-21 | RE-ISSUED FOR PLANNING. BD APPROVAL |
| 2 | 04-21-21 | RE-ISSUED FOR PLANNING. BD APPROVAL |
| 1 | 01-20-21 | RE-ISSUED FOR PLANNING. BD APPROVAL |
|   | 12-23-20 | ISSUED FOR PLANNING. BD APPROVAL    |

|     |      |          |
|-----|------|----------|
| No. | Date | Revision |
|-----|------|----------|

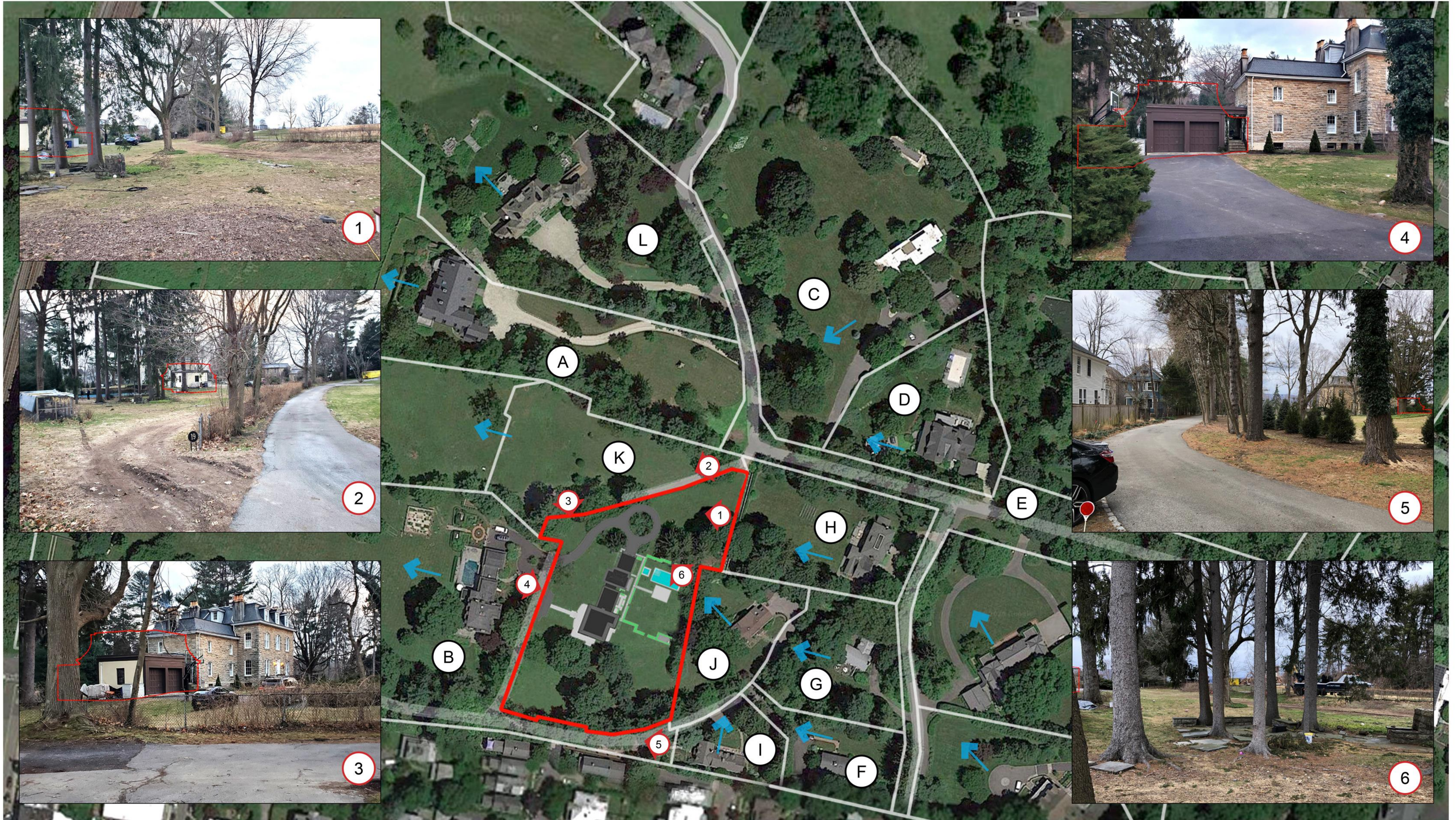
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Drawing Title

**TITLE SHEET**

|          |            |             |             |
|----------|------------|-------------|-------------|
| Scale    | Job no.    | Issue Date  | Drawing no. |
| AS NOTED | 1806       | 03-22-23    | T-1.0       |
| Drawn By | Checked By | Approved By |             |
| MM       |            |             |             |





- |                                                                          |                                                                        |                                                                                 |
|--------------------------------------------------------------------------|------------------------------------------------------------------------|---------------------------------------------------------------------------------|
| A. 2.40-10-11<br>31 MATTHEISSEN PARK<br>DAWN FITZPATRICK                 | C. 2.50-17-2<br>39 MATTHEISSEN PARK<br>39 MATTHEISSEN PARK LLC         | E. 2.50-17-14<br>33 MATTHEISSEN PARK<br>NORAH CAPITAL LLC<br>ROBERT A. MACKIE   |
| B. 2.40-10-14<br>21 MATTHEISSEN PARK<br>RODGIN H. COHEN<br>BARBARA COHEN | D. 2.50-17-13<br>28 MATTHEISSEN PARK<br>JESSICA KEARNS<br>KEVIN KEARNS | F. 2.50-17-19<br>15 MATTHEISSEN PARK<br>ALLAN VOLLWEILER<br>PATRICIA VOLLWEILER |

VIEW PRESERVATION ANALYSIS  
SCALE: 1" = 60'-0"

SIRULNIK RESIDENCE  
19 NORTH MATTHEISSEN PARK, BROOKLYN, NY 11213  
ZONING BOARD SUBMISSION  
OPACIC ARCHITECTS  
24 NORTH ASTOR, BROOKLYN, NY 11213  
TEL: 718.333.1111 FAX: 718.333.1111  
MARCH 21<sup>ST</sup>, 2023

T-1.1



- |                                                                                   |                                                                            |                                                                                       |
|-----------------------------------------------------------------------------------|----------------------------------------------------------------------------|---------------------------------------------------------------------------------------|
| G. 2.50-17-20<br>37 MATTHEISSEN PARK<br>ROY N. DAILEY<br>DOROTHY W. DAILEY        | I. 2.50-17-22<br>13 MATTHEISSEN PARK<br>WILLIAM R. MCINTYRE                | K. 2.50-17-25 / 2.40-10-12<br>29 MATTHEISSEN PARK<br>H. RODGIN COHEN<br>BARBARA COHEN |
| H. 2.50-17-21<br>35 MATTHEISSEN PARK<br>REBECCA TODD TRUST<br>ANDREW HRUSKA TRUST | J. 2.50-17-23<br>17 MATTHEISSEN PARK<br>AUDRA SCHWEIZER<br>MICHAEL ANDRELA | L. 2.40-10-10<br>33 MATTHEISSEN PARK<br>NORA CAPITAL LLC                              |





**A** 19 MATTHEISSEN PARK  
2.50-17-24



**B** 13 MATTHEISSEN PARK  
2.50-17-22



**C** 15 MATTHEISSEN PARK  
2.50-17-19



**D** 17 MATTHEISSEN PARK  
2.50-17-23



**E** 23 MATTHEISSEN PARK  
2.50-17-17



**F** 37 MATTHEISSEN PARK  
2.50-17-20



**G** 35 MATTHEISSEN PARK  
2.50-17-21



**H** 25 MATTHEISSEN PARK  
2.50-17-18



**I** 27 MATTHEISSEN PARK  
2.50-17-16



**J** 28 MATTHEISSEN PARK  
2.50-17-13



**K** 29 MATTHEISSEN PARK  
2.40-10-12 / 2.50-17-25

|   | LOT NO.    | ZONING DISTRICT | PROPERTY ADDRESS          | PROPERTY AREA - SF | ALLOWABLE LOT COVERAGE - SF EXCLUDING DRIVEWAY | BUILDING COVERAGE - SF                     | IMPERVIOUS COVERAGE - SF EXCLUDING DRIVEWAY | TOTAL LOT COVERAGE SF                      | TOTAL LOT COVERAGE %               |
|---|------------|-----------------|---------------------------|--------------------|------------------------------------------------|--------------------------------------------|---------------------------------------------|--------------------------------------------|------------------------------------|
| A | 2.50-17-24 | 1F-40           | 19 South Mattheissen Park | 76,688.60          | 6,267.54                                       | 3,014.94 (Existing)<br>4,065.15 (Proposed) | 3,859.03 (Existing)<br>3,480.31 (Proposed)  | 6,874.97 (Existing)<br>7,543.00 (Proposed) | 8.96 (Existing)<br>9.83 (Proposed) |
| B | 2.50-17-22 | 1F-40           | 13 Mattheissen Park       | 14,374.80          | 1,724.97                                       | 1,759.00                                   | 1,543.08                                    | 3,302.08                                   | 22.97                              |
| C | 2.50-17-19 | 1F-40           | 15 Mattheissen Park       | 20,908.80          | 2,509.05                                       | 2,012.00                                   | 668.00                                      | 2,680.00                                   | 12.82                              |
| D | 2.50-17-23 | 1F-40           | 17 Mattheissen Park       | 23,958.00          | 2,874.96                                       | 2,074.00                                   | 781.71                                      | 2,855.71                                   | 11.91                              |
| E | 2.50-17-17 | 1F-40           | 23 Mattheissen Park       | 45,738.00          | 5,029.52                                       | 3,186.00                                   | 990.00                                      | 4,716.00                                   | 10.31                              |
| F | 2.50-17-20 | 1F-40           | 37 Mattheissen Park       | 25,700.40          | 3,084.04                                       | 1,449.00                                   | 830.00                                      | 2,279.00                                   | 8.87                               |
| G | 2.50-17-21 | 1F-40           | 35 Mattheissen Park       | 40,075.20          | 4,803.00                                       | 3,220.00                                   | 1,000.00                                    | 4,220.00                                   | 10.53                              |
| H | 2.50-17-18 | 1F-40           | 25 Mattheissen Park       | 67,953.60          | 5,918.14                                       | 4,209.00                                   | 3,374.71                                    | 7,583.71                                   | 11.16                              |
| I | 2.50-17-16 | 1F-40           | 27 Mattheissen Park       | 43,124.40          | 4,924.97                                       | 2,226.00                                   | 442.07                                      | 2,668.07                                   | 6.19                               |
| J | 2.50-17-13 | 1F-40           | 28 Mattheissen Park       | 40,075.20          | 4,803.00                                       | 4,034.00                                   | 578.00                                      | 4,612.00                                   | 11.51                              |
| K | 2.50-17-25 | 1F-40           | 29 Mattheissen Park       | 83,635.20          | 6,545.08                                       |                                            |                                             |                                            |                                    |

Notes:

- Adjacent property information based on the following:
  - Village of Irvington website and GIS mapping information.
  - Town of Greenburgh website and GIS information including Tax Rolls, CAI property cards and GIS mapping
- Lot coverage values for adjacent properties compiled from publicly available records as noted above and may not include all existing walkways, decks and patios.



LOT COVERAGE ANALYSIS

|                                                                                                                                                                                                                          |       |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|
| SIRULNIK RESIDENCE<br>19 SOUTH MATTHEISSEN PARK, IRVINGTON, NY 10931<br>PLANNING BOARD SUBMISSION<br>OPACIC ARCHITECTS<br>24 NORTH ASTOR, IRVINGTON, NY 10931<br>TEL: 845.351.1111 FAX: 845.351.1111<br>MARCH 21ST, 2023 | T-1.2 |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------|





1 EXISTING BUILDING IMAGES

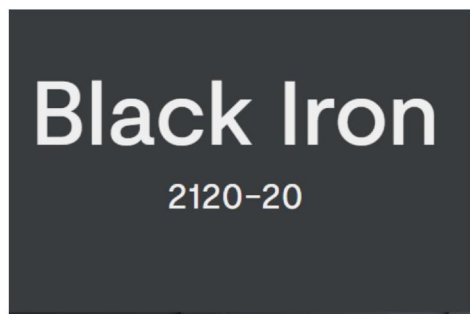
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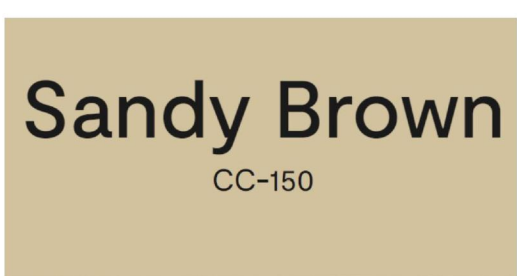
ROOFING - NORTH COUNTRY SLATE  
COLOR: UNFADING BLACK, MATCH WIDTH, EXPOSURE



EXTERIOR TRIM, WOOD WINDOWS AND DOORS  
COLOR: SHERWIN WILLIAMS, ANEW GRAY #SW 7030



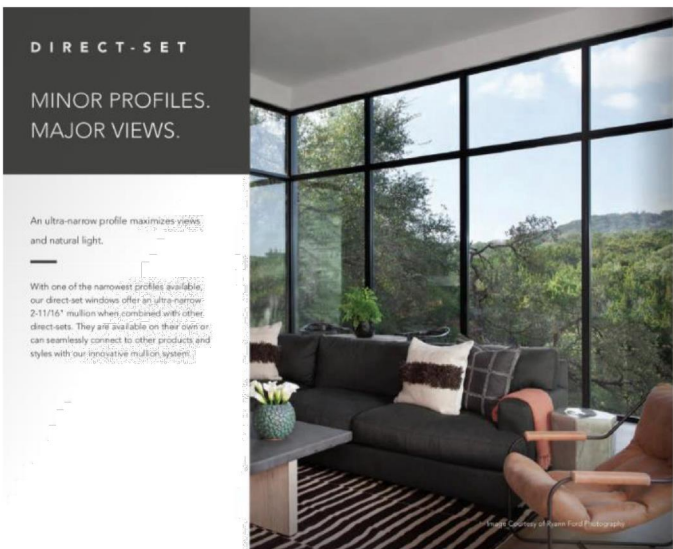
EXTERIOR RAILINGS, GATE, CLAD WINDOWS/DOORS  
COLOR: BENJAMIN MOORE, BLACK IRON #2120-20



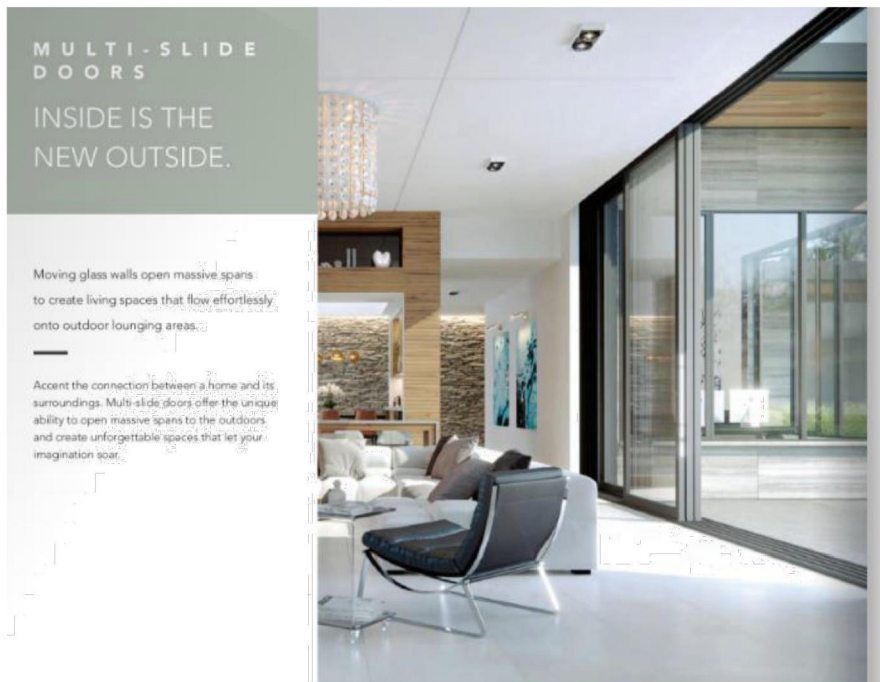
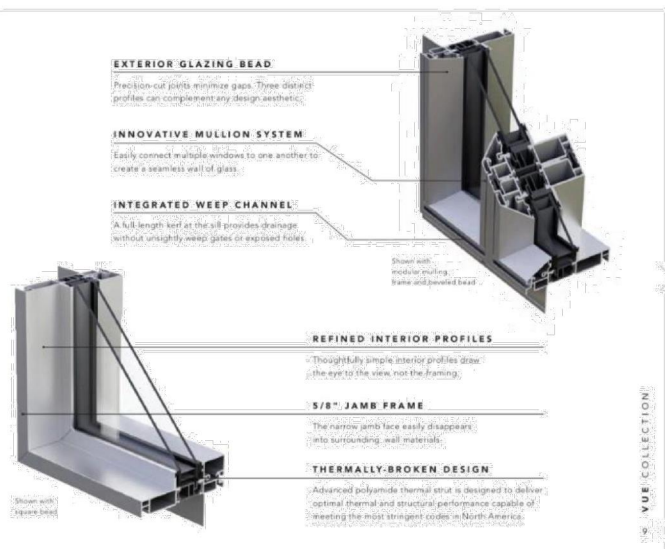
EXTERIOR STUCCO AND HARDI PLANK SIDING  
COLOR: BENJAMIN MOORE, SANDY BROWN #CC-150

2 MATERIAL / FINISH SPECIFICATIONS

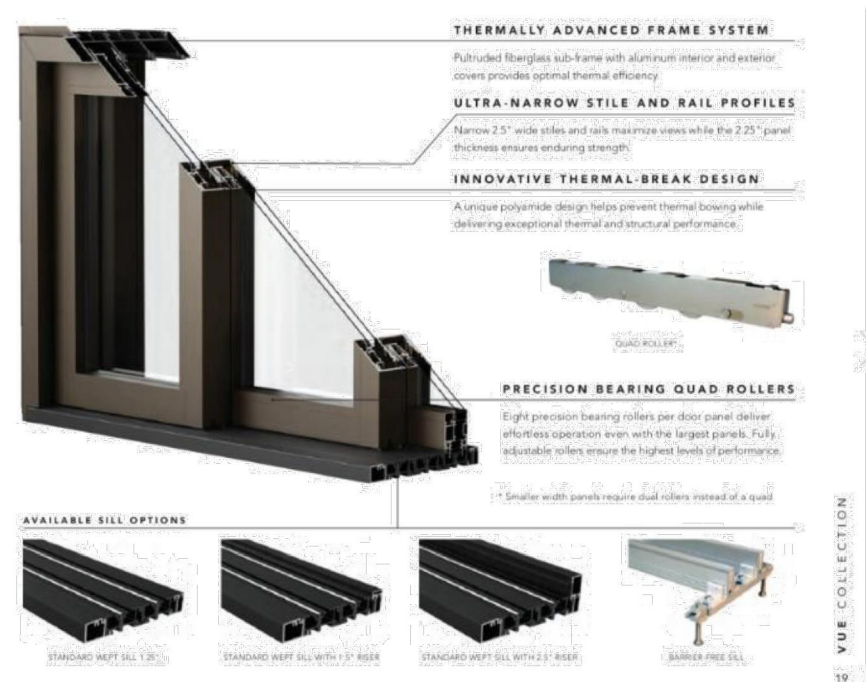
SCALE: NTS



CLAD WINDOWS - WEATHERSHIELD VUE COLLECTION  
COLOR: OBSIDIAN



CLAD MULTI-SLIDE DOOR - WEATHERSHIELD VUE COLLECTION  
COLOR: OBSIDIAN



IN-SWING FRENCH CASEMENT

For centuries, windows have used the tried-and-true French casement design to bridge exterior and interior spaces and create unparalleled panoramas. With their exposed hinges and convenient handsets, nothing else comes close in terms of historic charm. Therefore open up welcome the cool and summer breeze. Lepage's Inswing French casement windows are a glorious invitation to let nature in.



WOOD WINDOWS - LEPAGE INSWING FRENCH  
COLOR: #SW 7030 ANEW GRAY

FRENCH DOORS

Whether you choose a classic or modern design, it's always comforting to step through the timeless beauty of one of our French doors. Durable and durable, Lepage French doors feature custom panel options and sizes, making it the perfect choice for a garden or pool area, while creating a seamless transition from inside to outside, expanding your home's livable space.



WOOD DOORS - LEPAGE FRENCH DOORS  
COLOR: #SW 7030 ANEW GRAY

GENERAL ELEVATION NOTES:

ELEVATION NOTES:

06-02-23 ISSUED FOR AHRB APPROVAL

No. Date Revision

Project Title  
**SIRULNIK RESIDENCE**  
19 South Matthiessen Park  
Irrington, NY 10533

Architect  
**Opac Architects**  
24 North Astor  
Irrington, NY 10533  
Tel: (914) 591-4306  
Fax: (914) 591-4308

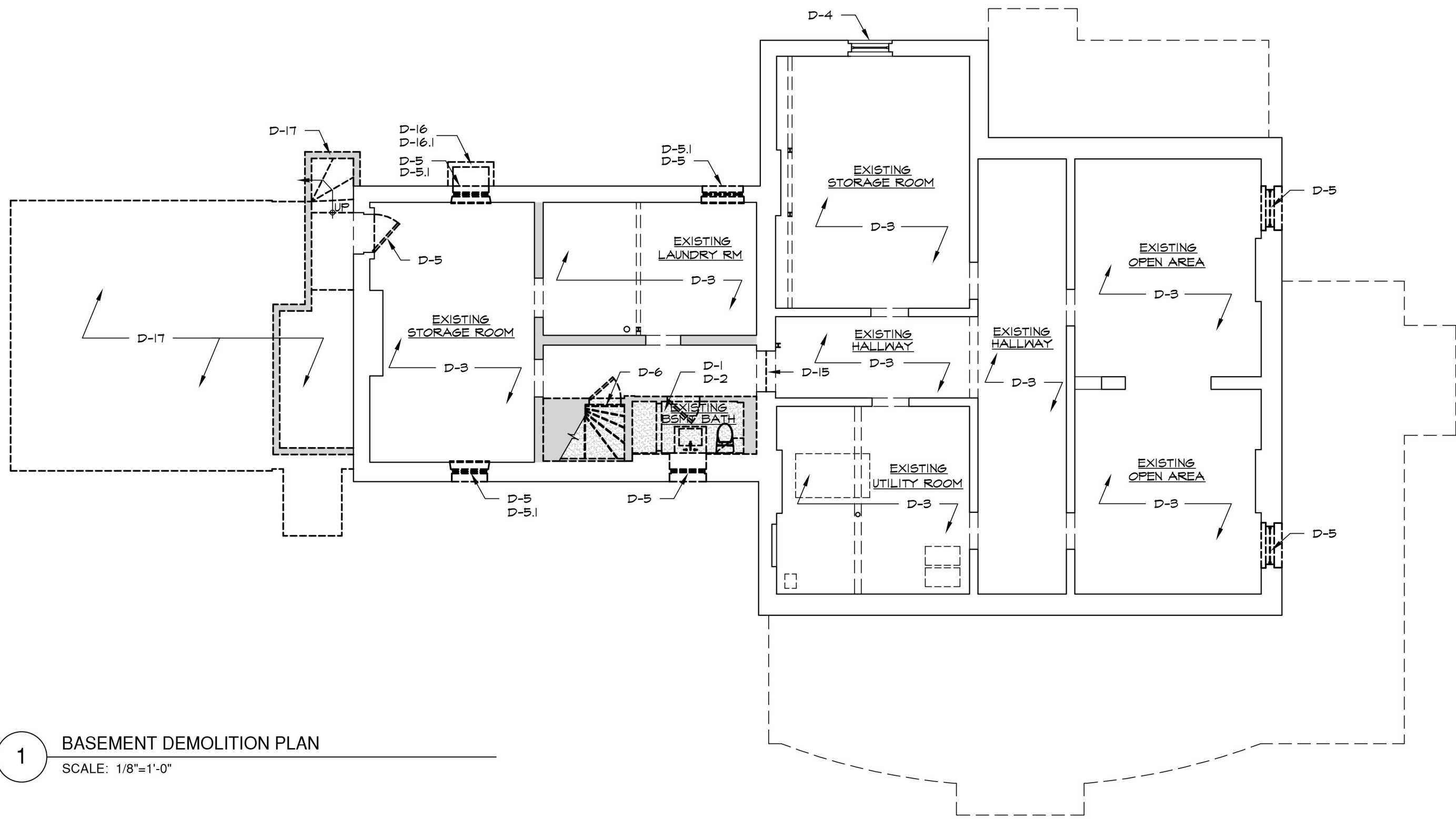
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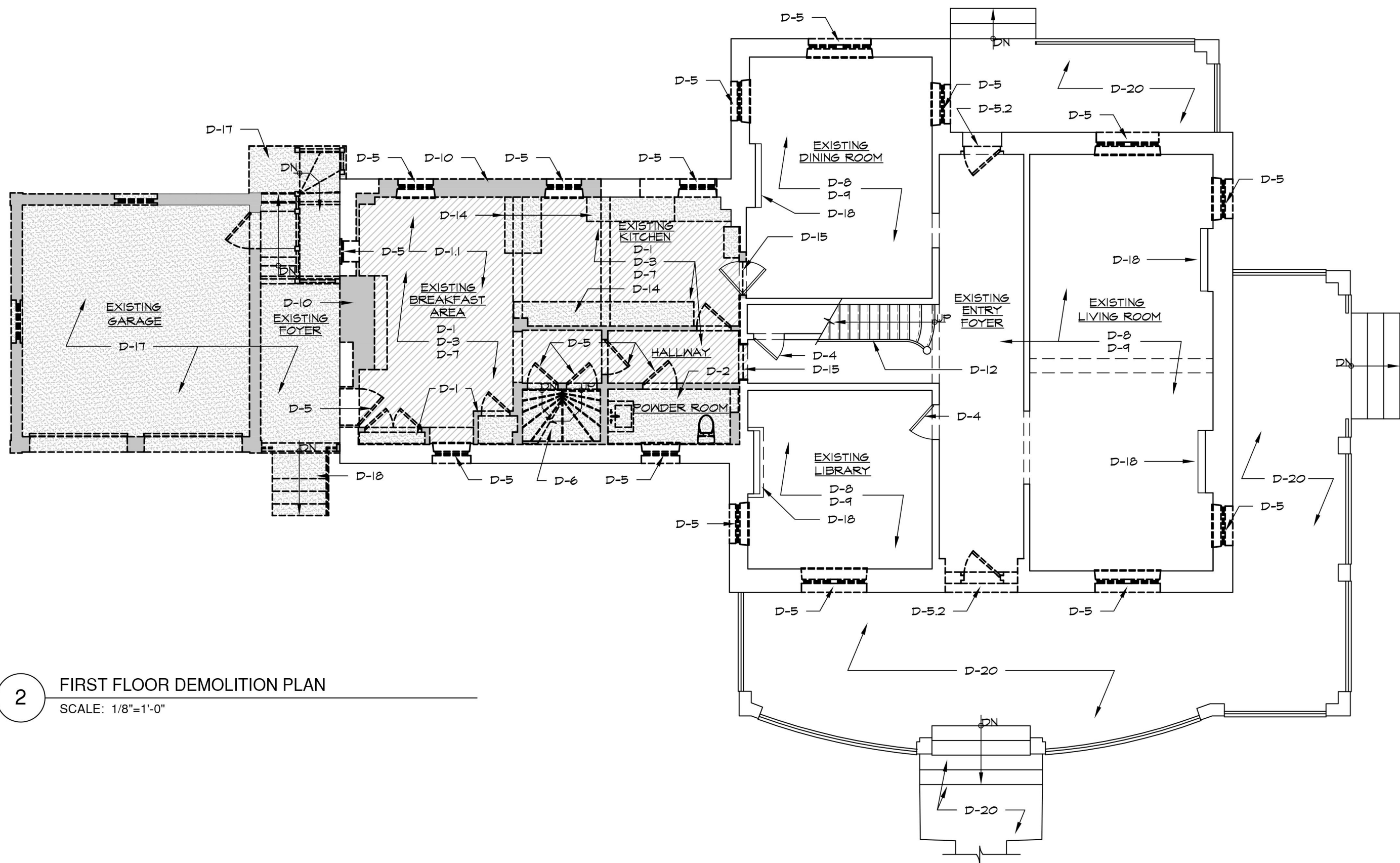
Drawing Title  
**EXISTING BUILDING IMAGES AND MATERIAL / FINISH SPECIFICATIONS**

Scale Job no. Issue Date Drawing no.  
AS NOTED 1806 06-02-23 T-1.3  
Drawn By Checked By Approved By  
NW





1 BASEMENT DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

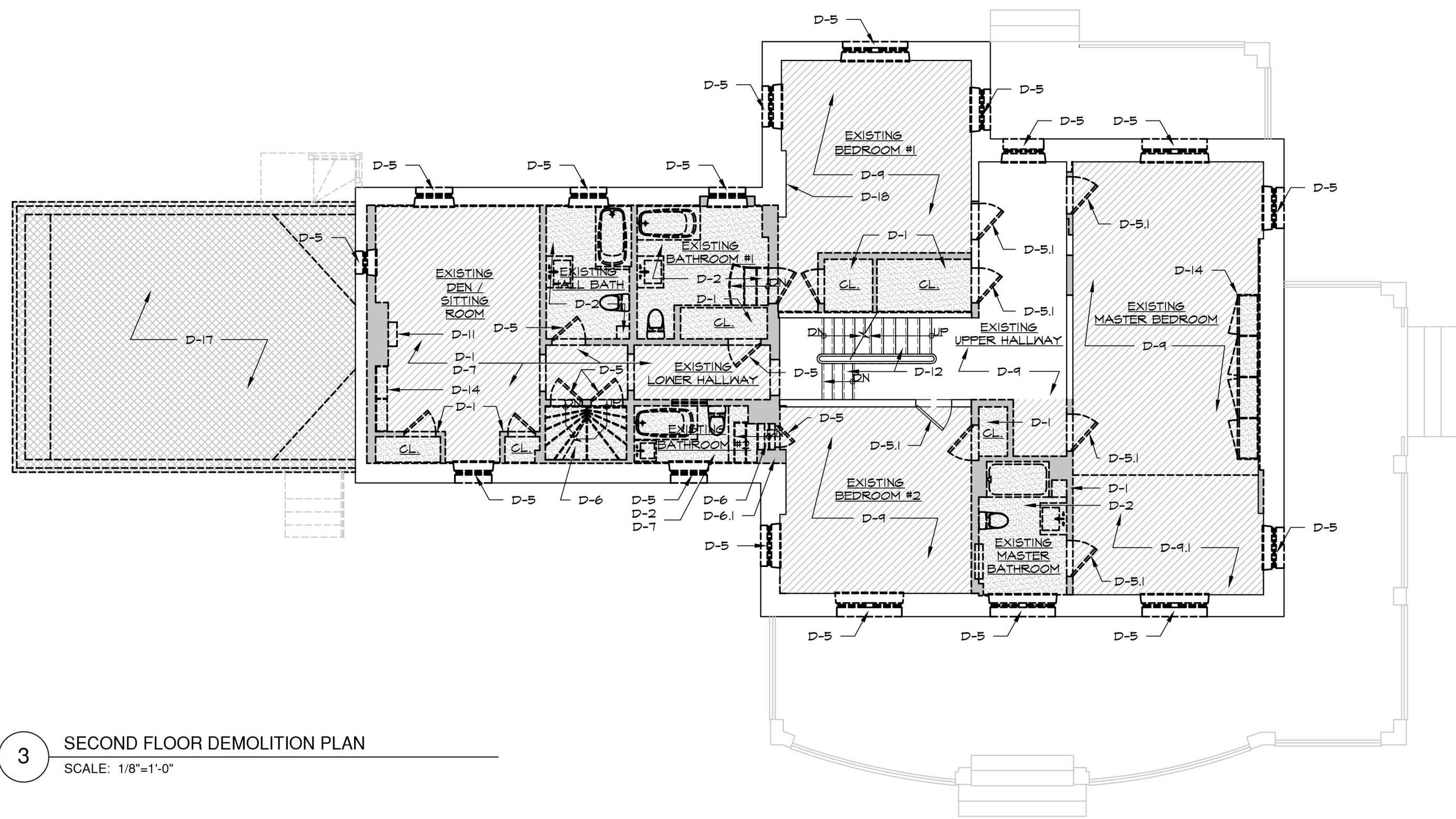


2 FIRST FLOOR DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

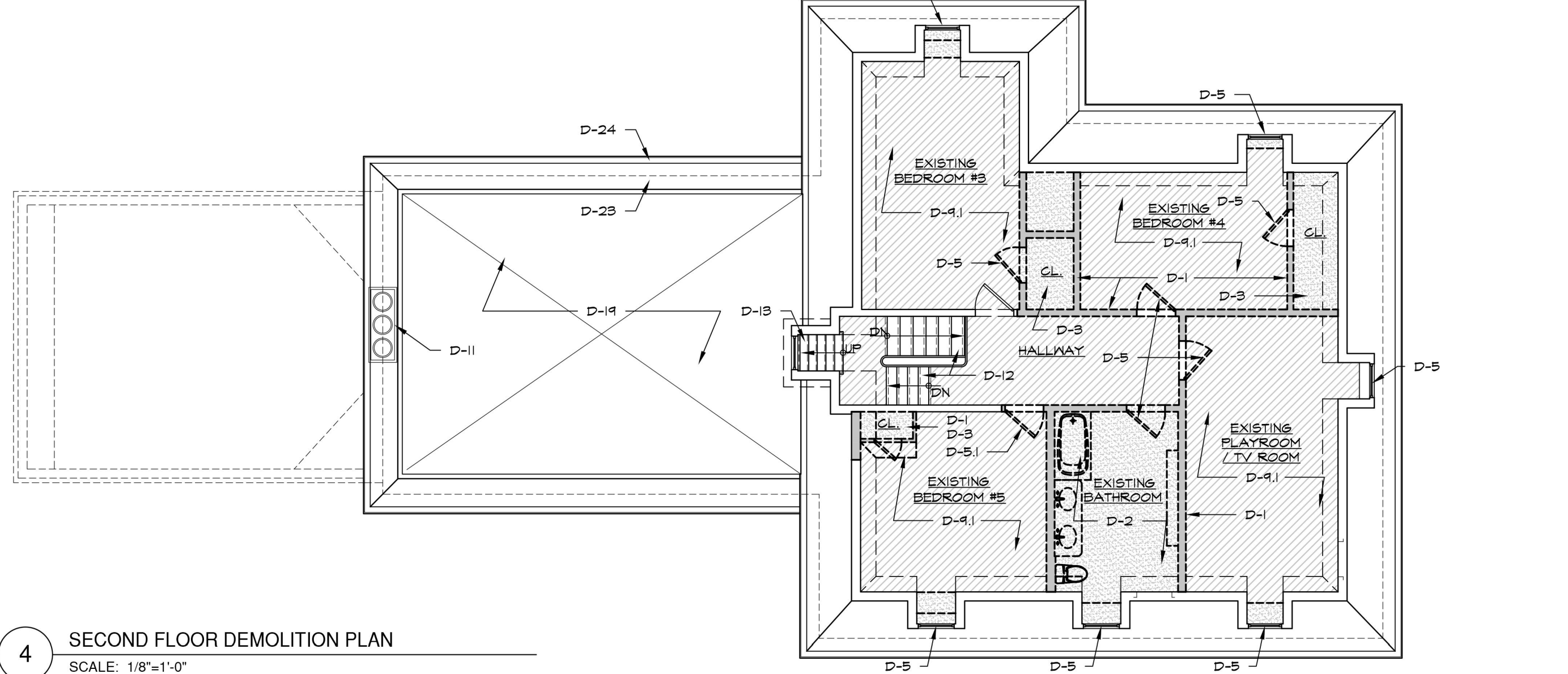
- COMPLETE WALL TO BE REMOVED
- COMPLETE AREA TO BE REMOVED
- ROOF TO BE REMOVED
- REMOVE FLOORING IN AREAS DESIGNATED BY HATCH

DEMOLITION NOTES (continued):

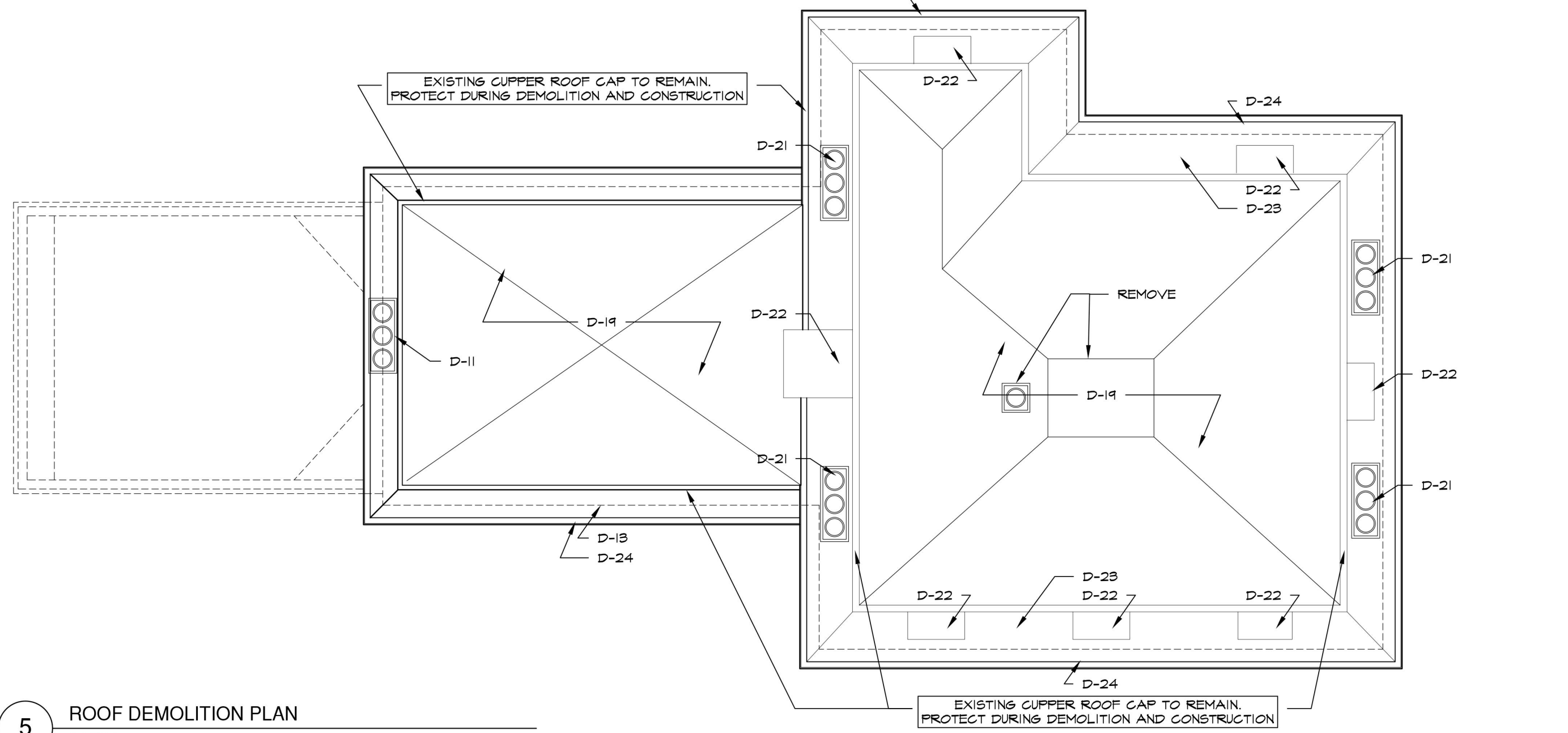
- D-18 EXISTING FIREPLACE MANTEL AND HEARTH SHALL BE REMAIN. PROTECT DURING DEMOLITION AND CONSTRUCTION, PROVIDE A 1/2" FLY ENCLOSURE TO COVER ENTIRE UNIT.
- D-19 EXISTING ROOFING TO BE REMOVED TO SUBSTRAIGHT. REMOVE FAN HOUSING, EXHAUST FAN, ETC. SEE CONSTRUCTION PLAN FOR NEW ROOFING SCOPE.
- D-20 EXISTING BLUESTONE TERRACE & WALKWAY TO BE RE-SET, PROTECT DURING DEMOLITION. SEE CONSTRUCTION DRAWINGS FOR SCOPE.
- D-21 EXISTING FLUE POTS SHALL BE REMOVED AND RE-USED. SEE ROOF PLAN FOR CHIMNEY RECONSTRUCTION SCOPE OF WORK.
- D-22 REMOVE COPPER DORMER ROOFINGS & MAKE READY FOR NEW EPDM AT CURVED ROOF.
- D-23 REMOVE EXISTING SLATE ROOFINGS & PREPARE FOR NEW. SEE ROOF PLAN FOR SCOPE.
- D-24 EXISTING CONCEALED GUTTER SHALL BE RE-CONSTRUCTED. REMOVE COPPER FLASHINGS, FASCIA & SOFFIT. EVALUATE CONDITION OF EXISTING FRAMING. SEE CONSTRUCTION DRAWINGS FOR SCOPE. REMOVE ALL EXISTING DOWNSPOUTS & MAKE READY FOR NEW.



3 SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/8"=1'-0"



4 SECOND FLOOR DEMOLITION PLAN  
SCALE: 1/8"=1'-0"



5 ROOF DEMOLITION PLAN  
SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

- D-1 EXISTING PARTITION WALLS OR PORTION THEREOF SHALL BE REMOVED AS REQUIRED TO ACCOMMODATE NEW PLANS. NOTIFY ARCHITECT OF ANY STRUCTURE OR ACTIVE UTILITY LINES TO REMAIN PRIOR TO REMOVAL OR RELOCATION.
- D-11 REMOVE ENTIRE KING FLOOR STRUCTURE AND PREPARE TO LOWER AS PER CONSTRUCTION PLAN.
- D-2 REMOVE ENTIRE EXISTING BATH INCLUDING ALL FIXTURES, FINISHES, PLUMBING, ELECTRICAL, AND MECHANICAL LINES DOWN TO EXISTING SLAB AND WALL/CEILING ROUGH. ALL FIXTURES TO BE DISCARDED, TYP.
- D-3 REMOVE ALL EXISTING FINISHES DOWN TO EXISTING SLAB (OR SUBFLOOR) AND WALL/CEILING ROUGH. REMOVE ALL EXISTING WIRING/PLUMBING/MECHANICAL AND PREPARE FOR NEW.
- D-4 EXISTING WINDOW DOOR TO REMAIN. S.C. TO PROTECT DURING FULL DURATION OF DEMOLITION AND CONSTRUCTION. (SEE WINDOW DOOR SCHEDULE).
- D-5 EXISTING WINDOWS/DOORS WITH ALL ASSOCIATED HARDWARE TO BE REMOVED, UNLESS OTHERWISE NOTED. INTERIOR DISPLAYED PANEL EXTENSION JAMB TO REMAIN AND SHALL BE RE-USED.
- D-51 REMOVE EXISTING INTERIOR DOORS W/JAMBS AND HARDWARE AND SAVE TO BE RE-USED UNLESS OTHERWISE NOTED.
- D-52 EXISTING DOOR FRAME SHALL REMAIN. SEE DOOR SCHEDULE FOR SCOPE OF WORK.
- D-6 REMOVE EXISTING STAIRS/ RAIL AT ALL LEVELS AND DISCARD, TYP.
- D-61 ENLARGE OPENING TO ACCOMMODATE PROPOSED PLAN FUNCTION, S.C. SHALL CHECK FOR STRUCTURE, PIPING, ETC. PRIOR TO DEMOLITION.
- D-7 REMOVE CEILING TO FLOOR JOISTS. REMOVE CROWN MOLDINGS.
- D-8 EXISTING CROWN MOLDING SHALL REMAIN. PROTECT FOR DURATION OF CONSTRUCTION. REFINISH AS PER REFINISH SCHEDULE.
- D-4 EXISTING WOOD FLOORING SHALL REMAIN. PROTECT FOR DURATION OF CONSTRUCTION. REFINISH AS PER FINISH SCHEDULE.
- D-41 REMOVE EXISTING FLOORING DOWN TO SUBFLOOR AND PREPARE TO RECEIVE NEW.
- D-10 OPEN PORTION OF EXISTING EXTERIOR WALL AS REQUIRED TO ACCOMMODATE NEW PLAN. SAVE AND STOCK PILE ALL EXTERIOR MASONRY TO BE USED FOR INFILL AS REQUIRED. REMOVE EXISTING MASONRY FLUE STACKS.
- D-11 REMOVE AND SAVE FOR RE-USE THE EXISTING WOOD BURNING STOVE. REMOVE FLUE STACK AND CHIMNEY COMPLETELY. SAVE EXISTING CLAY POT AND POT BASE FOR RE-USE.
- D-12 EXISTING STAIR AND RAIL TO REMAIN. REMOVE CARPET RUNNER AT STAIR AND LANDING. PREPARE FOR NEW FINISH. PROTECT STAIR AND RAILING FOR DURATION OF CONSTRUCTION.
- D-13 EXISTING ATTIC STAIRS/ RAIL TO REMAIN, UNLESS OTHERWISE NOTED.
- D-14 SAVE DESIGNATED APPLIANCES PER REUSE. APPLIANCES TO BE TAGGED AT WALK-THROUGH.
- D-15 PROVIDE SOLID PARTITION W/ DOOR FOR ACCESS INTO ROOM AND TO MAINTAIN PROTECTION FOR THE ROOM FOR THE DURATION OF CONSTRUCTION.
- D-16 REMOVE EXISTING SLAB ON GRADE.
- D-16.1 REMOVE EXISTING WINDOW-WELL. CONSTRUCTION DRAWINGS FOR SCOPE.
- D-17 EXISTING GARAGE, FOYER, AND ALL AFFILIATED FOUNDATION TO BE REMOVED. EXISTING CONCRETE FOUNDATION WALL TO BE CRUSHED TO 4" MINUS FILL, TYP.

06-02-23 ISSUED FOR AHRB APPROVAL

| No. | Date | Revision |
|-----|------|----------|
|-----|------|----------|

Project Title  
**SIRULNIK RESIDENCE**  
19 South Matthiessen Park  
Irvington, NY 10533

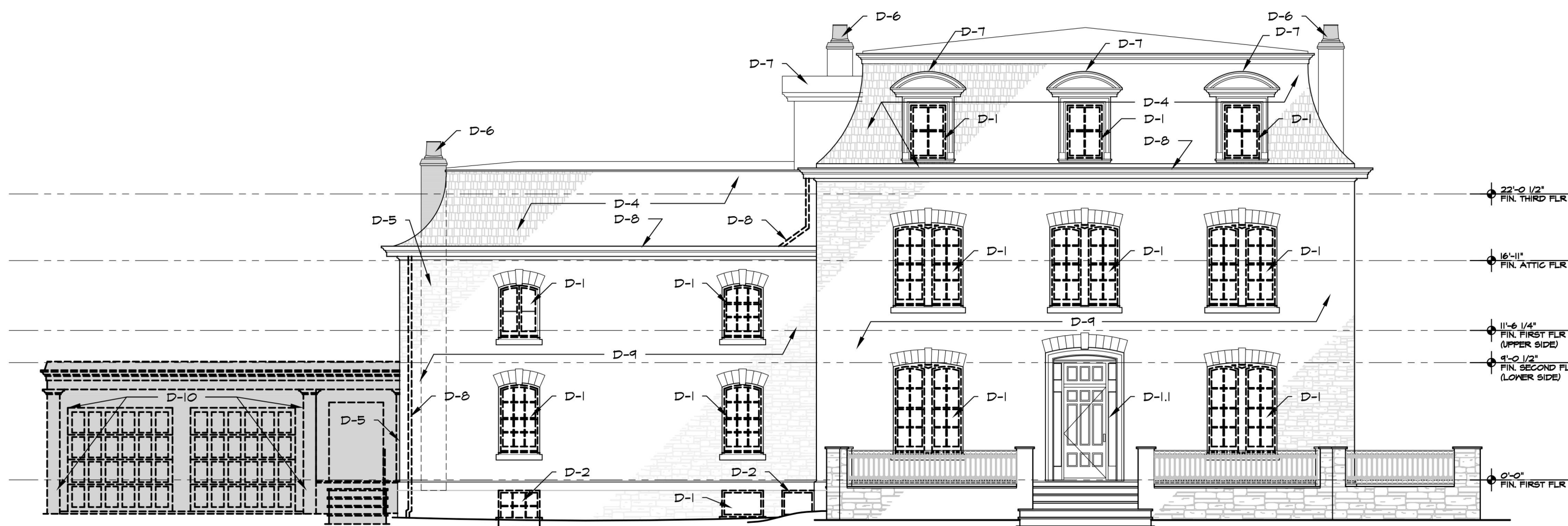
Architect  
**Opacic Architects**  
24 North Astor  
Irvington, NY 10533  
Tel: (914) 591-4306  
Fax: (914) 591-4308



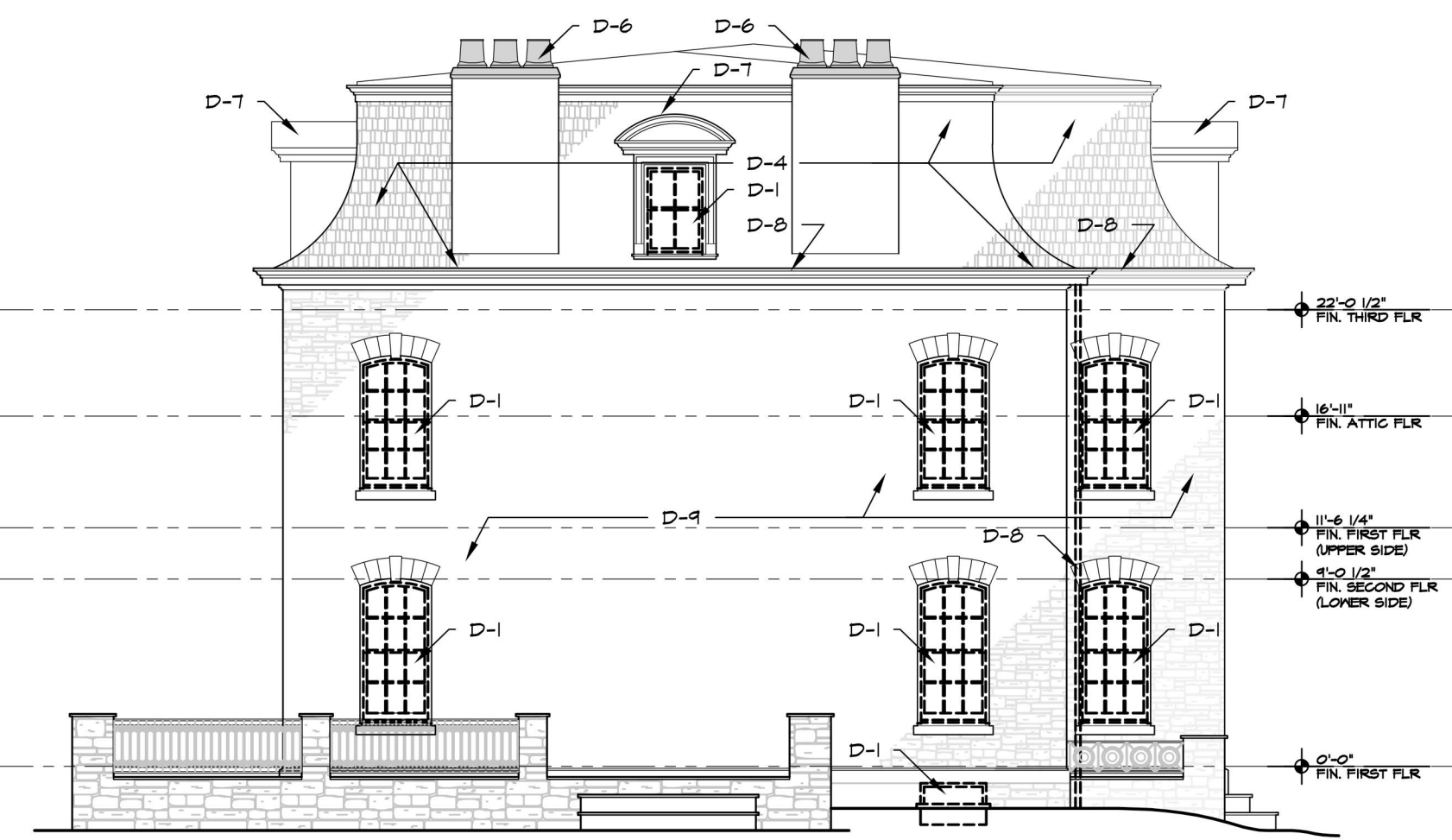
Drawing Title  
**DEMOLITION PLANS**

| Scale          | Job no.    | Issue Date  | Drawing no.  |
|----------------|------------|-------------|--------------|
| AS NOTED       | 1806       | 06-02-23    | <b>A-0.0</b> |
| Drawn By<br>NW | Checked By | Approved By |              |

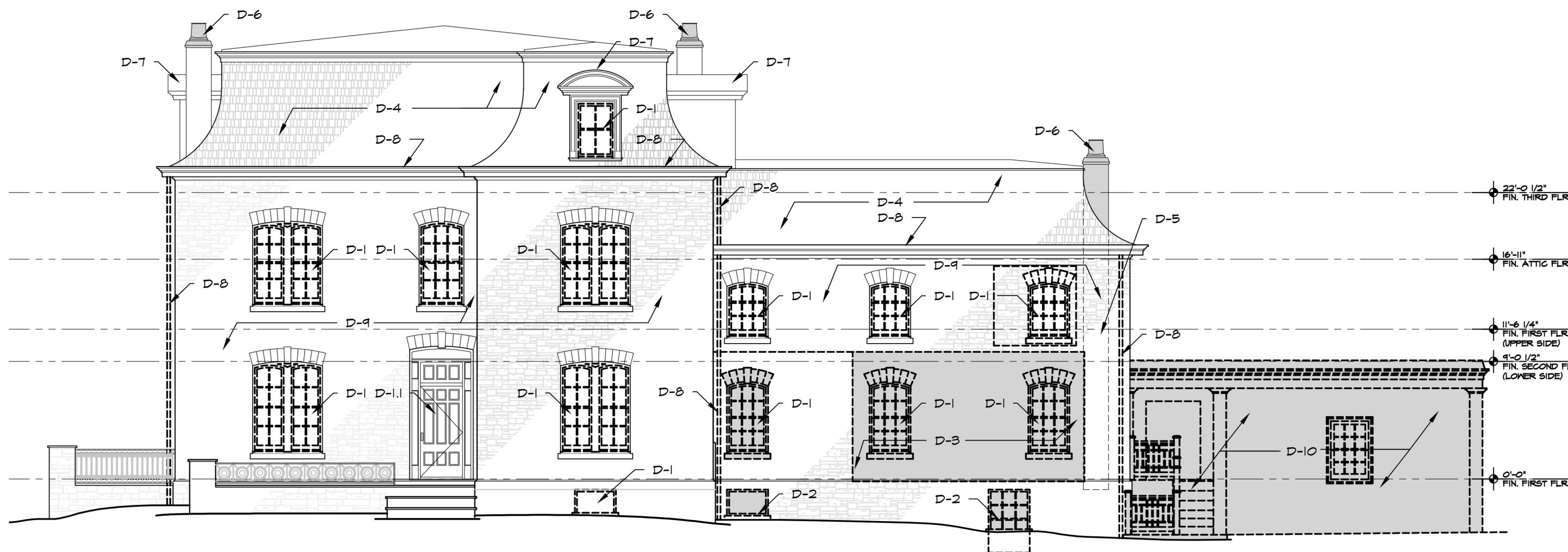




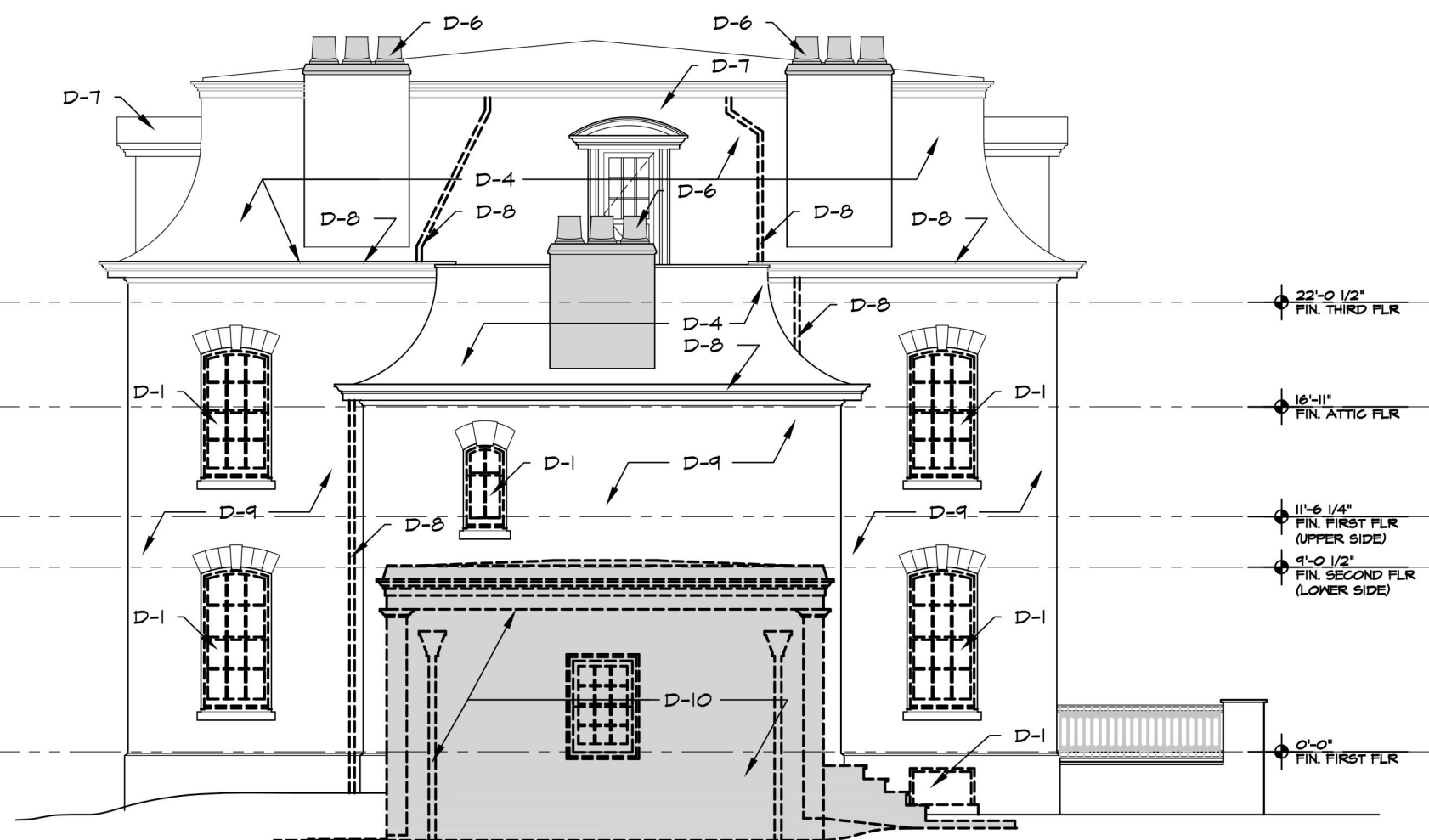
1 FRONT ELEVATION  
SCALE: 1/8"=1'-0"



2 SIDE (SOUTH) ELEVATION  
SCALE: 1/8"=1'-0"



3 REAR ELEVATION  
SCALE: 1/8"=1'-0"



4 SIDE (NORTH) ELEVATION  
SCALE: 1/8"=1'-0"

DEMOLITION NOTES:

- D-1 EXISTING WINDOWS/ DOORS WITH ALL ASSOCIATED HARDWARE TO BE REMOVED, UNLESS OTHERWISE NOTED.
- D-1-1 EXISTING WINDOW/ DOOR TO REMAIN 6" TO PROTECT DURING FULL DURATION OF DEMOLITION AND CONSTRUCTION. (SEE WINDOW/ DOOR SCHEDULE).
- D-2 SEAL EXISTING WINDOW OPENINGS WITH MASONRY.
- D-3 OPEN PORTION OF EXISTING EXTERIOR WALL AS REQUIRED TO ACCOMMODATE NEW PLAN. SAVE AND STOCK PILE ALL EXTERIOR MASONRY TO BE USED FOR INFILL AS REQUIRED.
- D-4 EXISTING ROOFING TO BE REMOVED AND SUBSTRAIGHT. SEE CONSTRUCTION PLAN FOR NEW ROOFING SCOPE.
- D-5 REMOVE MASONRY FLUE STACK FROM 1ST FL. TO ROOF. SAVE GLAY FLUE CAP FOR RE-USE.
- D-6 EXISTING FLUE POTS SHALL BE REMOVED AND RE-SET. SEE ROOF PLAN FOR CHIMNEY RECONSTRUCTION SCOPE OF WORK.
- D-7 REMOVE COPPER DORMER ROOFING & MAKE READY FOR NEW.
- D-8 EXISTING CONCEALED GUTTER SHALL BE RECONSTRUCTED. REMOVE COPPER FLASHING FASCIA & SOFFIT. EVAGUATE CONDITION OF EXISTING FRAMING. SEE CONSTRUCTION DRAWINGS FOR SCOPE. REMOVE ALL EXISTING DOWNSPOUTS & MAKE READY FOR NEW.
- D-9 PROTECT EXISTING STONE DURING DEMOLITION AND CONSTRUCTION.
- D-10 EXISTING GARAGE, FOYER, AND ALL AFFILIATED FOUNDATION TO BE REMOVED. EXISTING CONCRETE FOUNDATION WALL TO BE CRUSHED TO 4" MINUS FILL, TYP.

06-02-23 ISSUED FOR AHRB APPROVAL

| No. | Date | Revision |
|-----|------|----------|
|-----|------|----------|

Project Title

**SIRULNIK RESIDENCE**  
19 South Matthiessen Park  
Irvington, NY 10533

Architect

**Opac Architects**  
24 North Astor  
Irvington, NY 10533  
Tel: (914) 591-4306  
Fax: (914) 591-4308

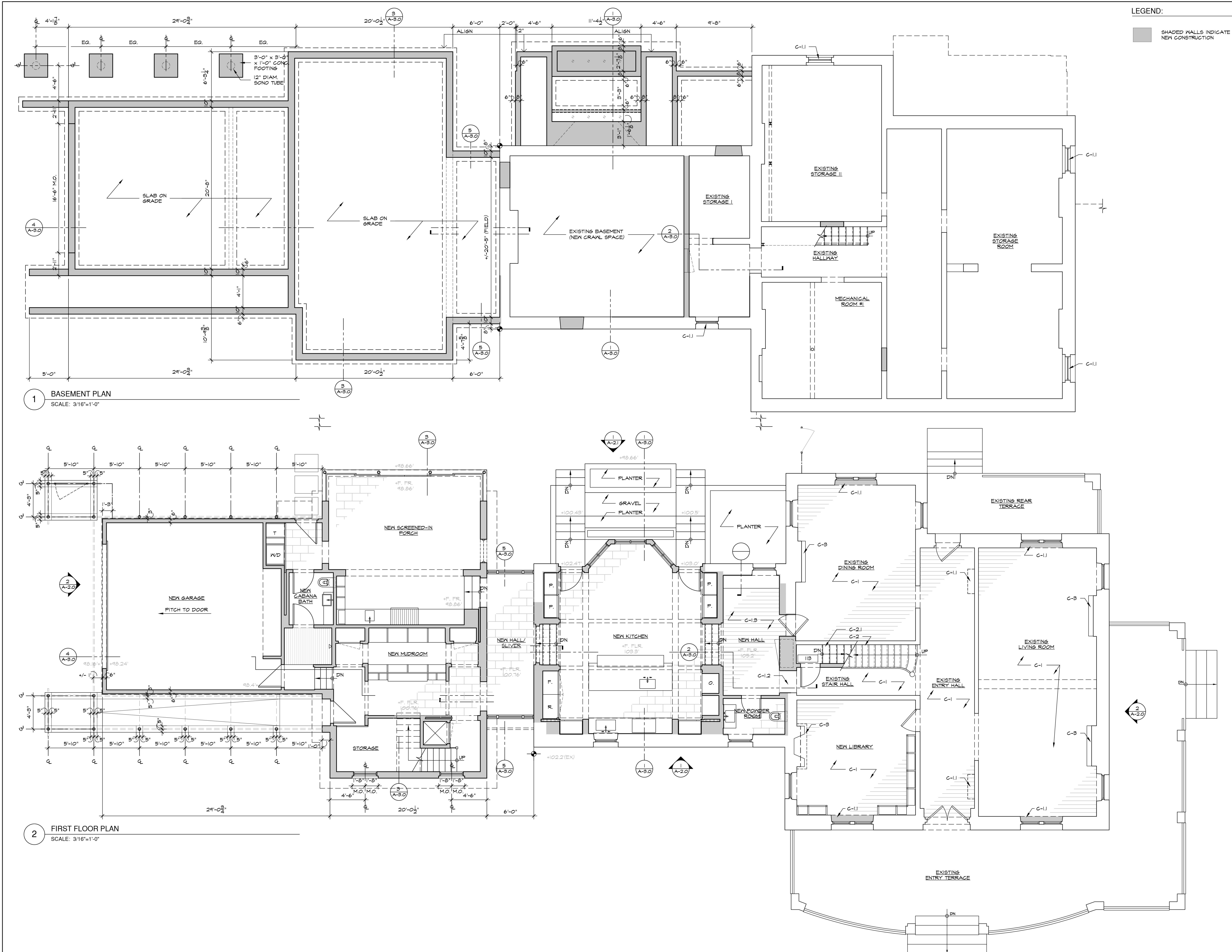


Drawing Title

**DEMOLITION ELEVATIONS EXTERIOR**

| Scale          | Job no.    | Issue Date  | Drawing no.  |
|----------------|------------|-------------|--------------|
| AS NOTED       | 1806       | 06-02-23    | <b>A-0.1</b> |
| Drawn By<br>NW | Checked By | Approved By |              |





LEGEND:

SHADED WALLS INDICATE  
NEW CONSTRUCTION

CONSTRUCTION NOTES:

- C-1 EXISTING WOOD FLOORINGS TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION. SEE FINISH SCHEDULE FOR REFINISHING SCOPE.
- C-1.1 PATCH FLOORING WHERE RADIATOR WAS REMOVED, MATCH FLOORING SIZE & WOOD SPECIES. REFINISH SAME AS C-1.
- C-1.2 PROVIDE NEW SADDLE TO MATCH EXISTING FLOORING WOOD SPECIES, FINISH TO MATCH C-1.
- C-1.3 PROVIDE NEW WOOD FLOORING TO MATCH EXISTING IN DINING ROOM AND STAIR HALL.
- C-2 EXISTING STAIR AND RAILINGS TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION. REFINISH AS PER FINISH SCHEDULE.
- C-2.1 PROVIDE NEW STAIR TO BASEMENT, STAIR SHALL BE 5/4 RED OAK TREADS WITH 3/4" POPLAR RISER AND STRINGER. FINISH SHALL MATCH C-1.
- C-3 EXISTING FIREPLACE MANTEL AND HEARTH TO REMAIN, PROTECT DURING DEMOLITION AND CONSTRUCTION.

06-02-23 ISSUED FOR AHRB APPROVAL

No. Date Revision

Project Title  
**SIRULNIK RESIDENCE**  
19 South Matthiessen Park  
Irvington, NY 10533

Architect  
**Opacic Architects**  
24 North Astor  
Irvington, NY 10533  
(914) 591-4306  
(914) 591-4308

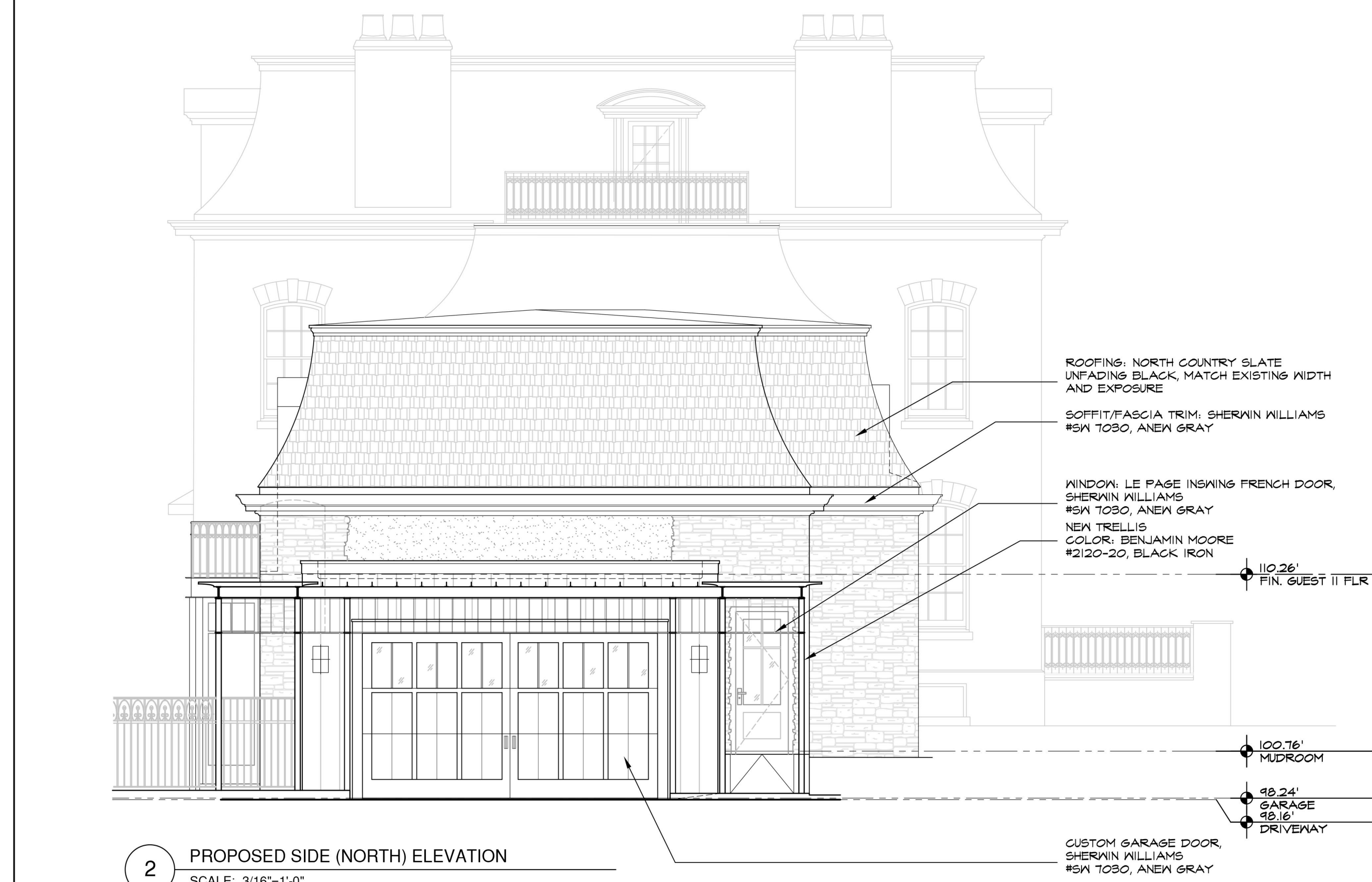
Stamp



Drawing Title  
**BASEMENT AND FIRST FLOOR PLAN**

|          |            |             |             |
|----------|------------|-------------|-------------|
| Scale    | Job no.    | Issue Date  | Drawing no. |
| AS NOTED | 1806       | 06-02-23    | A-1.0       |
| Drawn By | Checked By | Approved By |             |
| NW, MM   | -          | -           |             |





EXISTING COPPER TRIM TO REMAIN

SUPERIOR CLAY, MATTHIS CHIMNEY POT

CEMENT STUCCO CHIMNEY FINISH, COLOR: BENJAMIN MOORE #CC-150 SANDY BROWN

WINDOM TRIM: SHERWIN WILLIAMS #SM TOBO, ANEW GRAY

WINDOM TRIM: LE PASE CASEMENT, SHERWIN WILLIAMS #SM TOBO, ANEW GRAY

ROOFING: NORTH COUNTRY SLATE UNFADING BLACK, MATCH EXISTING

WIDTH AND EXISTING

SOFFIT/FASCIA TRIM, SHERWIN WILLIAMS #SM TOBO, ANEW GRAY

22'-0" 1/2"

FIN. THIRD FLR

WINDOM TRIM: SHERWIN WILLIAMS #SM TOBO, ANEW GRAY

WINDOM: LE PASE CASEMENT, SHERWIN WILLIAMS #SM TOBO, ANEW GRAY

EXISTING STONE TO REMAIN, MATCH IN AREAS OF NEW YORK

11'-6" 1/4"

FIN. SECOND FLR (UPPER SIDE)

9'-0" 1/2"

FIN. SECOND FLR (LOWER SIDE)

CUSTOM FRONT ENTRY DOOR, COLOR: SHERWIN WILLIAMS #SM TOBO, ANEW GRAY

EXISTING RAILINGS TO REMAIN, COLOR: BENJAMIN MOORE #2120-20, BLACK IRON

0'-0"

FIN. FIRST FLR

|          |                                     |
|----------|-------------------------------------|
| 06-02-23 | ISSUED FOR AHRB APPROVAL            |
| 04-19-23 | RE-ISSUED FOR PLANNING BD. APPROVAL |
| 03-21-23 | RE-ISSUED FOR PLANNING BD. APPROVAL |
| 09-07-21 | RE-ISSUED FOR ZONING BD. APPROVAL   |
| 06-07-21 | ISSUED FOR ZONING BD. APPROVAL      |
| 05-18-21 | REISSUED FOR PLANNING BD. APPROVAL  |
| 04-21-21 | REISSUED FOR PLANNING BD. APPROVAL  |
| 01-20-21 | REISSUED FOR PLANNING BD. APPROVAL  |
| 12-23-20 | ISSUED FOR PLANNING BD. APPROVAL    |

| No. | Date | Revision |
|-----|------|----------|
|-----|------|----------|

Project Title

**SIRULNIK RESIDENCE**

19 South Matthiessen Park  
Irrington, NY 10533

Architect

**Opacic Architects**

24 North Astor  
Irrington, NY 10533  
Tel: (914) 591-4306  
Fax: (914) 591-4308



Drawing Title

FRONT ELEVATION

|          |            |             |             |
|----------|------------|-------------|-------------|
| Scale    | Job no.    | Issue Date  | Drawing no. |
| AS NOTED | 1806       | 03-21-23    | A-2.0       |
| Drawn By | Checked By | Approved By |             |
| MDS/MM   |            |             |             |





1 PROPOSED REAR ELEVATION  
SCALE: 3/16"=1'-0"



4 PROPOSED SIDE (SOUTH) ELEVATION  
SCALE: 3/16"=1'-0"

NEW RAILINGS  
COLOR: BENJAMIN MOORE  
#2120-20, BLACK IRON

ROOFING: NORTH COUNTRY SLATE  
UNFADING BLACK, MATCH EXISTING WIDTH  
AND EXPOSURE  
SOFFIT/FASCIA TRIM: SHERWIN WILLIAMS  
#SW 7030, ANEM GRAY

WINDOW TRIM: SHERWIN WILLIAMS  
#SW 7030, ANEM GRAY  
FRENCH DOORS: LE PASE,  
SHERWIN WILLIAMS  
#SW 7030, ANEM GRAY

ROOFING: NORTH COUNTRY SLATE  
UNFADING BLACK, MATCH EXISTING WIDTH  
AND EXPOSURE  
SOFFIT/FASCIA TRIM: SHERWIN WILLIAMS  
#SW 7030, ANEM GRAY

WINDOW: LE PASE INSWING FRENCH CASEMENT,  
SHERWIN WILLIAMS  
#SW 7030, ANEM GRAY  
NEW TRELLIS  
COLOR: BENJAMIN MOORE  
#2120-20, BLACK IRON

HARDPLANK VERTICAL SHIP-LAP  
SIDING, COLOR: BENJAMIN MOORE  
#CC-150, SANDY BROWN

WEATHERSHIELD CONTEMPORARY  
MULTI-SLIDE GLAD, DOORS  
COLOR: OBSIDIAN

WEATHERSHIELD CONTEMPORARY  
GLAD, DIRECT-SET WINDOWS  
COLOR: OBSIDIAN

110'26"  
FIN. GUEST  
II FLR

103'3"  
KITCHEN

100'16"  
SLIVER

99'0"  
CABANA

|          |                                     |
|----------|-------------------------------------|
| 06-02-23 | ISSUED FOR AHRB APPROVAL            |
| 04-19-23 | RE-ISSUED FOR PLANNING BD. APPROVAL |
| 03-21-23 | RE-ISSUED FOR PLANNING BD. APPROVAL |
| 09-07-21 | RE-ISSUED FOR ZONING BD. APPROVAL   |
| 06-07-21 | ISSUED FOR ZONING BD. APPROVAL      |
| 05-18-21 | REISSUED FOR PLANNING BD. APPROVAL  |
| 04-21-21 | REISSUED FOR PLANNING BD. APPROVAL  |
| 01-20-21 | REISSUED FOR PLANNING BD. APPROVAL  |
| 12-23-20 | ISSUED FOR PLANNING BD. APPROVAL    |

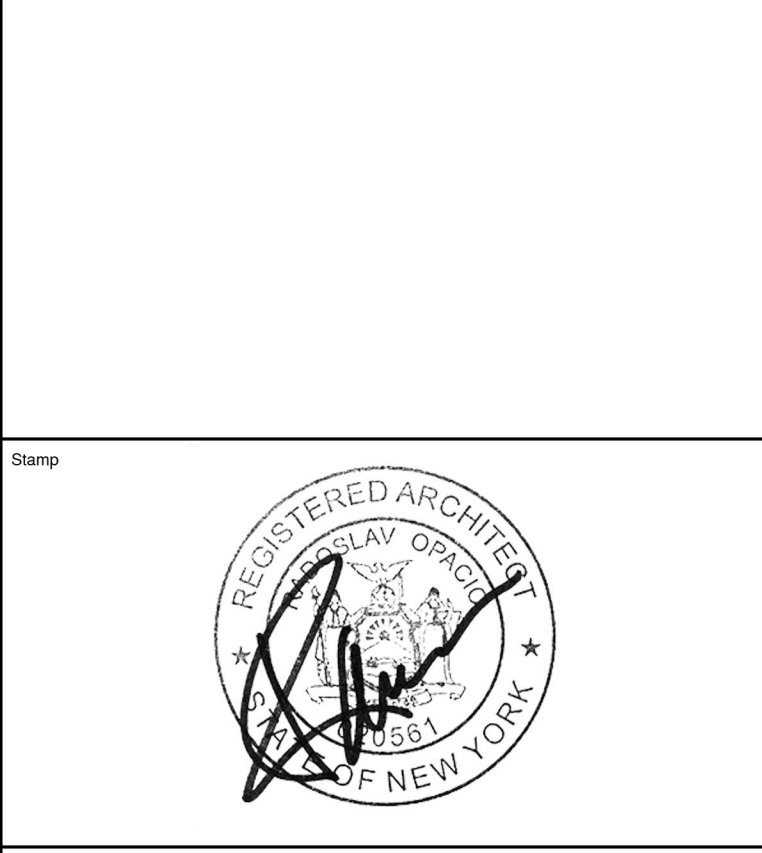
| No. | Date | Revision |
|-----|------|----------|
|-----|------|----------|

Project Title

**SIRULNIK RESIDENCE**  
19 South Matthiessen Park  
Irrington, NY 10533

Architect

**Opacic Architects**  
24 North Astor  
Irrington, NY 10533  
Tel: (914) 591-4306  
Fax: (914) 591-4308



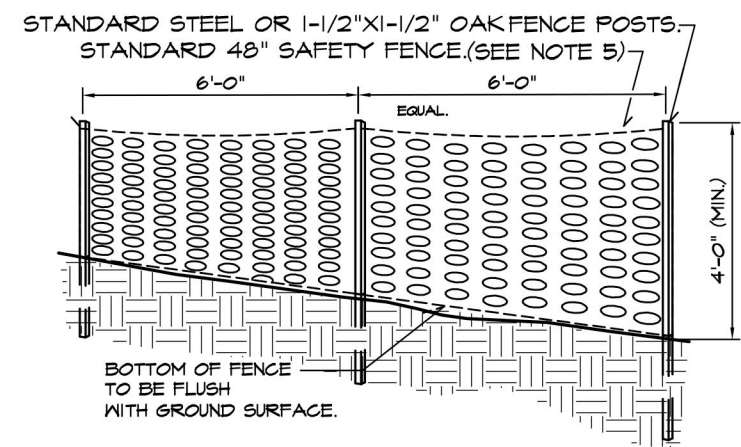
Drawing Title

**REAR ELEVATION**

|          |            |             |             |
|----------|------------|-------------|-------------|
| Scale    | Job no.    | Issue Date  | Drawing no. |
| AS NOTED | 1806       | 03-21-23    | A-2.1       |
| Drawn By | Checked By | Approved By |             |
| MDS/MM   |            |             |             |

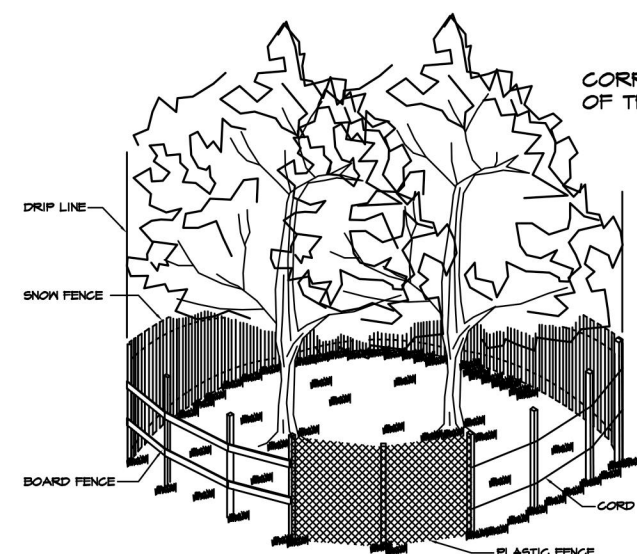
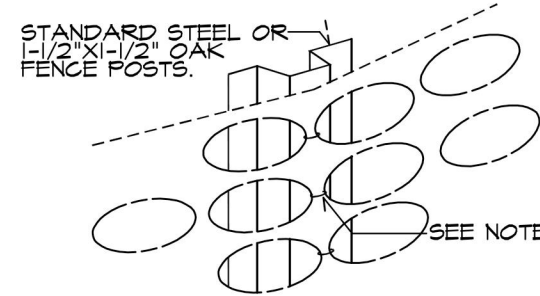


| Tree Inventory & Removal Chart |               |      |           |        |
|--------------------------------|---------------|------|-----------|--------|
| Tree #                         | Common Name   | Size | Condition | Status |
| 1                              | Sugar Maple   | 38"  | Poor      | Remove |
| 2                              | Norway Maple  | 44"  | Fair      | Remove |
| 3                              | Norway Spruce | 22"  | Fair      | Remain |
| 4                              | Norway Spruce | 21"  | Fair      | Remain |
| 5                              | Norway Spruce | 23"  | Fair      | Remain |
| 6                              | Norway Spruce | 25"  | Fair      | Remain |
| 7                              | Norway Spruce | 7"   | Fair      | Remain |
| 8                              | Norway Spruce | 15"  | Fair      | Remain |
| 9                              | Norway Spruce | 27"  | Poor      | Remove |
| 10                             | Norway Spruce | 24"  | Poor      | Remove |
| 11                             | Norway Spruce | 33"  | Fair      | Remain |
| 12                             | Norway Spruce | 10"  | Fair      | Remain |
| 13                             | Norway Maple  | 25"  | Fair      | Remain |
| 14                             | White Pine    | 46"  | Fair      | Remain |
| 15                             | Norway Maple  | 32"  | Fair      | Remain |
| 16                             | Norway Maple  | 46"  | Very Poor | Remain |
| 17                             | White Pine    | 18"  | Poor      | Remain |
| 18                             | Norway Spruce | 29"  | Poor      | Remain |
| 19                             | Norway Maple  | 16"  | Fair      | Remain |
| 20                             | Norway Spruce | 24"  | Poor      | Remain |
| 21                             | Norway Spruce | 18"  | Fair      | Remain |
| 22                             | Red Maple     | 30"  | Fair      | Remain |
| 23                             | Black Cherry  | 30"  | Fair      | Remain |

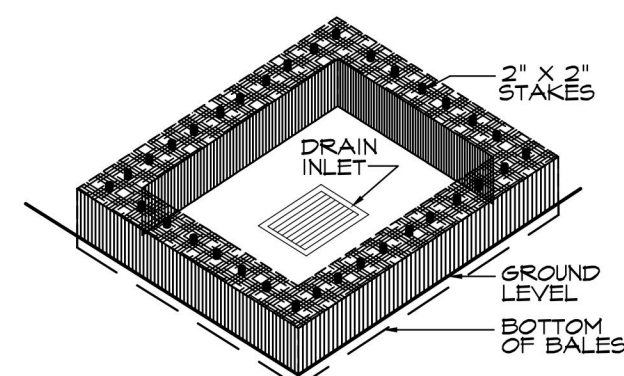
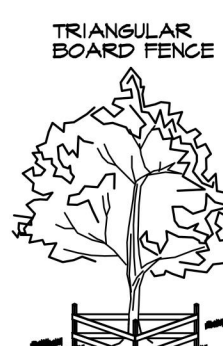


#### NOTES

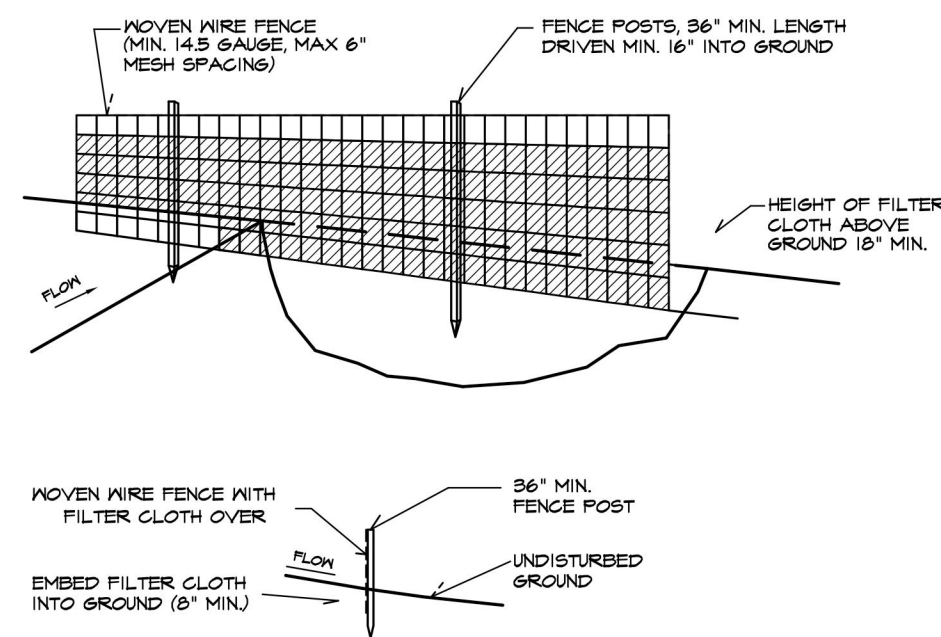
1. SPACE SUPPORT FENCE POSTS AT 6 FOOT INTERVALS.
2. DRIVE SUPPORT POSTS 2 FEET INTO GROUND.
3. FIRMLY FASTEN FENCE MATERIAL IN PLACE BY WIRING TO FENCE POST WHILE MAINTAINING TENSION ACROSS FULL HEIGHT OF FENCE. WIRING SHALL BE DONE IN A MANNER THAT WILL PREVENT SAGGING OF FENCE MATERIAL.
4. PROVIDE PERIODIC INSPECTION AND MAINTENANCE OF FENCE, INCLUDING REPAIRS AS NECESSARY AND REQUIRED.
5. PLASTIC FENCE SHALL BE INTERNATIONAL ORANGE COLOR, AS MANUFACTURED BY API ENTERPRISES, INC. OR APPROVED EQUAL.
6. NO ACTIVITY, INCLUDING PEDESTRIAN TRAFFIC AND STORAGE OF MATERIALS, SHALL OCCUR INSIDE THE FENCE OR AROUND ANY EXISTING PLANTS TO REMAIN.



#### CORRECT METHODS OF TREE FENCING



4 HAY BALE DETAIL  
NTS



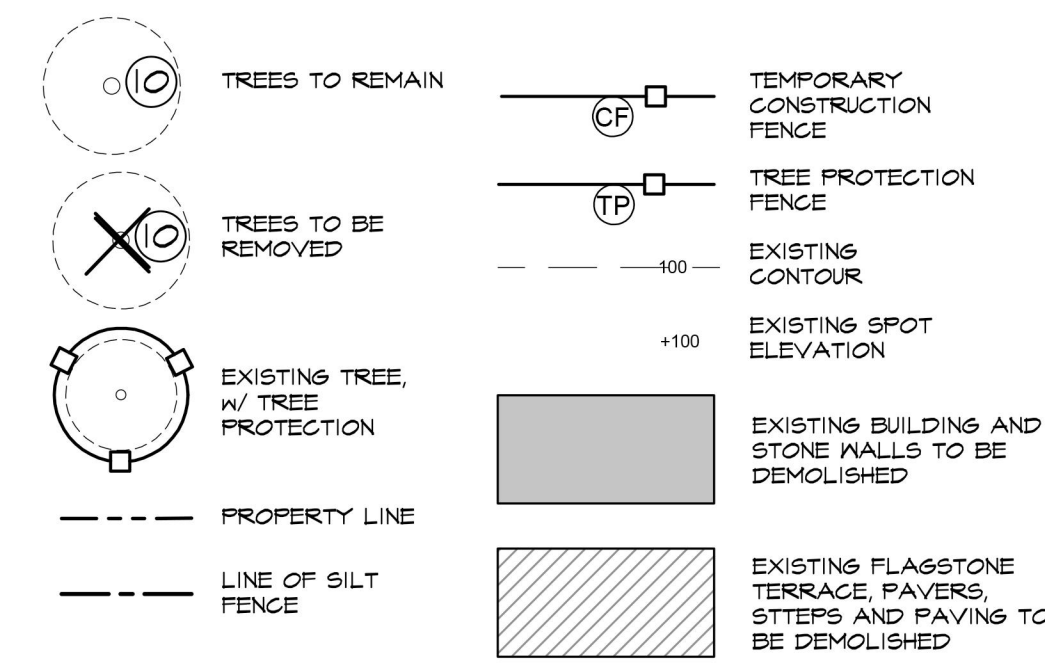
#### NOTES

1. MOVING WIRE FENCE TO BE FASTENED SECURELY TO FENCE POST WITH WIRE TIES OR STAPLES.
2. FILTER CLOTH TO BE FASTENED SECURELY TO MOVING WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN, EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
4. MAINTENANCE SHALL BE PERFORMED AS NEEDED, AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

POSTS: STEEL, EITHER T OR U TYPE, OR 2" HARDWOOD  
FENCE: MOVING WIRE, 14.5 GAUGE 6" MAX. MESH OPENINGS  
FILTER CLOTH: FILTER X, MARAFI 100X, STABILIZED JIKON OR APPROVED EQUAL  
PREFABRICATED UNIT, GEOPAB, ENVIRONMENTAL, OR APPROVED EQUAL

3 SILT FENCE DETAIL  
NTS

#### DRAWING LEGEND:



#### DEMOLITION NOTES:

- D-1 EXISTING GARAGE, FOYER, AND ALL AFFILIATED FOUNDATION TO BE REMOVED. EXISTING CONCRETE FOUNDATION WALL TO BE CRUSHED TO 4" MINUS FILL, TYP.
- D-2 REMOVE EXISTING PORTION OF DRIVEWAY, AFFILIATED DRIVEWAY CURB AND PAVING AS REQUIRED TO ACCOMMODATE NEW ENTRY CONFIGURATION.
- D-3 EXISTING WALKWAY, LIFT & RE-SET AS PER CONSTRUCTION DRAWINGS.
- D-4 NOT USED.
- D-5 EXISTING BLUESTONE TERRACE TO BE RE-SET, PROTECT DURING DEMOLITION, SEE CONSTRUCTION DRAWINGS FOR SCOPE.
- D-6 REMOVE EXISTING POOL SHELL, DECK & FENCINGS. REMOVE ALL UNDERGROUND PIPING, INFILL POOL AREA W/ CLEAN FILL AS REQUIRED TO ACCOMMODATE NEW POOL LOCATION.
- D-7 EXISTING CHAIN LINK FENCE TO BE REMOVED.
- D-8 EXISTING FIRE PIT, STONE WALL, AND PAVERS TO BE REMOVED. SAVE PAVERS FOR REUSE.
- D-9 REMOVE POOL EQUIPMENT PAD AND UNDERGROUND PIPING.
- D-10 REMOVE EXISTING WINDOW-WELL, SEE CONSTRUCTION DRAWINGS FOR SCOPE.
- D-11 AREA OF ASPHALT TO BE REMOVED IN THE TREE PROTECTION ZONE SHALL BE REMOVED BY HAND/LIGHT EQUIPMENT.

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| 12-23-20 | 12-23-20 | ISSUED FOR PLANNING BD. APPROVAL    |

Project Title  
**SIRULNIK RESIDENCE**  
19 South Mattheissen Park  
Irrington, NY 10533

Architect  
**Opacic Architects**  
24 North Astor  
Irrington, NY 10533  
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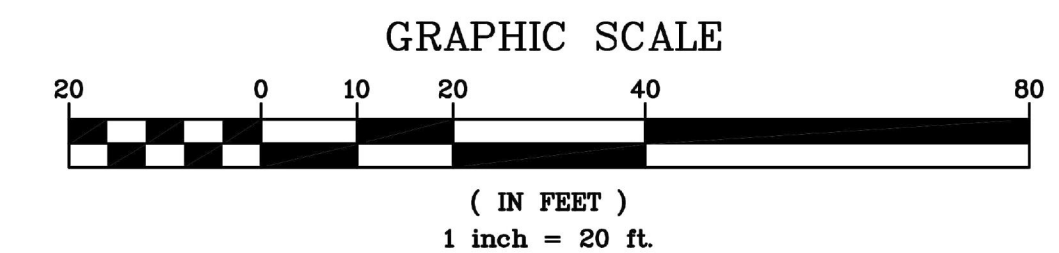
Landscape Architect  
**AZ Associates Ltd.**  
**Design & Horticultural Consultant**  
**Anthony Zaino**  
7 South Ridge Road  
Brookfield, CT 06804  
Tel: (203) 417-2979



Drawing Title  
**SITE DEMOLITION PLAN & TREE REMOVAL**

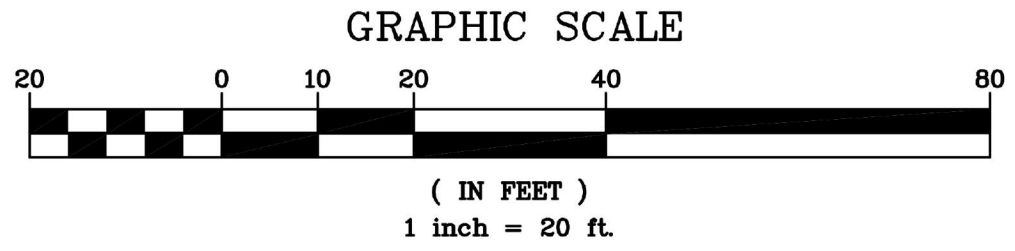
| Scale          | Job no.    | Issue Date  | Drawing no. |
|----------------|------------|-------------|-------------|
| AS NOTED       | 1806       | 03-22-23    | L-1.0       |
| Drawn By<br>MM | Checked By | Approved By |             |

19 S. MATTHEISSEN PARK SITE PLAN BASED UPON EXISTING INFORMATION PROVIDED BY STEPHEN F. HOPPE, L.S., DATED JANUARY 23, 2019.





19 S. MATTHEISSEN PARK SITE PLAN BASED UPON  
EXISTING INFORMATION PROVIDED BY STEPHEN  
F. HOPPE, L.S., DATED JANUARY 23, 2019.



- POOL NOTES:
- 1) POOL COVER MUST BE CAPABLE OF SUPPORTING MINIMUM DEAD WEIGHT OF 200LBS WHEN FASTENED OR LOCKED IN PLACE OVER A SWIMMING POOL.
  - 2) THE POOL COVE MUST FULLY COVE POOL WHEN NOT IN USE AND DURING THE PERIOD OF NOVEMBER 1 THROUGH MARCH 31.
  - 3) EXPOSED ELECTRICAL WIRES SHALL NOT BE NEARER THAN 5 FT. TO THE EDGE OF THE SWIMMING POOL.
  - 4) EXPOSED ELECTRICAL WIRES SHALL NOT BE LESS THAN 10 FT. ABOVE GROUND LEVEL AT THE EDGE OF THE SWIMMING POOL.

- GENERAL NOTES:
1. ALL LOCATIONS TO BE LAID OUT FOR ARCHITECT APPROVAL PRIOR TO CONSTRUCTION. ALL LAYOUT INFORMATION TO BE VERIFIED WITH ARCHITECT PRIOR TO ACTUAL CONSTRUCTION.
  2. REFER TO GRADING PLAN L-1.2 FOR ALL TOP OF WALL AND BOTTOM OF WALL ELEVATIONS AND SHEETS BY HUDSON ENGINEERING CONSULTING FOR ALL DRAINAGE STRUCTURE SPECIFICATIONS.
  3. ALL DISCREPANCIES WITH THE PLANS OR WITH DESIGN INTENT SHALL BE BROUGHT TO THE ARCHITECT'S IMMEDIATE ATTENTION. NO STRUCTURES SHALL BE LOCATED OR CONSTRUCTED WITHOUT THE ARCHITECT'S SPECIFIC SIGN OFF CONFIRMING THE LOCATION IN ADVANCE OF CURB ALIGNMENT, FOOTING AND WALL PLACEMENT, AND WALKWAY LOCATIONS.
  4. DO NOT SCALE DRAWINGS, USE DIMENSIONS ONLY. ALL WORK MUST BE STAKED OUT FOR THE ARCHITECT'S APPROVAL PRIOR TO CONSTRUCTION.
  5. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES IN EFFECT AT THE TIME OF CONSTRUCTION.
  6. THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS AGAINST ACTUAL CONDITIONS AT THE SITE. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES. THE LOCATIONS OF ALL WALLS, PAVEMENTS, DRAINAGE LINES SHALL BE STAKED OUT IN THE FIELD FOR THE ARCHITECT'S REVIEW AND APPROVAL BEFORE ANY WORK IS INSTALLED.
  7. COORDINATE WITH LANDSCAPE ARCHITECT BEFORE RELOCATING IRRIGATION LINES AND BEFORE REMOVING OR TRANSPLANTING TREES OR SHRUBS TO REMAIN.
  8. SWIMMING POOL PERMIT SHALL BE UNDER SEPARATE PERMIT BY POOL CONTRACTOR.
  9. EXISTING CONDITIONS INFORMATION BASED ON SURVEY PREPARED BY STEPHEN F. HOPPE, L.S. DATED JANUARY 23, 2019.
  10. THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOIL.
  11. "AS BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING "CERTIFICATE OF OCCUPANCY".

- CONSTRUCTION NOTES:
- C-1 EXISTING BLUESTONE SLABS TO BE RE-SET ON CONCRETE BASE. EXISTING STEPS TO REMAIN.
- C-2 EXISTING BLUESTONE PAVING TO BE REMOVED. IT SHALL BE DETERMINED IN THE FIELD IF NEW CONCRETE SLAB NEEDS TO BE PROVIDED. RE-SET BLUESTONE PAVING TO MATCH EXISTING LAYOUT.

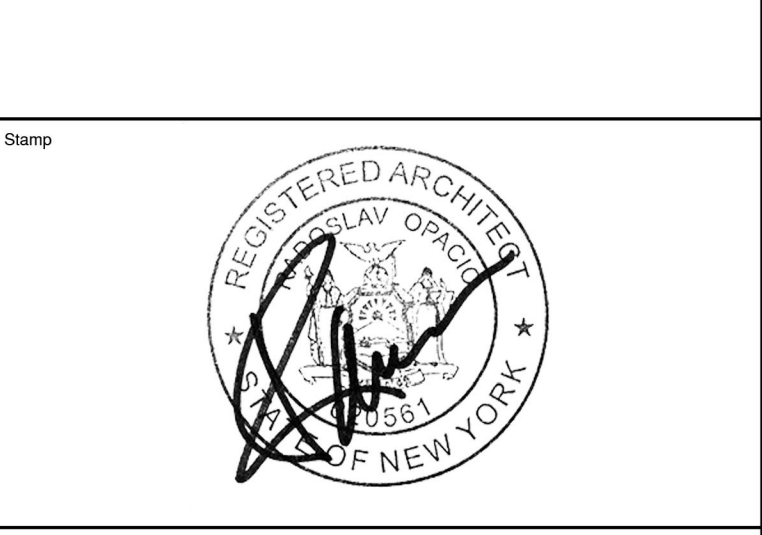
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**SIRULNIK RESIDENCE**  
19 South Mattheissen Park  
Irrvington, NY 10533

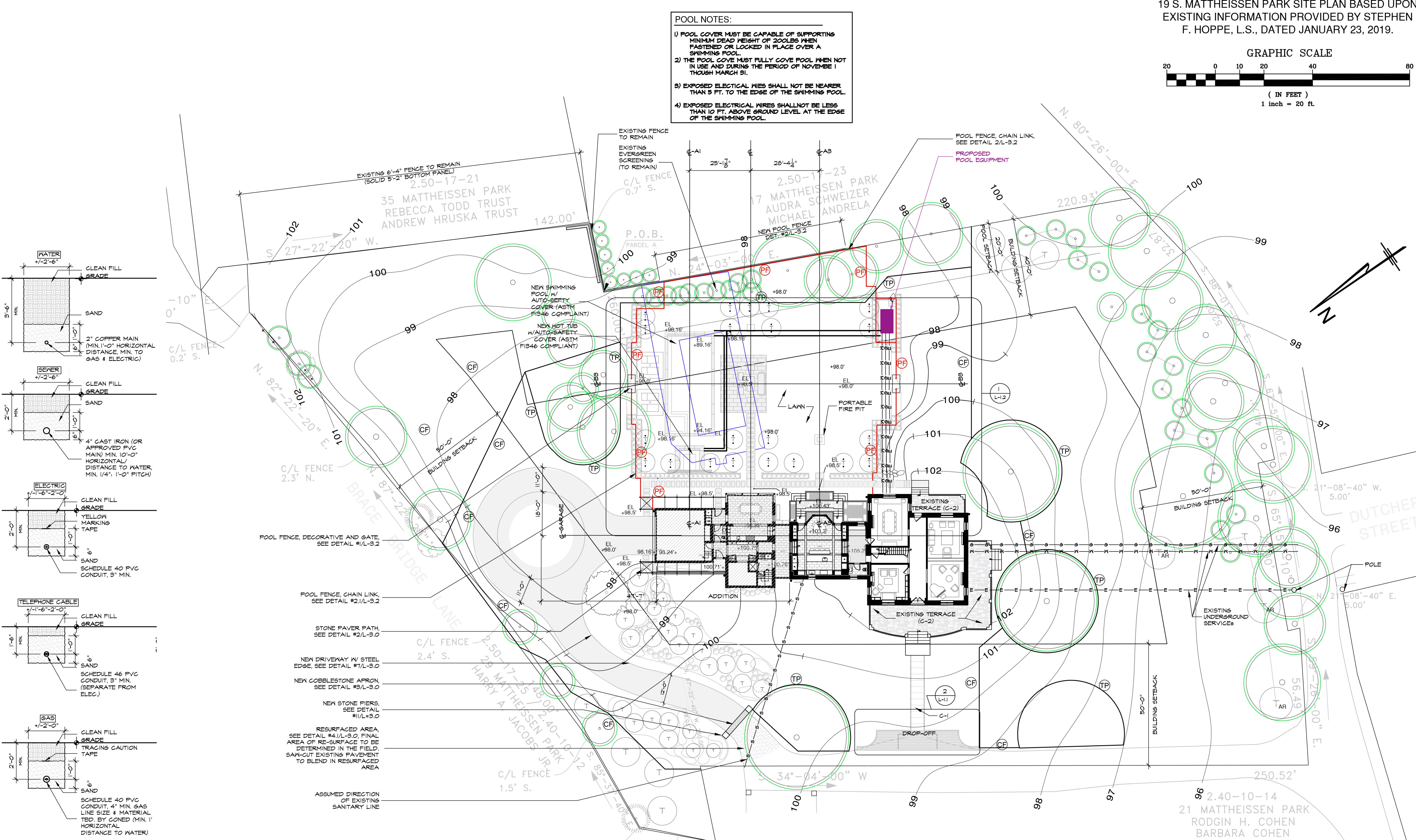
Architect  
**Opacic Architects**  
24 North Astor  
Irrvington, NY 10533  
(914) 591-4306  
(914) 591-4308

Landscape Architect  
**AZ Associates Ltd.**  
**Design & Horticultural Consultant**  
**Anthony Zaino**  
7 South Ridge Road  
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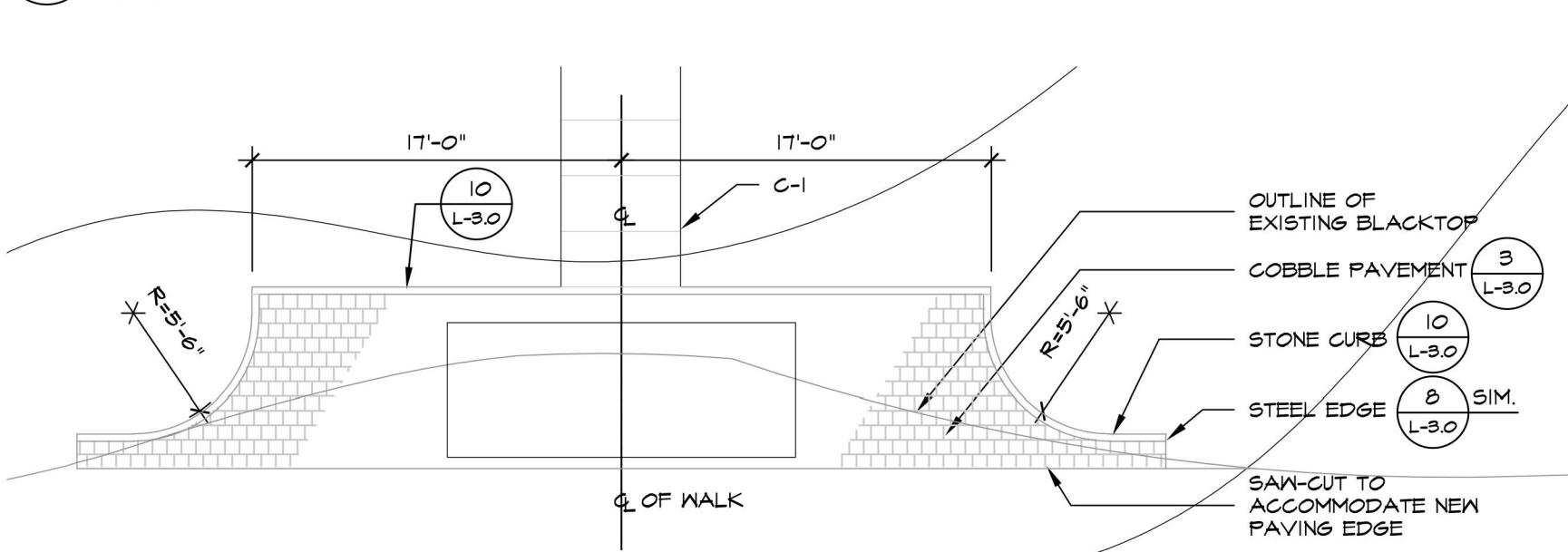


Drawing Title  
**PROPOSED SITE PLAN - GRADING AND LAYOUT**

| Scale    | Job no.    | Issue Date  | Drawing no. |
|----------|------------|-------------|-------------|
| AS NOTED | 1806       | 03.22.2023  | L-1.1       |
| Drawn By | Checked By | Approved By |             |
| MM       |            |             |             |



3 PROPOSED UTILITY DETAILS  
NTS



2 PLAN - PROPOSED DROP OFF AREA  
SCALE: 1/8" = 1'-0"

1 PROPOSED SITE PLAN - GRADING AND LAYOUT  
SCALE: 1"=20'-0"

DRAWING LEGEND:

- |  |                                          |  |                                                                          |  |                                                          |  |                         |
|--|------------------------------------------|--|--------------------------------------------------------------------------|--|----------------------------------------------------------|--|-------------------------|
|  | EXISTING TREE, w/ APPROXIMATE ROOT RANGE |  | SWIMMING POOL & SPA ENCLOSURE PER NYS & VILLAGE OF IRVINGTON REGULATIONS |  | POOL FENCE (SEE L-3.2 FOR FENCE DETAILS)                 |  | EXISTING CONTOUR        |
|  | PROPOSED TREES                           |  | ASPHALT RESURFACING AREA                                                 |  | TEMPORARY CONSTRUCTION FENCE                             |  | PROPOSED CONTOUR        |
|  | EXISTING TREE, w/ TREE PROTECTION        |  | NEW ASPHALT DRIVEWAY                                                     |  | TREE PROTECTION FENCE                                    |  | EXISTING SPOT ELEVATION |
|  | DOWNSPOUT                                |  | EXISTING AND NEW TERRACE PAVING                                          |  | PROPERTY LINE                                            |  | PROPOSED SPOT ELEVATION |
|  |                                          |  |                                                                          |  | EXISTING UNDERGROUND ELECTRICAL SERVICE                  |  | +TW TOP OF WALL         |
|  |                                          |  |                                                                          |  | EXISTING UNDERGROUND WATER SERVICE, OR NEW WATER SERVICE |  | +BW TOP OF WALL         |
|  |                                          |  |                                                                          |  | EXISTING UNDERGROUND GAS SERVICE                         |  |                         |
|  |                                          |  |                                                                          |  | EXISTING UNDERGROUND SEWER SERVICE                       |  |                         |







## ELEVATION NOTES:



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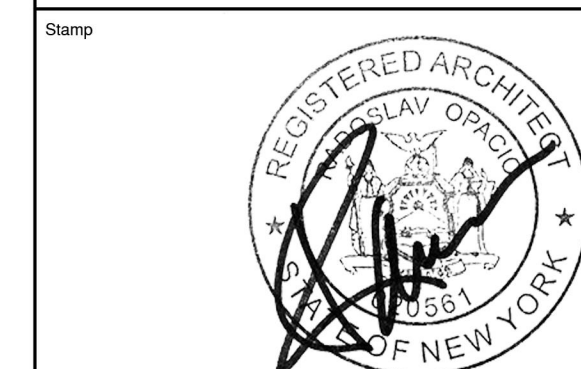
**SIRULNIK RESIDENCE**

19 South Matthiessen Park  
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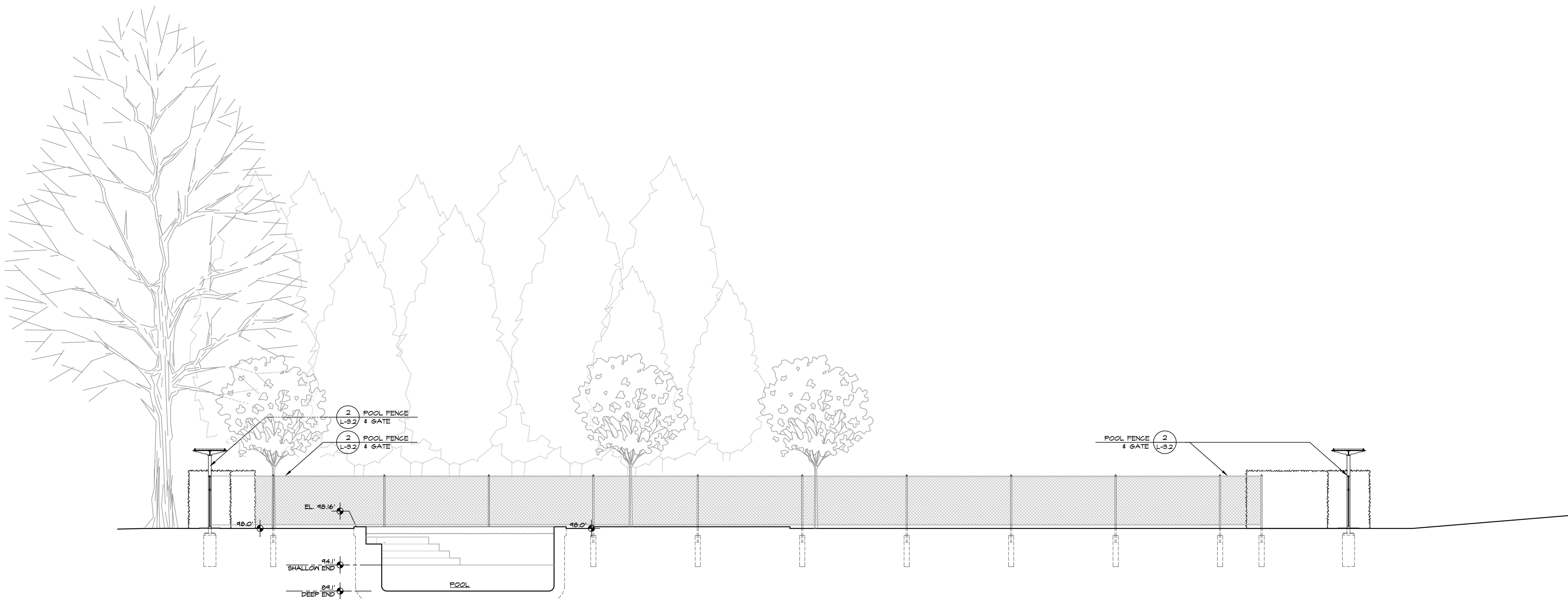
**SITE SECTIONS**

|          |            |             |             |
|----------|------------|-------------|-------------|
| Scale    | Job no.    | Issue Date  | Drawing no. |
| AS NOTED | 1806       | 03-22-23    | L-2.0       |
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| MM       |            |             |             |





1 SECTION - FACING NORTHWEST @ POOL  
SCALE: 3/16"=1'-0"



2 SECTION - FACING SOUTHEAST @ POOL  
SCALE: 3/16"=1'-0"

GENERAL ELEVATION NOTES:

ELEVATION NOTES:

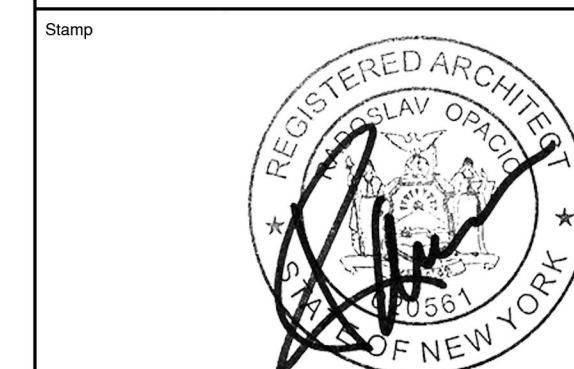
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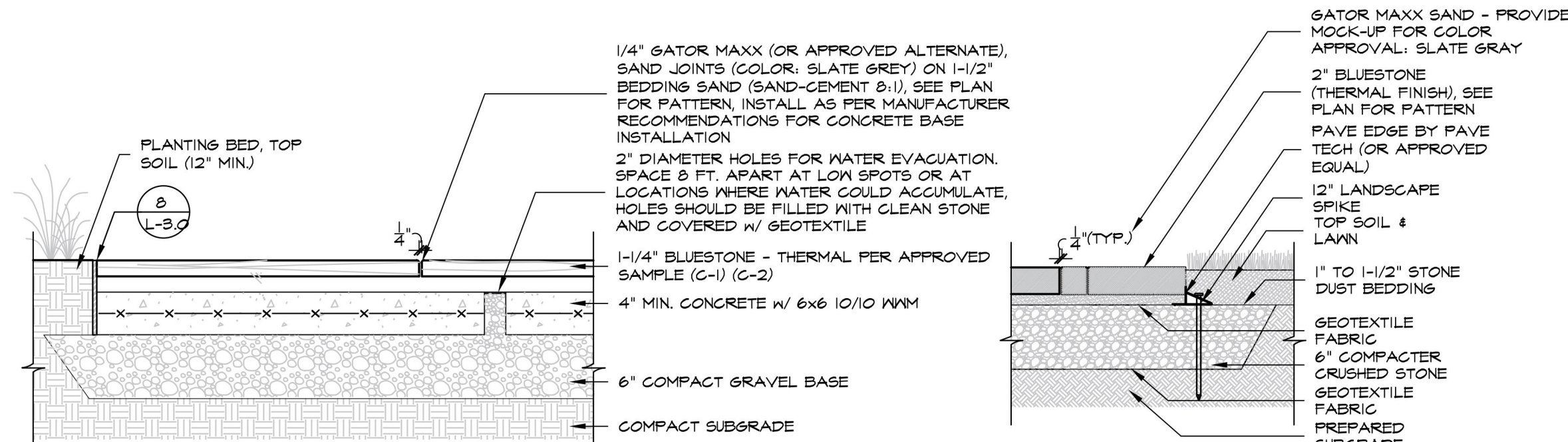
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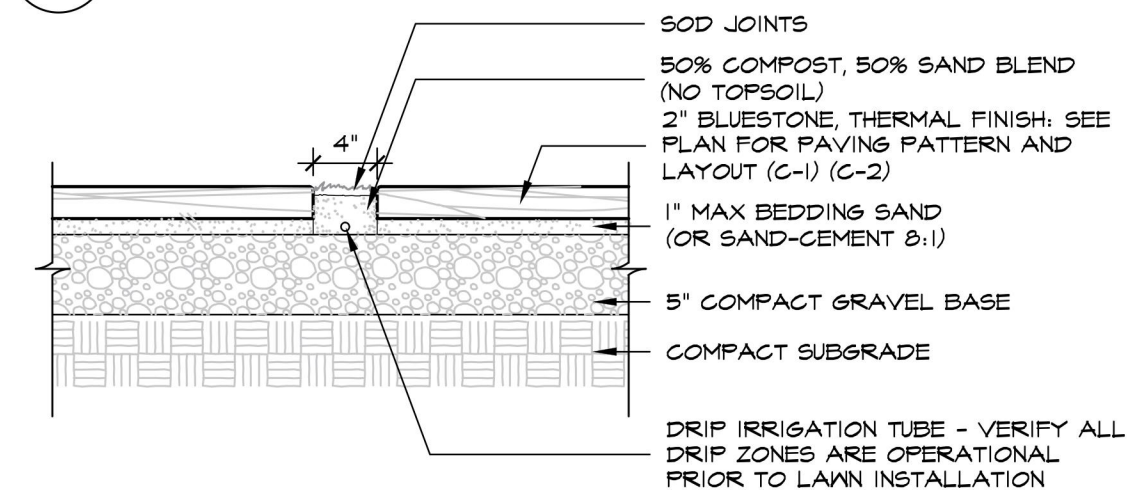
Drawing Title  
**SITE SECTIONS**

| Scale          | Job no.    | Issue Date  | Drawing no. |
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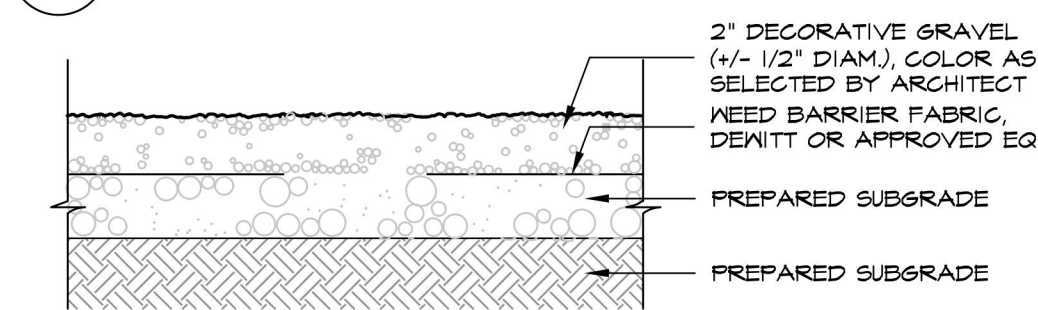




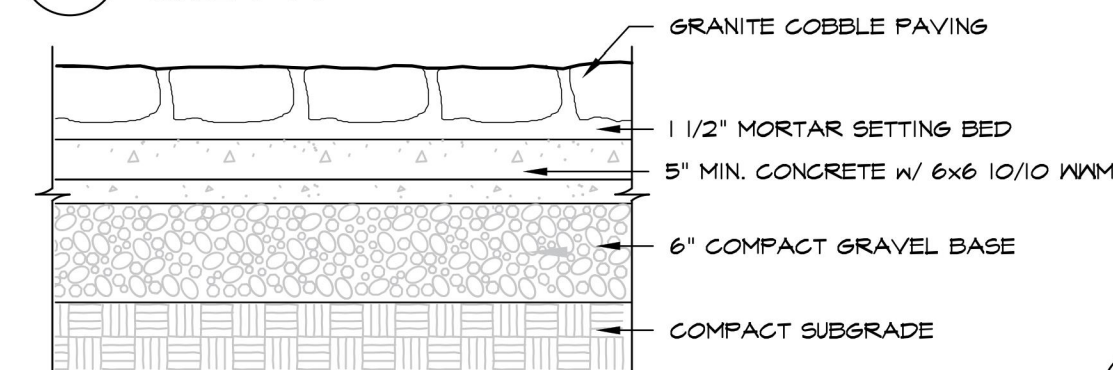
1 DETAIL - BLUESTONE PAVEMENT OVER CONCRETE  
SCALE: 1"=1'-0"



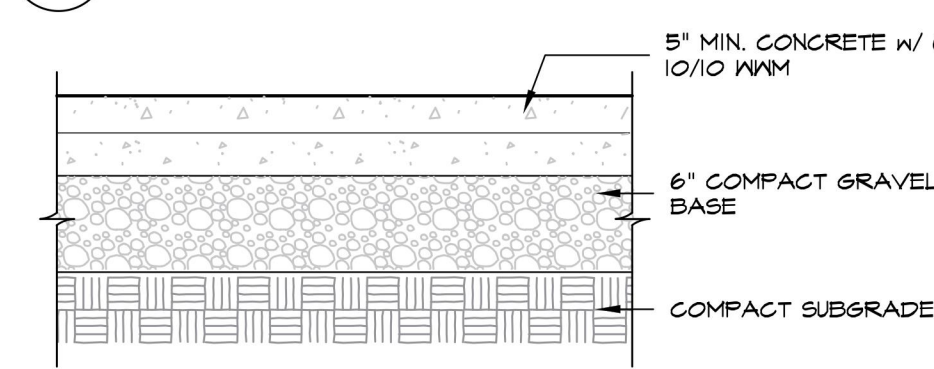
2 DETAIL - BLUESTONE PATH WITH LAWN JOINTS  
SCALE: 1"=1'-0"



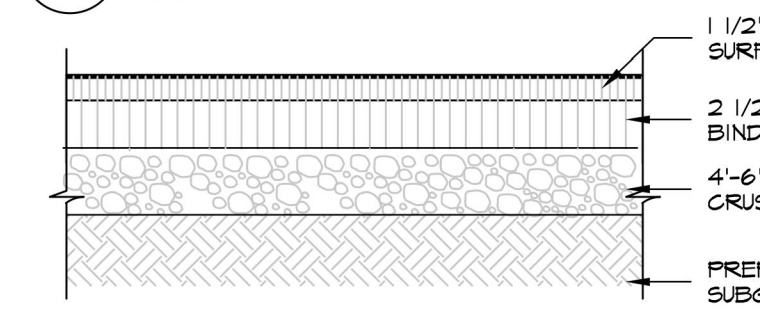
2.2 DETAIL - DECORATIVE GRAVEL PAVEMENT  
SCALE: 1"=1'-0"



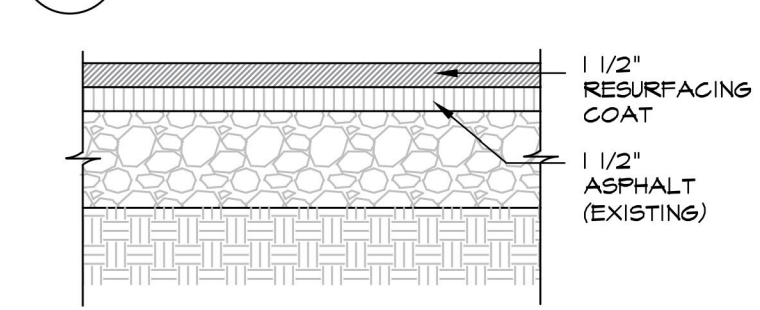
3 DETAIL - GRANITE COBBLE PAVEMENT  
SCALE: 1"=1'-0"



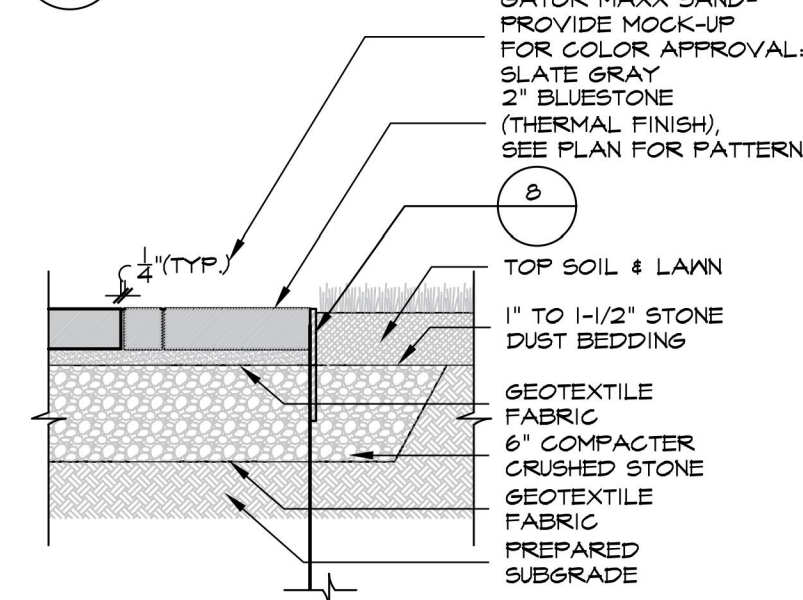
3.1 DETAIL - CONCRETE PAVEMENT  
SCALE: 1"=1'-0"



4 DETAIL - NEW ASPHALT PAVING  
SCALE: 1"=1'-0"

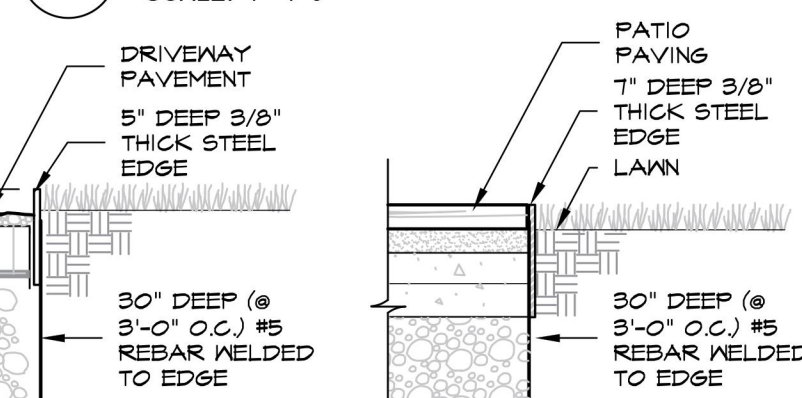


4.1 DETAIL - ASPHALT RESURFACING  
SCALE: 1"=1'-0"

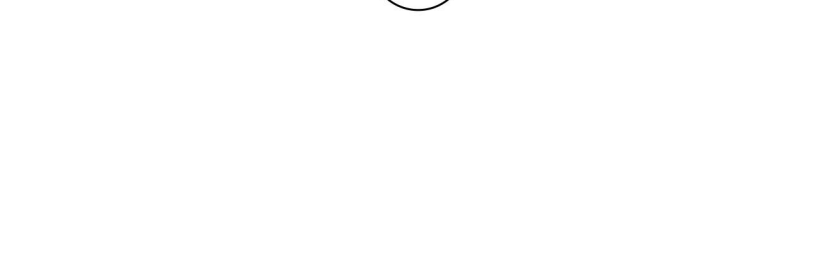


5 DETAIL - BLUESTONE PAVING OVER DRAINAGE BASE w/ STL. EDGE  
SCALE: 1"=1'-0"

6 DETAIL - BLUESTONE PAVING OVER DRAINAGE BASE w/ CONCEALED EDGE  
SCALE: 1"=1'-0"



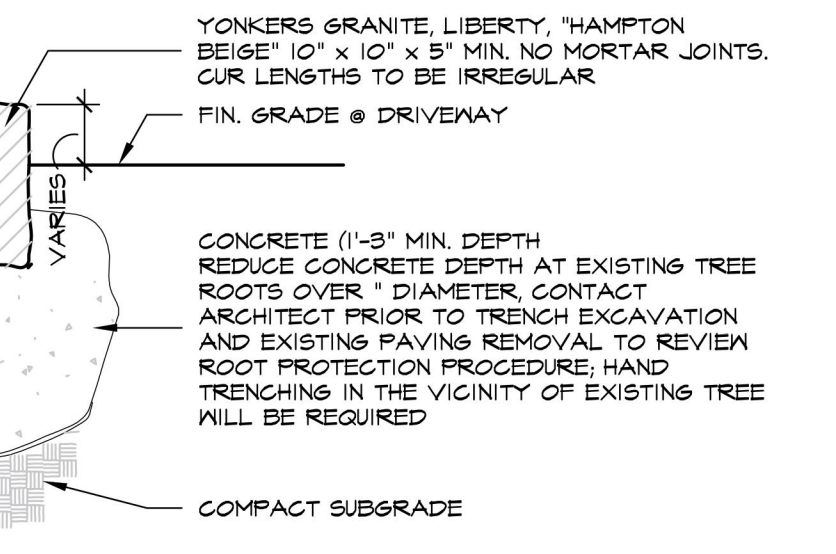
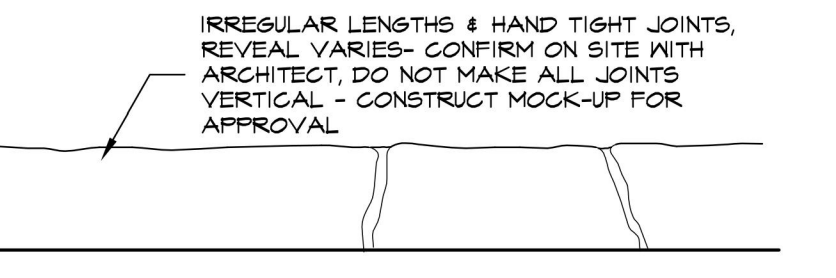
7 DETAIL - STEEL EDGE @ DRIVEWAY  
SCALE: 1"=1'-0"



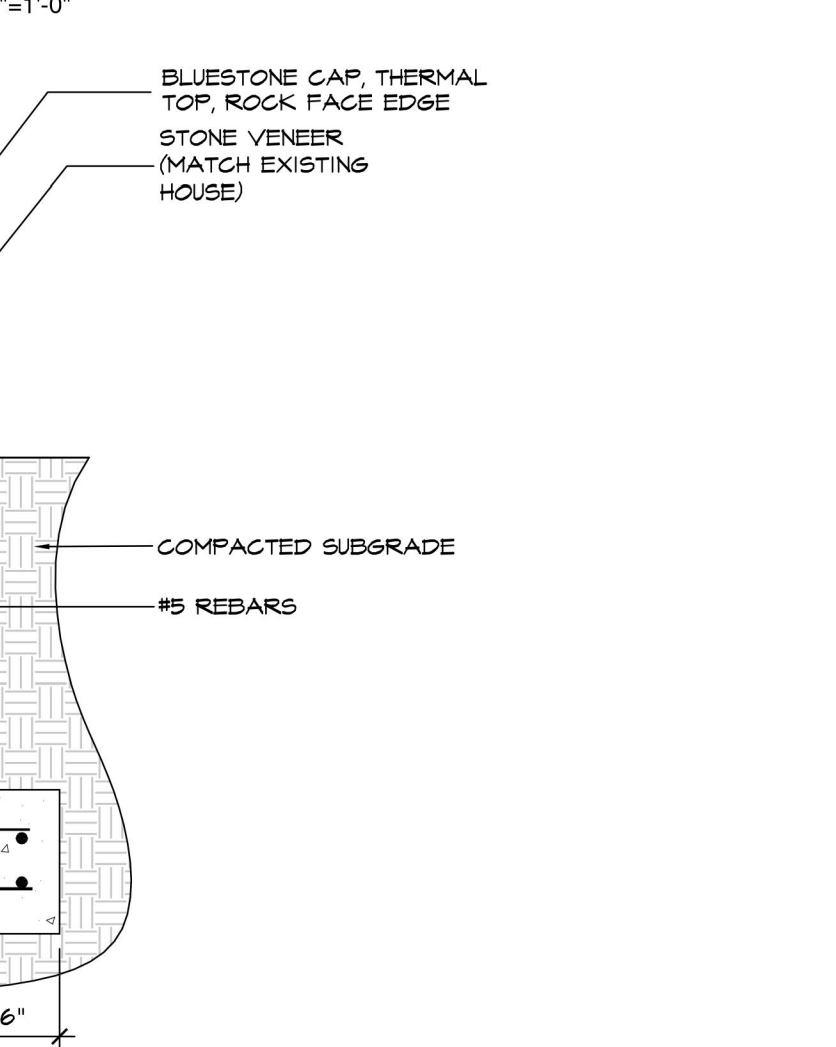
8 DETAIL - STEEL EDGE @ GARDEN  
SCALE: 1"=1'-0"



9 NOT USED  
SCALE: 1"=1'-0"



10 DETAIL - STONE CURB  
SCALE: 1"=1'-0"



11 DETAIL - ENTRY PIER  
SCALE: 3/4"=1'-0"

12 NOT USED  
SCALE: 3/4"=1'-0"

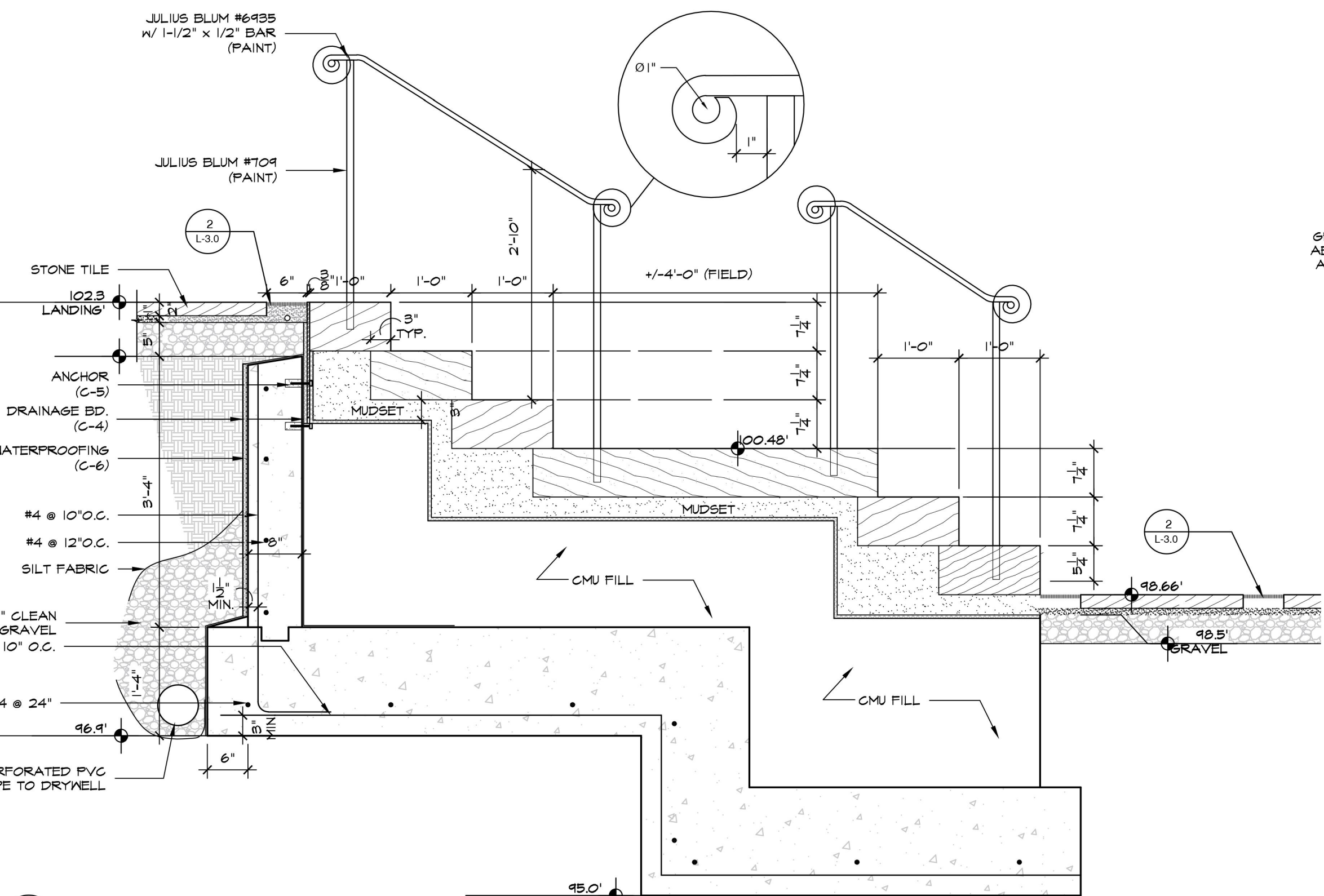
13 NOT USED  
SCALE: 3/4"=1'-0"

14 NOT USED  
SCALE: 3/4"=1'-0"

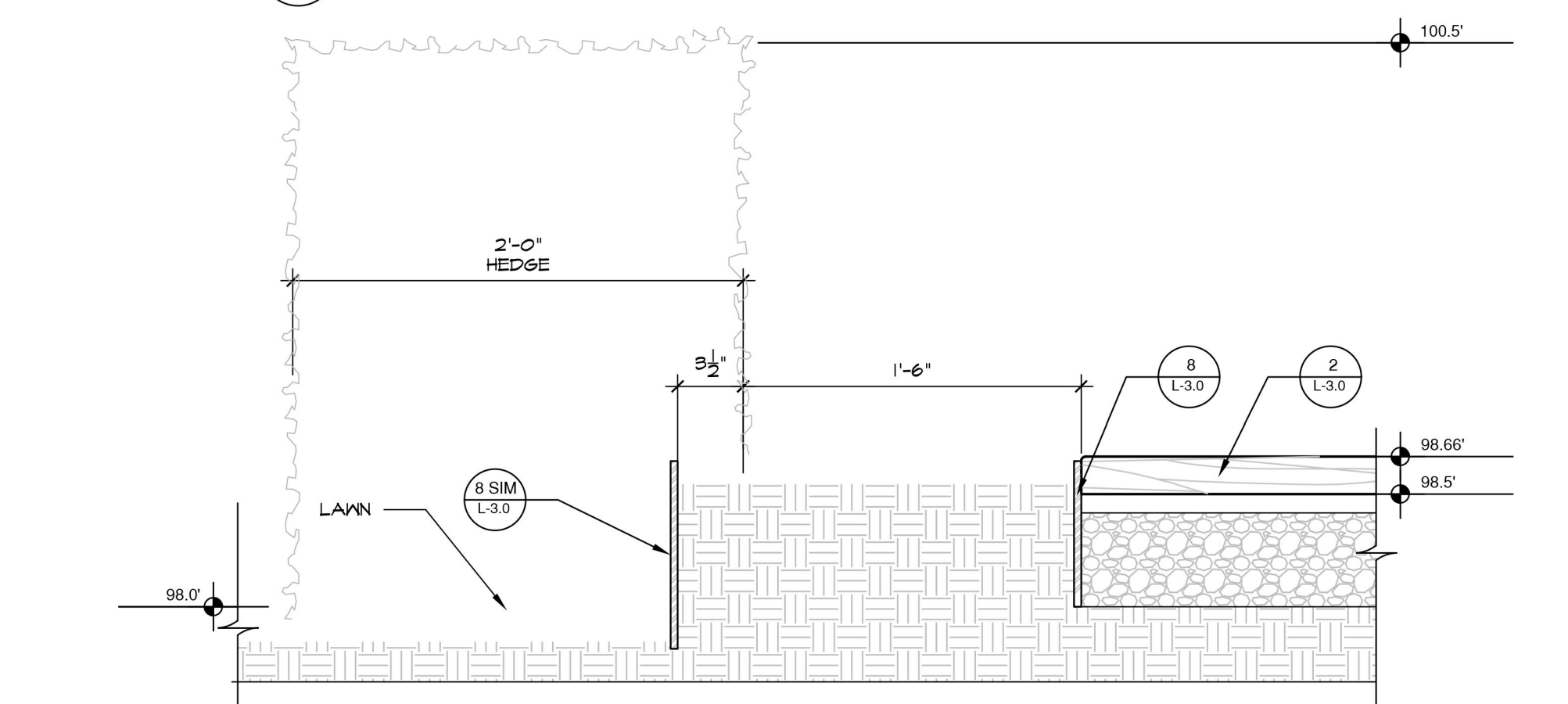
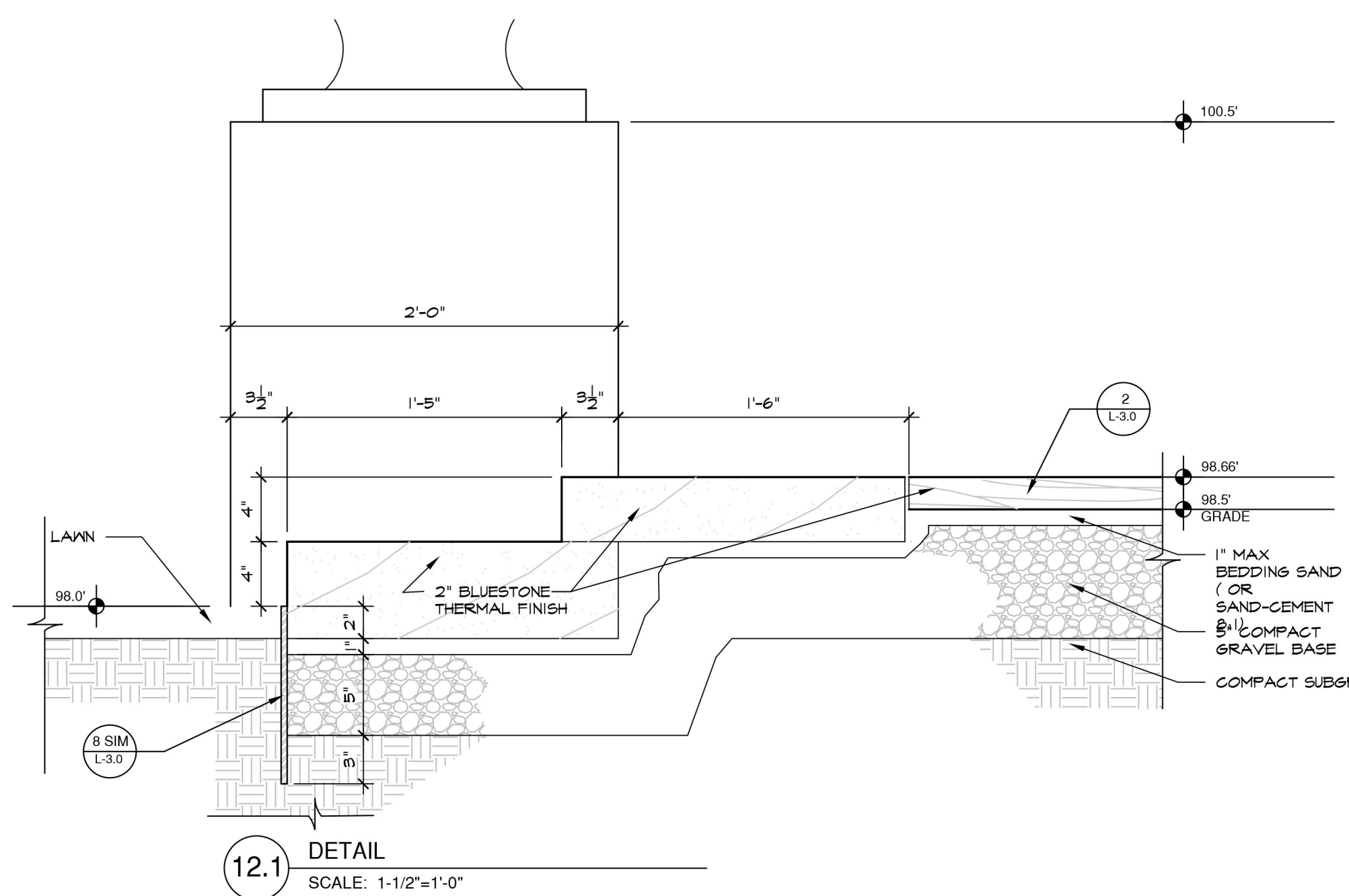
15 NOT USED  
SCALE: 3/4"=1'-0"

16 NOT USED  
SCALE: 3/4"=1'-0"

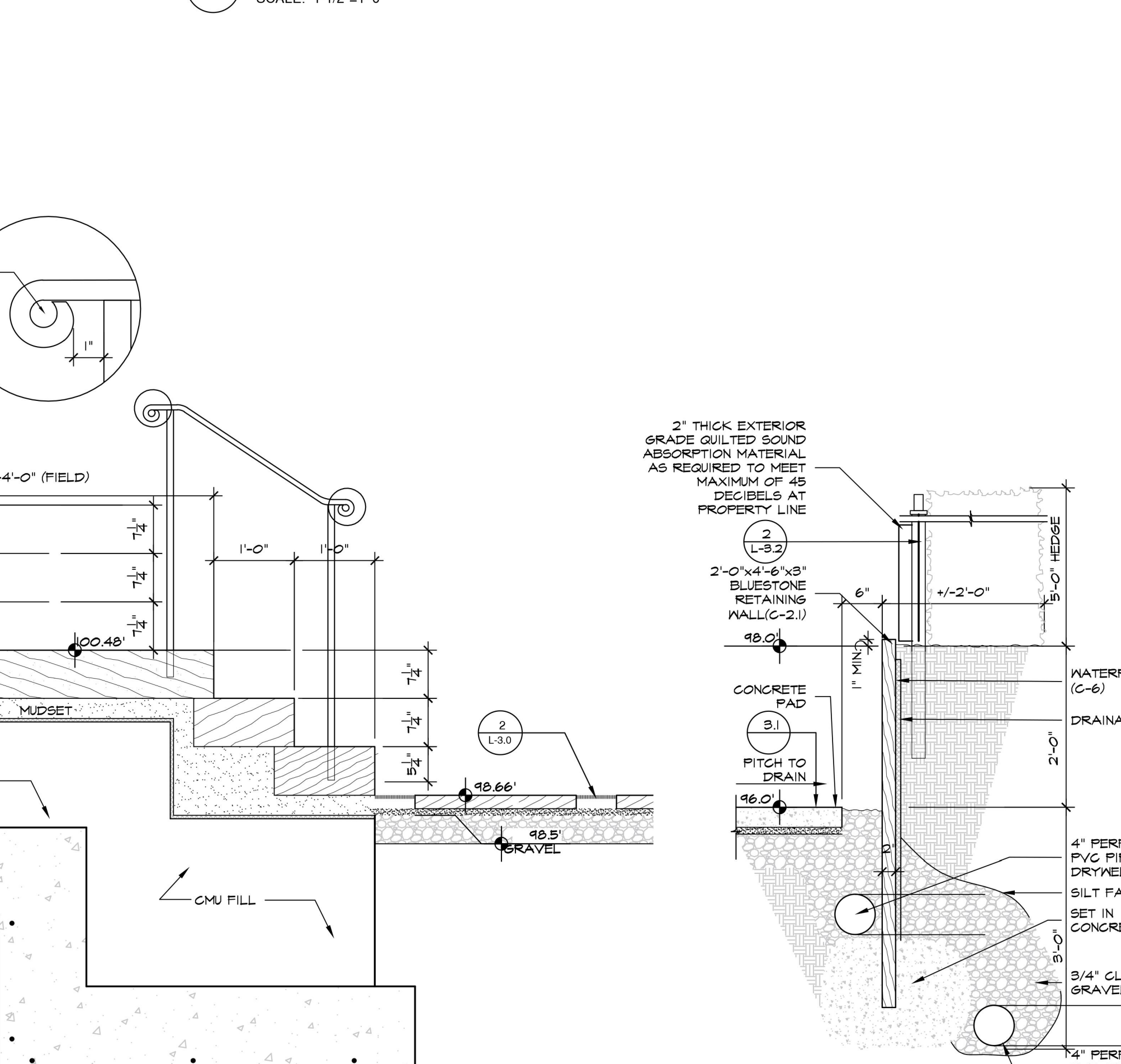
17 DETAIL - GARDEN STAIRS  
SCALE: 3/4"=1'-0"



17 DETAIL - GARDEN STAIRS  
SCALE: 3/4"=1'-0"



12.2 DETAIL  
SCALE: 1-1/2"=1'-0"



18 DETAIL - POOL EQUIPMENT PAD  
SCALE: 3/4"=1'-0"

**GENERAL NOTES:**

- THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNFORESEEN SILTATION AND EROSION OF DISTURBED SOIL.
- "AS BUILT" DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING "CERTIFICATE OF OCCUPANCY".
- EXPOSED ELECTRICAL WIRES SHALL NOT BE NEARER THAN 5 FEET TO THE EDGE OF THE SWIMMING POOL. THIS SHOULD BE NOTED ON THE PLANS.
- EXPOSED ELECTRICAL WIRES SHALL NOT BE LESS THAN 10 FEET ABOVE GROUND LEVEL AT THE EDGE OF THE SWIMMING POOL WHICH SHOULD BE NOTED ON THE PLANS.

**CONSTRUCTION NOTES:**

C-1 APPLY ONE (1) COAT OF '511 POROUS PLUS' BY MIRACLE SEALANTS COMPANY TO BOTTOM AND SIDES OF BLUESTONE PRIOR TO INSTALLATION. APPLY ONE (1) COAT ON TOP AFTER INSTALLATION (WHEN ALL PAVING HAS BEEN CLEANED AND ITS INSTALLED)

C-2 NEW YORK STATE BLUESTONE GRAY/ GREEN, FINISH TO MATCH EXISTING.

C-2.1 NEW YORK STATE BLUESTONE GRAY/ GREEN, THERMAL FINISH TOP & BOTTOM, ROCK FACE EDGE. PROVIDE 1/4" JOINT & BUTT JOINT AT INSIDE & OUTSIDE CORNER.

C-2.2 NEW YORK STATE BLUESTONE GRAY/ GREEN, THERMAL FINISH @ RISER & TREAD SURFACES.

C-3 STEEL PLATE RETAINING WALL - 3/8" STEEL, +/-4'-0" LONG, PROVIDE 1/8" JOINT AT EACH PANEL, WELD SPLINE AT JOINT. ANY PORTION OF STEEL THAT IS IN CONTACT WITH SOIL OR MASONRY SHALL BE COATED WITH RUBBER COATING.

C-4 DRAINAGE BOARD - CARLISLE CCM MIRADRAIN 6000/6200.

C-5 ANCHOR - HILTI HIT-HY50 MAX CHEMICAL ANCHOR. INSTALL AS PER MANUFACTURER SPECIFICATIONS.

C-6 WATERPROOF - CARLISLE LIQUID-APPLIED WATERPROOFING MEMBRANE CCM-525 OR EQUAL.

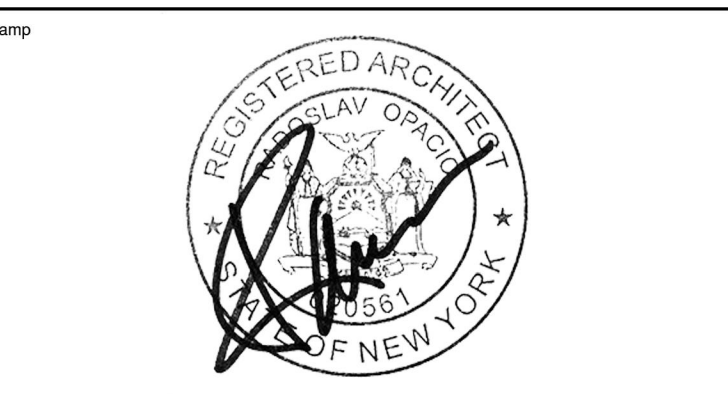
06-02-23 ISSUED FOR AHB APPROVAL  
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| No. | Date | Revision |
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Project Title  
**SIRULNIK RESIDENCE**  
19 South Matthiessen Park  
Irrington, NY 10533

Architect  
**Opacic Architects**  
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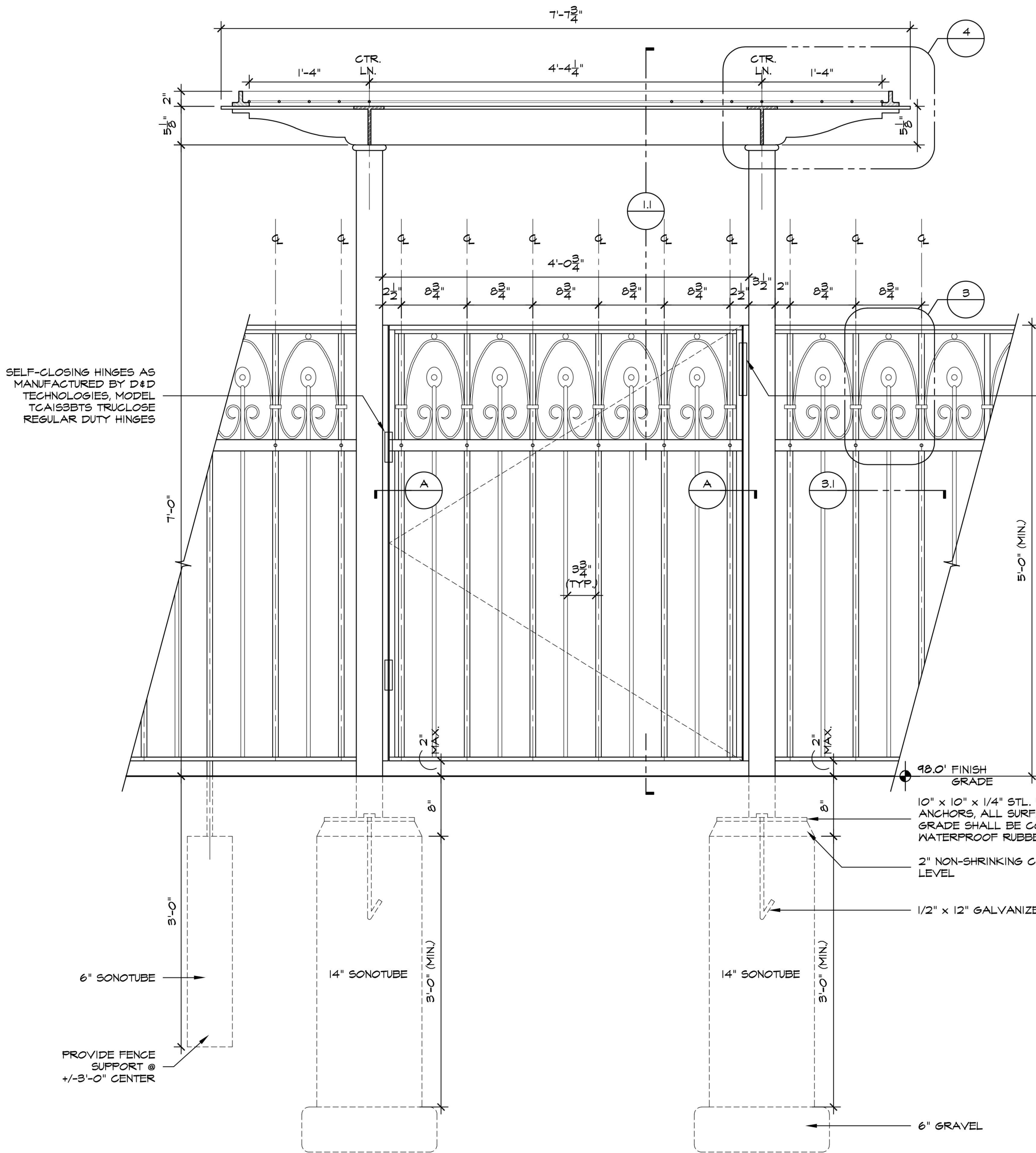
Landscape Architect  
**AZ Associates Ltd.**  
**Design & Horticultural Consultant**  
**Anthony Zaino**  
7 South Ridge Road  
Brookfield, CT 06804  
Tel: (203) 417-2979



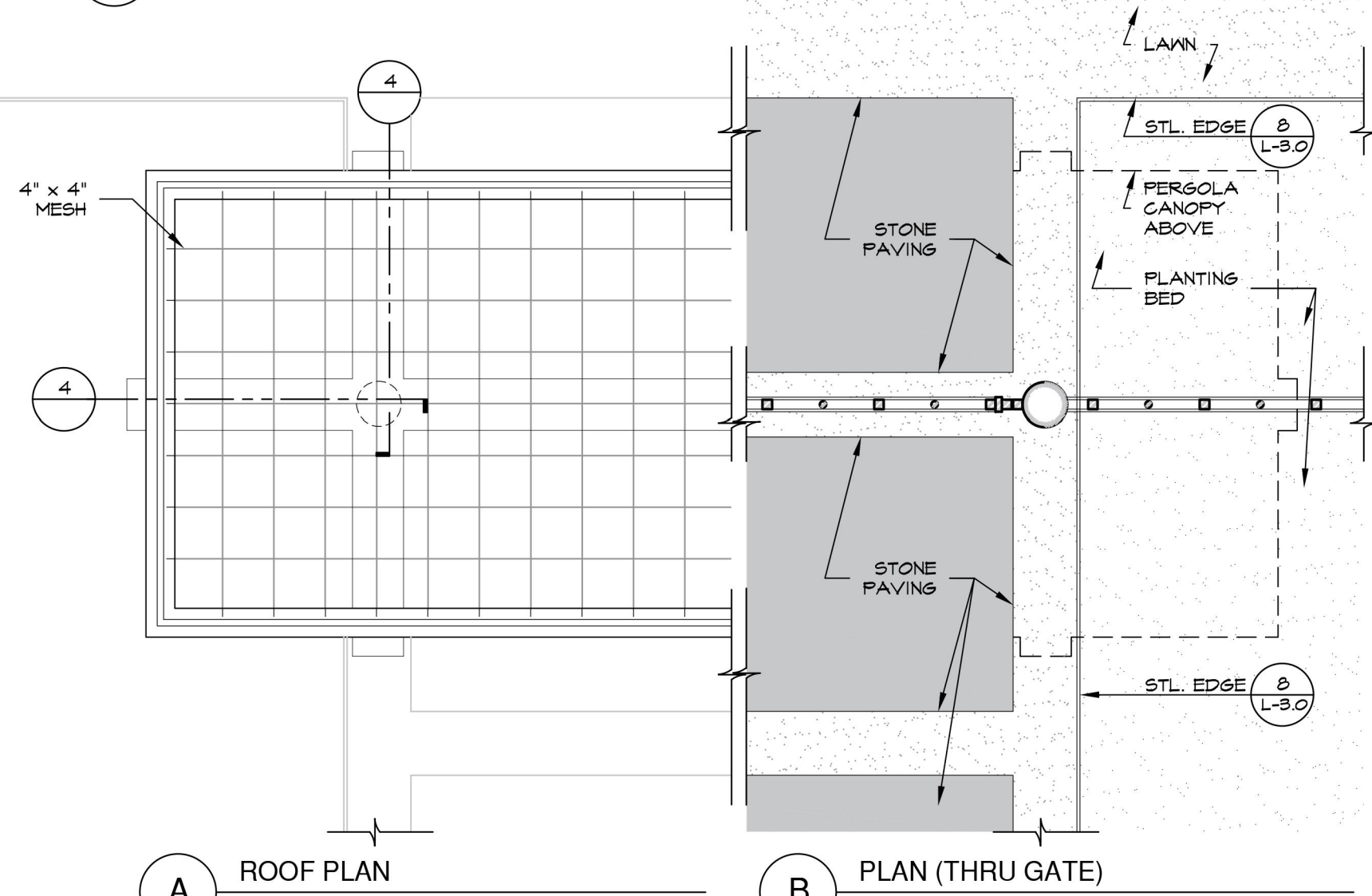
Drawing Title  
**PROPOSED SITE DETAILS**

Scale AS NOTED Job no. 1806 Issue Date 03-22-23 Drawing no. L-3.0  
Drawn By MM Checked By Approved By

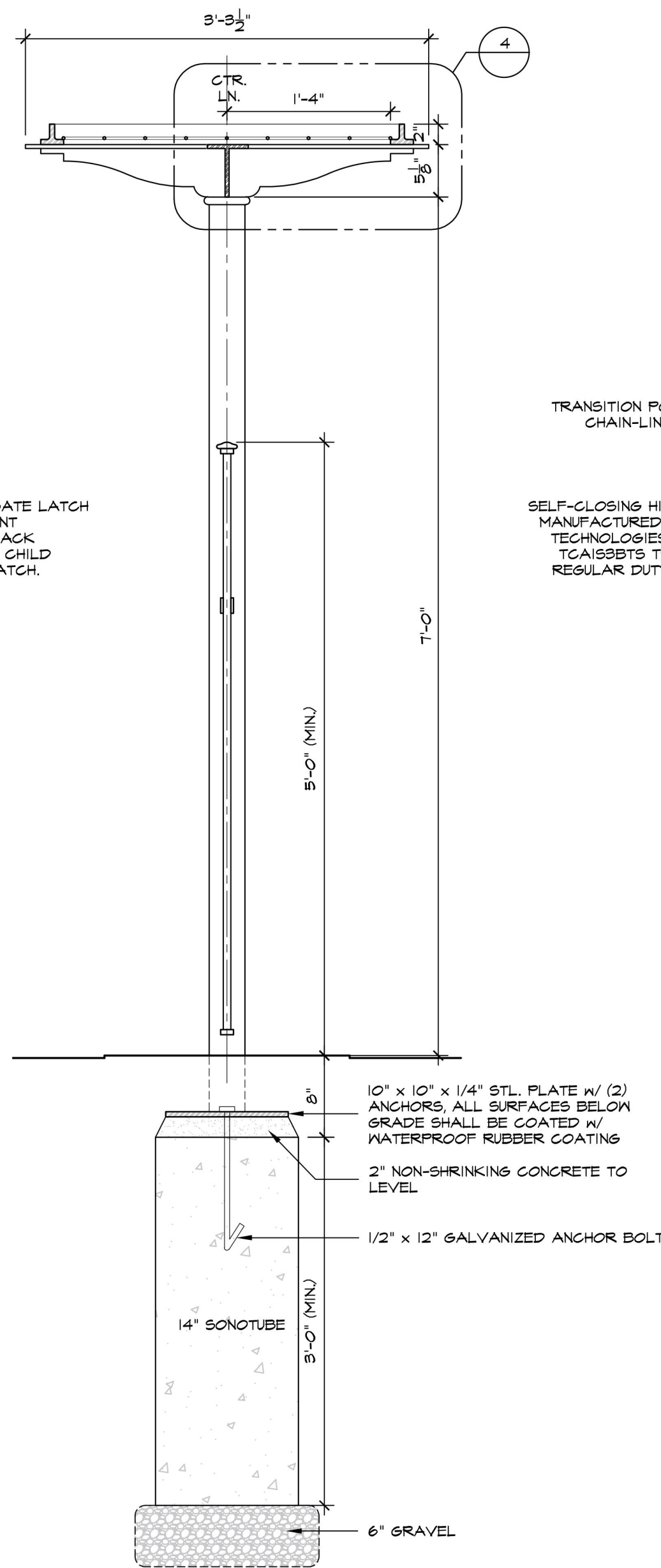




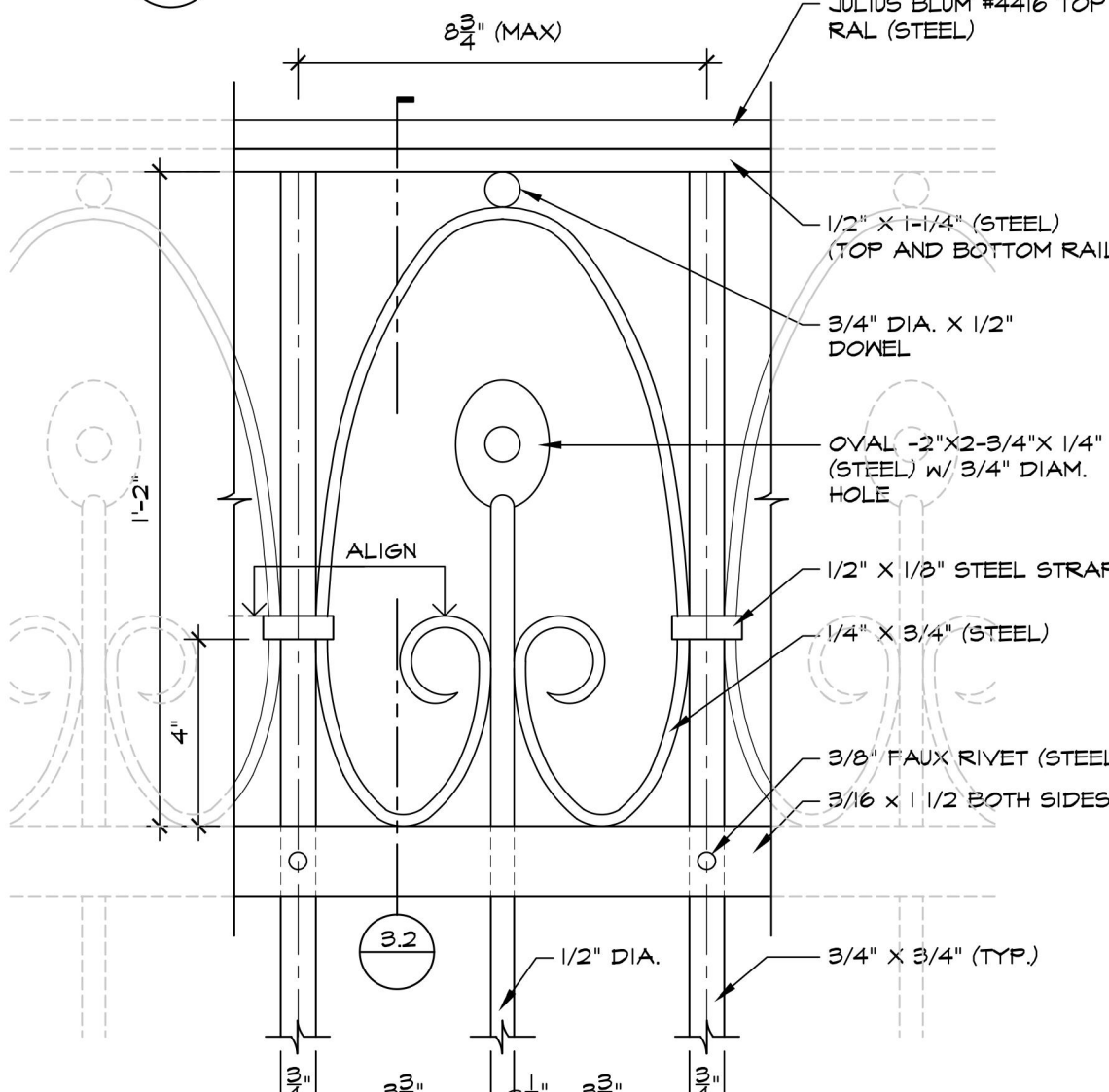
1 ELEVATION - POOL ENTRANCE PERGOLA & DECORATIVE FENCE  
SCALE: 1"=1'-0"



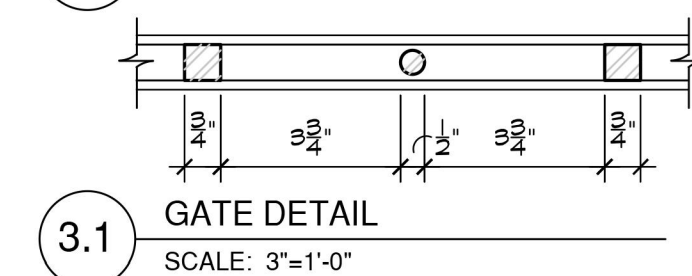
1.2 PLAN - POOL ENTRANCE PERGOLA & DECORATIVE FENCE  
SCALE: 1"=1'-0"



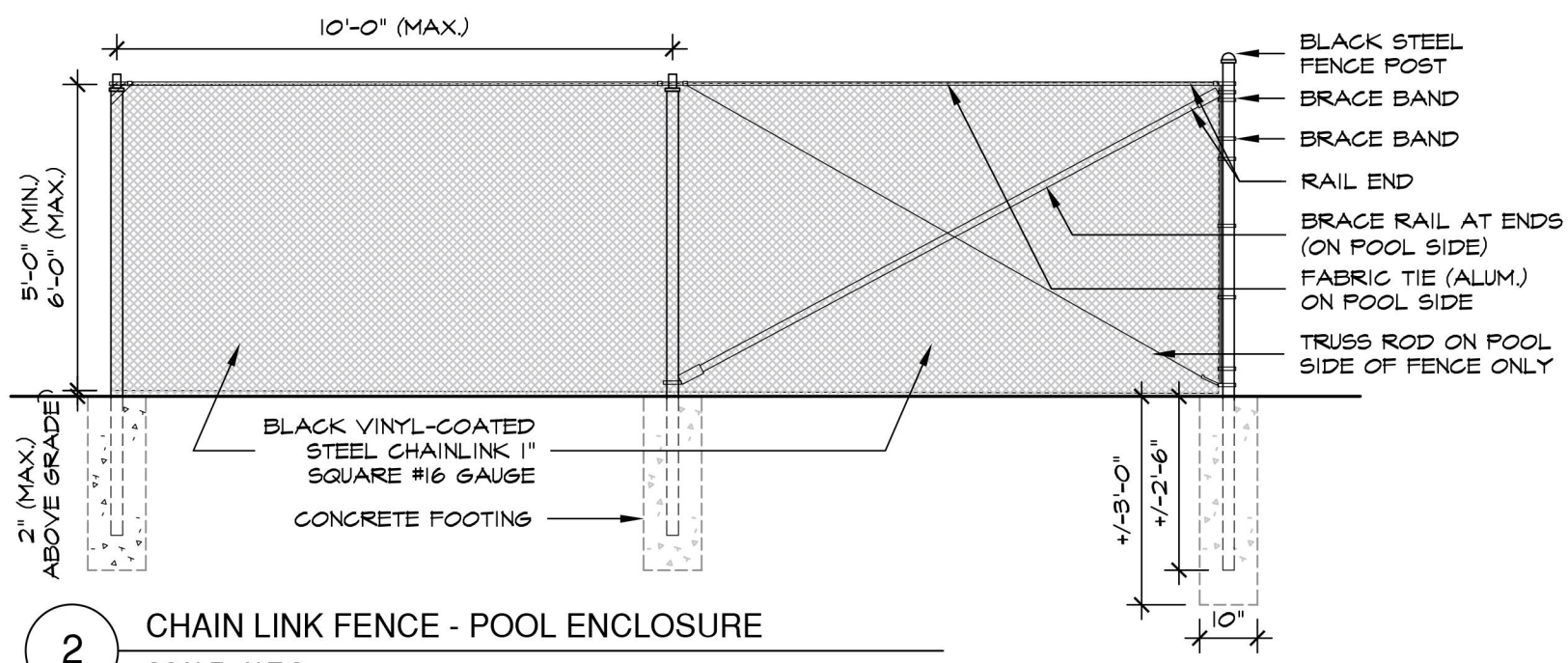
1.1 SIDE ELEVATION - POOL ENTRANCE PERGOLA  
SCALE: 1"=1'-0"



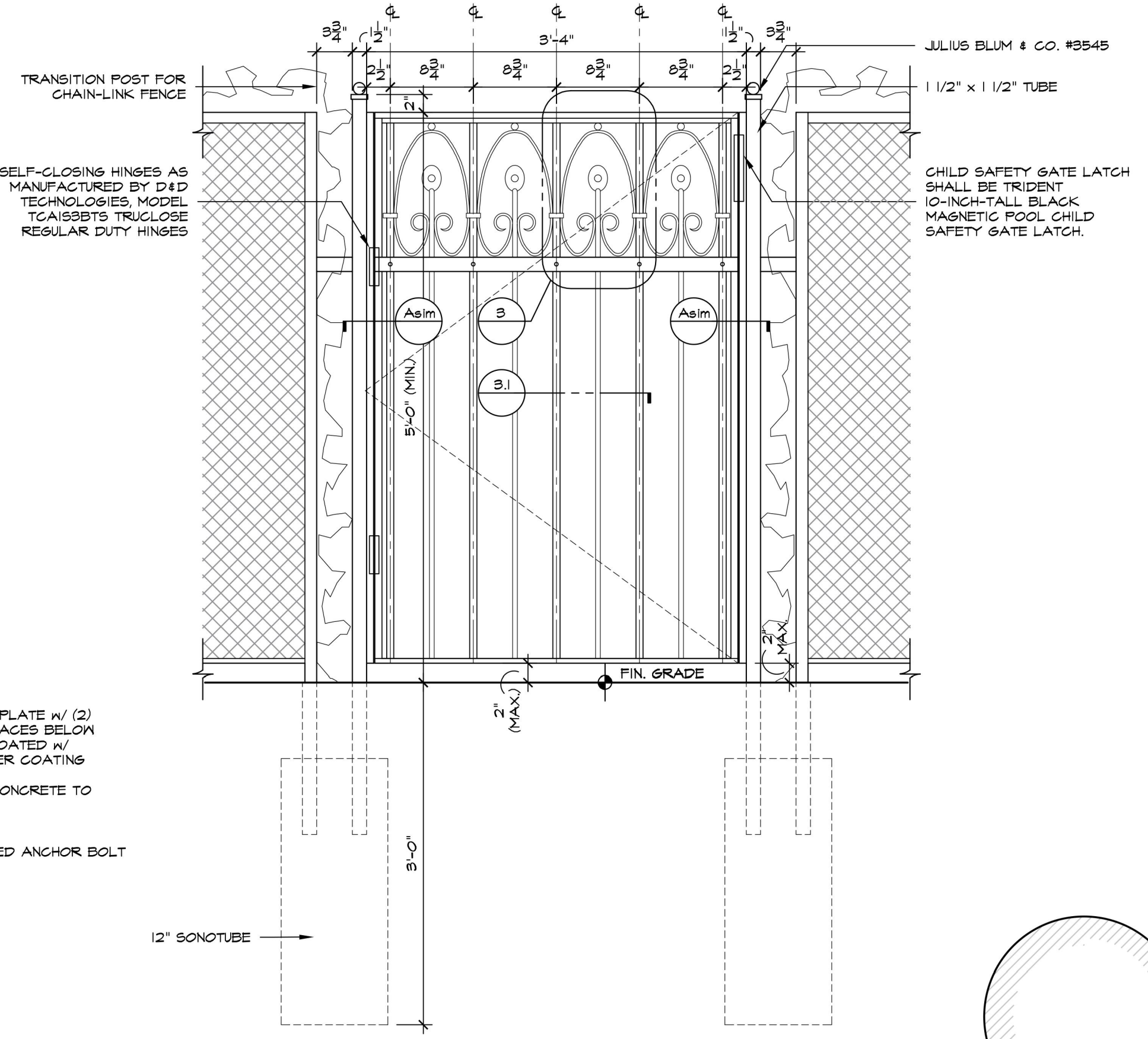
3 GATE DETAIL  
SCALE: 3"=1'-0"



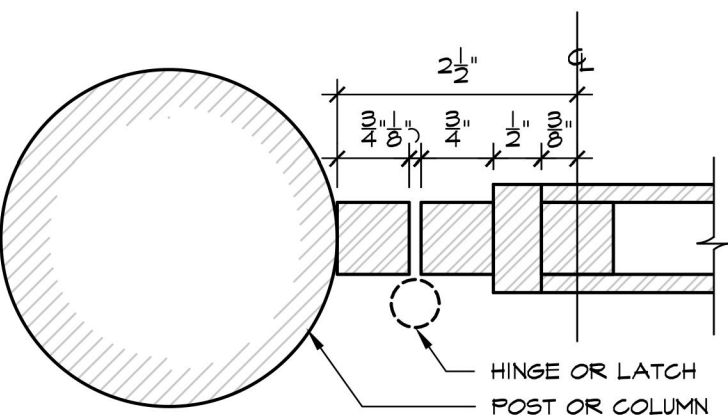
3.1 GATE DETAIL  
SCALE: 3"=1'-0"



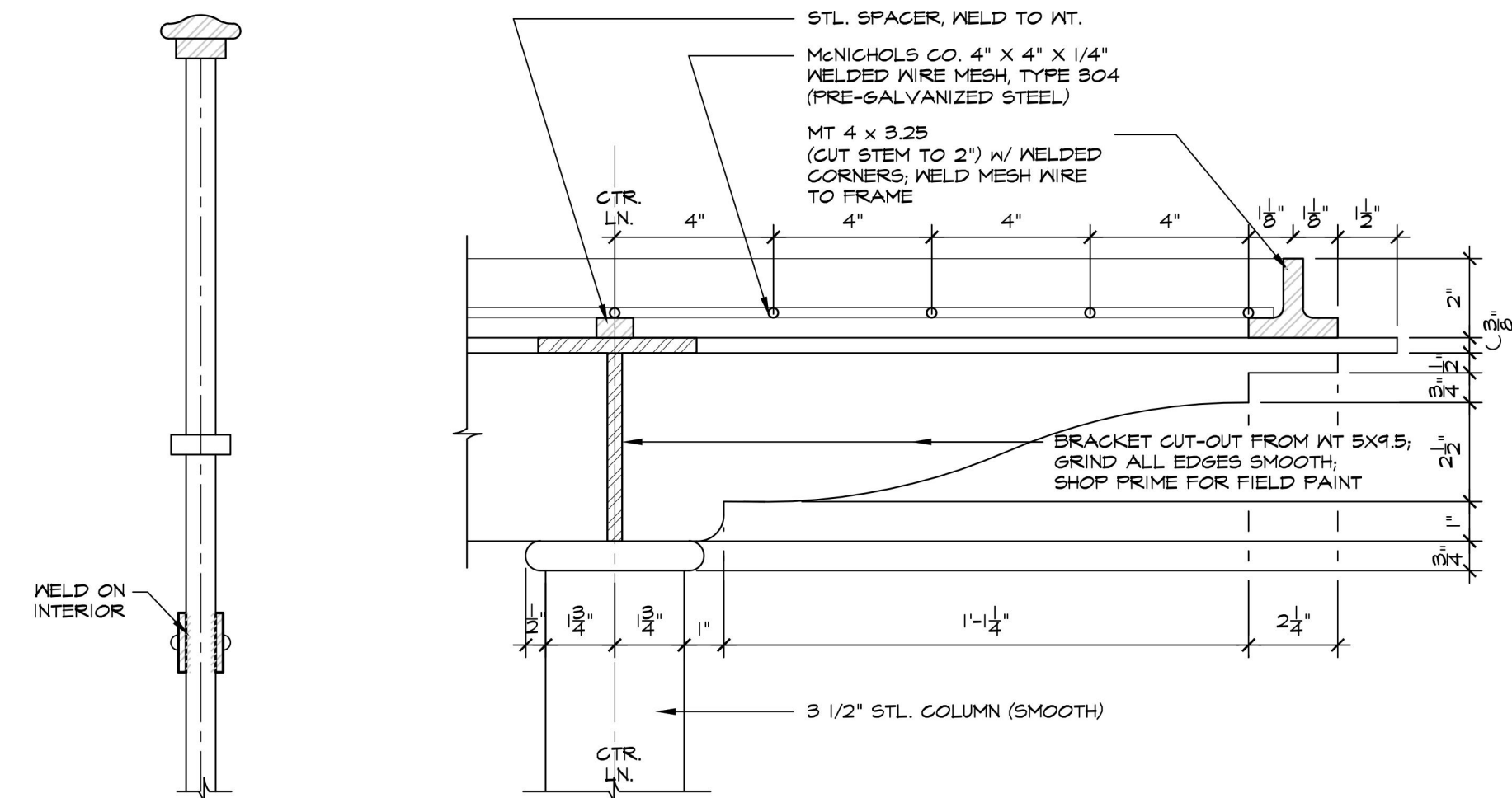
2 CHAIN LINK FENCE - POOL ENCLOSURE  
SCALE: N.T.S.



2.1 ELEVATION - POOL GATE  
SCALE: 1"=1'-0"



A DETAIL  
SCALE: 6"=1'-0"



4 DETAIL - TRELLIS BRACKET  
SCALE: 3"=1'-0"

GENERAL NOTES:

1. S/C SHALL PROVIDE SHOP DRAWINGS FOR ARCHITECTS APPROVAL PRIOR TO FABRICATION. DETAILED DRAWINGS SHALL SHOW ALL COMPONENTS OF UNITS, TO BE FABRICATED OFF-SITE. MIN. SCALE: 1/16" = 1'-0". ALL COMPONENTS SHALL BE SHOP-FINISHED AS SPECIFIED. ANY DISCREPANCY WHICH ALTERS DESIGN MUST HAVE ARCHITECT APPROVAL.
2. ALL STEEL COMPONENTS SHALL BE SHOP-PRIMED (BLACK). ALL WELDED JOINTS SHALL BE GRIND SMOOTH AND ALL COMPONENTS SHALL BE READY FOR FINISH FIELD PAINT.
3. ALL STEEL COMPONENTS THAT ARE BELOW FINISH GRADE SHALL BE COATED WITH RUBBER COATING.

POOL & SPA, FENCE AND GATE NOTES:

1. THE PROPOSED FENCING AND GATES SHALL CONSTRUCTED AND INSTALLED TO COMPLY WITH SECTION AS1025 THROUGH AS1025 FOR POOL BARRIER REQUIREMENTS LOCATED IN APPENDIX 5 OF THE NEW YORK STATE RESIDENTIAL BUILDING CODE AND CHAPTER 9, SECTION 903.3 OF THE NEW YORK STATE. ALL COMPONENTS MUST COMPLY WITH CHAPTER 42: SWIMMING POOLS.
2. ALL ACCESS GATES MUST BE LOCKABLE WITH A KEY COMBINATION, OR OTHER CHILD-PROOF LOCK WHEN THE SWIMMING POOL IS NOT IN USE OR SUPERVISED.
3. PEDESTRIAN ACCESS GATES MUST OPEN OUTWARD AWAY FROM THE POOL, AND BE SELF-CLOSING AND SELF-LATCHING.
4. THE BARRIER MUST BE AT LEAST 60" IN HEIGHT. THE SPACE BETWEEN THE BOTTOM OF THE BARRIER AND THE GROUND CANNOT EXCEED 2 INCHES. ANY OPENINGS IN THE BARRIER MUST BE NO LARGER THAN 2" IN ANY DIMENSION.
5. THE RELEASE MECHANISM OF THE SELF-LATCHING DEVICE SHALL BE LOCATED 54" OR MORE FROM THE BOTTOM OF THE GATE.
6. ALL STEEL GATE ASSEMBLIES REQUIRE SHOP DRAWINGS FOR APPROVAL.
7. ALL METAL FENCING AND GATES SHALL BE TREATED WITH TWO (2) COATS OF RUST-INHIBITING PRIMER AND WITH TWO (2) COATS OF FINISH PAINT AS APPROVED BY ARCHITECT (COLOR TBD).
8. PROVIDE FULL HEIGHT MOCK-UP 24" MIN. WIDTH OF METAL GATE OR FENCE PANEL THAT INCLUDES ALL COMPONENTS FOR ARCHITECTS APPROVAL. ARCHITECT MAY REQUEST MINOR DESIGN CHANGES TO RAILING DESIGN BASED ON MOCK-UP WHICH SHALL BE INCORPORATED INTO THE FINAL PRODUCT. ALL MOCK-UPS SHALL BE FINISHED WITH FINISH PAINT. CONSULT WITH ARCHITECT PRIOR TO FABRICATION.
9. THE LOCATION OF THE FENCE, GATE, AND POSTS SHALL BE STAKED OUT IN FIELD PRIOR TO FABRICATION AND MUST BE APPROVED BY THE ARCHITECT.

|          |                                     |
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19 South Matthiessen Park  
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Architect  
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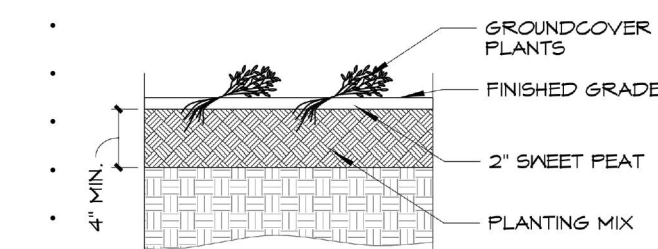
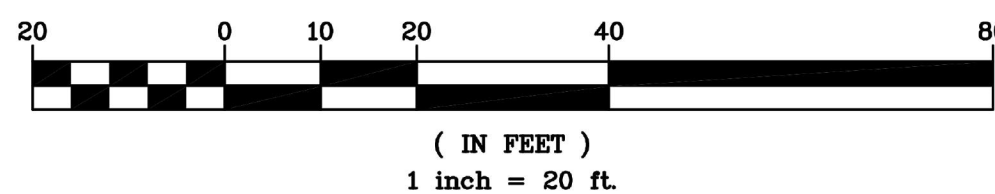
Drawing Title  
**PROPOSED SITE DETAILS - POOL GATE AND DECORATIVE FENCE**

| Scale    | Job no.    | Issue Date  | Drawing no. |
|----------|------------|-------------|-------------|
| AS NOTED | 1806       | 03-22-23    | L-3.2       |
| Drawn By | Checked By | Approved By |             |
| MM       | -          | -           |             |



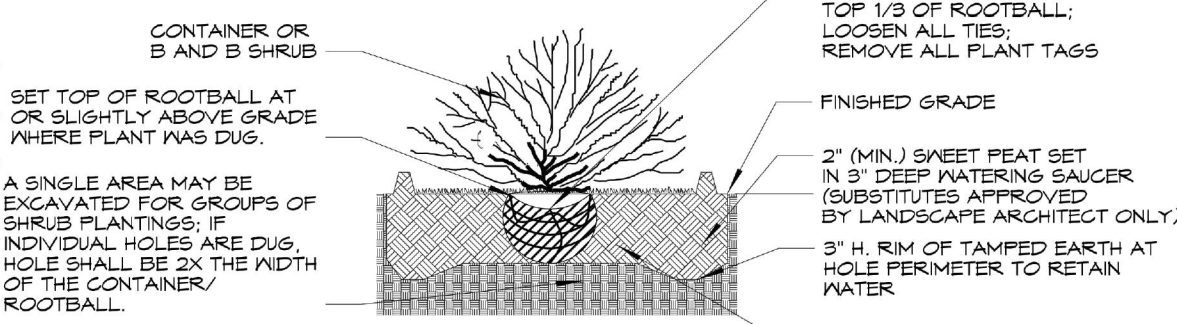
 EXISTING TREE, w/ APPROXIMATE ROOT RANGE  
 PROPOSED TREES  
 PROPOSED SHRUBS 6'-0" HIGH (ICB)  
 PROPOSED SHRUBS 2'-6" HIGH (IC4)  
 PROPERTY LINE

GRAPHIC SCALE

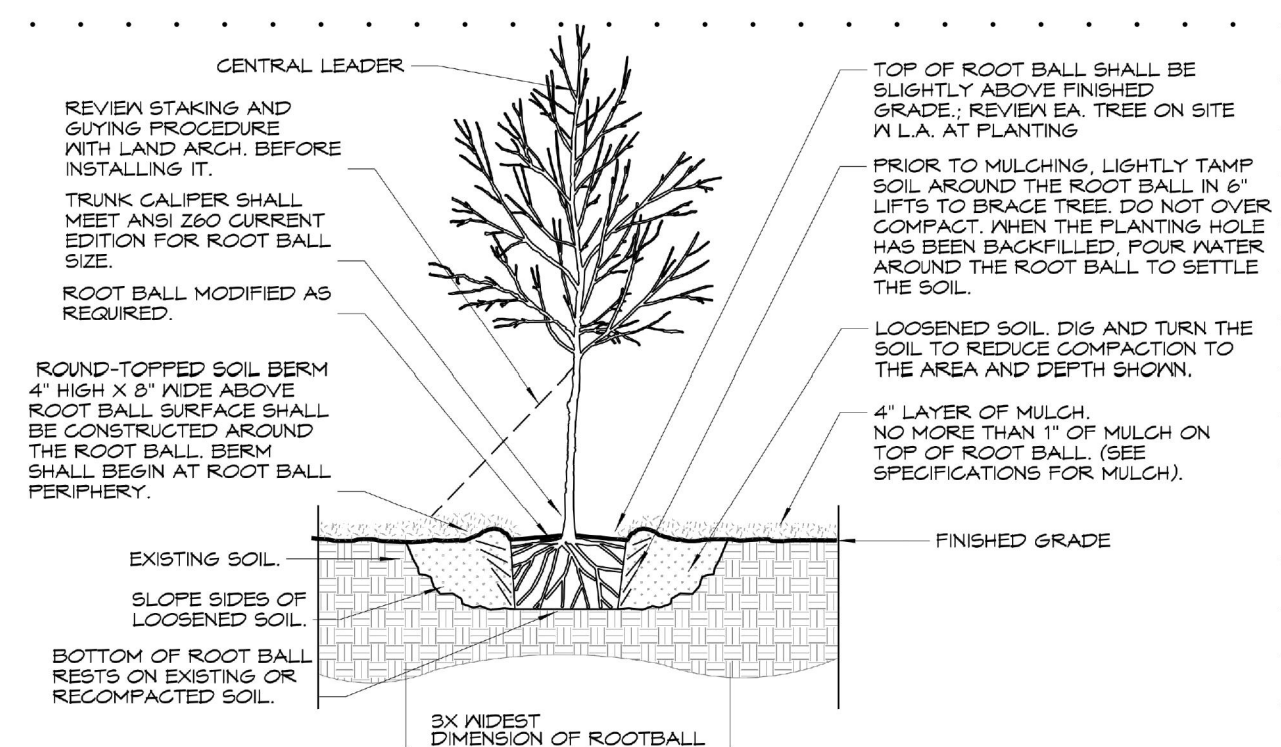


- NOTES:
  1. FOR ALL CONTAINER GROWN PLANTS, REMOVE FROM CONTAINER JUST PRIOR TO PLANTING. MAKE VERTICAL INCISIONS ALONG THE SURFACE OF THE ROOTBALL WITH SHARP INSTRUMENT. CUT THROUGH CIRCULAR ROOTS AND GENTLY COMB OUT ROOTS.
  2. DO NOT ADD FERTILIZER TO PLANTINGS

SCALE: NTS



SCALE: NTS



## SCALE: NTS

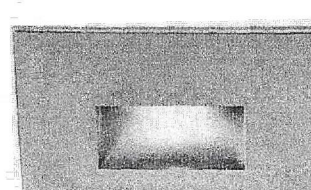
SCALE: 1"=20'-0"

NOTE: ALL LIGHTING IS COMPLIANT w/ SECTION 224-72 C(4) OF THE VILLAGE CODE

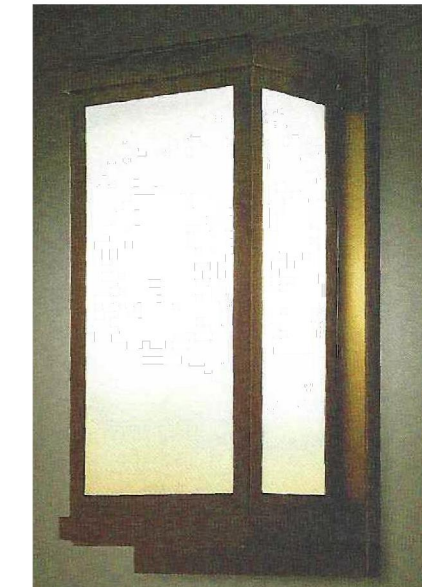
NOTE: REFER TO L-1.1 & L-1.2 FOR PROPOSED GRADING AND LAYOUT INFORMATION

LIGHTING CUTS:

LTI RECESSED STEP LIGHT  
MFG - MAC LIGHTING WL-LED100  
LAMP - 3000K CCT SAMSUNG  
HV-AC HIGHPOWER LED, CRI:90  
MOUNT - FITS INTO 2" x 4" J-BOX  
FINISH - BLACK

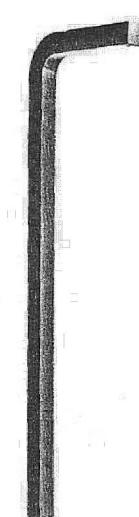


LT4 WALL-MOUNTED SCONCE  
MFG - RESTORATION  
HARDWARE BRAXTON  
LAMP - TUBE LED (40w)  
FINISH - WEATHERED ZINC

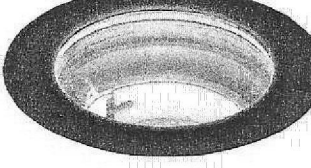


L75 WALL-MOUNTED SCONCE  
MFG - MODERN FORMS  
LAMP - 15 WATT LED, 3000K  
90 CRI  
FINISH - BLACK

LT2 PATH LIGHT  
MFG - WAL LIGHTING, SINGLE LED  
PATH LIGHT #6061  
LAMP - 3000K PURE WHITE  
MOUNTING - GUARDIAN MOUNT  
#9000-SP9-BZ  
FINISH - BLACK



LT3 TREE UP-LIGHT  
MFG - WAC 3" INGROUND 12V  
#5031  
LAMP - 3000K PURE WHITE  
MOUNTING - N/A  
FINISH - BRONZE ON ALUMINUM



### List of Proposed Trees

| Qty. | Sym. | Botanical Name    | Common Name       | Size                |
|------|------|-------------------|-------------------|---------------------|
| 0    | AR1  | Acer rubrum       | Red Maple         | 5" caliper          |
| 3    | AR   | Acer rubrum       | Red Maple         | 2 1/2" - 3" caliper |
| 1    | CC   | Cercis canadensis | Clump Red Bud     | 6' - 7' ht.         |
| 19   | CF1  | Cornus florida    | Flowering Dogwood | 3" caliper          |
| 9    | CF2  | Cornus florida    | Flowering Dogwood | 2" caliper          |
| 13   | PP   | Picea orientalis  | Oriental Spruce   | 7'-8' ht.           |

### List of Proposed Shrubs

| Qty. | Sym. | Botanical Name                     | Common Name                      | Size        |
|------|------|------------------------------------|----------------------------------|-------------|
| 26   | BS   | Buxus sempreniens                  | Boxwood                          | 24"-30" ht. |
| 14   | CA   | Clethra alnifolia 'Hummingbird'    | Hummingbird Sweet Pepper Bush    | 3 gallon    |
| 20   | LF   | Leucothoe x Rainbow                | Rainbow Leucothoe                | 3 gallon    |
| 5    | HM   | Hydrangea macrophylla 'Nikko Blue' | Nikko Blue Hydrangea             | 5 gallon    |
| 158  | IC5  | Ilex crenata                       | Japanese Holly                   | 60" ht.     |
| 114  | IC4  | Ilex crenata                       | Japanese Holly                   | 54" ht.     |
| 38   | IC3  | Ilex crenata                       | Japanese Holly                   | 42" ht.     |
| 19   | IT   | Itea virginica 'Henry Garnet'      | Henry Garnet Sweetspirer         | 3 gallon    |
| 8    | RP   | Rhododendron x 'PJM'               | PJM Rhododendron                 | 5 gallon    |
| 18   | RH   | Rose x knochoot                    | Knochoot Rose                    | 3 gallon    |
| 6    | SK   | Syringa x hybrid                   | Miss Kim Lilac                   | 7 gallon    |
| 6    | WF   | Wiegela florida variegata          | Variegated Old Fashioned Weigela | 5 gallon    |

### List of Proposed Perennials

| Qty. | Sym. | Botanical Name         | Common Name                       | Size     |
|------|------|------------------------|-----------------------------------|----------|
| 282  | AH   | Astilbe x hybrid       | Astilbe                           | 1 gallon |
| 175  | EC   | Echinacea x Pow Wow    | Pink Coneflower                   | 1 gallon |
| 60   | HH   | Heemerocallis x hybrid | Happy Returns Daylily             | 1 gallon |
| 52   | IS   | Iris siberica          | Iris                              | 1 gallon |
| 110  | LV   | Liriope x variegata    | Variaged Lily Turf                | 1 gallon |
| 99   | PER  | Perovoskia x hybrid    | Lacey Blue Russian Sage           | 1 gallon |
| 48   | PH   | Phlox x hybrid         | Nicky Flowering Phlox             | 1 gallon |
| 15   | RU   | Rubbeckia x hybrid     | Little Gold Star Black Eyed Susan | 1 gallon |

|          |                                     |
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Stamp



Drawing Title

PROPOSED LANDSCAPE AND OUTDOOR LIGHTING PLAN

|          |            |             |             |
|----------|------------|-------------|-------------|
| Scale    | Job no.    | Issue Date  | Drawing no. |
| AS NOTED | 1806       | 03.22.2023  | L-4         |
| Drawn By | Checked By | Approved By |             |
| MM       | -          | -           |             |

L-4.0