

**LETTER OF TRANSMITTAL**

**To:** Building Department - Irvington, NY

**Date:** July 3, 2023

**Project:** Modifications to 3 Woodbine Road - Application No. 807

The following materials are enclosed / attached **By Hand**

Quant.	Description	Date	Item No.	Notes
1	Transmittal	07/03/23		1 Page
3	Cover Letter	06/30/23		1 Page
3	Permit Application	05/31/23		1 Page
3	Affidavit of Applicant	06/20/23		1 Page. Signed and Notorized
3	Architectural drawings	6.30.23		Signed and sealed. 11 pages per set
3	Survey	05/27/21		1Page
3	Cut sheet: Marvin Essential Window	N/A		4 Pages each
3	Cut sheet: Velux FCM Skylight (2pgs)	N/A		2 Pages each
1	Application Fee Check	06/20/23	326	\$85.00
1	Permit Fee Check	06/20/23	329	\$3400.00
1	Inspection Fees Check	06/20/23	238	\$150.00
1	USB drive	N/A		

The materials listed above are submitted in application for ARB review at the meeting scheduled for July 24, 2023.

Please do not hesitate to contact us with any questions or concerns:

[mlewis@mlarchitect.com](mailto:mlewis@mlarchitect.com) (914) 224-4745

Cc: Alex and Elizabeth Reynolds - Owner

**To:** Architectural Review Board  
Building Department  
Village of Irvington, NY

**Date:** June 30, 2023

**Re:** Modifications to 3 Woodbine Road - Application No. 807

Dear Architectural Review Board,

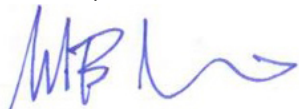
On behalf of our clients, Alexander and Elizabeth Reynolds – we are submitting this application for interior renovations and new windows at 3 Woodbine Place.

As shown on the drawings, the work is primarily interior with the 1<sup>st</sup> floor Kitchen renovated, Living Room interior ceiling raised, minor reconfiguration of walls, renovated existing Bath, and insulation in walls and ceilings at the lower level, and new windows in existing openings throughout.

Exterior work – No sitework or change to the building footprint is proposed. Proposed work at the exterior is limited to replacement of windows and addition of a skylight above the central stair. Most of the windows are being replaced within the existing openings with the exception to this occurring at the lower level rear façade where some of the existing openings have been enlarged. Proposed trim at all windows is existing to remain or replaced to match the existing in configuration and finish.

Thank you in advance for your time and attention to the project.

Sincerely Yours,



Michael B. Lewis  
AIA, LEED AP

# APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10936

Application Number:	807	Date:
Job Location:	3 WOODBINE RD	Parcel ID:
Property Owner:	Alexander Reynolds, Elizabeth Reynolds	Property Class:
Occupancy:	One/ Two Family	Zoning:
Common Name:	3 Woodbine Road	

Applicant	Contractor
Michael Lewis	
Michael Lewis Architects	
145 Palisade Street, Suite 307Dobbs Ferry NY 10522	
914 231 7700	

## Description of Work

Type of Work:	Interior Renovation/ Repair	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	200000.00	Property Class:	1 FA

## Description of Work

**Renovation of existing residence, mainly interior. New Kitchen to replace existing location, downstairs new Bath to replace existing Bath in same location, minor work. New windows in existing openings. Upgraded HVAC system.**

**Please Note:** Completing the application does not constitute a permit to commence construction. Your permit follow the instructions on the instruction page provided on page 3.

Job Location: 3 WOODBINE RD

Parcel Id: 2.80-39-1

### AFFIDAVIT OF APPLICANT

I **Michael Lewis** being duly sworn, depose and says: That s/he does business as: **Michael Lewis Architects** with offices at: **145 Palisade Street, Suite 307 Dobbs Ferry NY 10522** and that s/he is:

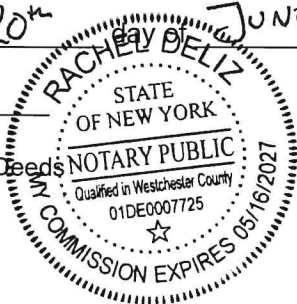
- ☐ The owner of the property described herein.
- ☐ The \_\_\_\_\_ of the New York Corporation \_\_\_\_\_ with offices at: \_\_\_\_\_ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of \_\_\_\_\_ with offices \_\_\_\_\_ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☒ The **Architect** of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this 20<sup>th</sup> day of JUNE of 2023



Notary Public / Commission of Deeds





Applicant's Signature

### OWNER'S AUTHORIZATION

I **Alexander Reynolds, Elizabeth Reynolds** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

[ms.elizabeth.reynolds@gmail.com](mailto:ms.elizabeth.reynolds@gmail.com)

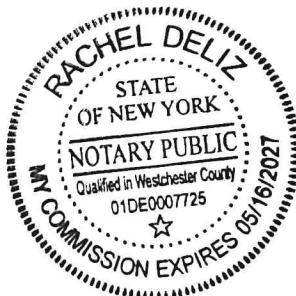
Owner phone number 845-705-0222 Owner email address \_\_\_\_\_

- ☐ **Alex and Elizabeth Reynolds** I hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 20<sup>th</sup> day of JUNE of 2023



Notary Public / Commission of Deeds





Applicant's Signature



# Modifications to 3 WOODBINE ROAD

## IRVINGTON, NY 10533

### GENERAL REQUIREMENTS

1. Related Documents: Drawings, Specifications and General Conditions of the Contract for Construction apply to Work of this Project.
2. Scope of Work: Includes all items described in Drawings & Specifications, verbally & graphically, with more stringent and /or costly items assumed in all cases of discrepancy.
3. All new construction shall adhere to the 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State. Notify Architect of any inadvertent noncompliance with Codes regarding information contained in Drawings and Specifications, with no Work to be performed knowingly in noncompliance with Code.
4. The General Contractor (G.C.) shall coordinate all work procedures w/ requirements of Local Authorities. Prior to commencement of Construction, the G.C. shall be responsible for the acquisition of a Building Permit and pay all fees required by Governing Agencies. The G.C. shall be responsible for calling for Inspections and Sign-offs of all Work, including Plumbing & Electrical, as required by Governing Agencies.
5. The G.C., Subcontractors, and all others working for Owner shall comply with National, State, and Local Laws and Regulations relating to insurance for work under this Contract. The following insurance policies shall be in force and copies shall be submitted to Architect prior to signing Agreement Between Owner and Contractor: Workman's Compensation & Unemployment Insurance as required by law, Contractor's Liability Coverage in the amount required by applicable Governing Agencies, & Liability Coverage for damages & uninstalled materials. The G.C. shall submit to the Owners, Insurance Certificates naming Owner as Additional Insured. All insurance shall be at Contractor's expense.
6. All Terms & Conditions laid out in the A.I.A. Standard Form Of General Conditions shall apply to the G.C. & to all of his Sub-Contractors.
7. The G.C. & Subcontractors shall attend regular job meetings as required by the Architect.

### DIVISION 01: PROJECT REQUIREMENTS

1. The G.C. shall verify all Dimensions & Conditions in the field prior to Construction. Any discrepancies are to be brought to the attention of the Architect prior to work. The G.C. shall be responsible for Field Fit & Quality of all Work, whether by the G.C. or by Subcontractors. No allowances shall be made on behalf of the G.C. for any error or neglect on his part. Under no circumstances are the Drawings to be scaled for location of Work. G.C. shall verify all clearances & locations prior to installation including requirements for appliances, fixtures, or equipment.
2. Retain licensed Surveyor to mark site before beginning construction and to verify location of foundation and slab-on-grade formwork before pouring concrete. Verify that all work conforms to zoning requirements including all setbacks and yard requirements.
3. The G.C. shall be responsible for the protection of all new & existing Work, Owner's Property, Building, and its Premises from damage & dirt or dust.
4. Plumbing & Electrical Work shall be performed by Contractors licensed in their trade. G.C. shall be licensed to perform the Work as required.
5. The G.C. shall maintain at the Site one Record Copy of all Drawings, Clarification Sketches, Approved Shop Drawings, Approved Samples, and Change Orders continuously updated to record all changes during Construction. G.C. shall fully correct, at no additional expense, all Work wrongly constructed or materials wrongly ordered from obsolete Drawings.
6. Details not usually shown or specified, but necessary for proper construction on any part of the work shall be included as if they were indicated in the Drawings.
7. Architectural Drawings shall be Followed as closely as actual Field Conditions & the work of other trades permit. Any piping, wiring, or materials not specifically shown or specified but required to complete Work shall be deemed to be part of Work & shall be furnished & installed by the G.C.
8. G.C. shall prepare schedule for completion of Work prior to commencement and submit to Architect for approval. Contractor shall follow approved schedule and immediately notify Architect of any deviations from the approved schedule.
9. The G.C. must submit all Engineering & Shop Drawings (including Millwork) & cut sheets of all equipment, plumbing & electrical fixtures, hardware & accessories to the Architect for approval prior to Fabrication, Ordering and /or Construction. Shop Drawings shall be revised per Architect's instruction if required prior to approval.
10. The G.C. shall supervise & be solely responsible for all aspects of the Work, including Site Safety, maintenance of exit clearances & fire extinguishers as required by Code. The G.C. shall have sole responsibility for any damage or injuries caused by or during the execution of the Work.
11. The G.C. shall be responsible for demolition & safe removal from the Site of all materials that must be removed to enable completion of Work and occupation of the Premises. All removed materials shall be disposed of regularly in a legal manner.
12. All piping & wiring to be demolished shall be removed to a point of concealment & shall be properly capped or plugged.
13. The G.C. shall do all cutting, patching & repairing as required to perform all Work required to complete the Job. All patching where new construction occurs shall match existing adjacent or as indicated on the Drawings.
14. All new construction shall be laid-out in field for Architect's approval prior to starting construction.
15. No changes to approved layouts shall be made without Written Consent Of The Architect.
16. When "Approved Equal", "Equal To", "Similar" or other general qualifying terms are used, it shall be subject to final review by the Architect. There shall be no substitutions unless agreed upon in writing by the Architect.
17. The G.C. shall verify all equipment dimensions, locations & hook-ups with Manufacturer's Specifications whether the G.C. or Others supply the equipment.
18. All items noted "Furnished By Owner" shall be installed by the G.C. under this Contract as per Manufacturers' Specifications & industry standards. Wall reinforcement & all other requirements required to incorporate Owner furnished items shall be provided & coordinated by the G.C.
19. G.C. shall employ experienced workers or professional cleaners for final cleaning prior to request of inspection for Certificate of Substantial Completion.

### NYS CODE COMPLIANCE

1. This design is in compliance with requirements of 2020 Residential Code of New York State and the 2020 Energy Conservation Code of New York State.
2. Contractor shall perform all work in accordance with applicable codes as listed in the 2020 NYS Code Books.

### 2020 RESIDENTIAL CODE OF NYS ENERGY EFFICIENCY NOTES

WESTCHESTER NY: CLIMATE ZONE 4A

[NY] TABLE N1102.1.2 (R402.1.2) INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT*										
CLIMATE ZONE	FENESTRATION U-FACTOR*	SKYLIGHT* U-FACTOR	GLAZED FENESTRATION SHGC <sup>1</sup>	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT* WALL R-VALUE	SLAB* R-VALUE & DEPTH	CRAWL SPACE* WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13 + 5"	8/13	19	5/13'	0	5/13
4 except Marine	0.32	0.55	0.40	49	20 or 13 + 5"	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13 + 5"	13/17	30"	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20 + 5" or 13 + 10"	15/20	30"	15/19	10, 4 ft	15/19
7 and 8	0.30	0.55	NR	49	20 + 5" or 13 + 10"	19/21	38"	15/19	10, 4 ft	15/19

For SI: 1 foot = 304.8 mm.

NR = Not Required.

- a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R-value of the insulation shall be not less than the R-value specified in the table.
- b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration.
- c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation on the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home.
- d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge insulation for heated slabs shall not be required to extend below the slab.
- e. Reserved.
- f. Reserved.
- g. Alternatively, insulation sufficient to fill the framing cavity providing not less than an R-value of R-19.
- h. The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "13+5" means R-13 cavity insulation plus R-5 continuous insulation.
- i. Mass walls shall be in accordance with Section N1102.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.



1 FRONT YARD - APPROACH  
Scale: none

### GENERAL CONDITIONS

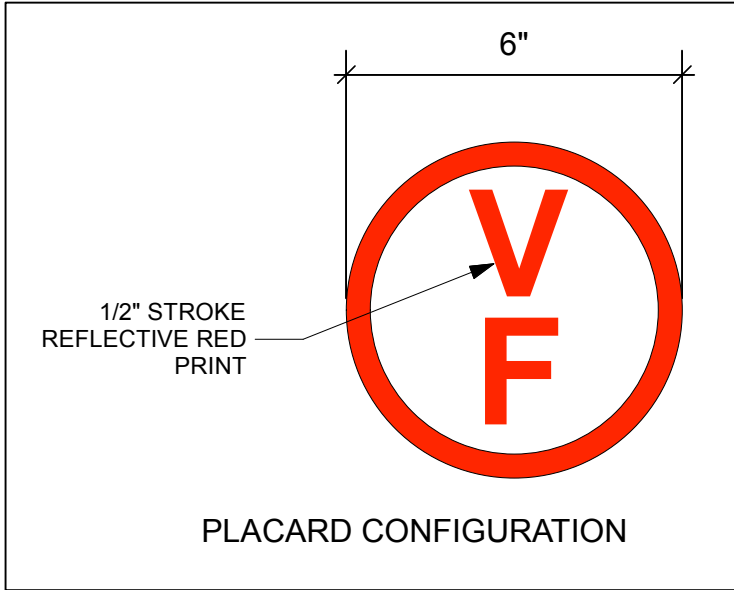
1. APPROVED STAMPED SET OF BUILDING PLANS MUST BE PRESENT ON SITE AT ALL TIMES.
2. LICENSED ELECTRICIAN TO FILE ELECTRICAL PERMIT

### HIGH WIND CONNECTIONS

PROVIDE STRAPPING AS REQUIRED TO RESIST HIGH WIND AND UPLIFT FORCES TO BE IN COMPLIANCE WITH TABLE R802.11 OF THE NY STATE RESIDENTIAL CODE. USE TENSION TIES EQUAL TO SIMPSON MODEL # 112 OR AS INDICATED AT ALL POST-PLATE-RAFTER CONNECTIONS.

### PRE-ENGINEERED WOOD PLACARDING

CONTRACTOR SHALL PROVIDE PLACARD AS REQUIRED BY CODE, 6" DIA. CIRCLE WITH RED REFLECTIVE PRINT ON WHITE BACKGROUND, INDICATING THAT PRE-ENGINEERED WOOD HAS BEEN USED IN CONSTRUCTION. PLACARD SHALL BE PLACED AT EXTERIOR ON OR NEAR ELECTRIC METER IN PLAIN VIEW AND INDICATE THAT PRE-ENGINEERED WOOD HAS BEEN USED FOR ROOF AND FLOOR SUPPORT IN THE BUILDING OF TYPE-V CONSTRUCTION.



### CLIMATE AND GEOGRAPHIC DESIGN CRITERIA

2020 INTERNATIONAL RESIDENTIAL CODE													
CHAPTER 3 - BUILDING PLANNING													
SECTION R301 DESIGN CRITERIA													
WESTCHESTER, NY: CLIMATE ZONE 4													
TABLE R301.2(1) CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA													
GROUND SNOW LOAD	WIND SPEED (MPH)	TOPOGRAPHIC EFFECTS	SPECIAL WIND REGION	WIND-BORNE DEBRIS ZONE	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			WINTER DESIGN TEMP	ICE BARRIER UNDERLAYMENT REQUIRED	FLOOD HAZARDS	AIR FREEZING INDEX	MEAN ANNUAL TEMP
30 PSF	115-120	NO	YES	NO	C	SEVERE	FROST DEPTH	TERMITE	15°F	YES	NO	2000	51.6°F

### DRAWING INDEX

NO.	SHEET	ISSUE DATE	REV. DATE
T-000.00	Title Sheet & Notes	6/30/23	
A-001.00	Existing Site Plan	6/30/23	
A-101.00	Lower Level Plans Exstg + Proposed	6/30/23	
A-102.00	1st Floor Plans - Exstg + Proposed	6/30/23	
A-103.00	Kitchen Detail Plan + Elevation-Sections	6/30/23	
A-104.00	Living Room Ceiling Plan + Section	6/30/23	
A-105.00	Window + Interior Door Schedule	6/30/23	
A-106.00	Electrical, Lighting, Ceiling Plans	6/30/23	
A-107.00	Existing Exterior Elevations	6/30/23	
A-108.00	Proposed Exterior Elevations	6/30/23	
A-109.00	Images of Residence - Existing	6/30/23	

ISSUED FOR: ARB SUBMISSION - 06/30/2023

### STRUCTURAL & LOADING NOTES

**Soil Bearing Capacity:**  
Design bearing capacity of soil shall be 2,000 PSI in accordance with 2020 Residential Code of New York State R401.4.1 for Sand, Silty Sand, Clayey Sand

**Concrete Compressive Strength**  
Shall be Min. 3,000 PSI at exposed exterior walls; shall be Min. 2,500 PSI at basement slabs; and shall be Min. 3,500 PSI at horizontal surfaces exposed to the weather including porches, steps, walks, and garage floor slabs, all to be in compliance with the 2020 Residential Code of New York State

**Required Placard**  
Provide exterior placard as required by code indicating that engineered lumber is used for roof support in a Class V structure. Placard is to be permanently mounted for display as required near electrical meter or as directed in field by Architect.

**High Wind Connections**  
Provide strapping as required to resist high wind and uplift forces to be in compliance with table R802.11 of the Code. Use tension tie equal to Simpson model # HTT22 at all footing-post connections and equal to Simpson model #H2 at all post-plate-rafter connections.

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NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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	<b>ARB SUBMISSION</b>	06/30/23
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Michael Lewis Architects PC

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Dobbs Ferry, NY 10522  
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PROJECT:

3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:

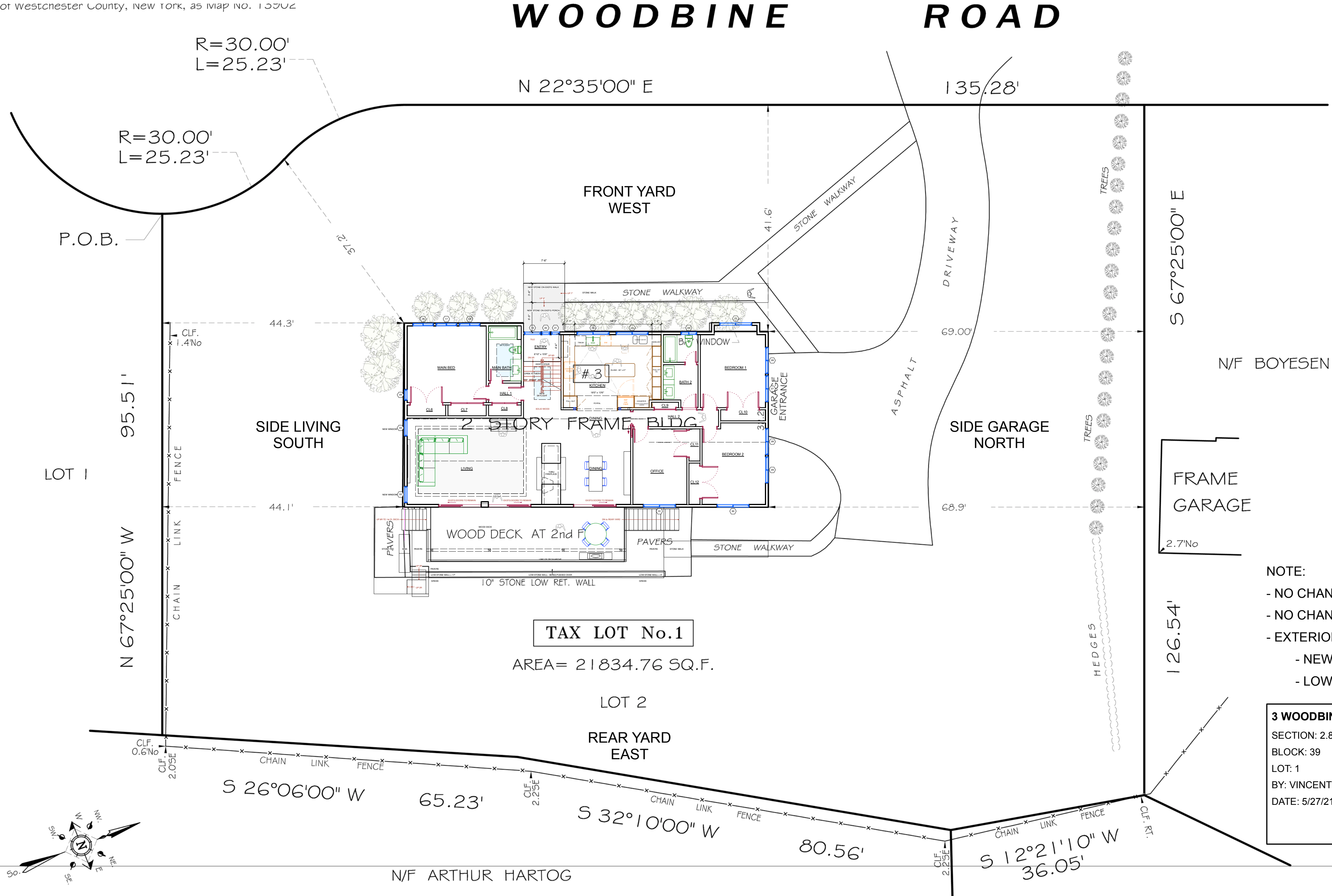
TITLE SHEET & NOTES

FILE NAME:

DRAWN BY:	PG	DRAWING NUMBER
SCALE:	As Noted	T-000.00
DATE:	6/23/23	
PROJECT ID:	2214A	



Office of Westchester County, New York, as Map No. 15502



- NOTE:
- NO CHANGE IN BUILDING FOOTPRINT
  - NO CHANGE IN SITE COVERAGE
  - EXTERIOR WORK
    - NEW WINDOWS IN EXSTG OPENINGS
    - LOW BENCH WALL AT FRONT PORCH

**3 WOODBINE ROAD - IRVINGTON NY, 10533**  
SECTION: 2.80  
BLOCK: 39  
LOT: 1  
BY: VINCENT TEUTONICO - NY STATE LIC. SURVEYOR  
DATE: 5/27/21

1 SITE PLAN  
Scale: 3/32" = 1'-0"

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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	<b>ARB SUBMISSION</b>	06/30/23
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PROJECT:  
3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
EXISTING SITE PLAN

FILE NAME:

DRAWN BY: PG

SCALE: 1/8" = 1'-0"

DATE: 6/23/23

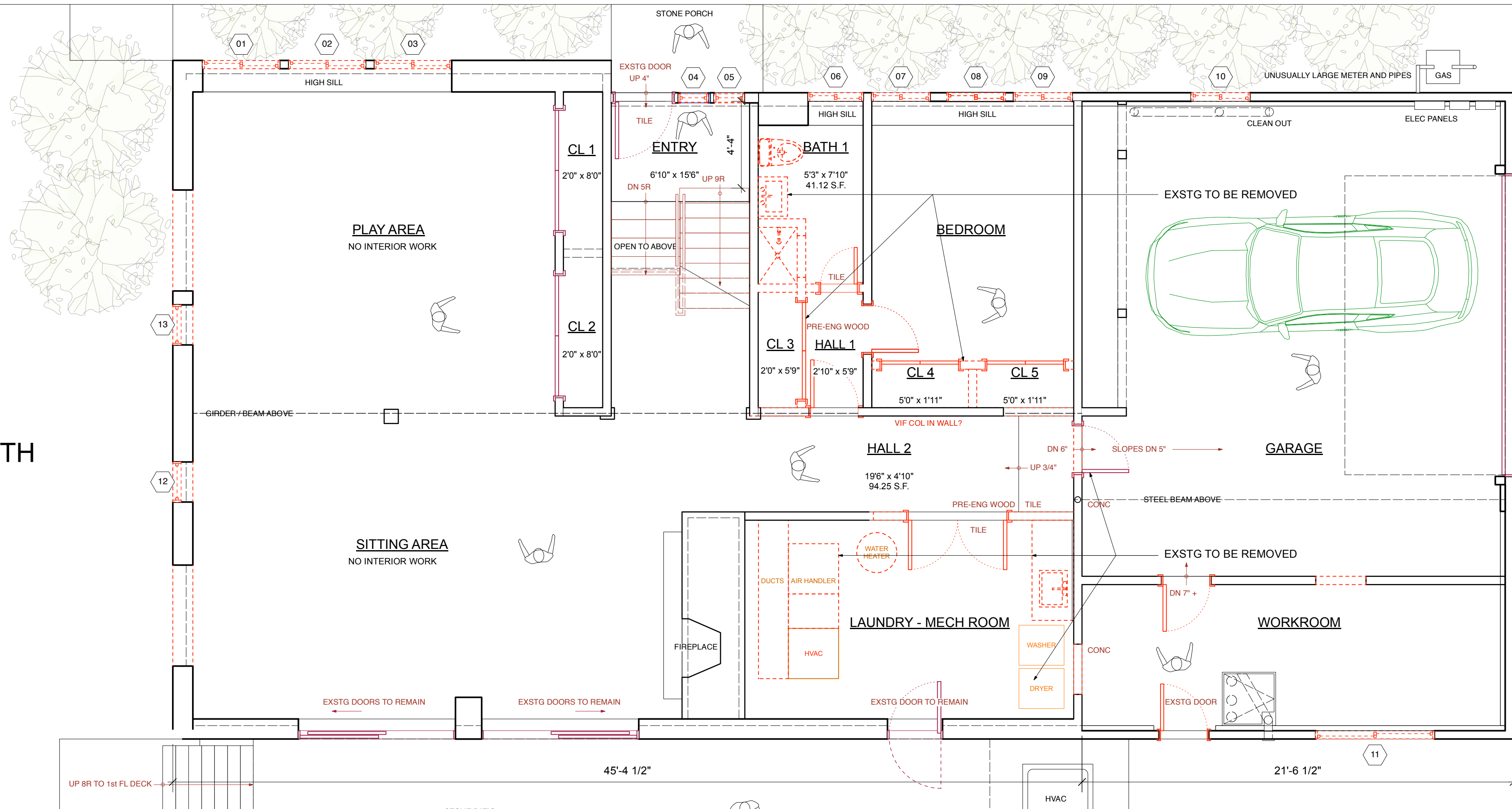
PROJECT ID: 2214A

DRAWING NUMBER

**A-001.00**



SOUTH



## LOWER LEVEL REMOVALS

- 1 - WINDOWS - Remove Existing Windows as noted
- 2 - MECHANICAL - remove existing HVAC equipment
- 3 - FLOOR PLAN CHANGES
  - Remove existing walls as noted to accommodate new design - walls
- 4 - GARAGE - WORK ROOM CEILING - Remove existing gypsum board ceiling
- 5 - BATH - Remove existing Bath - to be replaced with new Bath

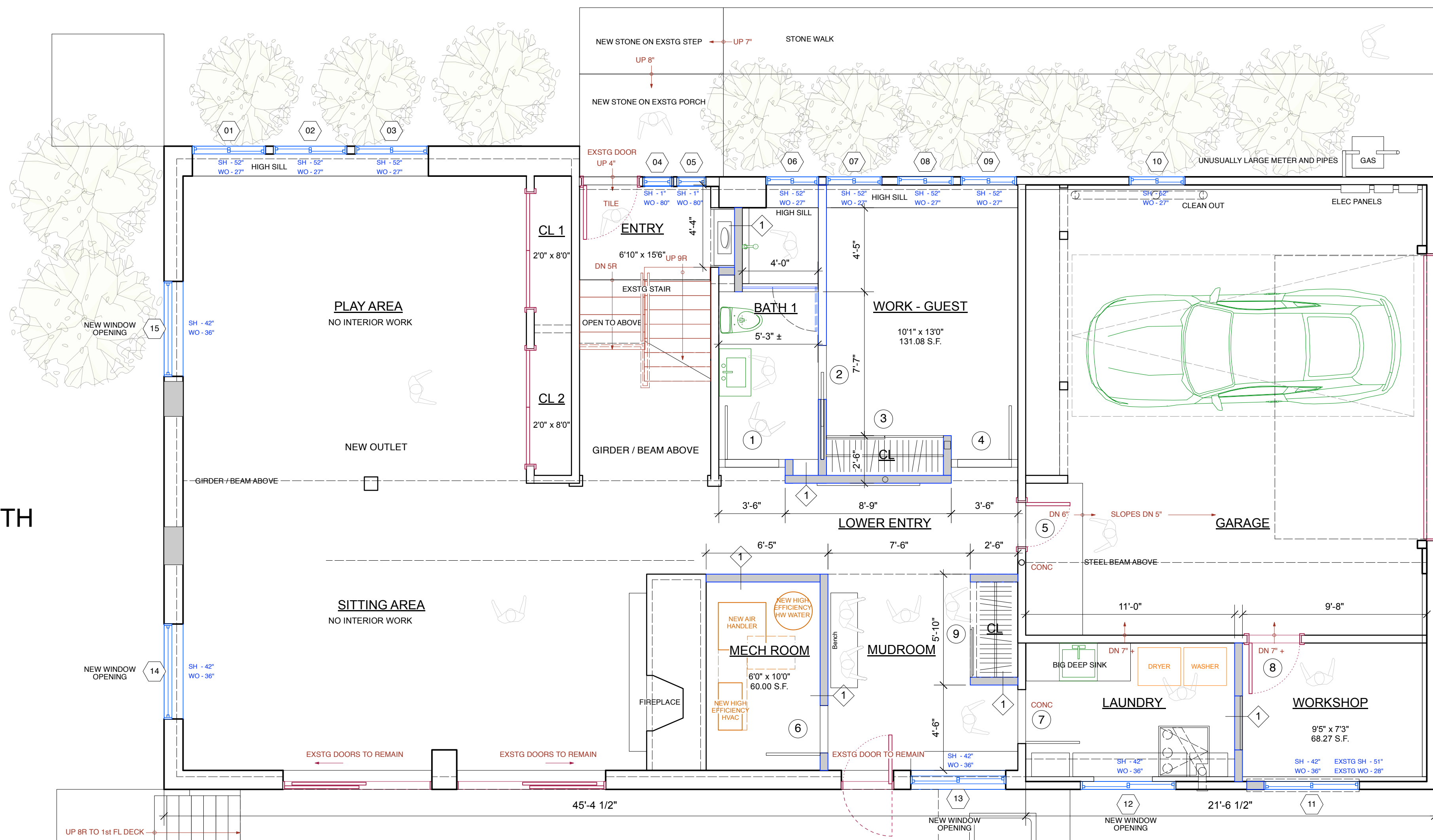
### DEMO PLAN GENERAL NOTES

1. ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.
2. ALL SHOWN DIMENSIONS ARE SUBJECT TO VERIFICATION IN FIELD.
3. CONTRACTOR SHALL ESTABLISH CONSTRUCTION BARRIERS TO PROTECT AREAS OF NO OR LIMITED WORK PRIOR TO COMMENCEMENT OF DEMOLITION.
4. CONTRACTOR SHALL PROVIDE NEAT CUTS & BOUNDARIES AT LIMITS OF DEMOLITION.
5. CONTRACTOR TO PROTECT EXISTING FINISHES TO REMAIN.
6. CONTRACTOR TO PROVIDE REQUIRED SUPPORT AND BRACING PRIOR TO DEMOLITION OF ALL EXISTING WALLS.
7. CONTRACTOR TO SAVE EXISTING DOORS, FIXTURES & APPLIANCES FOR RE-USE AS DIRECTED BY THE OWNER UNLESS OTHERWISE DIRECTED IN THE FIELD BY OWNER OR ARCHITECT.

2 EXISTING LOWER LEVEL REMOVAL PLAN  
Scale: 1/4" = 1'-0"

WEST

SOUTH



### WALL TYPE 1 - NEW INTERIOR PARTITION

NEW INTERIOR WOOD FRAMED WALL - 2 x 4, SOME WALLS ARE 2 x 6 FOR PLUMBING, STRUCTURE

## LOWER LEVEL SCOPE of WORK

- 1 - WINDOWS - Replace existing windows - See Schedules Sheet A 105
- 2 - NEW HVAC - Replace existing HVAC equipment with smaller, more efficient system(s)
- 3 - FLOOR PLAN CHANGES
  - New walls and doors as noted
- 4 - GARAGE - WORK ROOM - NEW LAUNDRY CEILING - Insulate, new gypsum board, taped and painted
- 5 - NEW BATH - New Bath to replace existing
- 6 - INSULATION - All Walls, Garage ceiling
- 7 - INTERIOR DOORS - See Schedules Sheet A 105

1 PROPOSED LOWER LEVEL PLAN  
Scale: 1/4" = 1'-0"

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### CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
- WINDOW ID
- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO. REVISIONS DATE

NO. ISSUE DATE

ARB SUBMISSION

06/30/23



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PROJECT:

3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
LOWER LEVEL PLANS

FILE NAME:

DRAWN BY: PG

DRAWING NUMBER

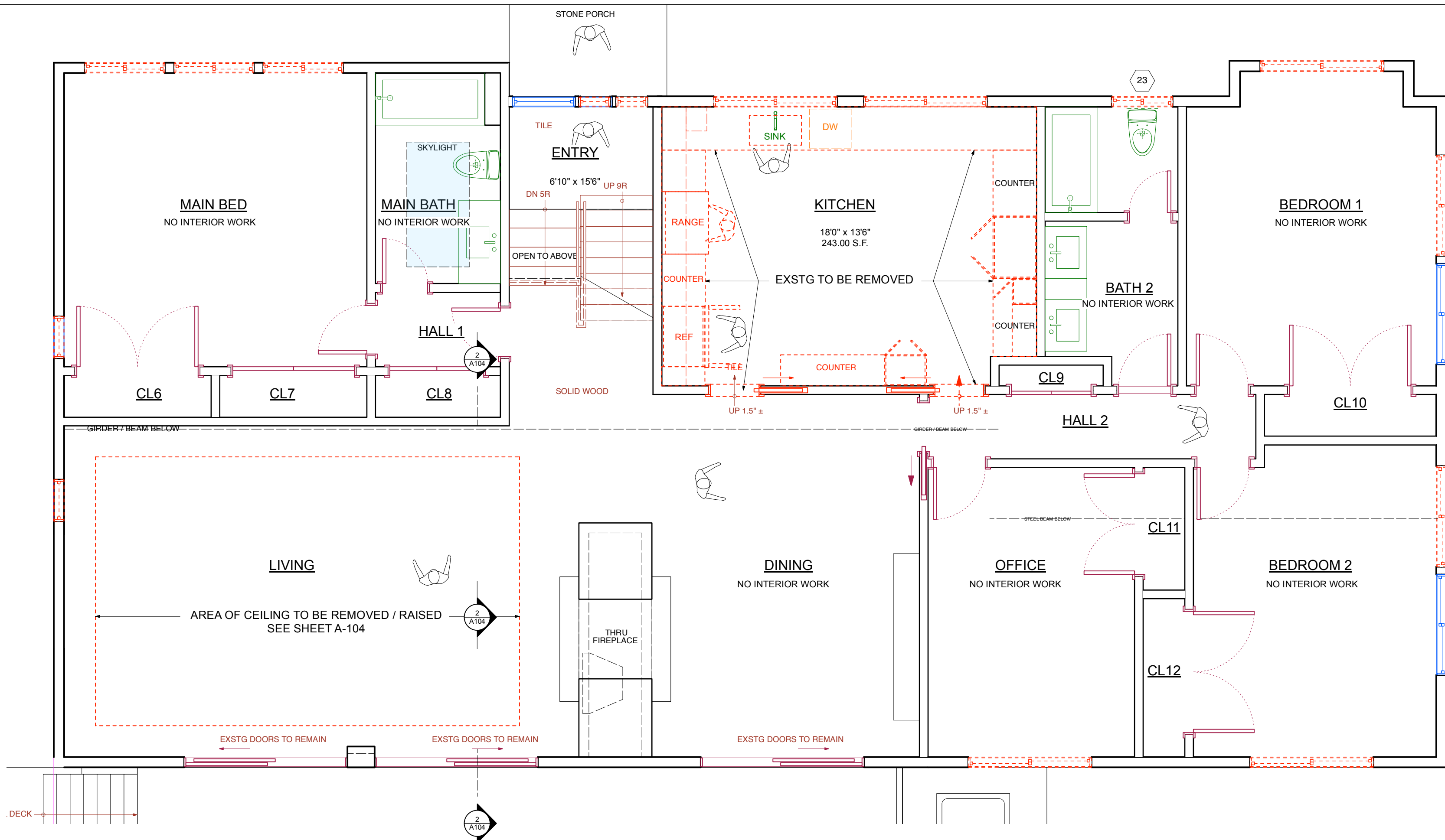
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DATE: 6/23/23

PROJECT ID: 2214A

A-101.00





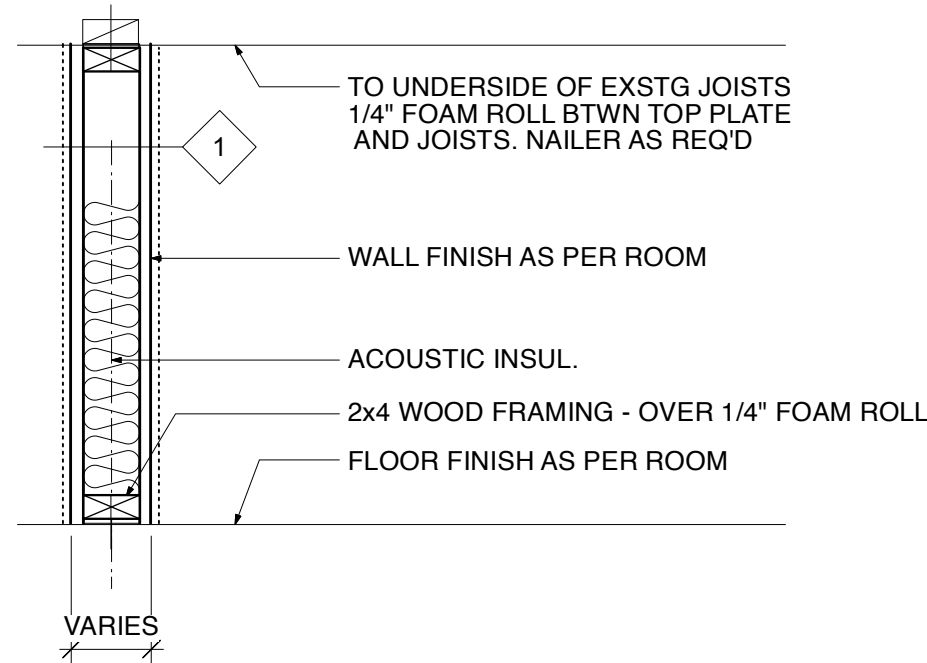
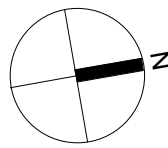
1ST FLOOR REMOVALS

- 1 - WINDOWS - Remove Existing Windows as noted
- 2 - MECHANICAL - remove existing HVAC equipment
- 3 - FLOOR PLAN CHANGES
  - Remove existing walls as noted to accommodate new design - limited to Kitchen area
- 4 - GLIVING CEILING - Remove portion for new recessed clg
- 5 - KITCHEN - Remove exstg kitchen, cabinets, Exstg appliances - fixtures - TBD to re-use

DEMO PLAN GENERAL NOTES

- 1. ALL DEMOLITION TO BE APPROVED BY ARCHITECT IN FIELD PRIOR TO START OF WORK.
- 2. ALL SHOWN DIMENSIONS ARE SUBJECT TO VERIFICATION IN FIELD.
- 3. CONTRACTOR SHALL ESTABLISH CONSTRUCTION BARRIERS TO PROTECT AREAS OF NO OR LIMITED WORK PRIOR TO COMMENCEMENT OF DEMOLITION.
- 4. CONTRACTOR SHALL PROVIDE NEAT CUTS & BOUNDARIES AT LIMITS OF DEMOLITION.
- 5. CONTRACTOR TO PROTECT EXT'G FINISHES TO REMAIN.
- 6. CONTRACTOR TO PROVIDE REQ'D SUPPORT AND BRACING PRIOR TO DEMOLITION OF ALL EXISTING WALLS.
- 7. CONTRACTOR TO SAVE EXT'G DOORS, FIXTURES & APPLIANCES FOR RE-USE AS DIRECTED BY THE OWNER UNLESS OTHERWISE DIRECTED IN THE FIELD BY OWNER OR ARCHITECT.

1 EXISTING FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



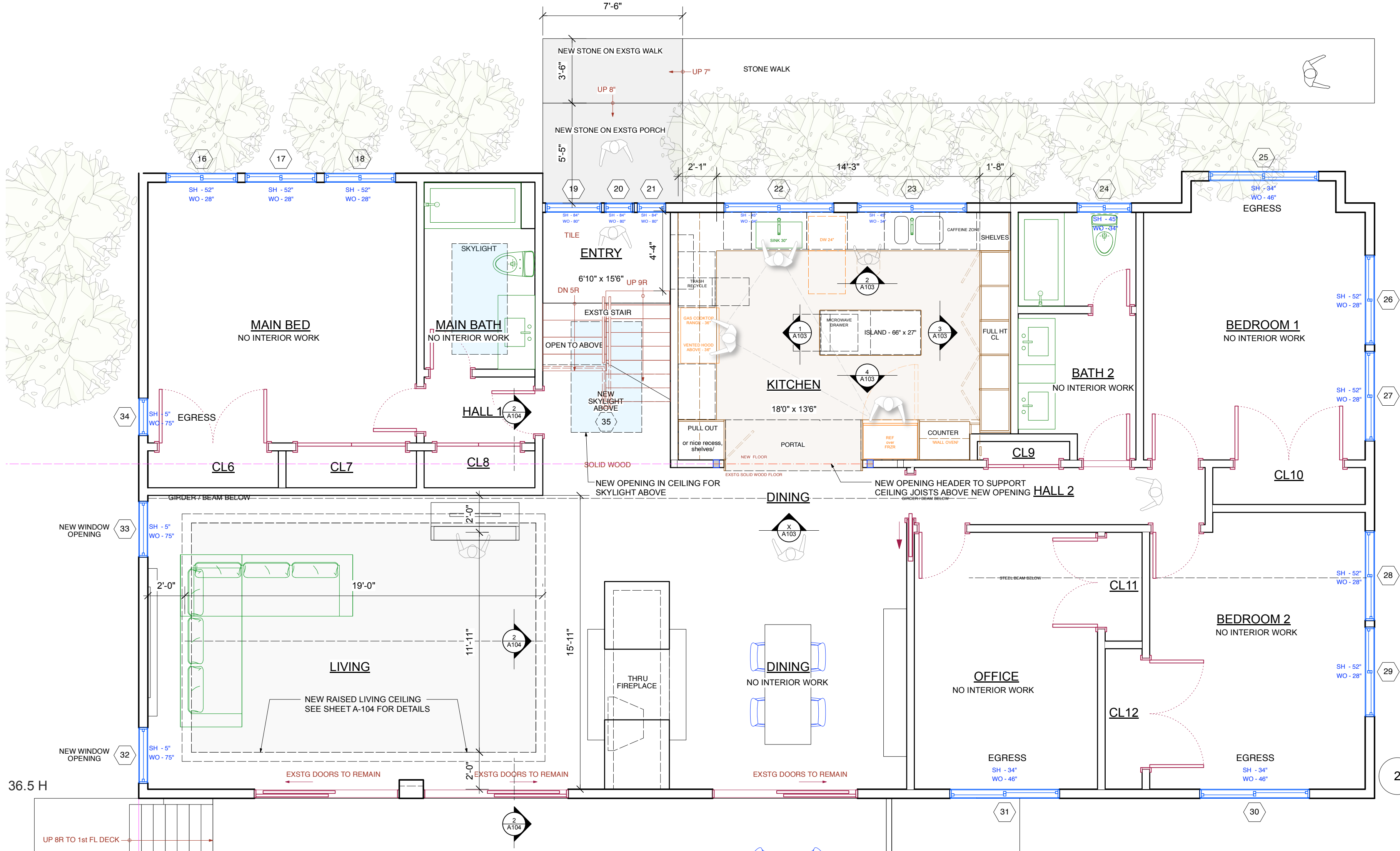
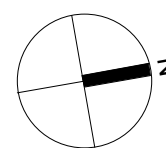
WALL TYPE 1 - NEW INTERIOR PARTITION

NEW INTERIOR WOOD FRAMED WALL - 2 x 4, SOME WALLS ARE 2 x 6 FOR PLUMBING, STRUCTURE

1ST FLOOR SCOPE of WORK

- 1 - WINDOWS - Replace existing windows - See Schedules Sheet A 105
- 2 - INSULATION - All Walls, ceilings
  - New Kitchen - expanded opening to new Kitchen layout, cabinets, Exstg appliances - fixtures - TBD to re-use
- 3 - FLOOR PLAN CHANGES
  - New Kitchen - expanded opening to new Kitchen layout, cabinets, Exstg appliances - fixtures - TBD to re-use
- 4 - NEW HVAC - Replace existing HVAC equipment with smaller, more efficient system(s)
- 5 - LIVING ROOM CEILING - Vault at Living - Main Bedroom, Skylight over Entry
- 6 - BATH VENTS - New mechanically vented ceiling fans - 2
- 7 - INTERIOR DOORS - No new Interior Doors on 1st Floor

2 PROPOSED FIRST FLOOR PLAN  
Scale: 1/4" = 1'-0"



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CONSTRUCTION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	OBJECTS ABOVE
	WINDOW ID
	DOOR ID
	WALL TYPE ID
	BUILDING SECTION KEY
	EXTERIOR ELEVATION KEY
	DETAIL KEY
	INTERIOR ELEVATION KEY
NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION	

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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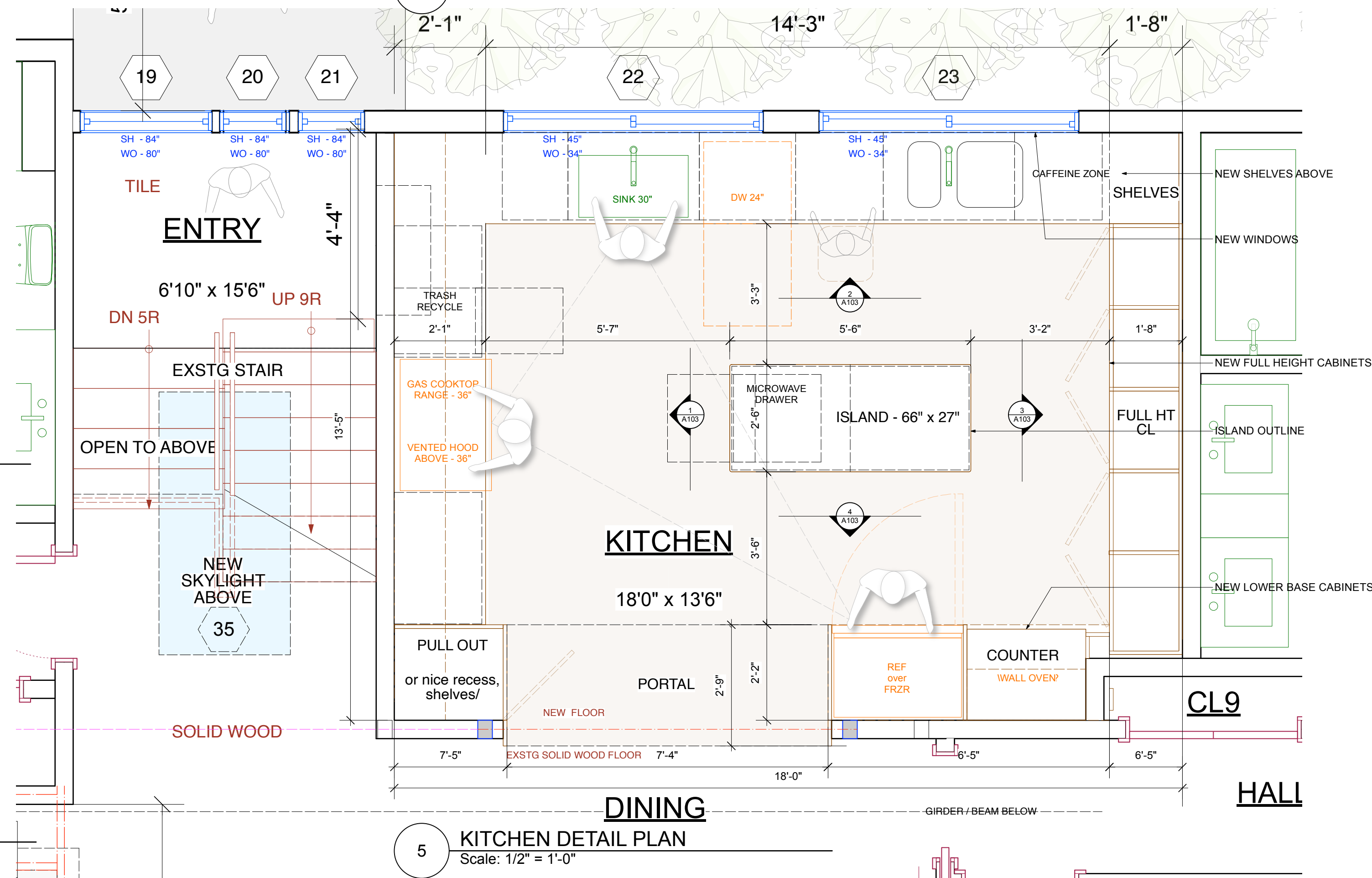
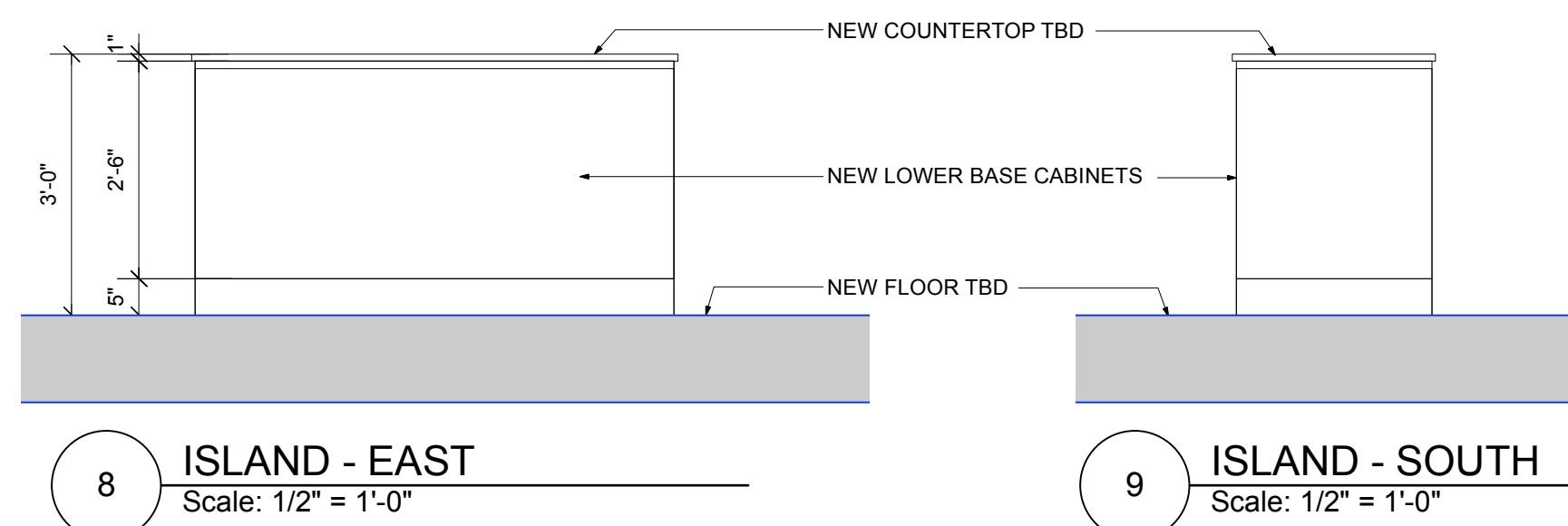
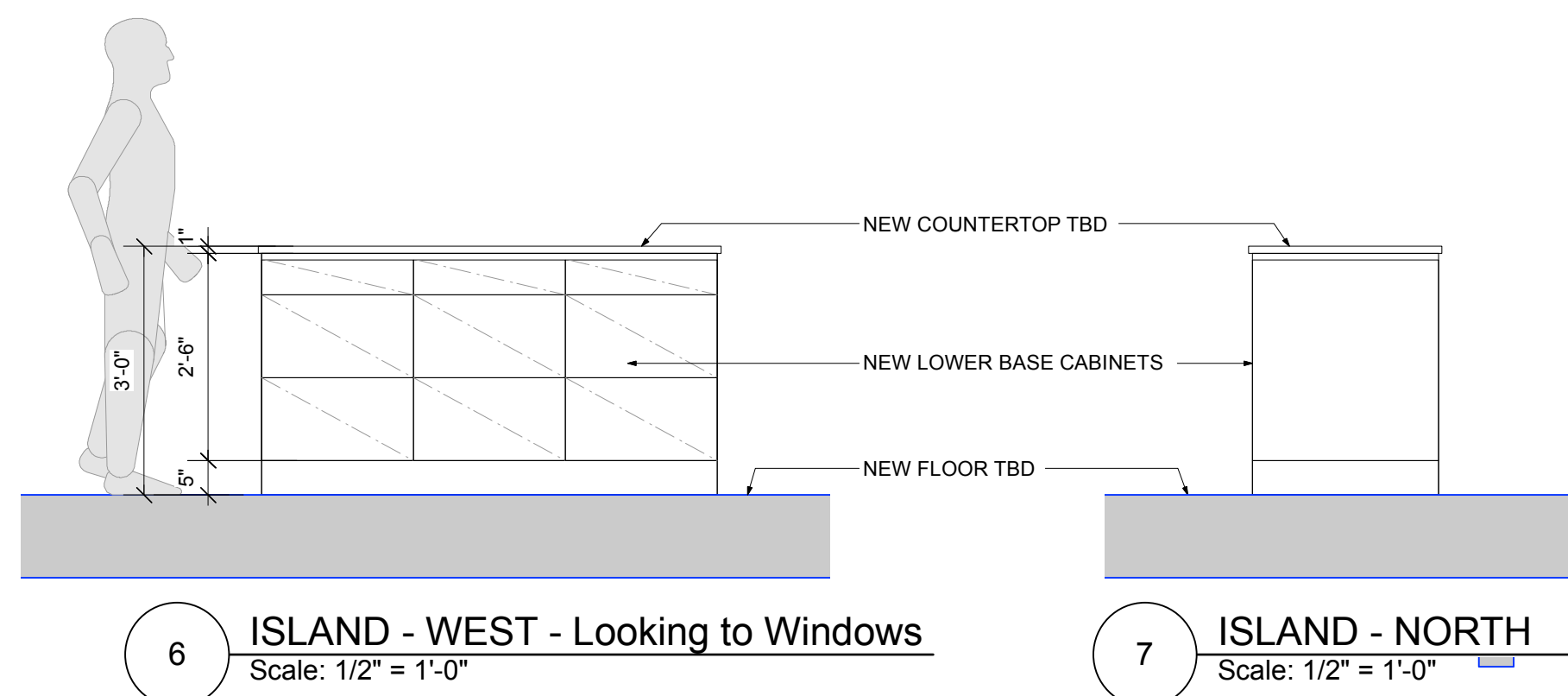
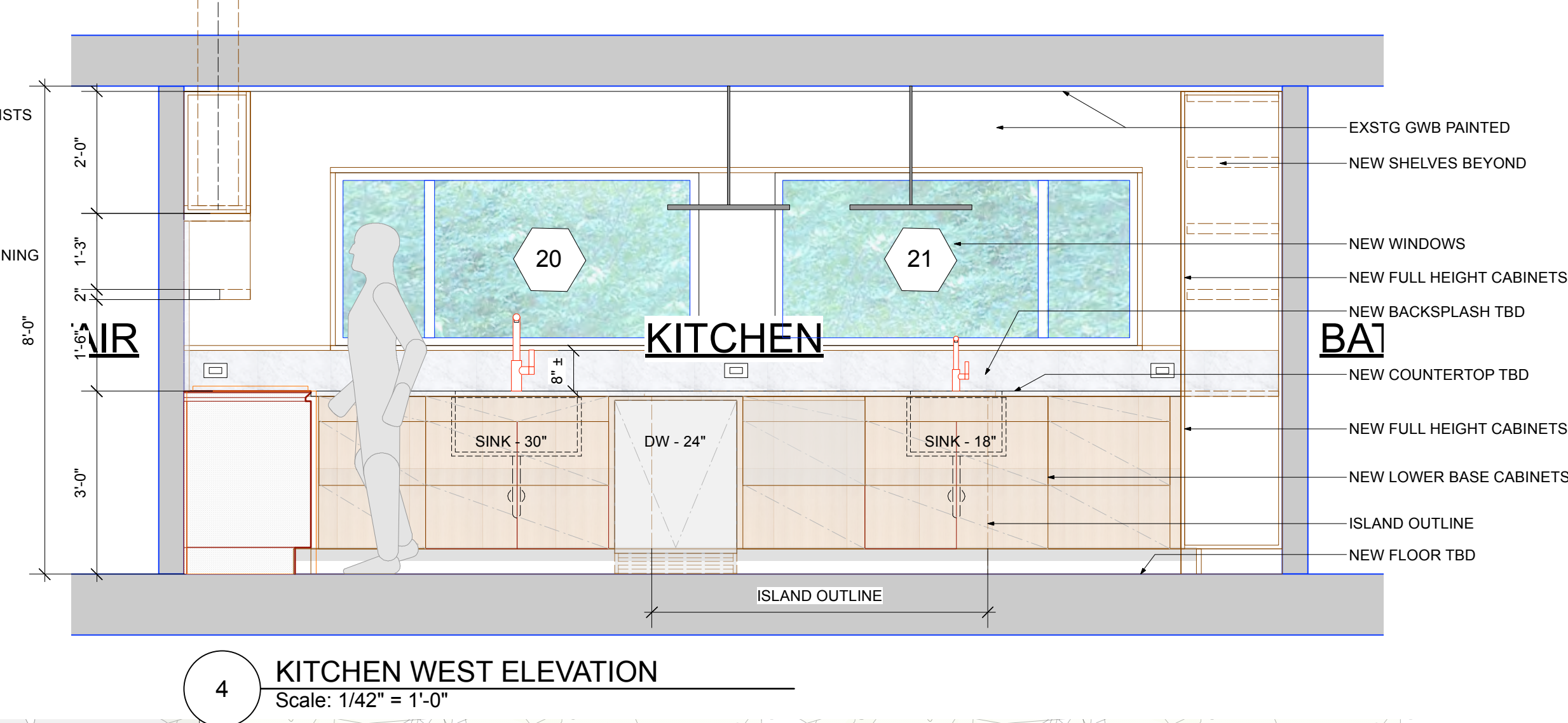
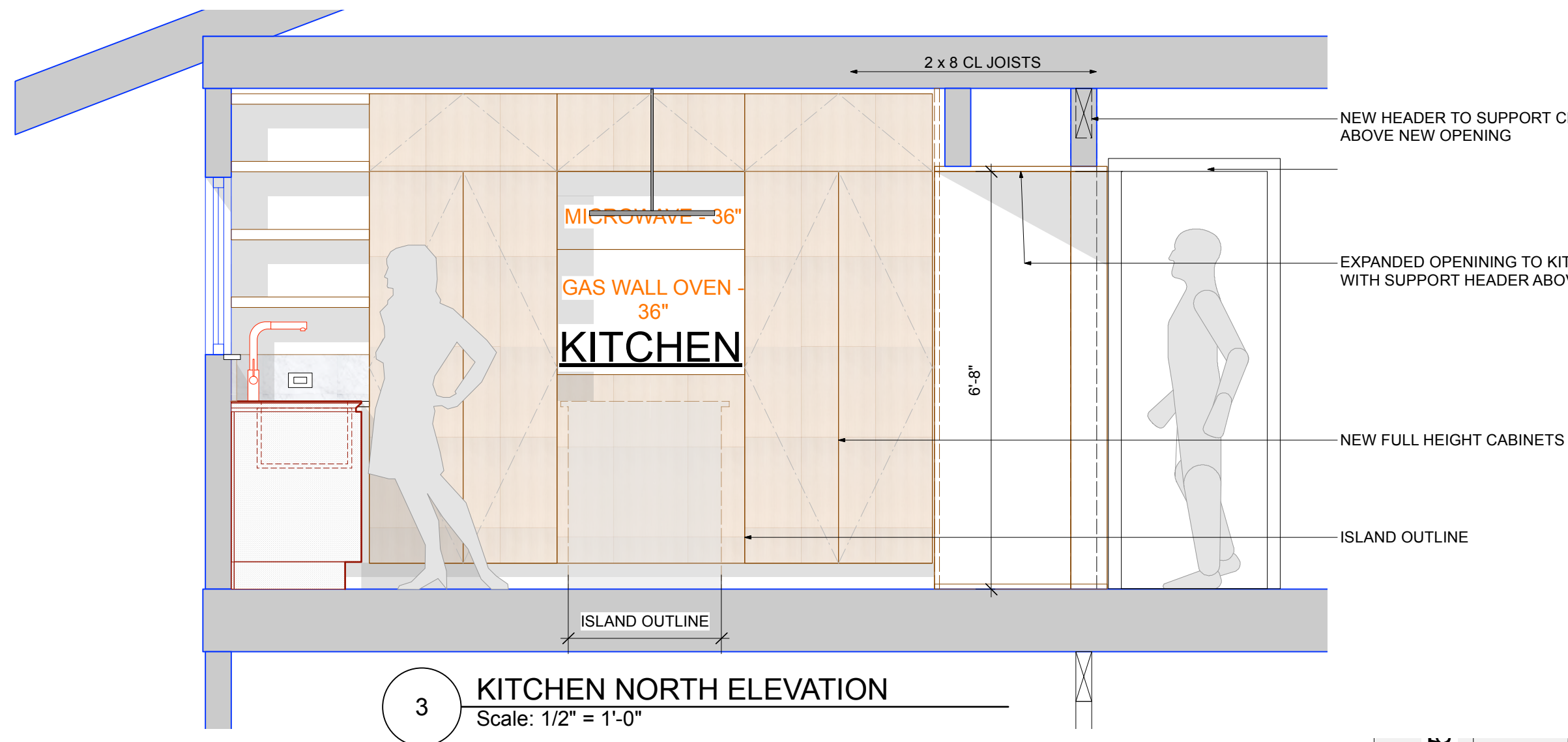
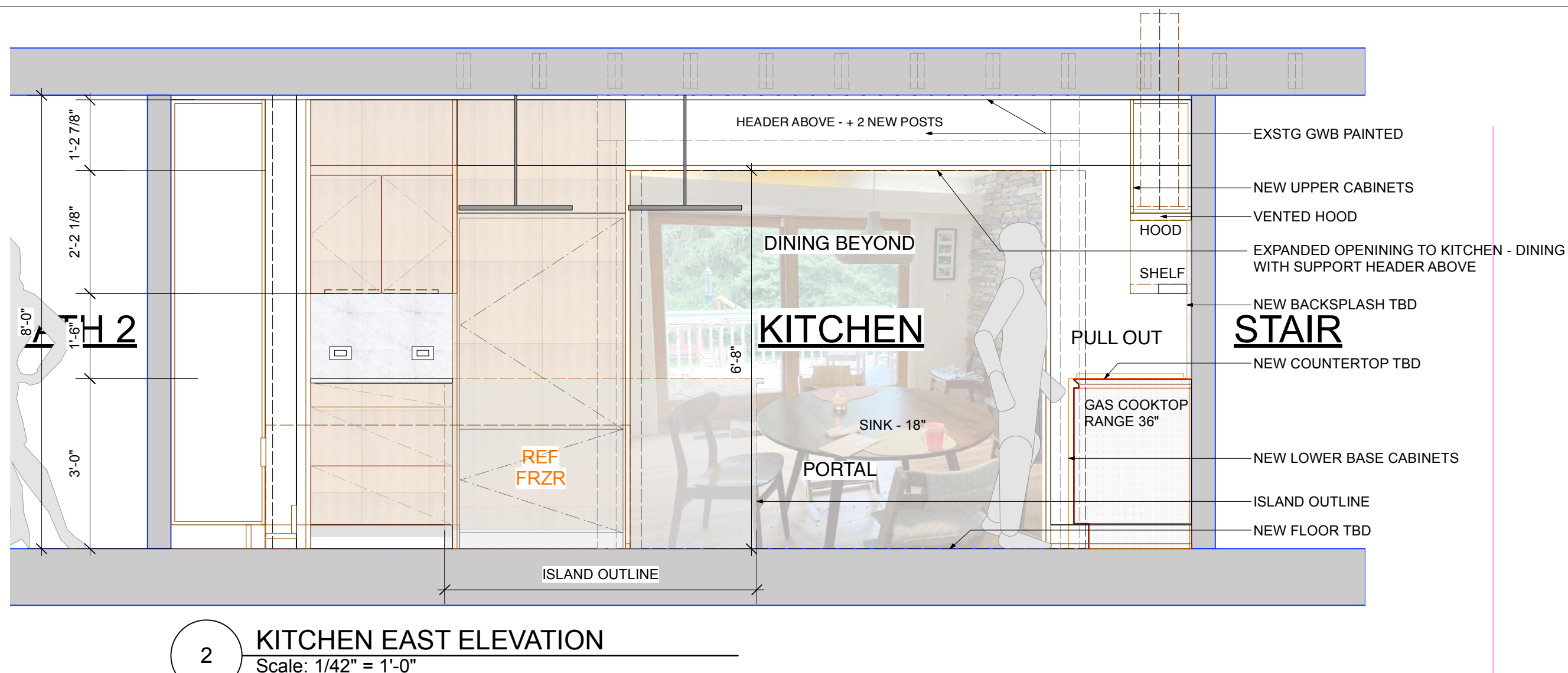
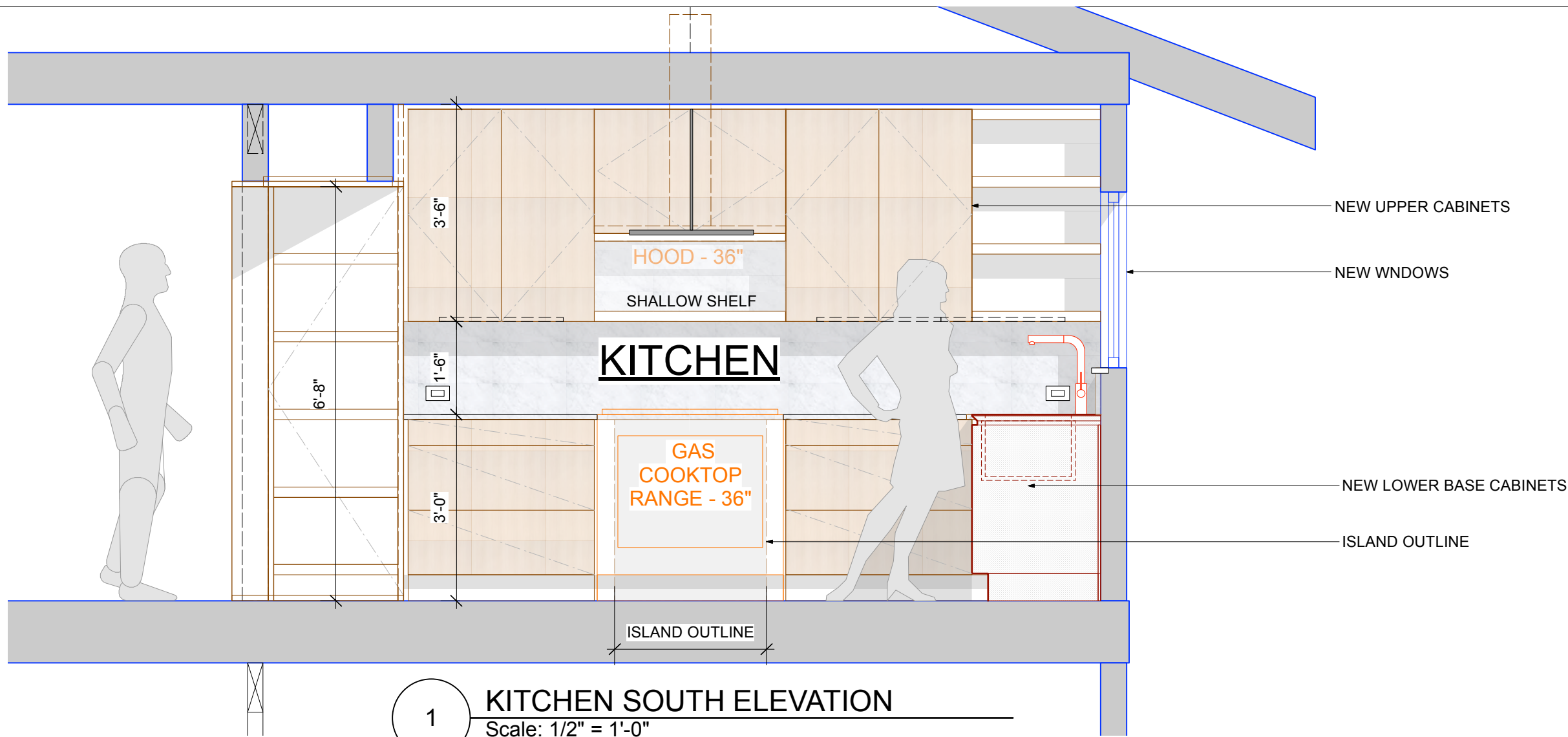
145 Palisade St. Suite #307  
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PROJECT:  
3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
FIRST FLOOR PLANS

FILE NAME:	
DRAWN BY:	PA
SCALE:	3/8" = 1'-0"
DATE:	6/23/23
PROJECT ID:	2214A
DRAWING NUMBER	
A-102.00	





NO. REVISIONS DATE

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PROJECT:  
3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
KITCHEN DETAIL PLAN, ELEVS

FILE NAME:

DRAWN BY: PA DRAWING NUMBER

SCALE: 3/8" = 1'-0"

DATE: 6/23/23

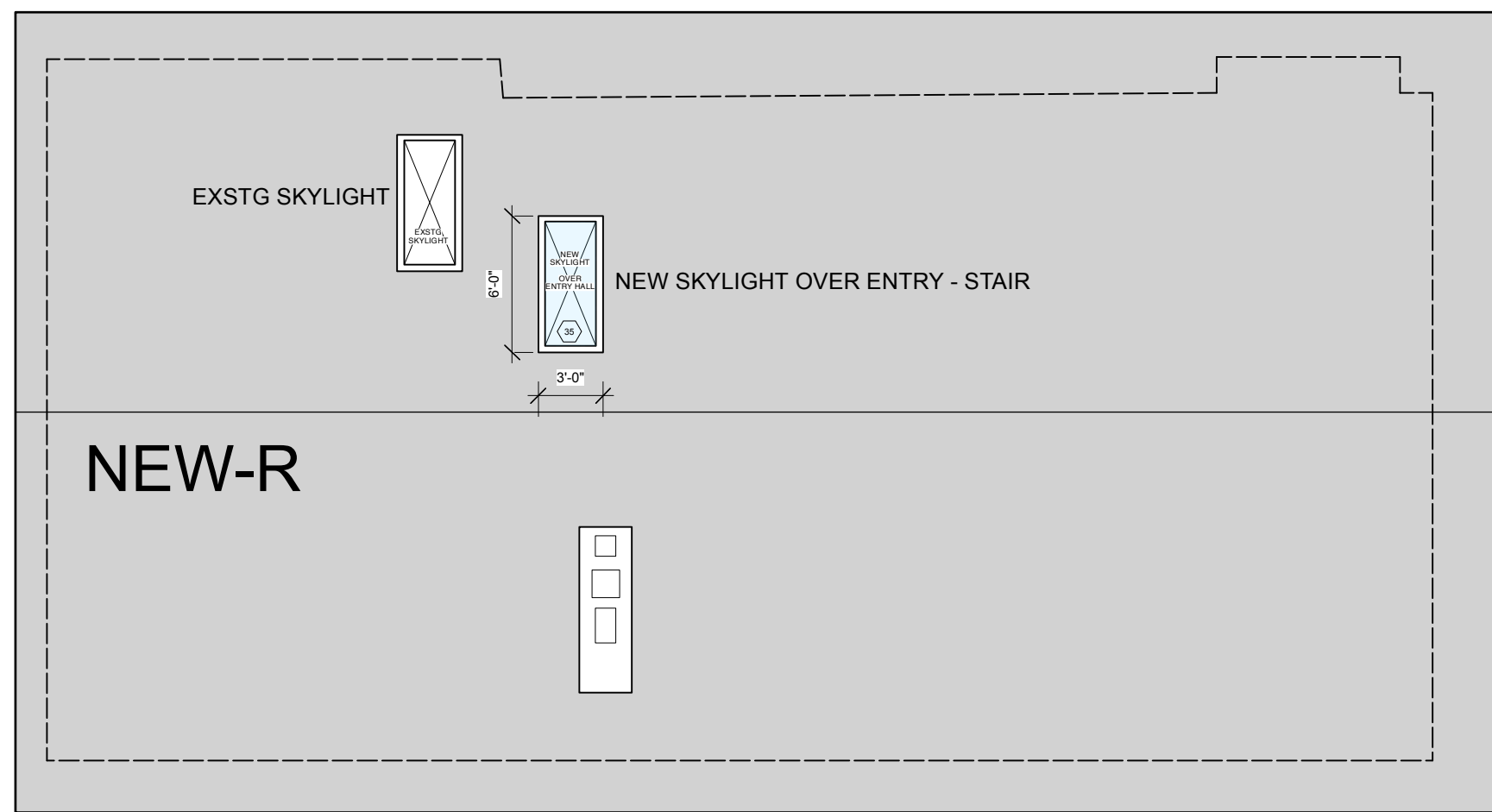
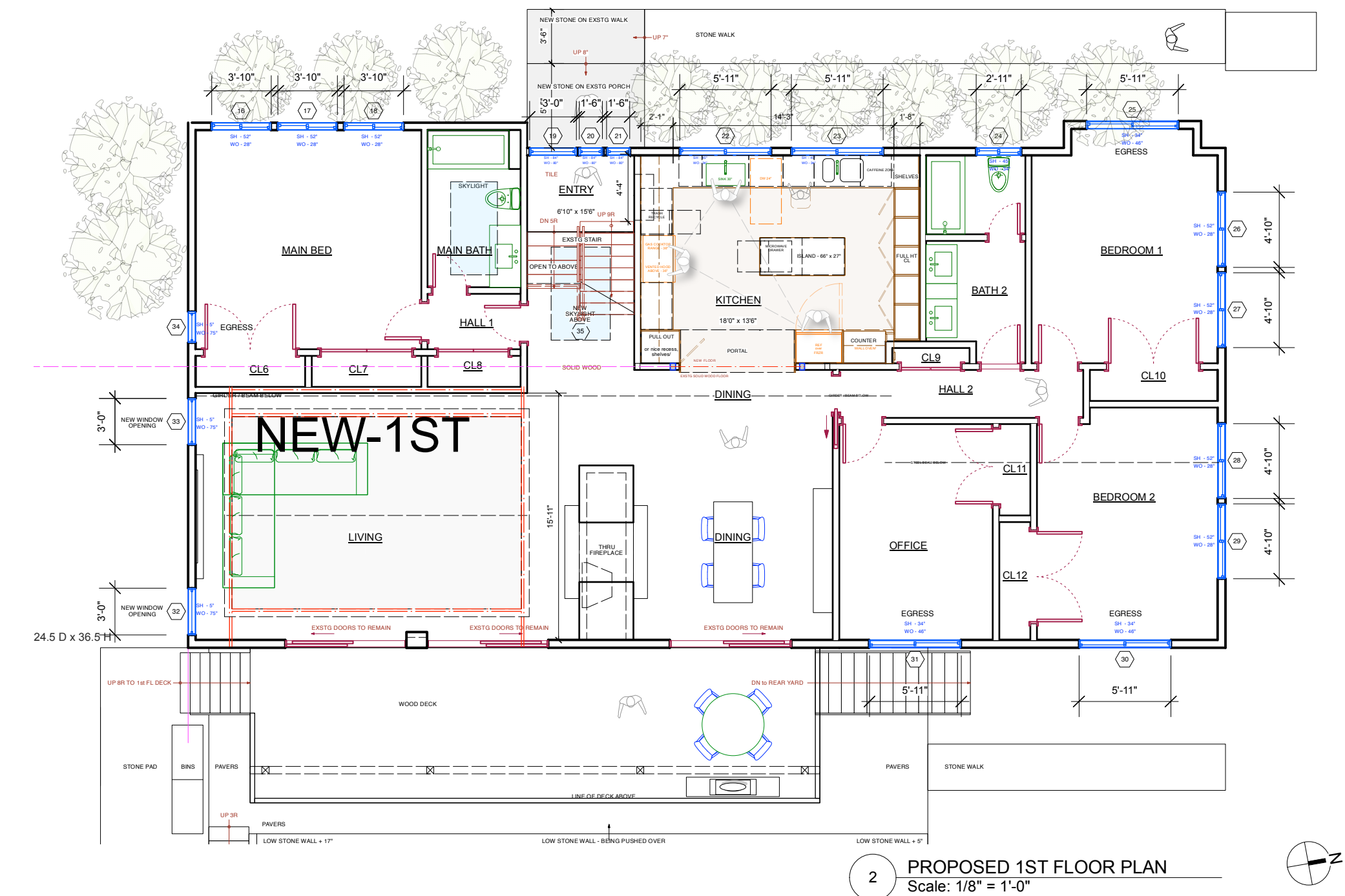
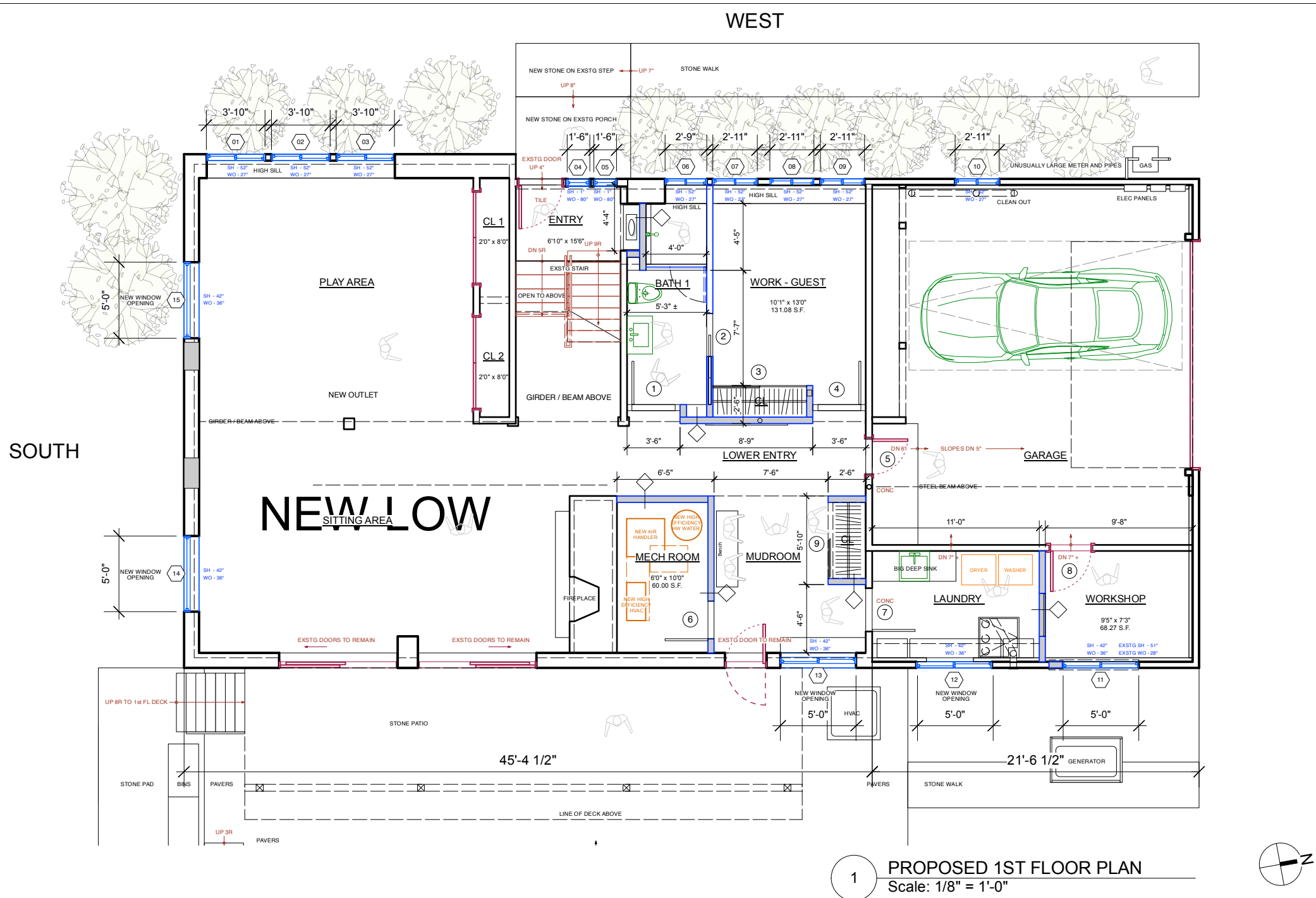
PROJECT ID: 2214A

A-103.00









WINDOW SCHEDULE - Verify All Units Prior to Final Order (LAST UPDATED 6.22.23)

No.	Location	Description	Manuf.	Model No.	RO Width	RO Height	Hdr Ht	Jamb	Grille/SDL	Exterior Fin	Interior Fin	Hardware	U-Fact	SHGC	Remarks
LOWER LEVEL															
1	Play Area	Glider	Marvin - Essential	-	3'10"	2'3"				Fiberglass	Fiberglass				
2	Play Area	Glider	Marvin - Essential	-	3'10"	2'3"				Fiberglass	Fiberglass				
3	Play Area	Glider	Marvin - Essential	-	3'10"	2'3"				Fiberglass	Fiberglass				
4	Entry	Fixed	Marvin - Essential	-	1'6"	6'8"				Fiberglass	Fiberglass				
5	Entry	Fixed	Marvin - Essential	-	1'6"	6'8"				Fiberglass	Fiberglass				
6	Bath 1	Glider	Marvin - Essential	-	2'9"	2'3"				Fiberglass	Fiberglass				
7	Work - Guest	Glider	Marvin - Essential	-	2'11"	2'3"				Fiberglass	Fiberglass				
8	Work - Guest	Glider	Marvin - Essential	-	2'11"	2'3"				Fiberglass	Fiberglass				
9	Work - Guest	Glider	Marvin - Essential	-	2'11"	2'3"				Fiberglass	Fiberglass				
10	Garage	Glider	Marvin - Essential	-	2'11"	2'3"				Fiberglass	Fiberglass				
11	Workshop	Glider	Marvin - Essential	-	5'0"	3'-0"				Fiberglass	Fiberglass				
12	Laundry	Glider	Marvin - Essential	-	5'0"	3'-0"				Fiberglass	Fiberglass				
13	Mudroom	Glider	Marvin - Essential	-	5'0"	3'-0"				Fiberglass	Fiberglass				
14	Sitting Area	Fixed	Marvin - Essential	-	5'0"	3'-0"				Fiberglass	Fiberglass				
15	Play Area	Fixed	Marvin - Essential	-	5'0"	3'-0"				Fiberglass	Fiberglass				
1st FLOOR															
16	Main Bed	Glider	Marvin - Essential	-	3'10"	2'4"				Fiberglass	Fiberglass				
17	Main Bed	Glider	Marvin - Essential	-	3'10"	2'4"				Fiberglass	Fiberglass				
18	Main Bed	Glider	Marvin - Essential	-	3'10"	2'4"				Fiberglass	Fiberglass				
19	Entry	Fixed	Marvin - Essential	-	3'0"	6'8"				Fiberglass	Fiberglass				
20	Entry	Fixed	Marvin - Essential	-	1'6"	6'8"				Fiberglass	Fiberglass				
21	Entry	Fixed	Marvin - Essential	-	1'6"	6'8"				Fiberglass	Fiberglass				
22	Kitchen	Glider	Marvin - Essential	-	5'11"	2'10"				Fiberglass	Fiberglass				
23	Kitchen	Glider	Marvin - Essential	-	5'11"	2'10"				Fiberglass	Fiberglass				
24	Bath 2	Glider	Marvin - Essential	-	2'11"	2'10"				Fiberglass	Fiberglass				
25	Bed 1	Glider	Marvin - Essential	-	5'11"	3'10"				Fiberglass	Fiberglass				EGRESS
26	Bed 1	Glider	Marvin - Essential	-	4'10"	2'10"				Fiberglass	Fiberglass				
27	Bed 1	Glider	Marvin - Essential	-	4'10"	2'10"				Fiberglass	Fiberglass				
28	Bed 2	Glider	Marvin - Essential	-	4'10"	2'10"				Fiberglass	Fiberglass				
29	Bed 2	Glider	Marvin - Essential	-	4'10"	2'10"				Fiberglass	Fiberglass				
30	Bed 2	Glider	Marvin - Essential	-	5'11"	3'10"				Fiberglass	Fiberglass				EGRESS
31	Office	Glider	Marvin - Essential	-	5'11"	3'10"				Fiberglass	Fiberglass				EGRESS
32	Living	Casement	Marvin - Essential	-	3'0"	6'3"				Fiberglass	Fiberglass				
33	Living	Casement	Marvin - Essential	-	3'0"	6'3"				Fiberglass	Fiberglass				
34	Main Bed	Casement	Marvin - Essential	-	3'0"	6'3"				Fiberglass	Fiberglass				EGRESS
ROOF															
35	Over Entry	Skylight	Velux	FCM 4672	3'10"	6'0"				Aluminum					Velux - 800-888-3589

INTERIOR DOORSSCHEDULE - Verify All Units Prior to Final Order (LAST UPDATED 6.22.23)

No.	Loc.	Door Type	Mat.	Width	Height	Thick	Frame Type	Mat.	Sill	HRDW	Remarks
1st FLOOR											
NO NEW DOORS											
LOWER LEVEL											
9 Doors											
1	BATH 1	A	WD	3'0"	6'8"	1 1/2"	SWING	WD		A	
2	BATH 1	B	WD	3'0"	6'8"	1 1/2"	SLIDER	WD		C	
3	WORK-GUEST CL	C	WD	5'0"	6'8"	1 1/2"	SLIDERS	WD		A	
4	WORK-GUEST	A	WD	3'0"	6'8"	1 1/2"	SWING	WD		A	4 SIDED DOOR FRAME GASKET
5	LOWER ENTRY	A	WD	3'0"	6'8"	1 1/2"	SWING	WD		A	
6	MECH ROOM	A	WD	3'0"	6'8"	1 1/2"	SWING	WD		C	2 HR FIRE RATED
7	LAUNDRY	A	WD	3'0"	6'8"	1 1/2"	SWING	WOOD			4 SIDED DOOR FRAME GASKET
8	WORKSHOP	A	WD	3'0"	6'8"	1 1/2"	SWING	WD		A	
9	MUDROOM	C	WD	5'0"	6'8"	1 1/2"	SLIDERS	WD		A	

Door Type Key

- A. WOOD - FLUSH SOLID CORE DOOR - PAINTED - COLOR TBD  
B. WOOD - SINGLE SLIDER  
C. WOOD - 2 SLIDERS

Hardware Key

- A. PRIVACY - AS PER CLIENT SPEC  
B. PRIVACY - AS PER CLIENT SPEC  
B. PRIVACY - AS PER CLIENT SPEC  
D. PRIVACY - AS PER CLIENT SPEC

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NO. REVISIONS DATE

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PROJECT:

3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
WINDOWS - INTERIOR DOORS

FILE NAME:

DRAWN BY: PG DRAWING NUMBER

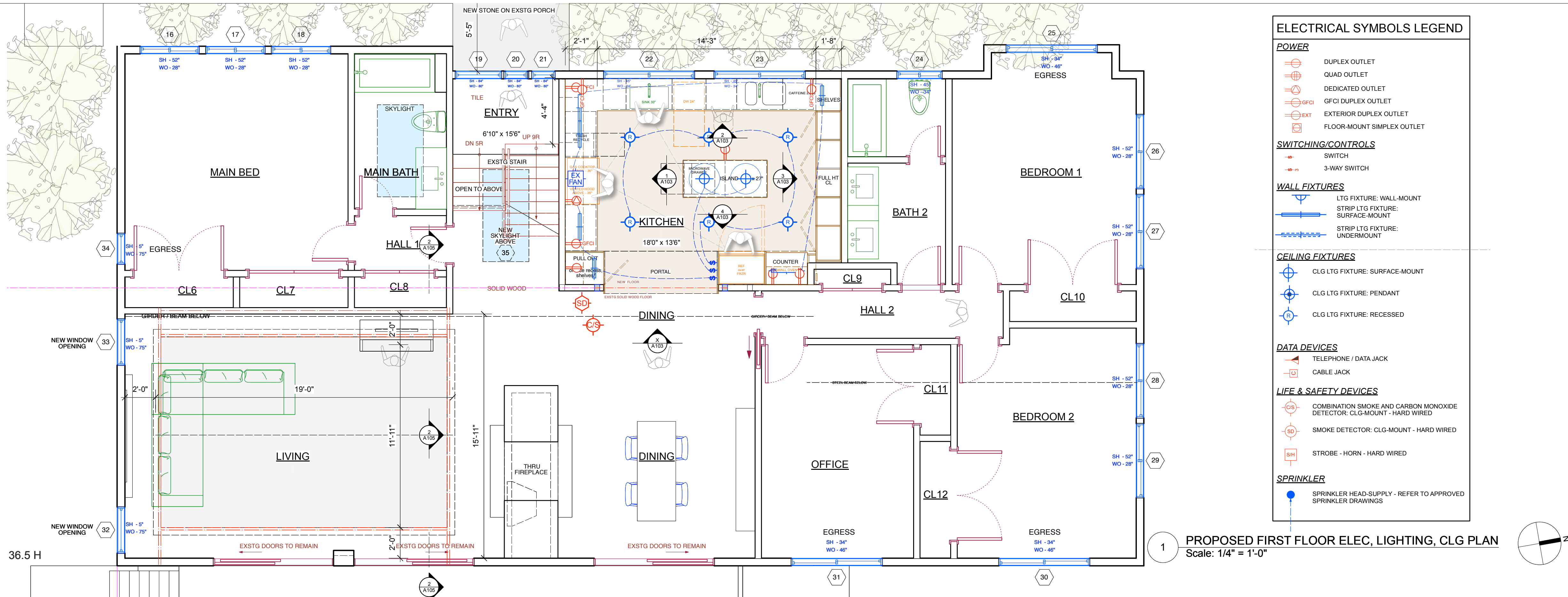
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DATE: 6/23/23

PROJECT ID: 2214A

A-105.00





**ELECTRICAL SYMBOLS LEGEND**

**POWER**

- DUPLEX OUTLET
- QUAD OUTLET
- DEDICATED OUTLET
- GFCI DUPLEX OUTLET
- EXTERIOR DUPLEX OUTLET
- FLOOR-MOUNT SIMPLEX OUTLET

**SWITCHING/CONTROLS**

- SWITCH
- 3-WAY SWITCH

**WALL FIXTURES**

- LTG FIXTURE: WALL-MOUNT
- STRIP LTG FIXTURE: SURFACE-MOUNT
- STRIP LTG FIXTURE: UNDERMOUNT

**CEILING FIXTURES**

- CLG LTG FIXTURE: SURFACE-MOUNT
- CLG LTG FIXTURE: PENDANT
- CLG LTG FIXTURE: RECESSED

**DATA DEVICES**

- TELEPHONE / DATA JACK
- CABLE JACK

**LIFE & SAFETY DEVICES**

- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR: CLG-MOUNT - HARD WIRED
- SMOKE DETECTOR: CLG-MOUNT - HARD WIRED
- STROBE - HORN - HARD WIRED

**SPRINKLER**

- SPRINKLER HEAD-SUPPLY - REFER TO APPROVED SPRINKLER DRAWINGS

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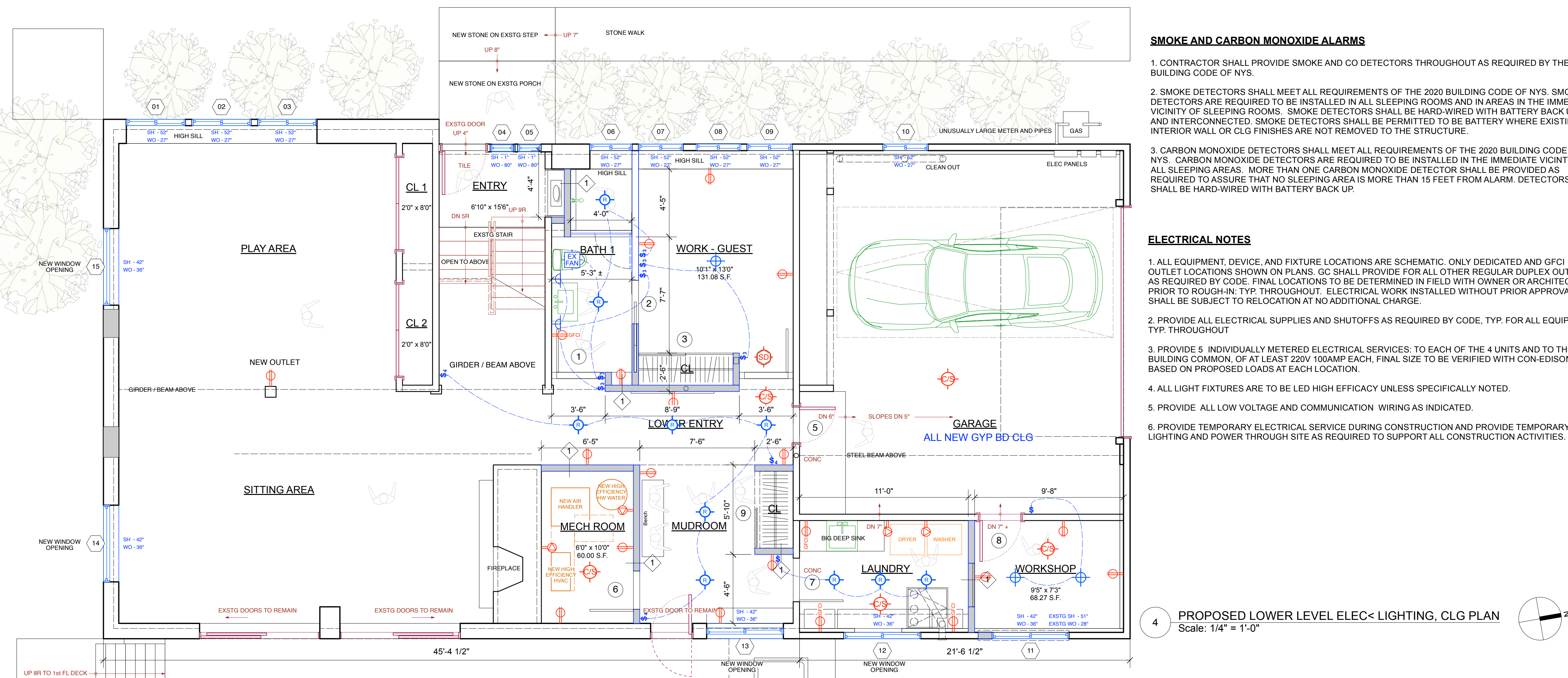
**CONSTRUCTION PLAN LEGEND**

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
- NEW C.I.P. CONCRETE WALL
- NEW EXTERIOR FRAME WALL
- NEW INTERIOR FRAME WALL
- OBJECTS ABOVE
- WINDOW ID
- DOOR ID
- WALL TYPE ID
- BUILDING SECTION KEY
- EXTERIOR ELEVATION KEY
- DETAIL KEY
- INTERIOR ELEVATION KEY

**NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION**

WEST

SOUTH



- SMOKE AND CARBON MONOXIDE ALARMS**
- CONTRACTOR SHALL PROVIDE SMOKE AND CO DETECTORS THROUGHOUT AS REQUIRED BY THE 2020 BUILDING CODE OF NYS.
  - SMOKE DETECTORS SHALL MEET ALL REQUIREMENTS OF THE 2020 BUILDING CODE OF NYS. SMOKE DETECTORS ARE REQUIRED TO BE INSTALLED IN ALL SLEEPING ROOMS AND IN AREAS IN THE IMMEDIATE VICINITY OF SLEEPING ROOMS. SMOKE DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACK UP AND INTERCONNECTED. SMOKE DETECTORS SHALL BE PERMITTED TO BE BATTERY WHERE EXISTING INTERIOR WALL OR CLG FINISHES ARE NOT REMOVED TO THE STRUCTURE.
  - CARBON MONOXIDE DETECTORS SHALL MEET ALL REQUIREMENTS OF THE 2020 BUILDING CODE OF NYS. CARBON MONOXIDE DETECTORS ARE REQUIRED TO BE INSTALLED IN THE IMMEDIATE VICINITY OF ALL SLEEPING AREAS. MORE THAN ONE CARBON MONOXIDE DETECTOR SHALL BE PROVIDED AS REQUIRED TO ASSURE THAT NO SLEEPING AREA IS MORE THAN 15 FEET FROM ALARM. DETECTORS SHALL BE HARD-WIRED WITH BATTERY BACK UP.

- ELECTRICAL NOTES**
- ALL EQUIPMENT, DEVICE, AND FIXTURE LOCATIONS ARE SCHEMATIC. ONLY DEDICATED AND GFCI OUTLET LOCATIONS SHOWN ON PLANS. GC SHALL PROVIDE FOR ALL OTHER REGULAR DUPLEX OUTLETS AS REQUIRED BY CODE. FINAL LOCATIONS TO BE DETERMINED IN FIELD WITH OWNER OR ARCHITECT PRIOR TO ROUGH-IN. TYP. THROUGHOUT. ELECTRICAL WORK INSTALLED WITHOUT PRIOR APPROVAL SHALL BE SUBJECT TO RELOCATION AT NO ADDITIONAL CHARGE.
  - PROVIDE ALL ELECTRICAL SUPPLIES AND SHUTOFFS AS REQUIRED BY CODE, TYP. FOR ALL EQUIPMENT, TYP. THROUGHOUT
  - PROVIDE 5 INDIVIDUALLY METERED ELECTRICAL SERVICES: TO EACH OF THE 4 UNITS AND TO THE BUILDING COMMON, OF AT LEAST 220V 100AMP EACH, FINAL SIZE TO BE VERIFIED WITH CON-EDISON BASED ON PROPOSED LOADS AT EACH LOCATION.
  - ALL LIGHT FIXTURES ARE TO BE LED HIGH EFFICACY UNLESS SPECIFICALLY NOTED.
  - PROVIDE ALL LOW VOLTAGE AND COMMUNICATION WIRING AS INDICATED.
  - PROVIDE TEMPORARY ELECTRICAL SERVICE DURING CONSTRUCTION AND PROVIDE TEMPORARY LIGHTING AND POWER THROUGH SITE AS REQUIRED TO SUPPORT ALL CONSTRUCTION ACTIVITIES.



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**PROJECT:**  
3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE: ELEC, LIGHTING, CLG PLANS		
FILE NAME:		
DRAWN BY:	PG	DRAWING NUMBER
SCALE:	1/4" = 1'-0"	<b>A-106.00</b>
DATE:	6/23/23	
PROJECT ID:	2214A	



CONSTRUCTION PLAN LEGEND	
	EXISTING STONE WALL TO REMAIN
	EXISTING MASONRY WALL TO REMAIN
	EXISTING EXTERIOR FRAME WALL TO REMAIN
	EXISTING INTERIOR FRAME WALL TO REMAIN
	NEW MASONRY WALL
	NEW C.I.P. CONCRETE WALL
	NEW EXTERIOR FRAME WALL
	NEW INTERIOR FRAME WALL
	OBJECTS ABOVE
	WINDOW ID
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	BUILDING SECTION KEY
	EXTERIOR ELEVATION KEY
	DETAIL KEY
	INTERIOR ELEVATION KEY
NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION	

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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	ARB SUBMISSION	06/30/23
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PROJECT:  
3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
EX'G EXTERIOR ELEVATIONS

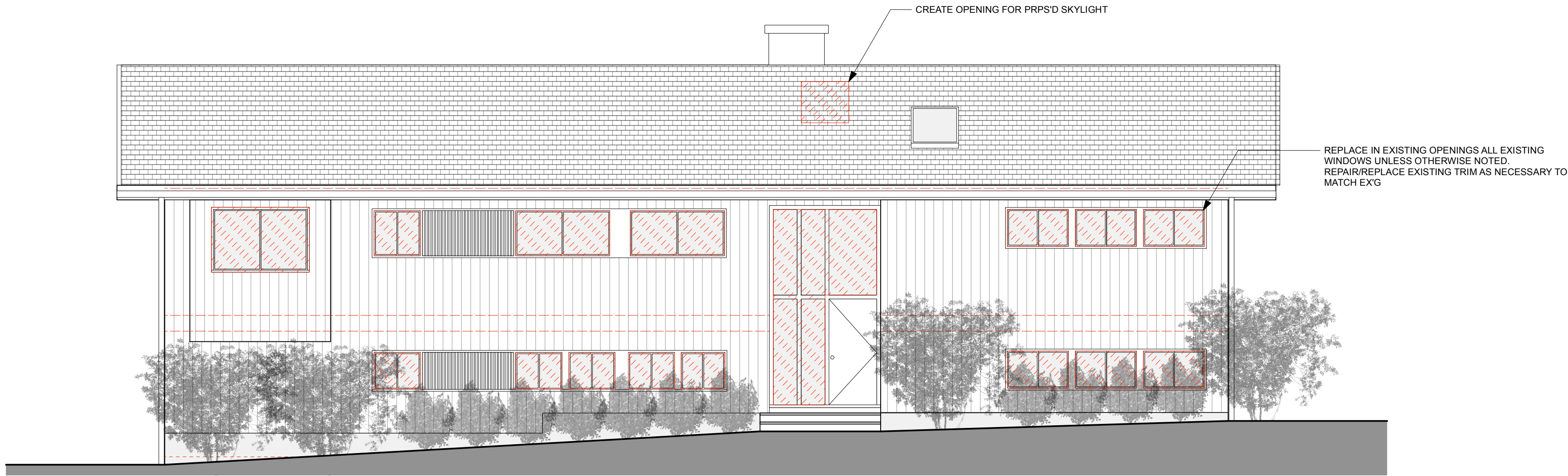
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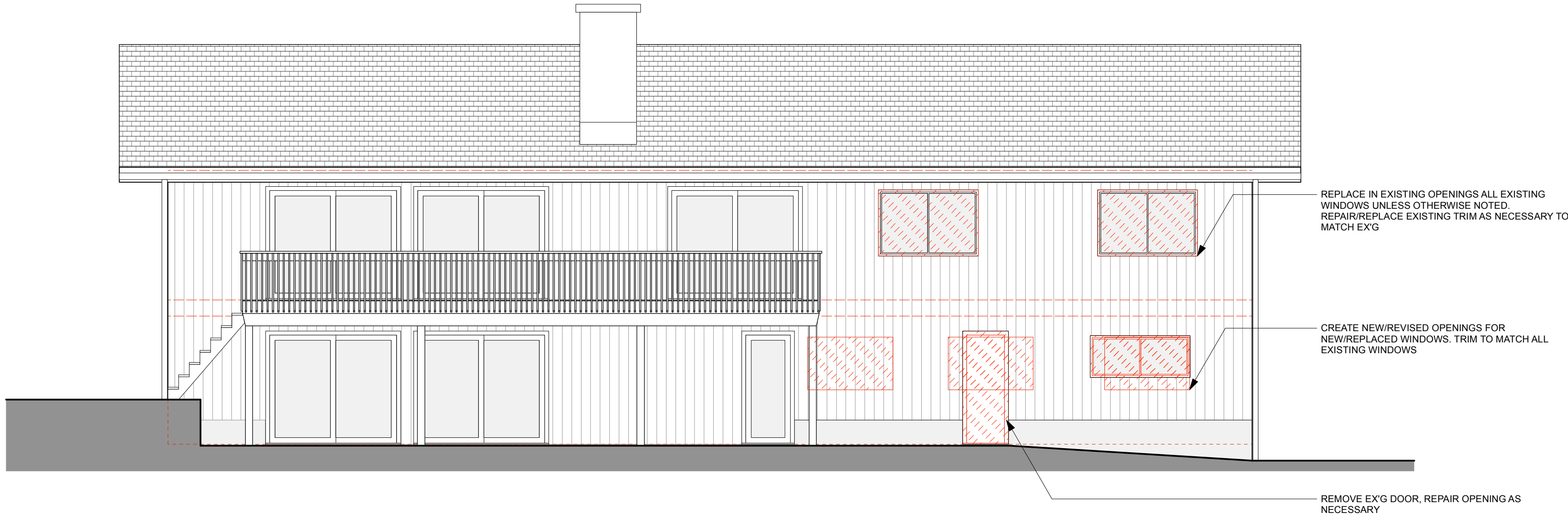
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DATE:	6/23/23
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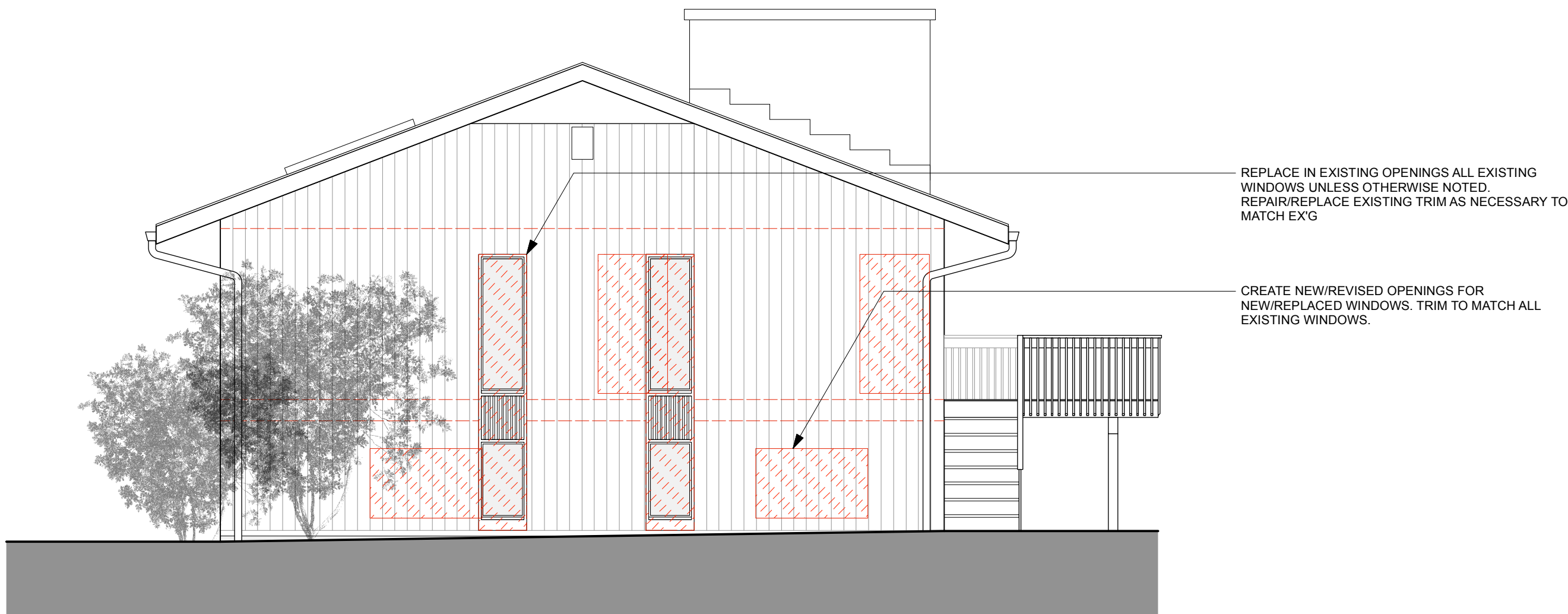
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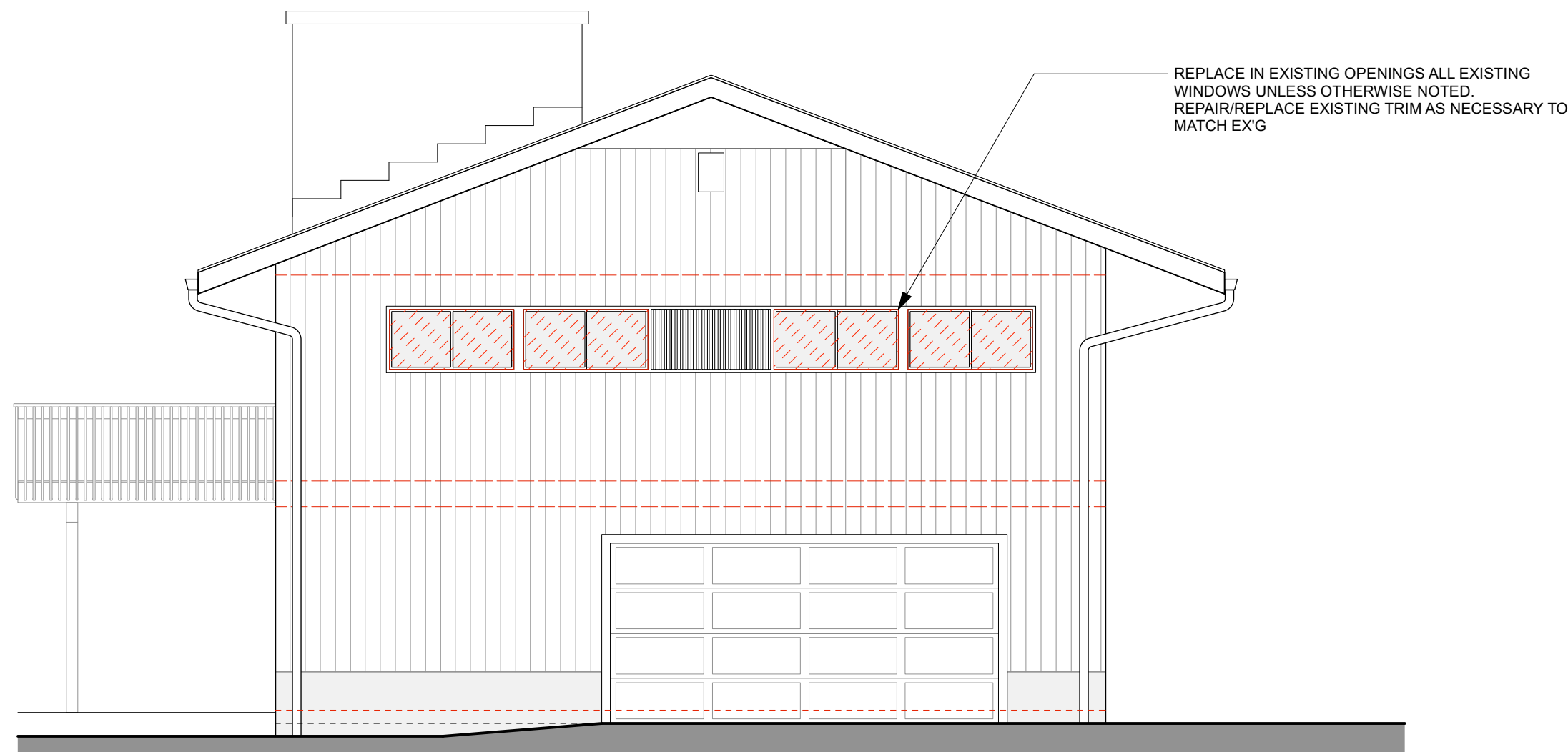
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3 EXISTING EAST EXTERIOR ELEVATION "REAR"  
Scale: 3/16" = 1'-0"



2 EXISTING SOUTH EXTERIOR ELEVATION "SIDE"  
Scale: 3/16" = 1'-0"



1 EXISTING NORTH EXTERIOR ELEVATION "SIDE"  
Scale: 3/16" = 1'-0"



CONSTRUCTION PLAN LEGEND

- EXISTING STONE WALL TO REMAIN
- EXISTING MASONRY WALL TO REMAIN
- EXISTING EXTERIOR FRAME WALL TO REMAIN
- EXISTING INTERIOR FRAME WALL TO REMAIN
- NEW MASONRY WALL
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NOTE: ALL DIMENSIONS ARE TO BE VERIFIED IN FIELD (VIF) PRIOR TO CONSTRUCTION

NO. REVISIONS DATE

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PROJECT:

3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:

PRPS'D EXTERIOR ELEVATIONS

FILE NAME:

DRAWN BY: PG DRAWING NUMBER

SCALE: 3/16" = 1'-0"

DATE: 6/23/23

PROJECT ID: 2214A

A-108.00

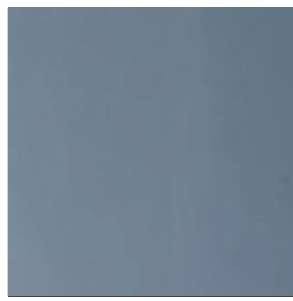
EXTERIOR MATERIAL FINISHES



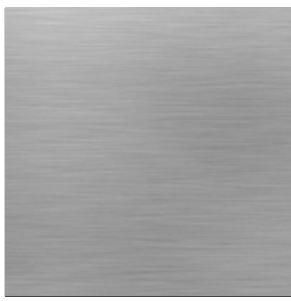
MARVIN ESSENTIAL WDWS  
BRONZE EXTERIOR FRAME



EXISTING WOOD SIDING  
EX'G STAIN TO REMAIN



EXISTING EXTERIOR TRIM  
EX'G PAINT COLOR TO REMAIN



PRPS'D VELUX SKYLIGHT FINISH  
ALUMINUM EXTERIOR FINISH



PRPS'D STONE TREADS  
BLUESTONE

BENJAMIN MOORE  
ARBORCOAT EXTERIOR STAIN  
"STERLING" #1591

BENJAMIN MOORE  
HISTORICAL COLORS  
"PHILIPSBURG BLUE" HC-159

PROPOSED VELUX SKYLIGHT OVER INTERIOR  
STAIRWELL

REPLACED NEW WINDOWS IN EX'G OPENINGS. TRIM  
REPAIRED/REPLACED AS NECESSARY TO MATCH  
EXISTING

NEW BLUESTONE SLABS ON EXISTING STONE TREADS

4 PROPOSED WEST EXTERIOR ELEVATION "FRONT"  
Scale: 3/16" = 1'-0"

REPLACED NEW WINDOWS IN EX'G OPENINGS. TRIM  
REPAIRED/REPLACED AS NECESSARY TO MATCH  
EXISTING

NEW WINDOWS AS NOTED ON PLANS. ALL NEW TRIM  
AT WINDOWS TO MATCH EX'G IN STYLE AND COLOR.  
REPAIR STAINED WOOD SIDING AS NECESSARY TO  
MATCH EXISTING IN OLD OPENINGS.

3 PROPOSED EAST EXTERIOR ELEVATION "REAR"  
Scale: 3/16" = 1'-0"

NEW WINDOWS AS NOTED ON PLANS. ALL NEW TRIM  
AT WINDOWS TO MATCH EX'G IN STYLE AND COLOR.  
REPAIR STAINED WOOD SIDING AS NECESSARY TO  
MATCH EXISTING IN OLD OPENINGS.

REPLACED NEW WINDOWS IN EX'G OPENINGS

2 PROPOSED SOUTH EXTERIOR ELEVATION "SIDE"  
Scale: 3/16" = 1'-0"

1 PROPOSED NORTH EXTERIOR ELEVATION "SIDE"  
Scale: 3/16" = 1'-0"





EXISTING RESIDENCE, "FRONT" -VIEW FROM WOODBINE ROAD



EXISTING RESIDENCE, "FRONT ENTRY"



EXISTING RESIDENCE, "SOUTH SIDE ELEVATION"



EXISTING RESIDENCE, "SOUTH SIDE ELEVATION AND REAR ELEVATION"



EXISTING RESIDENCE, "NORTH SIDE ELEVATION"

NO.	REVISIONS	DATE
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NO.	ISSUE	DATE
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PROJECT:  
3 WOODBINE ROAD  
IRVINGTON, NY 10533

DRAWING TITLE:  
IMAGES OF RESIDENCE  
EXISTING CONDITIONS

FILE NAME:

DRAWN BY: PG

DRAWING NUMBER

SCALE: 3/16" = 1'-0"

DATE: 6/23/23

PROJECT ID: 2214A

A-109.00








## Marvin Essential collection

DESIGN AND PERFORMANCE  
MADE EASIER

Characterized by clean lines, powerful performance, and streamlined options, the Marvin Essential collection makes it easier to achieve design and quality. The Essential collection features durable Ultrex® fiberglass interiors and exteriors, making it virtually maintenance free.

## About Us

At Marvin, we're driven to imagine and create better ways of living, helping people feel happier and healthier inside their homes. We believe that our work isn't just about designing better windows and doors—it's about opening new possibilities for the people who use them.



Casement, Picture, and Awning windows in Ebony



# WHY MATERIALS MATTER

## THE MARVIN MATERIALS DIFFERENCE: ULTREX® FIBERGLASS

Choosing the right materials for windows and doors is important when it comes to long-term appearance and performance. Ultrex, an innovative fiberglass material pioneered by Marvin over 25 years ago, was one of the first premium composites on the market. However, not all composites are created equal.

Some companies use materials with fundamentally different properties and performance values to produce a composite material. Ultrex is different. High-density woven fibers bound by a thermally set resin makes Ultrex more resistant to pressure and temperature than vinyl-based composites. With such different materials grouped in the composites category, it is essential to know what sets them apart.



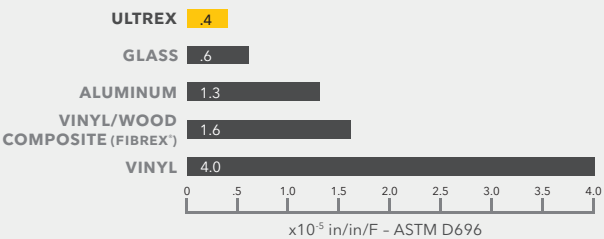
## TEMPERATURES MAY FLUCTUATE, BUT ULTREX® FIBERGLASS WON'T

Ultrex expands and contracts at virtually the same rate as glass, so it works with glass rather than against it. This means seals aren't as prone to leaking, and windows aren't subjected to sagging issues like other composites.

This is especially true when compared to vinyl, which can distort in extreme heat and crack in fluctuating temperatures. Ultrex resists distortion even at temperatures up to 285°F. Rapid temperature change doesn't faze Ultrex. From -30°F to 70°F, a 6-foot stile changes less than 1/32 inch in length.

### EXPANSION MEASUREMENT

Ultrex expands and contracts at virtually the same rate as glass.



## INDUSTRY'S BEST FIBERGLASS FINISH FOR LASTING BEAUTY

Ultrex is the first and only fiberglass finish to be verified to AAMA's 624 voluntary finish specifications for fiber-reinforced thermoset profiles (fiberglass).

Windows and doors made with Ultrex resist scratches, dings, and marring more than vinyl. Our proprietary, mechanically bonded acrylic finish is up to three times thicker than painted competitive finishes, and it resists UV degradation up to five times longer than vinyl—even on dark colors.

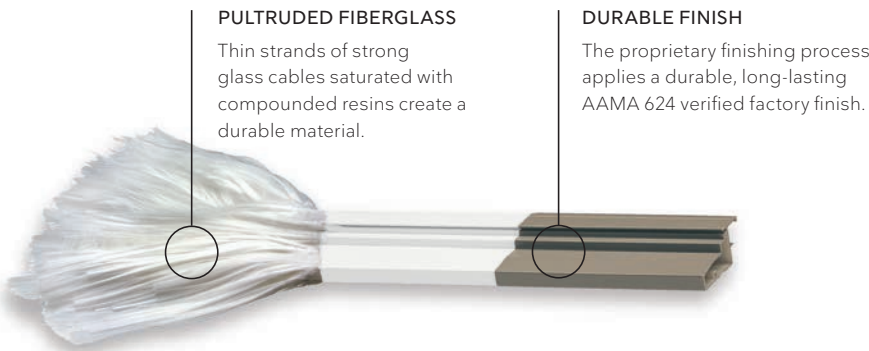
### ACRYLIC CAP



## STRENGTH AND STABILITY OF ULTREX

Ultrex pultruded fiberglass has a tensile strength 8x stronger than vinyl and 3x stronger than non-fiberglass vinyl/wood composites. Windows and doors made with Ultrex bend and flex less, resist cracking and separating, and stand up better to everyday wear and tear.

The exceptional strength and stability of Ultrex eases installation and establishes a secure, long-lasting fit that stays square and true year after year.



Double Hung windows in Stone White



CASEMENT + AWNING



Casement windows in Ebony with Matte Black hardware



Awning and Picture windows in Ebony

CASEMENT + AWNING

- Multi-point sequential locking system provides superior PG40 performance rating with single lever operation.
- Stationary, operating, Transom, and Picture units available.
- Folding handle provides easy operation and neatly stows out of the way of window treatments and blinds.
- Casement available in standard and special sizes up to 3 feet wide by 6 feet high.
- Awning available in standard and special sizes up to 4 feet wide by 3 feet high.
- Coordinating Picture and Transom windows available up to 6 feet wide by 6 feet high.
- Features an easy to remove screen with concealed fasteners.
- Crank out operation.



CASEMENT INTERIOR



AWNING INTERIOR



FOLDING HANDLE SHOWN IN OIL RUBBED BRONZE



## GLIDER



Glider and Picture windows in Ebony

## GLIDER

- Perfect alternative to a swinging sash.
- Operating sash easily tilts and removes with no cords or strings to detach.
- Tilt latches are ergonomically designed and easy to operate, making tilting and cleaning effortless.
- Innovative screen design for easy installation and removal.
- Triple-sash option provides the appearance of a Picture window assembly.
- Available in dual-sash with left or right operating panel as well as triple-sash with fixed center panel and two operating end panels.
- PG25 performance rating on triple-sash and up to PG40 performance rating on dual-sash.
- Available in standard and special sizes up to 6 feet wide by 5 feet high for dual-sash and 8 feet wide by 5 feet high for triple-sash.



INTERIOR



EXTERIOR



GLIDER PULL SHOWN IN WHITE

Glider window in Ebony



# Fixed Curb-Mounted Skylight

An economical choice that creates a spacious home filled with natural light, the VELUX Fixed Curb-Mounted Skylight is perfect for visually transforming your space with daylight and sky views. Heavy-duty materials ensure that this fixed skylight is built to withstand anything Mother Nature throws its way.

## Ideal Applications:

In reach , and that can benefit from daylight.



## FEATURES & BENEFITS

- Clean exterior profile provides natural light without obstructing roofline
- Versatile sizing allows for greater flexibility in positioning options
- Seamlessly pairs with any VELUX shades for optimal light control — select shades can be pre-installed for free
- Flashing kit required for
- Eligible for Federal Solar Tax Credit<sup>2</sup> with the addition of Solar Shades

## PRODUCT DETAILS

- **Laminated Low-E Glass:** double-paned argon-gas-filled Low-E glass that provides excellent energy performance for year round comfort. Plus, it includes the added safety of laminated glass, which building codes require for out-of-reach applications.
- : 10-year installation warranty, plus 20 years on glass, 10 years on product, and 5 years on shades and controls.
- 10 year hail with Clean, Quiet & Safe glass

## OPTIONAL SKYLIGHT UPGRADES

- Impact Glass<sup>3</sup>
- White Laminated Glass<sup>3</sup>
- Snowload Glass<sup>3</sup>
- Available in Custom Sizes

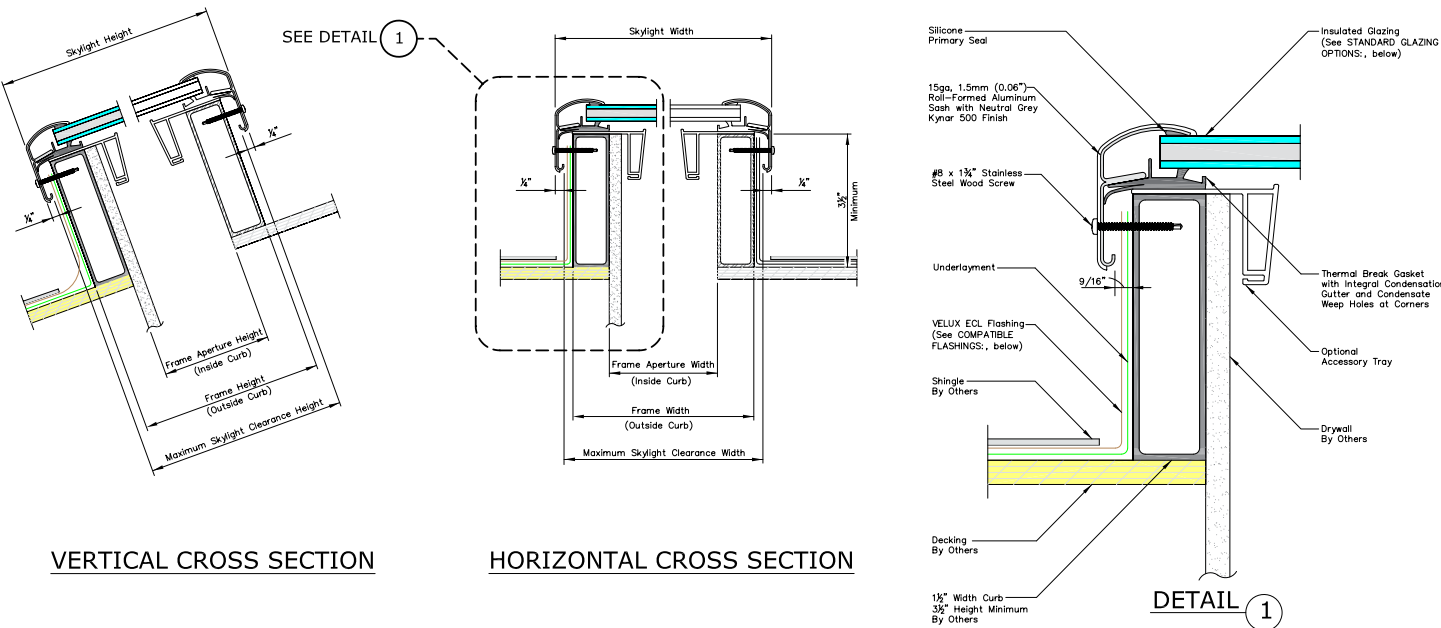
## ACCESSORIES

- Factory pre-installed Room-Darkening or Light Filtering solar shades<sup>1</sup>

<sup>1</sup> Eligible for Federal Solar Tax Credit with pre-installed solar shades. <sup>2</sup> For more information visit [veluxusa.com/taxcredit](https://www.veluxusa.com/taxcredit). <sup>3</sup> Select standard sizes only.



# Fixed Curb-Mounted Skylight



## COMPLIANCE AND CERTIFICATIONS

- DBPR Florida
  - IAPMO
  - NFRC, National Fenestration Rating Council
- Energy Star
  - WDMA, Window & Door Manufacturing Association

## STANDARD SIZES

		1430	1446	2222	2230	2234	2246	2270	3030	3046	3055	3434	3446	4622	4646	4672
Frame Width	(W-in.)	17 1/2	17 1/2	25 1/2	25 1/2	25 1/2	25 1/2	25 1/2	33 1/2	33 1/2	33 1/2	37 1/2	37 1/2	49 1/2	49 1/2	49 1/2
Frame Height	(H-in.)	33 1/2	49 1/2	25 1/2	33 1/2	37 1/2	49 1/2	73 1/2	33 1/2	49 1/2	58 1/2	37 1/2	49 1/2	25 1/2	49 1/2	75 1/2
Daylight Area	(Sq. Feet)	3.07	4.68	3.52	4.76	5.39	7.27	11.01	6.46	9.85	11.76	8.27	11.14	7.27	15.02	23.47

FCM custom sizes available