

Matthew Behrens – Architect
25 Bedford Road
Sleepy Hollow, NY 10591
914-391-1689
mattb728@msn.com

August 4, 2023

VIA HAND DELIVERY

Village of Irvington – Building Department
85 Main Street
Irvington, NY 10533

**RE: Legalize an Existing Pool Patio
Sawhney Residence
33 Osceola Avenue
Irvington, NY 10533
Parcel ID # 2.170-76-13
Permit Application # 931**

To Whom It May Concern:,

Please find the attached building permit application materials related to the above referenced property, to be presented at the next Architectural Review Board meeting re-scheduled for Tuesday, September 5, 2023.

Attached are the following:

- Signed and Notarized Permit Application
- Permit Application Fee
- (3) sets signed and sealed drawings
- (3) sets existing condition photos
- Flash drive containing electronic files of all documents

Please review the attached and let me know if you have any questions or comments.

Sincerely,



Matthew Behrens

APPLICATION FOR BUILDING PERMIT

The Village of Irvington | 85 Main St | Irvington NY 10533

Application Number:	931	Date:	07/15/2023
Job Location:	33 OSCEOLA AVE	Parcel ID:	2.170-76-13
Property Owner:	SAWHNEY, RISHI & SAWHNEY, GLADYS	Property Class:	1 FAMILY RES
Occupancy:	One/ Two Family	Zoning:	
Common Name:			

Applicant	Contractor
SAWHNEY, RISHI & SAWHNEY, GLADYS	
33 OSCEOLA AVE IRVINGTON 10533	

Architect

Matthew Behrens
25 Bedford Road
Sleepy Hollow, NY 10591
914-391-1689
Mattb728@msn.com

Description of Work

Type of Work:	Landscaping (with increase of coverage or FAR)	Applicant is:	Architect
Work Requested by:	The Owner	In association with:	
Cost of Work (Est.):	10000.00	Property Class:	1 FAMILY RES

Description of Work

Legalize an existing concrete pool patio. Legalization requires that approximately 280 square feet of the existing patio be removed, including a portion that lies within an existing sewer easement.

Please Note: Completing the application does not constitute a permit to commence construction. To obtain your permit follow the instructions on the instruction page provided on page 3.

Job Location: 33 OSCEOLA AVE

Parcel Id: 2.170-76-13

AFFIDAVIT OF APPLICANT

I **SAWHNEY, RISHI & SAWHNEY, GLADYS** being duly sworn, depose and says: That s/he does business as: with offices at: **33 OSCEOLA AVE IRVINGTON 10533** and that s/he is:

- ☐ The owner of the property described herein.
- ☐ The _____ of the New York Corporation _____ with offices at: _____ duly authorized by resolution of the Board of Directors, and that said corporation is duly authorized by the owner to make this application.
- ☐ A general partner of _____ with offices _____ and that said Partnership is duly authorized by the Owner to make this application.
- ☐ The Lessee of the premises, duly authorized by the owner to make this application.
- ☐ The Architect of Engineer duly authorized by the owner to make this application.
- ☐ The contractor authorized by the owner to make this application.

That the information contained in this application and on the accompanying drawings is true to the best of his knowledge and belief. The undersigned hereby agrees to comply with all the requirements of the New York State Uniform Fire Prevention and Building Code, the Village of Irvington Building Code, Zoning Ordinance and all other laws pertaining to same, in the construction applied for, whether or not shown on plans or specify in this application.

Sworn to before me this _____ day of _____ of _____

Notary Public / Commission of Deeds

Applicant's Signature

OWNER'S AUTHORIZATION

I **SAWHNEY, RISHI & SAWHNEY, GLADYS** as the owner of the subject premises and have authorized the contractor named above to perform the work under the subject application.

Owner phone number 914-806-9167 Owner email address rishi1221@gmail.com

X Rishi Sawhney hereby acknowledge that it is my responsibility as the **property owner** to ensure that if the permit (if issued) receives a Final Certificate of Approval from the Building Department and further that if a Final Certificate of Approval is not obtained upon completion of the construction, a property violation may be placed on the property for which this permit is being requested.

Sworn to before me this 18th day of July of 2023

Nydia Jacqueline Garcia
Notary Public / Commission of Deeds

Rishi Sawhney
Applicant's Signature

NYDIA JACQUELINE GARCIA
NOTARY PUBLIC-STATE OF NEW YORK
No. 01GA6429992
Qualified in New York County
My Commission Expires 03-07-2026

INSTRUCTIONS

REQUIREMENTS FOR OBTAINING A PERMIT:

The following items must be submitted in order to obtain a Building Permit:

1. One (1) Building Permit application signed by the owner or a notarized Agent Letter.
2. One (1) property survey (signed and sealed), reflecting existing conditions.
3. Two (2) sets of construction drawings and specifications, including existing and proposed conditions, state design criteria, structural and architectural details, plans, and cross sections, mechanical, electrical, and plumbing drawings (signed and sealed by a licensed professional).
4. One USB with all plans (with Licensed Professionals certification/stamp) and specifications in PDF (file size must be less than 25MB).
5. Copy of approved site plan from the Irvington Planning Board when applicable (required on all increases of FAR, footprint, coverage, driveways and increases of cubic content under a roof).
6. Approval by the Architectural Review Board (ARB) when applicable. An additional five (5) sets of construction drawings and specifications (please see ARB requirements (available on the village web site www.irvingtonny.gov) prior to submission).
7. Visit the Village of Irvington website www.irvingtonny.gov for additional check list for solar panels, generators, underground propane tanks, signs and awnings(found in forms and documents in the Building & Planning General Information folder).
8. Village Zoning Code is available on the Village website: www.irvingtonny.gov.
9. Provide evidence that the application meets the NYS Energy code as described by www.dos.state.ny.us/code/energycode/overview.htm.

Contractor Requirements in order to obtain a Building Permit:

10. Contractor's Certificate of Liability listing the Village of Irvington as the Certificate Holder with no disclaimer in the description other than certificate holder is named additional insured (any additional comments will not be accepted).
11. Contractor's Workers Compensation C-105 form (or equivalent) listing the Village of Irvington as Certificate Holder.
12. Copy of Contractor's Westchester County Home Improvement License.
13. All information above uploaded into permit application with the contractor's contact information, including mailing address, phone number, and email address.
14. Contractor's signature on Affidavit of Contractor (required prior to issuance of the permit).

Please Note:

-State Law requires that the contractor submits a copy of Workman's Compensation as required by the New York State Disability Insurance naming the Department of Buildings, Village of Irvington as certificate holder and showing coverage for general contracting and the locations covered by such insurance. If structure is to be demolished a copy of Liability Insurance must also be submitted.

- Please be advised under State and Municipal Laws, the Workman's Compensation and Disability benefits insurance must be submitted on separate state approved forms. The "Acord Form" is no longer acceptable as proof of Workman's Compensation coverage. Further information or questions may be answered by calling the NYS Bureau of Compliance at (518) 486-6307 or by visiting their website or by contacting your insurance provider.

FEES ASSOCIATED WITH BUILDING PERMIT APPLICATION(All fees must be paid at time of application):

Fee schedule

Building Permit (Non-Refundable)

* Application fee \$85

* Permit fee \$17 per thousand dollars (\$1000) of estimated cost of construction, or fraction thereof

85
170

* Inspection Fees (as applicable)

- | | |
|--|--|
| * Insulation: \$50 | * Footing: \$50 |
| * Solid Fuel: \$50 | * Preparation for concrete slabs and walls: \$50 |
| * Foundation and footing drain: \$50 | * Framing: \$50 |
| * Energy Code Compliance: \$50 | * Building systems, including underground and rough-in: \$50 |
| * Sediment and erosion control: \$50 | * Fire resistant construction and penetrations: \$50 |
| * Footing: \$50 | * Final Inspection for C.O.: \$50 |
| * Preparation for concrete slabs and walls: \$50 | * State and local laws (per re-inspection): \$50 |

Total Inspections (2) X \$50 = 100

* Certificate of Occupancy Fees: One dollar (\$1.00) per thousand dollars of estimated cost. Minimum Fee \$25.00

25

* Permit Revisions or Amendment: \$50.00 (plus \$17 per thousand (\$1000), of the estimated cost of construction and any additional inspections fees).

* Re-inspection fee for work not ready at time of inspection or not in compliance: \$50

* Applications for Undocumented Work/ Legalizing: Applications to legalize work done prior to applying for and receiving a building permit shall pay double all applicable fees and inspections, including the cost of construction based on the cost of all proposed work being legalized at the time of application. Minimum fee \$500.00.

(To be collected at time of submission of application)

Total \$ 3 8 0 X 2 = \$ 7 6 0

(Note: pursuant to 224-54A all permits are valid for one (1) year from date on permit
Any permit that expires will be subject to additional fees.)

Sawhney Residence, 33 Osceola Avenue

ARB Photos



Existing Conditions

Sawhney Residence, 33 Osceola Avenue

ARB Photos



Neighborhood Context

GENERAL REQUIREMENTS

- A. ALL WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE CODES, ORDINANCES & ALL AUTHORITIES HAVING JURISDICTION. IN THE ABSENCE OF OTHER STANDARDS, THE LATEST EDITION OF THE NEW YORK STATE UNIFORM FIRE PREVENTION & BUILDING CODE SHALL GOVERN.
- B. VERIFY ALL DIMENSIONS & CONDITIONS ON THE SITE & NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO STARTING THE WORK. CLAIMS FOR EXTRA WORK RESULTING FROM FAILURE TO DO SO WILL NOT BE ALLOWED.
- C. CONTR. AND SUB-CONTR.'S SHALL MAINTAIN WORKMEN'S COMPENSATION AND LIABILITY INSURANCE IN ADEQUATE AMOUNTS TO RENDER THE OWNER & HIS AGENTS HARMLESS IN CASE OF ACCIDENTS TO PERSONS OR PROPERTY INVOLVED IN THIS PROJECT. PROVIDE CERTIFICATES OF SAME TO OWNER.
- D. PROTECT FROM DAMAGE ALL STRUCTURES, FINISHES, UTILITIES, EQUIPMENT, VEGETATION, ETC. SCHEDULED TO REMAIN. MAINTAIN STRUCTURAL INTEGRITY OF BUILDING & TEMPORARY SHORING AS REQUIRED. PROVIDE TEMPORARY PROTECTIVE DUST, FROM SECURITY & WEATHER - TIGHT ENCLOSURES WHEN & WHERE REQUIRED.
- E. THE WORK INCLUDES ALL CUTTING & PATCHING & RESTORATION OF AREAS & SURFACES DISTURBED DUE TO THE EXECUTION OF THIS CONTRACT; MATCHING OF KIND, COLOR, QUALITY, TEXTURE, & INSTALLED IN MATCHING PATTERN & COURSING WHERE APPLICABLE.
- F. THE CONTRACTOR SHALL SECURE & PAY FOR ALL PERMITS, AND INSPECTIONS OF LOCAL AUTHORITIES, & OBTAIN FINAL APPROVALS OF, AND/OR CERTIFICATES OF COMPLIANCE FOR ALL WORK UPON COMPLETION, AND/OR DURING THE COURSE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS & EQUIPMENT TO COMPLETE ALL WORK. ALL LABOR, MATERIAL & ASSEMBLIES SHALL BE OF GOOD WORKMANSHIP QUALITY, & SHALL CONFORM TO NATIONAL & LOCAL INDUSTRY STANDARDS. ALL MATERIALS SHALL BE INSTALLED ACCORDING TO THEIR MFR.'S SPECIFICATIONS. THE CONTRACTOR SHALL CONVEY TO THE OWNER ALL APPLICABLE MFR.'S. GUARANTIES AND/OR WARRANTIES ON MATERIALS & EQUIPMENT INSTALLED.
- G. THE BUILDING & GROUNDS SHALL BE KEPT CLEAN & SAFE AT ALL TIMES AND PLACE ALL DEBRIS INTO A RECEPTACLE AT THE END OF EACH DAY. REMOVE ALL DEBRIS FROM THE SITE TO A POINT OF LEGAL DISPOSAL, IN STRICT ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS. IF OWNER IS TO OCCUPY THE EXISTING RESIDENCE DURING CONSTRUCTION, MAINTAIN CLEAR ACCESS TO THE SITE AT ALL TIMES.
- J. THE CONTRACTOR SHALL GUARANTEE HIS WORK FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK; OR AFTER ACCEPTANCE BY THE OWNER OF SPECIFICALLY DESIGNATED EQUIPMENT OR PORTIONS OF THE WORK. THE DATE OF SUBSTANTIAL COMPLETION OF THE WORK, OR DESIGNATED PORTION THEREOF, IS THE DATE AGREED UPON BY THE OWNER & THE CONTRACTOR WHEN CONSTRUCTION IS SUFFICIENTLY COMPLETE, IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, THAT THE OWNER CAN OCCUPY OR UTILIZE WORK, OR DESIGNATED PORTION OF THE WORK, FOR THE USE FOR WHICH IT IS INTENDED. MFR.'S. GUARANTEE/WARRANTEE SHALL BE CONVEYED IN ACCORDANCE WITH I.F. ABOVE. IF ANY OF THE WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS DURING THE GUARANTEE/WARRANTEE PERIOD, THE CONTRACTOR SHALL PROMPTLY CORRECT SAME AFTER RECEIPT OF WRITTEN NOTICE FROM THE OWNER TO DO SO UNLESS THE OWNER HAS PREVIOUSLY GIVEN THE CONTRACTOR WRITTEN ACCEPTANCE OF SUCH CONDITION. THE OWNER SHALL GIVE SUCH NOTICE PROMPTLY AFTER DISCOVERY OF THE CONDITION.

CONCRETE

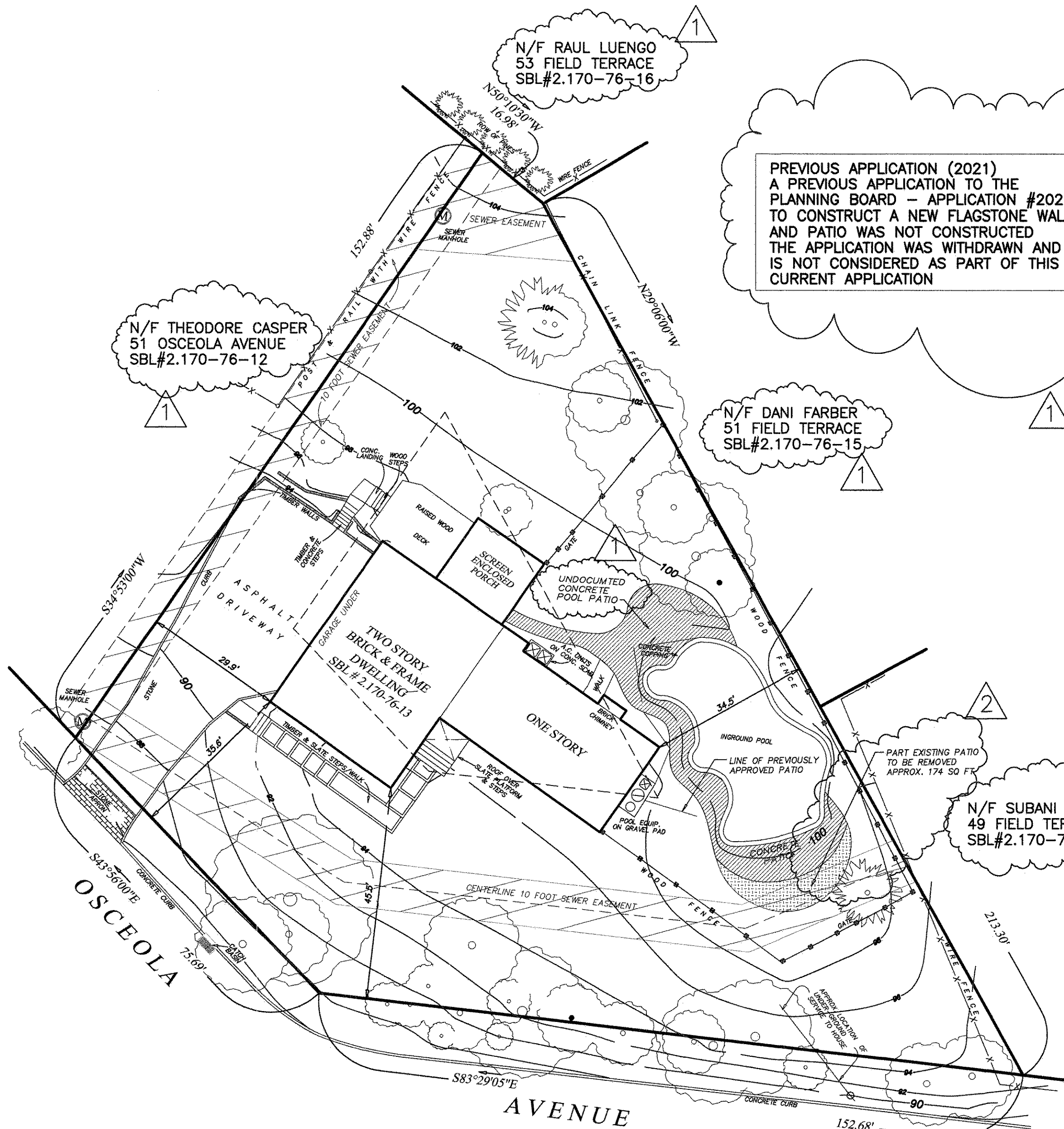
1. ALL CONCRETE FOR FOOTINGS, WALLS, SLABS, ETC., SHALL BE AIR-ENTRAINED STONE CONCRETE AT 4000 PSI TEST AT 28 DAYS. CONFORM TO ASTM C-260 "SPECIFICATIONS FOR AIR-ENTRAINED ADMIXTURES FOR CONCRETE" FOR AIR ENTRAINED MIXTURES. READY-MIXED CONCRETE SHALL CONFORM TO ASTM C-94 "SPECIFICATIONS FOR READY-MIXED CONCRETE" QUALITY, CONVEYING AND DEPOSITING OF CONCRETE SHALL CONFORM TO ACI 613 "RECOMMENDED PRACTICE FOR SELECTING PROPORTIONS FOR CONCRETE" AND ACI 614 "RECOMMENDED PRACTICE FOR MEASURING, MIXING & PLACING CONCRETE"

CARPENTRY

- A. ROUGH CARPENTRY:-
- FRAMING LUMBER: DOUGLAS FIR-LARCH #2 OR BETTER Fb=850 PSI MINIMUM (SINGLE), Fb=850 PSI MINIMUM (REPETITIVE), 19% MAXIMUM MOISTURE CONTENT; AS STRESS-GRADED BY WEST COAST LUMBER INSPECTION BUREAU (WCLIB) & WESTERN WOOD PRODUCTS ASSOCIATION (WWPA).
 - SHEATHING, EXTERIOR WALLS: 1/2" DOUGLAS FIR PLYWOOD CDX EXTERIOR - APA PLYWOOD.
 - ROOF SHEATHING: 3/4" DOUGLAS FIR PLYWOOD, CDX EXTERIOR APA. (DIMENSION AS NOTED ON DWGS)
 - SUB FLOOR: 3/4" DOUGLAS FIR PLYWOOD, C-D INTERIOR
 - UNDERLAYMENT: 5/8" PLYWOOD UNDERLAYMENT GRADE INTERIOR - APA WITH EXTERIOR GLUE
 - BLOCKING, BRIDGING, NAILERS, AND FURRING: #1 COMMON DOUGLAS FIR, SOUTHERN PINE OR HEMLOCK. BRIDGING TO BE 1 1/4" X 3", OR APPROVED EQUAL, AT 8'-0" O.C. MAXIMUM. LEDGER BOARDS, WHERE REQUIRED, SHALL BE SECURELY SET WITH JOISTS NOTCHED TIGHTLY.
 - DOUBLE JOISTS UNDER ALL PARTITIONS PARALLEL TO FRAMING.
 - ALL WOOD SILLS SET ON CONCRETE SHALL BE PRESSURE-TREATED ("WOLMANIZED", "OSMOSE K-33", OR EQUAL).
 - 2 2X10'S OVER ALL OPENINGS UNLESS SHOWN OTHERWISE.
 - PROVIDE SOLID BLOCKING FOR BEARING POINTS OF ALL BEAMS AND COLUMNS. USE SHIMS OF SLATE OR STEEL FOR LEVELING WOOD MEMBERS ON CONCRETE OR MASONRY. BEARING FOR ALL BEAMS SHALL BE FULL WIDTH OF THE BEAM.
 - SOFFITS: 1/2" MEDIUM DENSITY OVERLAP PLYWOOD EXTERIOR GLUE WITH CONTINUOUS ALUMINUM SCREEN VENT.
 - NAILING: ALL NAILING TO BE COMPLETED IN ACCORDANCE WITH NEW YORK STATE RESIDENTIAL CODE
 - GANG-LAM. LVL: GANG-LAM. LVL'S SHALL BE AS MANUFACTURED BY PDJ COMPONENTS OR APPROVED EQUAL. MEMBERS SHALL BE 2800 PSI MINIMUM IN BENDING. -2.0E GRADE.
 - NOTCHING AND HOLES IN JOISTS AND BEAMS: NOTCHING AND BORED HOLES IN JOISTS AND BEAMS FOR PLUMBING PIPING, HEATING PIPING, ELECTRICAL CONDUITS, ETC. ARE PERMITTED PROVIDING THAT THEY COMPLY WITH THE NEW YORK STATE BUILDING CODE MANUAL - PART 3, PAGE 91. VERIFY SIZES AND LOCATIONS OF EXCESSIVE NOTCHING AND BORED HOLES THAT MAY BE REQUIRED WITH ARCHITECT PRIOR TO CREATING THE PENETRATIONS.
 - ALL MULTIPLE-MEMBER BEAMS OR JOISTS SHALL BE NAILED TOGETHER WITH TWO ROWS OF 16D NAILS @ 12" ON CENTER AT TOP AND BOTTOM.
 - ALL WINDOW & DOOR OPENINGS TO HAVE MINIMUM DBL JACK STUDS IN STRICT ACCORDANCE WITH STATE CODE PERMITS.

FINISH CARPENTRY

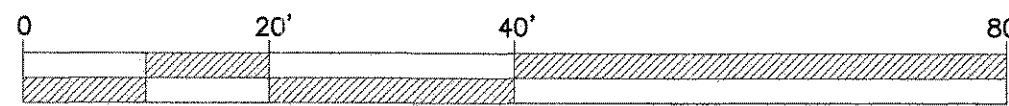
- INTERIOR AND EXTERIOR TRIM (MOLDINGS, CASINGS, CORNICES, BASES, ETC.), OTHER THAN STAINED OR PREFINISHED, SHALL BE NO. 1 KILN DRIED WHITE PONDEROSA PINE. MATCH EXISTING PROFILES OR INSTALL NEW AS NOTED ON DWGS.
- SURFACES OF INTERIOR PARTITIONS AND INTERIOR OF EXTERIOR WALLS AND CEILINGS SHALL BE 1/2" GYPSUM BOARD (TYPE X, FIRE CODE, WHERE INDICATED ON THE DRAWINGS AND REQUIRED BY CODE; SCREWED WITH 1 1/4" TYPE W DRYWALL SCREWS PER MANUFACTURER'S RECOMMENDATIONS, TAPED 3 COATS AND SANDED READY FOR FINAL FINISH. PROVIDE METAL CORNER BEADS AND OTHER DRYWALL ACCESSORIES AS REQ'D.



SITE PLAN

SCALE : 1" = 20'-0"

ALL INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM A SURVEY DATED FEBRUARY 22, 2013 AS PREPARED BY LINK LAND SURVEYORS, PC. ACCURACY IS LIMITED TO THE DATA PROVIDED THEREIN



GRAPHIC SCALE

CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA TABLE R301.2 (1)									
GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM				WINTER DESIGN TEMPERATURE	ICE SHIELD UNDERLAYMENT REQUIRED	FLOOD HAZARDS
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY			
45 PSF	90 ~ 100 MPH	C	SEVERE	42"	MODERATE TO HEAVY	SLIGHT TO MODERATE	7° F	YES	NO

ALL PROPOSED WORK IS IN COMPLIANCE WITH
NEW YORK STATE RESIDENTIAL CODE 2015 AND NYS SUPPLEMENT 2017

ZONING COMPLIANCE SUMMARY

DESCRIPTION	REQUIRED	EXISTING	EXISTING UNDOCUMENTED	TOTAL	COMMENTS
ZONING DISTRICT	1F-40				
AREA OF LOT	40,000 SF	20,273 SF	N/A	N/A	EXISTING NON-CONFORMING LOT SIZE
FRONT YARD SETBACK	50'-0"	37'-3"	no change	N/A	EXISTING NON-CONFORMANCE UNAFFECTED
REAR YARD SETBACK	40'-0"	34'-6"	no change	N/A	EXISTING NON-CONFORMANCE UNAFFECTED
SIDE YARD SETBACK 1	25'-0"	29'-11"	no change	N/A	
SIDE YARD SETBACK 2	25'-0"	41'-7"	no change	N/A	
LOT WIDTH	150'-0"	216'-0"	N/A	N/A	
LOT DEPTH	150'-0"	152'-0"	N/A	N/A	
LOT COVERAGE	12% 2,433 SF	22% 4,410 SF	929 SF	24% 4,939 SF	EXISTING NON-CONFORMANCE INCREASED

COVERAGE CALCULATIONS

LOT COVERAGE MAX ALLOWABLE = 12% OF 20,273 SF) = 2,433 SF			
DESCRIPTION	EXISTING	EXISTING UNDOCUMENTED	PROPOSED TOTAL
PRINCIPAL BUILDING COVERAGE	2,564 SQ FT	0 SQ FT	2,564 SQ FT
WALKWAYS	285 SQ FT	0 SQ FT	285 SQ FT
FRONT LANDING	75 SQ FT	0 SQ FT	75 SQ FT
MECHANICAL EQUIPMENT PADS	18 SQ FT	0 SQ FT	18 SQ FT
RETAINING WALLS	28 SQ FT	0 SQ FT	28 SQ FT
POOL	850 SQ FT	0 SQ FT	850 SQ FT
POOL EQUIPMENT	33 SQ FT	0 SQ FT	33 SQ FT
OPEN WOOD DECK	259 SQ FT	0 SQ FT	259 SQ FT
PREVIOUSLY APPROVED PATIO (EST)	298 SQ FT	(-298) SQ FT	0 SQ FT
CURRENT PATIO	---	1,001 SQ FT	1,001 SQ FT
PROPOSED (REDUCED) PATIO	---	(-174) SQ FT	(-174) SQ FT
TOTAL COVERAGE	4,410 SQ FT	529 SQ FT	4,939 SQ FT

DRAWING LIST

- A-0-1 SITE PLAN and ZONING DATA
A-0-2 SITE PLAN NOTES and DETAILS
A-0-3 SITE SCALE STUDY

CODE COMPLIANCE NOTE

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTION SYSTEM IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE. ANY MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE CURRENTLY IN EFFECT

APPLICABLE CODES AND PROVISIONS:
* 2020 NEW YORK STATE BUILDING CODE AND NOVEMBER 2019 ADDITION
* 2020 NEW YORK STATE STRETCH ENERGY CODE
* NATIONAL ELECTRICAL CODE NFPA 70 2014 EDITION
* NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

NO.	DATE	REMARKS
2	3/22/2023	REVISED PER PLANNING BOARD COMMENTS
1	12/20/2022	REVISED PER PLANNING BOARD COMMENTS



LEGALIZE EXISTING PATIO:

SAWHNEY RESIDENCE

33 OSCEOLA AVENUE

IRVINGTON, NY

SITE PLAN
SITE & ZONING DATA
GENERAL NOTES

PROJ. NO. 421

DATE : NOV 21, 2022

SCALE : AS NOTED

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689

A-0-1

2020 ENERGY CONSERVATION CONSTRUCTION CODE OF N.Y.S.

2020 STRETCH ENERGY CODE OF NEW YORK STATE

BUILDING TYPE: EXISTING MULTI-FAMILY RESIDENCE
DESIGN DEGREE DAYS: 5,750 (WESTCHESTER COUNTY)
CLIMATE ZONE: 4

INSULATION & FENESTRATION REQUIREMENTS BY COMPONENT	MIN R-VALUE	MAX U-VALUE
FENESTRATION	N/A	U-0.35
SKYLIGHTS	N/A	U-0.35
CEILING	R-38	
WOOD FRAME WALLS	R-13	
MASS WALL (g)	R-5/10g	
FLOOR	R-19	
BASEMENT WALL	R-10 / 13	
SLAB	10.2	
CRAWL SPACE WALL	R-10 / 13	

I, MATTHEW BEHRENS, ARCHITECT, HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE, THESE PLANS AND SPECIFICATIONS COMPLY WITH ALL APPLICABLE SECTIONS OF THE 2020 NEW YORK STATE ENERGY CONSERVATION AND CONSTRUCTION CODE - AS WELL AS THE 2020 STRETCH ENERGY CODE OF NEW YORK STATE

DESIGN LIVE LOAD
MINIMUM REQUIREMENTS :

FIRST FLOOR : 40 PSF

SECOND FLOOR : 30 PSF

ATTIC FLOOR
(WITH STORAGE) : 20 PSF

ROOF LOAD : 30 PSF

SOIL BEARING CAPACITY : 2 TONS / SQ FT

SITE PLAN NOTES:
CONTOUR INFORMATION WAS TAKEN FROM WESTCHESTER COUNTY GIS MAP

NO TREES WITH A DIAMETER GREATER THAN 8" ARE LOCATED NEAR THE LIMITS OF CONSTRUCTION AND NO TREES WILL BE DISTURBED BY THE PROPOSED WORK

EXCAVATION IS LIMITED TO THE PROPOSED DECK FOOTINGS

NO UTILITIES WILL BE DISTURBED BY THE PROPOSED WORK

THE BUILDING INSPECTOR OR VILLAGE ENGINEER MAY REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF DEEMED APPROPRIATE TO MITIGATE UNDESIRABLE SILTRATION AND EROSION OF DISTURBED SOILS

AS-BUILT DRAWINGS OF THE SITE IMPROVEMENTS SHALL BE SUBMITTED TO THE VILLAGE ENGINEER FOR REVIEW PRIOR TO OBTAINING CERTIFICATE OF OCCUPANCY



TREE PROTECTION MEASURES MUST BE IN PLACE PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITY



AREAS CHOSEN FOR STOCKPIILING MUST BE DRY AND STABLE

MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2

UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH
EITHER SILT FENCE OR STRAW BALES -- THEN STABILIZED WITH VEGETATION OR COVER
SEE SILTFENCE DETAILS ABOVE



SILT FENCE CONSTRUCTION NOTES:

EXCAVATE A 4" WIDE X 6" DEEP TRENCH
ALONG THE LOWER PERIMETER OF THE SITE
AS INDICATED ON THE SITE PLAN

UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) SIDE OF THE TRENCH

DRIVE THE POSTS INTO THE GROUND UNTIL
THE NETTING IS APPROX. 2 INCHES FROM THE
BOTTOM OF THE TRENCH

LAY THE TOE-IN FLAP OF THE SILT FABRIC INTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL.

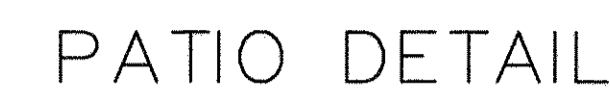


SCALE : 1" = 20'-0"

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FROM A SURVEY DATED FEBRUARY 22, 2013
AS PREPARED BY LINK LAND SURVEYORS, PC.
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COVERAGE CALCULATIONS			
LOT COVERAGE MAX ALLOWABLE = 12% OF 20,273 SF) = 2,433 SF			
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CURRENT PATIO	—	1,001 SQ FT	1,001 SQ FT
PROPOSED (REDUCED) PATIO	—	(-174) SQ FT	(-174) SQ FT
TOTAL COVERAGE	4,410 SQ FT	529 SQ FT	4,939 SQ FT



SCALE : 3/4" = 1'-0"


CODE COMPLIANCE NOTE

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTION SYSTEM IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE.
ANY MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF and PROFESSIONAL JUDGEMENT
OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE
DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE
NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE
NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE
CURRENTLY IN EFFECT

APPLICABLE CODES AND PROVISIONS:
 * 2020 NEW YORK STATE BUILDING CODE and NOVEMBER 2019 ADDITION
 * 2020 NEW YORK STATE STRETCH ENERGY CODE
 * NATIONAL ELECTRICAL CODE NFPA 70 2014 EDITION
 * NEW YORK STATE RESIDENTIAL PLUMBING CODE

EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

2	3/22/2023	REVISED PER PLANNING BOARD COMMENTS
1	12/20/2022	REVISED PER PLANNING BOARD COMMENTS
		
NO.	DATE	REMARKS

LEGALIZE EXISTING PATIO:

SAWHNEY RESIDENCE

33 OSCEOLA AVENUE IRVINGTON, NY

SITE COVERAGE PLAN
and CALCULATIONS
SITE DETAILS

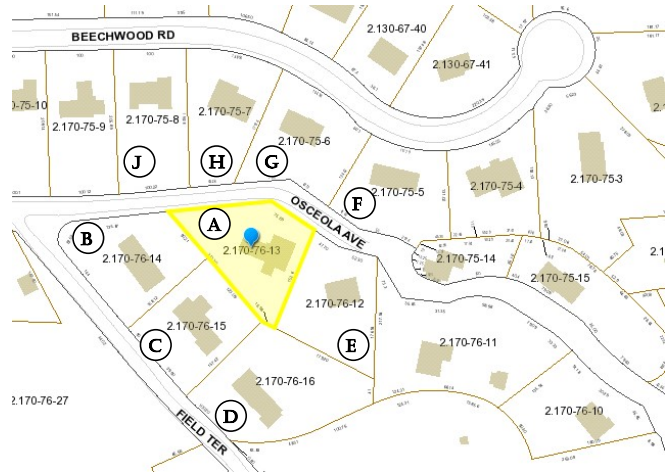
PROJ. NO.	421
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DATE : NOV 21, 2022

SCALE : AS NOTED

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
914-391-1689

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SITE LOCATION KEY PLAN



AERIAL VIEW

ZONING ANALYSIS OF ADJACENT PROPERTIES									
TAG	ZONING DISTRICT	PARCEL ID	LOT AREA (SQ FT)	ADDRESS	COVERAGE				COMMENTS
					ALLOWED 12%	EXISTING	% OF ALLOWED	% OF LOT	
A	1F-40	2.170-76-13	20,273	33 OSCEOLA AVE	2,433	4,410	181%	22 %	SUBJECT PROPERTY NON-CONFORMING
						EXISTING UNDOCUMENTED			
						4,939	203 %	24 %	
B	1F-40	2.170-76-14	22,216	49 FIELD TERRACE	2,666	2,655	99 %	12 %	
C	1F-40	2.170-76-15	20,473	51 FIELD TERRACE	2,457	3,908	159 %	19 %	NON-CONFORMING
D	1F-40	2.170-76-16	30,056	53 FIELD TERRACE	3,607	5,545	154 %	18 %	NON-CONFORMING
E	1F-40	2.170-76-12	20,083	51 OSCEOLA AVE	2,410	3,782	157 %	19 %	NON-CONFORMING
F	1F-40	2.170-75-5	20,038	33 BEECHWOOD RD	2,405	2,944	122 %	15 %	NON-CONFORMING
G	1F-40	2.170-75-6	20,038	35 BEECHWOOD RD	2,405	2,893	120 %	14 %	NON-CONFORMING
H	1F-40	2.170-75-7	20,038	37 BEECHWOOD RD	2,405	3,205	133 %	16 %	NON-CONFORMING
J	1F-40	2.170-75-8	20,473	39 BEECHWOOD RD	2,457	3,874	158 %	19 %	NON-CONFORMING
AVERAGE			21,521		2,583	3,769	146 %	18 %	9 PROPERTIES ANALYZED 8 PROPERTIES ARE NON-CONFORMING - 89%
NOTES and QUALIFICATIONS: - DATA WAS COLLECTED FROM THE TOWN OF GREENBURGH, NY GIS RECORDS - 25% OF TOTAL COVERAGE WAS ADDED TO ACCOUNT FOR WALKWAYS AND RETAINING WALLS									

CODE COMPLIANCE NOTE

ENTIRE RESIDENCE IS EQUIPPED WITH EXISTING SMOKE / CARBON MONOXIDE DETECTION SYSTEM IN COMPLIANCE WITH THE NEW YORK STATE RESIDENTIAL CODE.
ANY MODIFICATIONS TO THE SYSTEM MUST MEET THE REQUIREMENTS OF THE CODE.

TO THE BEST OF MY KNOWLEDGE, BELIEF and PROFESSIONAL JUDGEMENT OF THE UNDERSIGNED, THE PLANS & SPECIFICATIONS DEPICTED ON THESE DRAWINGS ARE IN COMPLIANCE WITH THE APPLICABLE PROVISIONS OF THE NEW YORK STATE FIRE PREVENTION AND BUILDING CODE AND THE NEW YORK STATE STRETCH ENERGY CONSTRUCTION CODE CURRENTLY IN EFFECT.

- APPLICABLE CODES AND PROVISIONS:
- 2020 NEW YORK STATE BUILDING CODE and NOVEMBER 2019 ADDITION
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EXISTING AND PROPOSED CONSTRUCTION TYPE: TYPE 5a
OCCUPANCY CLASSIFICATION: ONE FAMILY RESIDENCE

1	3/22/2023	REVISED PER PLANNING BOARD COMMENTS	
NO.	DATE	REMARKS	

LEGALIZE EXISTING PATIO:
SAWHNEY RESIDENCE
33 OSCEOLA AVENUE IRVINGTON, NY

SITE SCALE DATA

PROJ. NO.	421
DATE :	DEC 20, 2022
SCALE :	AS NOTED

MATTHEW BEHRENS
ARCHITECT
25 BEDFORD ROAD
SLEEPY HOLLOW, NY 10591
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A-0-3